

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III



City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Tim Robertson
Baxter & Woodman, Mike Kurzy
Interim City Secretary, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, SEPTEMBER 21, 2023 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

- 1. CALL TO ORDER**
 - a. INVOCATION
 - b. PLEDGE OF ALLEGIANCE
 - c. ROLL CALL AND CERTIFICATION OF QUORUM

- 2. CONSENT AGENDA**

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

 - a. **CONSIDERATION – APPROVAL OF MINUTES**

Consideration and possible action to approve the minutes of the meeting held August 17, 2023.

- 3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC**

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).
Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

 - a. *Statements of specific factual information given in response to an inquiry;*
 - b. *A recitation of existing policy in response to an inquiry;*
 - c. *A proposal to place the subject on a future agenda.*

- 4. ANNOUNCEMENTS**

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.

- 5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)**

- 6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MAGNOLIA RIDGE FOREST SECTION 18, FINAL PLAT, +/- 27.570 ACRES.**

7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MCDONALD'S

8. FUTURE AGENDA ITEMS

9. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Christian Gable, Interim City Secretary



Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III



City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Tim Robertson
Baxter & Woodman, Mike Kurzy
Interim City Secretary, Christian Gable

MINUTES OF THE PLANNING & ZONING COMMISSION REGULAR MEETING – AUGUST 17, 2023

A meeting of the Planning & Zoning Commission was held on August 17, 2023, beginning at 4:30pm in the Sewall Smith Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Scott Shelburne called the meeting to order at 4:30 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Anne Sundquist, Josh Jakubik, Tom Mayhew, and Robert Barker III.

Absent: Holly Knee

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the special meeting held July 25, 2023.

b. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the special meeting held August 3, 2023.

MOTION: Upon a motion to approve the Consent Agenda made by Tom Mayhew and seconded by Josh Jakubik, the Commission members voted, and the motion carried unanimously, 4-0.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

None

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.

None

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

None

6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR 5POINT CREDIT UNION

MOTION: Upon a motion to approve made by Anne Sundquist and seconded by Tom Mayhew, the Commission members voted, and the motion carried unanimously, 4-0.

7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR VALVOLINE

MOTION: Upon a motion to approve made by Josh Jakubik and seconded by Anne Sundquist, the Commission members voted, and the motion carried unanimously, 4-0.

8. FUTURE AGENDA ITEMS

None

9. ADJOURN

MOTION: Upon a motion to adjourn made by Robert Barker and seconded by Anne Sundquist, the Commission members voted, the motion carried unanimously, and Chairman Shelburne adjourned the meeting at 4:38 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the special meeting of the City of Magnolia Planning and Zoning Commission held on August 17, 2023.

ATTEST:



Christian Gable, Interim City Secretary

September 7, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Magnolia Ridge Forest Section 18 – Final Plat Review – Letter of No Objection
City of Magnolia
AEI Job No. 220876.80-001*

Dear Mr. Doering:

We received the revised final plat for the proposed Magnolia Ridge Forest Section 18 development on August 30, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. A Professional Surveyor licensed in Texas shall sign and seal the final plat.
2. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.
3. Obtain all applicable governmental agency signatures.
4. Construction shall not commence until final agency approvals are secured.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter & Woodman Consulting Engineers
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia
Mr. Don Doering – City of Magnolia
Mr. Tim Robertson – City of Magnolia
Mr. Michael A. Kurzy, P.E. – Baxter & Woodman Consulting Engineers
Ms. Karleigh Brown – Baxter and Woodman Consulting Engineers
Mr. Tommy Cormier, Jr., PE – Baxter & Woodman Consulting Engineers
Mr. Zachary Zarse – LJA Engineering, Inc.

Single Family Residential Yield

45' x 125'	890 Lots	±255.8 Ac.	71.2%
50' x 125'	311 Lots	±96.7 Ac.	24.8%
60' x 125'	49 Lots	±17.3 Ac.	4.0%

TOTAL 1,250 Lots ±369.8 Ac. 100.0%



Prepared For:

M/IHOMES

Reference Date: 02.17.2022



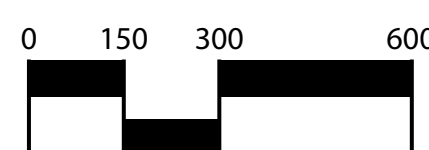
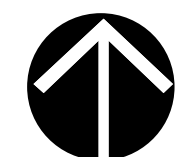
PLANNING & LANDSCAPE ARCHITECTURE

3600 W. Sam Houston Pkwy S, Suite 600
Houston, Texas 77042
713.953.5200

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North

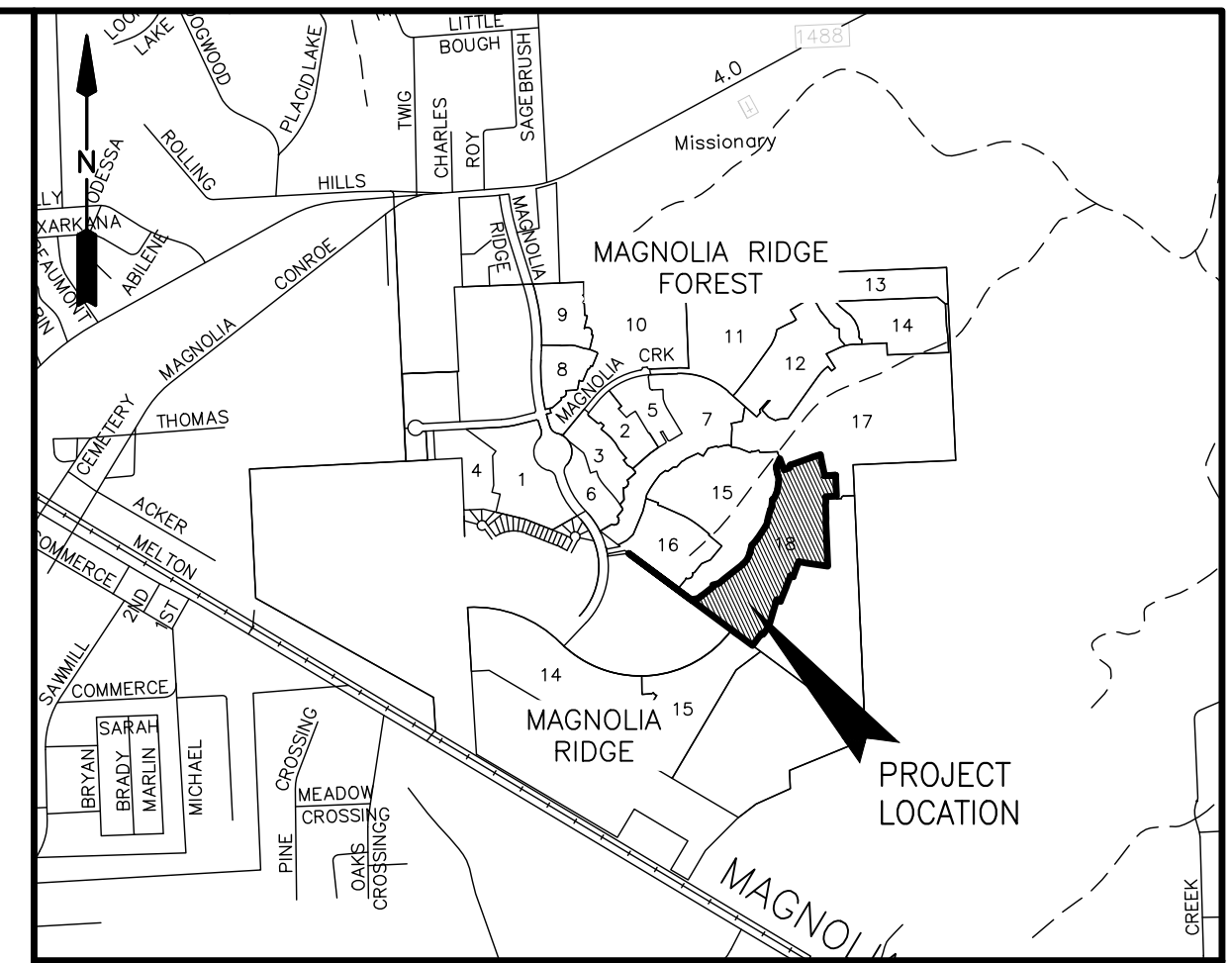
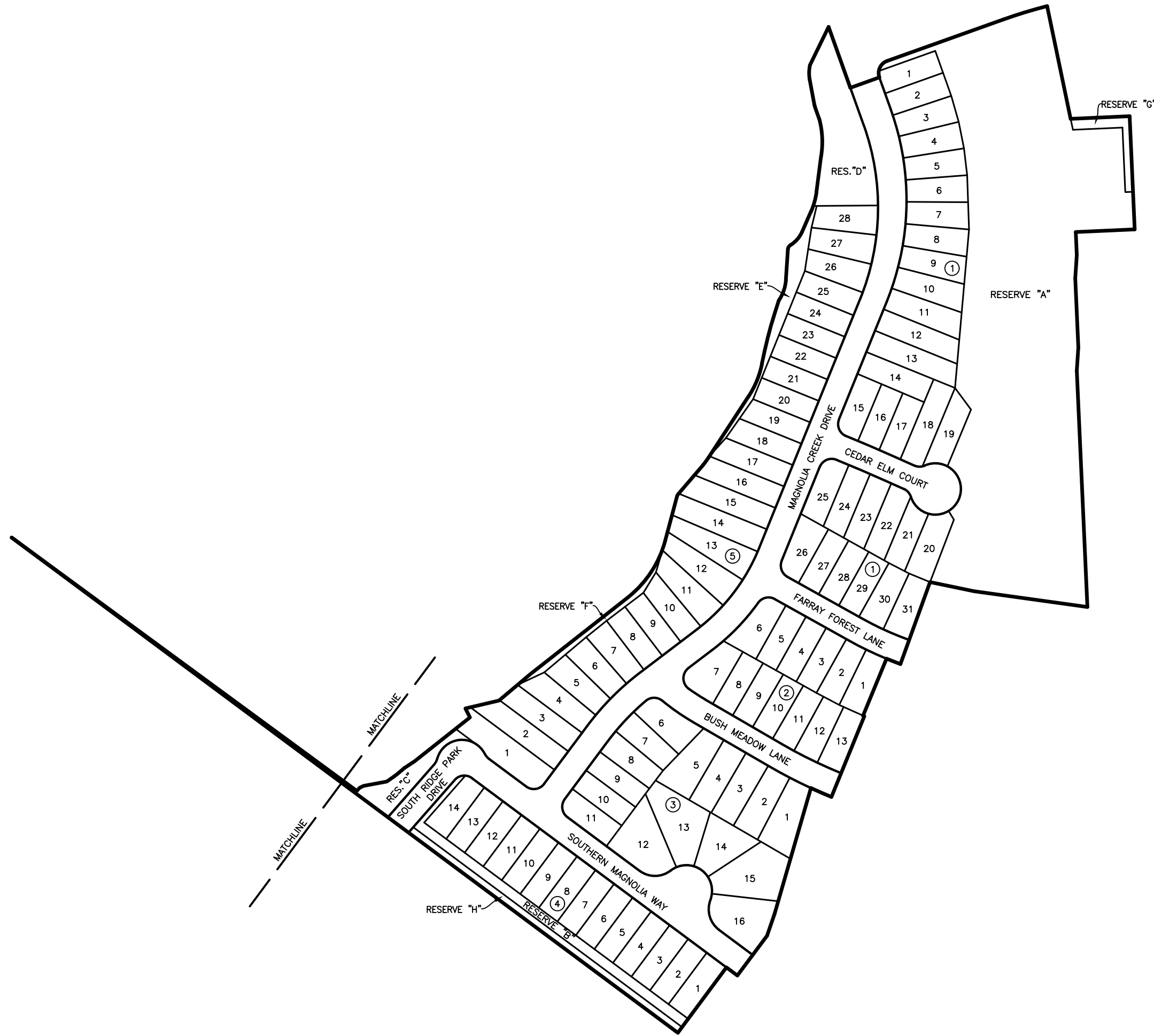
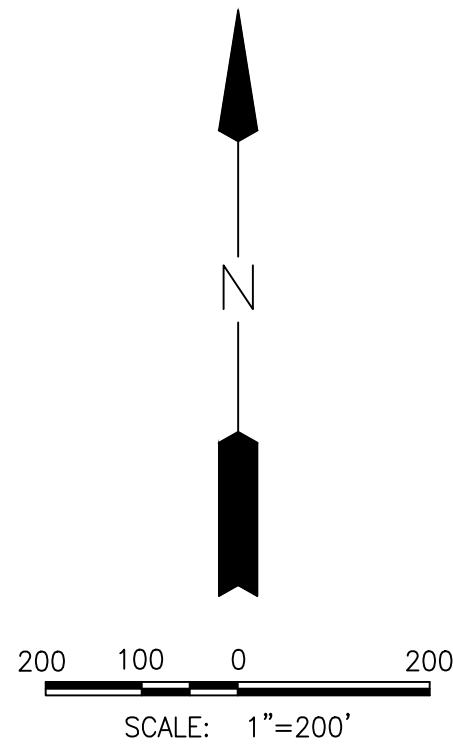


A Concept Plan for
MAGNOLIA RIDGE FOREST

±369.8 Acres of Land

Magnolia, Texas

Project #: 2025-07001



VICINITY MAP
SCALE: 1" = 2,000'
KEY MAP NO. 212L

FINAL PLAT OF MAGNOLIA RIDGE FOREST SECTION 18

A SUBDIVISION OF 27.570 ACRES OF LAND SITUATED IN
THE EDWARD TAYLOR SURVEY, ABSTRACT 554,
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, BEING A
PARTIAL REPLAT OF RESERVE "A", MAGNOLIA RIDGE SECTION 13,
A SUBDIVISION RECORDED IN CABINET Z, SHEET 1427-1429,
MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

DATE: AUGUST 8, 2023

102 LOTS
5 BLOCKS
8 RESERVES
8.236 ACRES IN RESERVES

SURVEYOR:

LJA Surveying, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 175 Fax 713.953.5026
Houston, Texas 77042 T.B.P.L.S. Firm No. 10194382

ENGINEER:

LJA Engineering, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

Date: Tue, 08 Aug 2023 7:48:00 PM
Path: \\Name : I:\Projects\PLATTING\2025\03_PLATS\Magnolia Ridge Forest\18.dwg
CAD: ZZ MYLAR CHECK: SUR.

IN TESTIMONY WHEREOF, THE LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY, (AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM U.S. HOME CORPORATION, A DELAWARE CORPORATION), ITS GENERAL PARTNER, THEREUNTO AUTHORIZED, BY ITS VICE PRESIDENT, MICHAEL W. JOHNSON, THIS THE _____ DAY OF _____, 2023.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY

BY: U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY,
(AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM
U.S. HOME CORPORATION, A DELAWARE CORPORATION),
ITS GENERAL PARTNER

BY: _____
MICHAEL W. JOHNSON, VICE PRESIDENT

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, BRANNON BOOZER, VICE PRESIDENT OF LAND, RESPECTIVELY OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND I, MICHAEL W. JOHNSON, VICE PRESIDENT RESPECTIVELY OF U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY, (AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM U.S. HOME CORPORATION, A DELAWARE CORPORATION), GENERAL PARTNER OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MAGNOLIA RIDGE FOREST SECTION 18, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MAGNOLIA RIDGE FOREST SECTION 18, LOCATED IN THE EDWARD TAYLOR SURVEY, ABSTRACT 554, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRANNON BOOZER, ITS VICE PRESIDENT OF LAND, THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2023.

M/I HOMES OF HOUSTON, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

BY: _____
BRANNON BOOZER, VICE PRESIDENT OF LAND

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRANNON BOOZER, VICE PRESIDENT OF LAND, OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL W. JOHNSON, VICE PRESIDENT OF U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY, (AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM U.S. HOME CORPORATION, A DELAWARE CORPORATION), GENERAL PARTNER, OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, GARY D. NUTTER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

GARY D. NUTTER, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5659

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

SCOTT SHELburnE, CHAIRMAN

CHRISTIAN GABLE, INTERIM CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

CHRISTIAN GABLE, INTERIM CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2023, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2023, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

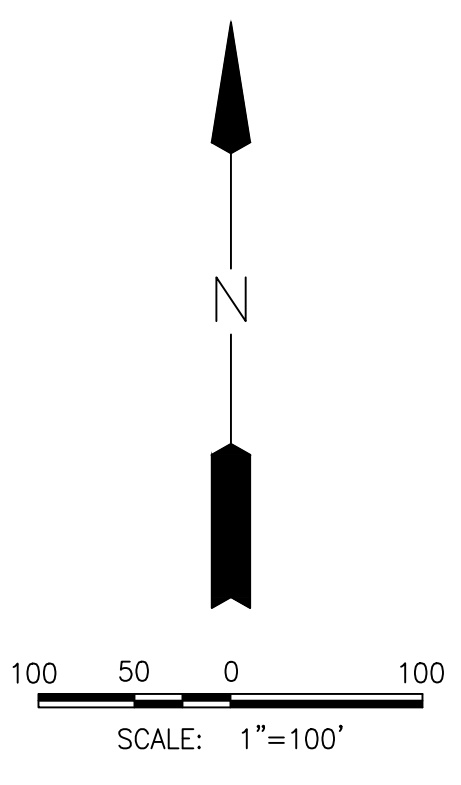
BY: _____
DEPUTY

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 500
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

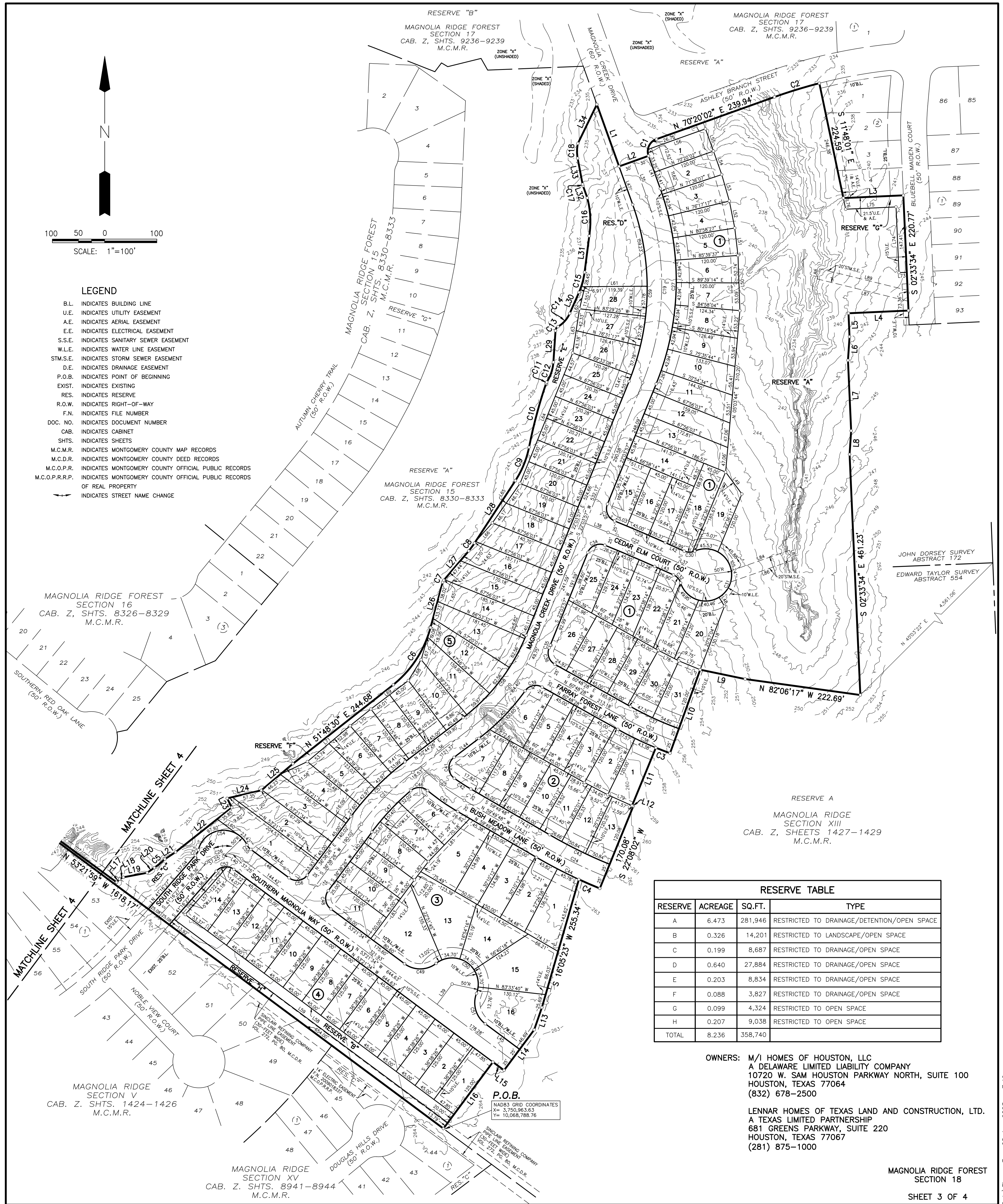
MAGNOLIA RIDGE FOREST
SECTION 18

SHEET 2 OF 4



LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- E.E. INDICATES ELECTRICAL EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- STM.S.E. INDICATES STORM SEWER EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- P.O.B. INDICATES POINT OF BEGINNING
- EXIST. INDICATES EXISTING
- RES. INDICATES RESERVE
- R.O.W. INDICATES RIGHT-OF-WAY
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- INDICATES STREET NAME CHANGE



RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	6.473	281,946	RESTRICTED TO DRAINAGE/DETENTION/OPEN SPACE
B	0.326	14,201	RESTRICTED TO LANDSCAPE/OPEN SPACE
C	0.199	8,687	RESTRICTED TO DRAINAGE/OPEN SPACE
D	0.640	27,884	RESTRICTED TO DRAINAGE/OPEN SPACE
E	0.203	8,834	RESTRICTED TO DRAINAGE/OPEN SPACE
F	0.088	3,827	RESTRICTED TO DRAINAGE/OPEN SPACE
G	0.099	4,324	RESTRICTED TO OPEN SPACE
H	0.207	9,038	RESTRICTED TO OPEN SPACE
TOTAL	8.236	358,740	

OWNERS: M/I HOMES OF HOUSTON, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
 HOUSTON, TEXAS 77064
 (832) 678-2500

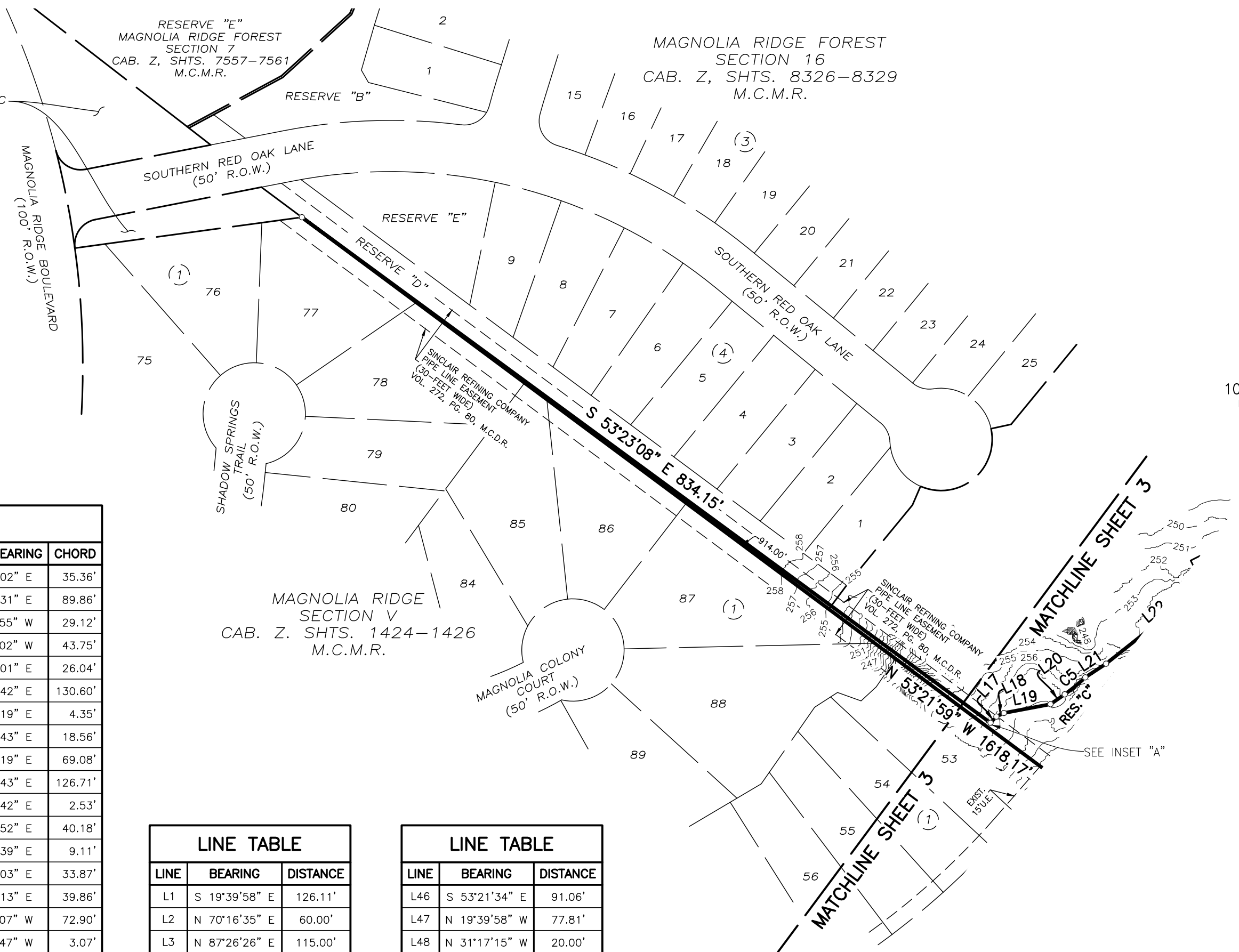
LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 A TEXAS LIMITED PARTNERSHIP
 681 GREENS PARKWAY, SUITE 220
 HOUSTON, TEXAS 77067
 (281) 875-1000

MAGNOLIA RIDGE FOREST SECTION 18

SHEET 3 OF 4

Date: Tue, 08 Aug 2023 7:49am
 Path: I:\Projects\PLATTING\2025\03_PLATS\Magnolia Ridge Forest\Magnolia Ridge Forest 18.dwg
 CAD: ZZ
 MYLAR CHECK: SUR

REMAINDER OF CALLED 581.2398 ACRES MAGNOLIA RIDGE DEVELOPMENT, LLC DOC. NO. 20090921652 M.C.O.P.R.R.P.



100 50 0 100
SCALE: 1"=100'

- LEGEND**
- B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - A.E. INDICATES AERIAL EASEMENT
 - E.E. INDICATES ELECTRICAL EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
 - STM.S.E. INDICATES STORM SEWER EASEMENT
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 - CAB. INDICATES CABINET
 - SHTS. INDICATES SHEETS
 - M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
 - M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
 - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
 - M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
 - INDICATES STREET NAME CHANGE

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	25.00'	90°00'00"	39.27'	N 25°20'02" E	35.36'
C2	975.00'	5°16'56"	89.89'	N 72°58'31" E	89.86'
C3	675.00'	2°28'18"	29.12'	N 68°54'55" W	29.12'
C4	965.00'	2°35'51"	43.75'	N 66°34'02" W	43.75'
C5	210.00'	7°06'31"	26.05'	N 50°32'01" E	26.04'
C6	210.00'	36°13'55"	132.80'	N 33°02'42" E	130.60'
C7	10.00'	25°06'44"	4.38'	N 27°57'19" E	4.35'
C8	156.00'	6°49'21"	18.58'	N 36°15'43" E	18.56'
C9	180.00'	22°07'28"	69.51'	N 22°15'19" E	69.08'
C10	968.11'	7°30'16"	126.80'	N 14°56'43" E	126.71'
C11	10.00'	14°33'41"	2.54'	N 25°58'42" E	2.53'
C12	79.20'	29°23'21"	40.62'	N 18°33'52" E	40.18'
C13	10.01'	54°07'05"	9.45'	N 32°06'39" E	9.11'
C14	55.64'	35°26'18"	34.42'	N 41°27'03" E	33.87'
C15	139.55'	16°25'21"	40.00'	N 15°31'13" E	39.86'
C16	174.20'	24°09'15"	73.44'	N 02°57'07" W	72.90'
C17	20.00'	8°47'44"	3.07'	N 15°09'47" W	3.07'
C18	72.06'	22°42'12"	28.55'	N 00°53'00" E	28.37'
C19	500.00'	41°43'54"	364.18'	S 01°11'59" W	356.18'
C20	400.00'	30°40'30"	214.15'	S 37°24'12" W	211.60'
C21	500.00'	16°06'01"	140.50'	S 44°41'26" W	140.04'
C22	3000.00'	2°03'35"	107.84'	N 66°54'16" W	107.84'
C23	650.00'	9°20'36"	106.00'	N 65°28'46" W	105.88'
C24	940.00'	8°02'09"	131.84'	N 63°50'53" W	131.73'
C25	400.00'	15°13'11"	106.25'	N 52°13'13" W	105.94'
C26	50.00'	85°21'59"	74.50'	S 83°57'26" W	67.79'
C27	525.00'	41°43'54"	382.39'	S 01°11'59" W	373.99'
C28	25.00'	89°56'12"	39.24'	S 22°54'09" E	35.34'
C29	3025.00'	1°59'47"	105.40'	S 66°52'22" E	105.39'
C30	25.00'	48°11'23"	21.03'	S 89°58'10" E	20.41'
C31	50.00'	276°22'46"	241.19'	S 24°07'32" W	66.67'
C32	25.00'	48°11'23"	21.03'	N 41°46'47" W	20.41'
C33	2975.00'	1°59'39"	103.54'	N 66°52'18" W	103.54'
C34	25.00'	90°03'56"	39.30'	S 67°05'55" W	35.38'
C35	425.00'	0°44'50"	5.54'	S 22°26'22" W	5.54'
C36	25.00'	83°37'14"	36.49'	S 18°59'51" E	33.33'
C37	625.00'	9°20'36"	101.92'	S 65°28'46" E	101.81'
C38	675.00'	9°20'36"	110.07'	N 65°28'46" W	109.95'
C39	25.00'	83°37'14"	36.49'	S 77°22'55" W	33.33'
C40	425.00'	17°10'09"	127.35'	S 44°09'22" W	126.88'
C41	25.00'	106°48'12"	46.60'	S 00°39'39" E	40.14'
C42	375.00'	5°46'03"	37.75'	S 56°56'47" E	37.73'
C43	915.00'	8°02'09"	128.33'	S 63°50'53" E	128.23'
C44	965.00'	8°02'09"	135.34'	N 63°50'53" W	135.23'
C45	425.00'	9°29'58"	70.46'	N 55°04'49" W	70.38'
C46	25.00'	79°52'15"	34.85'	S 89°44'02" W	32.10'
C47	475.00'	13°09'29"	109.08'	S 43°13'10" W	108.85'
C48	25.00'	90°00'00"	39.27'	S 08°21'34" E	35.36'
C49	50.00'	74°25'14"	64.94'	N 89°25'49" E	60.47'
C50	50.00'	148°50'29"	129.89'	S 53°21'34" E	96.33'
C51	50.00'	74°25'14"	64.94'	S 16°08'57" E	60.47'
C52	25.00'	85°21'59"	37.25'	S 83°57'26" W	33.90'
C53	25.00'	26°50'27"	11.71'	N 27°51'14" E	11.60'
C54	50.00'	139°02'52"	121.34'	N 83°57'26" E	93.68'
C55	25.00'	26°50'27"	11.71'	S 39°56'21" E	11.60'
C56	25.00'	90°00'00"	39.27'	N 81°38'26" E	35.36'
C57	525.00'	16°06'01"	147.53'	N 44°41'26" E	147.04'
C58	375.00'	30°40'30"	200.77'	N 37°24'12" E	198.38'
C59	475.00'	41°43'54"	345.97'	N 01°11'59" E	338.37'

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 19°39'58" E	126.11'
L2	N 70°16'35" E	60.00'
L3	N 87°26'26" E	115.00'
L4	S 87°26'26" W	115.00'
L5	S 02°33'34" E	45.00'
L6	S 03°46'50" W	45.28'
L7	S 02°33'34" E	135.00'
L8	S 03°46'50" W	45.28'
L9	N 78°13'17" W	87.86'
L10	S 19°50'56" W	170.00'
L11	S 22°19'14" W	120.00'
L12	S 69°31'15" E	2.59'
L13	S 19°05'54" W	45.10'
L14	S 36°38'26" W	96.69'
L15	N 53°21'34" W	26.56'
L16	S 36°38'26" W	158.79'
L17	N 43°05'23" E	13.13'
L18	N 64°28'14" E	8.15'
L19	N 79°18'34" E	46.32'
L20	N 55°07'57" E	16.90'
L21	N 56°43'42" E	24.35'
L22	N 51°34'39" E	137.48'
L23	N 27°03'08" W	19.62'
L24	N 76°47'13" E	67.17'
L25	N 49°52'30" E	79.01'
L26	N 15°00'46" E	89.81'
L27	N 40°30'41" E	73.73'
L28	N 33°11'56" E	142.98'
L29	N 03°52'11" E	60.50'
L30	N 23°43'54" E	44.12'
L31	N 07°18'33" E	70.15'
L32	N 19°33'39" W	24.56'
L33	N 10°45'55" W	50.67'
L34	N 25°56'44" E	83.20'
L35	S 19°39'58" E	72.23'
L36	S 52°44'26" W	139.90'
L37	N 65°52'28" W	95.54'
L38	N 67°56'03" W	46.63'
L39	S 36°38'26" W	48.14'
L40	N 06°02'34" W	5.00'
L41	S 19°39'58" E	66.66'
L42	S 65°52'28" E	39.64'
L43	N 65°52'28" W	39.64'
L44	S 52°44'26" W	59.71'
L45	S 53°21'34" E	81.96'

LINE TABLE

LINE	BEARING	DISTANCE
L46	S 53°21'34" E	91.06'
L47	N 19°39'58" W	77.81'
L48	N 31°17'15" W	20.00'
L49	N 36°31'50" W	52.43'
L50	N 01°59'48" W	105.83'
L51	N 06°40'58" W	52.74'
L52	N 11°22'08" W	52.74'
L53	N 16°03'18" W	52.74'
L54	N 19°28'35" W	47.68'
L55	N 19°39'58" W	45.25'
L56	N 70°20'02" E	116.93'
L57	S 41°16'27" W	121.54'
L58	S 53°21'34" W	64.122'
L59	S 53°21'34" E	652.88'
L60	N 53°21'34" W	52.59'
L61	S 89°32'26" W	126.30'
L62	S 13°27'52" W	43.47'
L63	S 08°49'14" W	85.51'
L64	S 21°58'32" W	269.57'
L65	S 35°01'02" W	92.35'
L66	S 42°06'30" W	47.90'
L67	S 16°21'24" W	44.79'
L68	S 31°29'13" W	46.87'
L69	S 52°44'26" W	90.01'
L70	S 51°13'36" W	51.15'
L71	S 49°57'55" W	106.73'
L72	S 64°49'12" W	57.45'
L73	S 87°26'26" W	15.00'
L74	N 02°33'34" W	125.91'
L75	S 87°26'26" W	96.50'
L76	N 11°48'01" W	21.78'
L77	N 67°38'52" W	44.12'
L78	S 62°40'48" E	44.26'
L79	N 65°50'18" W	51.09'
L80	N 62°12'37" W	50.31'
L81	N 43°53'29" E	114.26'
L82	S 37°18'44" W	44.19'
L83	N 36°38'26" E	127.35'
L84	S 70°37'58" W	118.09'
L85	N 19°22'02" W	20.00'
L86	N 70°37'58" E	126.40'
L87	S 76°15'56" E	179.18'
L88	S 13°44'04" W	20.00'
L89	N 76°15'56" W	173.34'

BLOCK 1

LOT NO.	SQ.FT.
1	5,418
2	5,559
3	5,723
4	5,723
5	5,723
6	5,723
7	5,837
8	6,009
9	6,241
10	6,720
11	7,210
12	7,467
13	8,086
14	6,661
15	5,950
16	5,397
17	5,413
18	7,616
19	6,238
20	6,805
21	5,562
22	6,288
23	6,150
24	5,948
25	6,285
26	6,436
27	5,400
28	5,400
29	5,400
30	5,871
31	5,939

BLOCK 2

LOT NO.	SQ.FT.
1	5,655
2	5,624
3	5,400
4	5,400
5	5,400
6	6,758
7	7,417
8	5,292
9	5,327
10	5,361
11	5,553
12	5,712
13	5,713

BLOCK 3

LOT NO.	SQ.FT.
1	8,272
2	6,937
3	6,749
4	6,749
5	8,317
6	6,935
7	5,760
8	5,701
9	5,400
10	5,400
11	5,866
12	11,088
13	11,654
14	8,059
15	11,932
16	10,281

BLOCK 4

LOT NO.	SQ.FT.
1	5,982
2	5,625
3	5,625
4	5,625
5	5,625
6	5,625
7	5,625
8	5,625
9	5,625
10	5,625
11	5,625
12	5,625
13	5,625
14	6,022

BLOCK 5

LOT NO.	SQ.FT.
1	11,097
2	8,350
3	7,290
4	6,807
5	6,078
6	5,806
7	5,658
8	5,400
9	5,400
10	6,001
11	7,367
12	8,138
13	8,499
14	8,332
15	7,996
16	7,336
17	6,701
18	6,098
19	5,633
20	5,402
21	5,405
22	5,408
23	5,411
24	5,414
25	5,569
26	6,220
27	6,368
28	6,220

NOTES:

- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 TEXAS COORDINATE SYSTEM, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE 0.9999717219.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 2021-0582, DATED JUNE 28, 2022. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "LJA SURVEY" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0480G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED). ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "LJA DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- THE PIPELINES AND/OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
- SHORT FORM BLANKET EASEMENT FOR CERTAIN UTILITIES GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC AND CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS AND SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS, BY INSTRUMENT RECORDED IN/UNDER CLERK'S FILE NO. 2010019737 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS.

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 500
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067

Charter Title Company

845 Texas Avenue, Suite 3910, Houston, Texas 77002
(713) 222-6060

CITY PLANNING SEARCH REPORT

August 9, 2023

**City of Magnolia Planning Commission
18111 Buddy Riley Blvd.
Magnolia, Texas 77534**

We, Charter Title Company duly incorporated and doing business under the laws of the State of Texas, hereby certify that we have made a careful search of the Real Property Records MONTGOMERY County, Texas, through an effective date of July 28, 2023, insofar as they pertain to:

Magnolia Ridge Forest Section 18

Being 27.570 acre tract of land located in the Edward Taylor Survey, Abstract 554, Montgomery County, Texas, said 27.599 acre tract being a portion on Reserve "A" of Magnolia Ridge Section XIII, a subdivision of record under Cabinet Z, Sheet 1427-1429 of the Montgomery County Map Records (M.R.M.R.) and a portion of that certain called 172.741 acre tract to M/I Homes of Houston, LLC (Undivided 50% Interest) Lennar Homes of Texas Land and Construction, Ltd., (Undivided 50% Interest) by an instrument of record under Document Number 2021174981 of the Official Public Records of Montgomery County, Teas (M.C.O.P.R.), said 27.599 acres being more particularly described by metes and bounds in Exhibit "A" attached hereto:

And find the following:

RECORD TITLE APPEARS TO BE VESTED IN:

M/I HOMES OF HOUSTON, LLC, a Delaware limited liability company and LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., a Texas limited partnership

EASEMENTS AND OTHER ENCUMBRANCES:

All oil, gas and other minerals, as set forth in instrument recorded in Volume 219, Page 243 (41038375), of the Deed Records of Montgomery County, Texas.

1/2 of all oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same are excepted herefrom as set forth in instrument recorded under

Montgomery County Clerk's File No. 8420421.

All oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same are excepted herefrom as set forth in instrument recorded under Montgomery County Clerk's File No. 2004-099106. Title to said interest not checked subsequent to date of aforesaid instrument.

All oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same are excepted herefrom as set forth in instruments recorded under Montgomery County Clerk's File No(s). 2004-075842 and 2004-076521. Waiver of Surface Rights as set forth in instrument recorded under Montgomery County Clerk's File No. 2004-076523.

Ordinance extending the limits of the City of Magnolia, Texas, in accordance with Ordinance No. 2005-359, a certified copy of which is recorded under Montgomery County Clerk's File No. 2005-034695.

Blanket Easement granted to CenterPoint Energy Houston Electric, LLC ("CNP Electric"), CenterPoint Energy Resources Corp., d/b/a CenterPoint Energy Texas Gas Operations ("CNP Gas"), and Southwestern Bell Telephone Company, d/b/a AT&T Texas ("AT&T"), and Comcast of Houston LLC ("Comcast"), as recorded under Montgomery County Clerk's File No. 2010019737. Affected by a Partial Release as recorded under Montgomery County Clerk's File No. 2020005785.

Memorandum of Option by and between Magnolia Ridge Development, LLC, and M/I Homes of Houston, LLC, as recorded under Montgomery County Clerk's File No. 2018086869. As Amended under Montgomery County Clerk's File No. 2021023221.

Easements and building setback shown and/or noted on plat recorded in Cabinet "Z", Sheets 1427-1429 of the Map Records of Montgomery County, Texas. (as to that portion of subject property out of Unrestricted Reserve "A" of said subdivision) Pipeline right-of-way easement granted to Sinclair Refining Company, as set forth and described in instruments recorded in Volume 270, Page 463 and Volume 270, Page 458 of the Deed Records of Montgomery County, Texas.

Utility easement granted to Houston Lighting and Power Company, as set forth and defined in instrument recorded under Montgomery County Clerk's File No. 9810132.

Easements for electric distribution facilities, natural gas facilities and communications facilities granted to CenterPoint Energy Houston Electric, LLC and CenterPoint Energy Resources Corp., d/b/a CenterPoint Energy Texas Gas Operations, as set forth and defined in instrument recorded under Montgomery County Clerk's File No. 2010013590.

Terms, conditions and stipulations of that certain Easement and Right-of-Way Agreement as set forth and defined in instrument recorded under Montgomery County Clerk's File No. 2010015018.

Terms, conditions and stipulations of that certain Easement granted to CenterPoint Energy Houston Electric, LLC and CenterPoint Energy Resources Corp., d/b/a CenterPoint Energy Gas Operations, as set forth and defined in instrument recorded under Montgomery County Clerk's File No. 2009018337.

On-site wastewater treatment system as set forth in Affidavit recorded under Montgomery County Clerk's File No. 9760312.

Waiver of surface rights as set forth therein and as set forth in instrument recorded under Montgomery County Clerk's File No. 2004-099107.

Terms, conditions and stipulations contained in that certain Waiver of Special Appraisal for the Benefit of Montgomery County Municipal Utility District 108, as set forth in instrument recorded under Montgomery County Clerk's File No(s). 2021148470.

RESTRICTIONS:

Those restrictive covenants of recorded in Cabinet Z, Sheets 1427-1429, Map Records, Montgomery County, Texas.

LIENS:

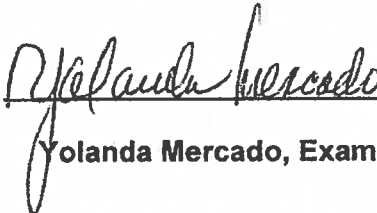
None of Record.

No examination has been made as to Abstract of Judgments, state or federal tax liens, the status of taxes, tax suits, or paving assessments.

This certificate is issued for the use of and shall inure to the benefit of City of Magnolia; and liability of Charter Title Company hereunder for mistakes and/or errors in this certificate is limited to the cost of said certificate.

This company does not undertake to give or express any opinion as to the validity of the title to the property above described, nor the validity or effect of the instruments listed, and this certificate is neither a guaranty nor warranty of title.

Prepared by:
Charter Title Company

BY: 
Yolanda Mercado, Examiner

August 9, 2023

MEMO

TO: Timothy W. Robertson, P.E. **DATE:** 08/14/2023
FROM: Connor McBride, P.E. **PROJECT NO.:** 41020-03
cc: Nathan Billiot, P.E.
RE: 42-3308 McDonald's at 13337 FM 1488 Plan Review Comments

1. The proposed onsite drainage system shows to tie into a drainage system to be built by others. Will the offsite systems be completed in time to accept the onsite drainage?
Response: The developer's storm system has already been constructed.
2. The time of concentration of 21.9 minutes and 24 minutes that have been developed are very long for this small commercial site. Please adjust the times appropriately or supply detailed calculations that substantiate these calculated times.
Response: Time of concentrations have been revised to minimums (10 minutes).
3. The legend on the drainage plan sheet indicates that either a 2-year or 10-year design was used. The next sheet indicates that the storm sewers were designed based on a 5-year storm event. What is the design storm?
Response: A 5-yr design storm. The legend on Sheet C-3.10 has been updated.
4. The west entrance to the building is one of the darkest areas onsite. Additional lighting in this area is necessary.
Response: A light pole near the building entrance has been added. Please find updated photometric plan attached.
5. Correct sheet numbering in title block on plan sheet with drainage calculations. Shows C-2.10 and it should be C-3.20.
Response: Revised.
6. Sheet C-3.30 is not listed in the sheet index on C-0.00.
Response: Revised.
7. There are discrepancies on the elevations between the Benchmark table and the callouts on the survey map on Sheet C-0.10. Plan callouts for Control Point #13 are not fully visible on several plan sheets. Please review and confirm that all plan callouts

MEMO

42-3308 FM 1488 McDonalds

Page 2 of 2

regarding benchmark elevations are visible and elevations are consistent/correct on all sheets.

Response: Discrepancies between elevations on Benchmark Table and callouts have been revised. Plan callout for CP 13 has been revised to be more visible on plan sheets.

8. Re: Sheet C-0.10. Title block indicates this sheet is a "SWPPP Plan Details" and it's the land survey.

Response: Revised

9. Re: Sheet C-2.20. FDC shall be within 100' of fire hydrant.

Response: Plans are currently in review with Montgomery County Fire Marshal. It is currently understood that FDC shall be within 150' of fire hydrant. We will coordinate with MC Fire Marshal on their requirements regarding this item.

10. Sheet C-3.30 is not listed in the sheet index on C-0.00.

Response: Revised.

11. City personnel have not performed a plan review to confirm compliance with Texas Accessibility Standards (TAS). It is the responsibility of the owner and/or design professional to follow the procedures of the of the Texas Department of Licensing and Regulation Architectural Barriers Program and comply with TAS. Please confirm and acknowledge.

Response: Confirmed and acknowledged, plans have been registered under TDLR Number TABS2023006165 and reviewed.

-END MEMO-

PROPOSED LINEUP



- GENERAL NOTES:**
1. PARKING SHARED ACROSS PAD A & PAD R FOR A RATIO OF: **8.2 PS / 1k**
 2. PARKING SHARED ACROSS PAD B & C.
 3. PRELIMINARY CIVIL REVIEW & COORDINATION RECOMMENDED FOR PROPOSED DRAINAGE/DETENTION SYSTEMS.
 4. NEW PD REQUIREMENTS / REVIEW NOT YET IMPLEMENTED.
 5. DEVELOPMENT NO LONGER WITHIN CITY OF MAGNOLIA ETJ. MAGNOLIA PLANNED DEVELOPMENT ZONING TO BE VERIFIED. NEW PD INFORMATION NOT YET REFLECTED IN PLAN.
 6. TYPICAL DRIVE-CUT SPACING ON A 50 MPH STATE HIGHWAY DESIGNATED AS 425' PER TxDOT ROADWAY DESIGN MANUAL.
 7. PRELIMINARY SIGNAGE LOCATIONS. (PENDING APPROVAL)
 - SIGNAGE A : MONUMENT SIGN FOR THREE TENANT PAD MONUMENT SIGNS.
 - SIGNAGE B : MONUMENT SIGN FOR MULTI-TENANT BUILDINGS.
 - SIGNAGE C : PYLON SIGN FOR REAR TENANTS / JR ANCHOR.

PRELIMINARY SITE PLAN

Scale: 1" = 100'

identityARCHITECTS

111 Travis Street, Houston, Texas 77002
www.identityarchitects.com 713.595.2150



COMMERCIAL DEVELOPMENT

March 17, 2023

SPUR 149 RD @ F.M. 1488
MAGNOLIA, TX
18050-01_SITE

THIS DRAWING IS FOR PRESENTATION PURPOSES ONLY. ANY AND ALL FEATURES, MATTERS AND OTHER INFORMATION DEPICTED HEREON OR CONTAINED HEREIN ARE FOR ILLUSTRATIVE MARKETING PURPOSES ONLY, ARE SUBJECT TO MODIFICATION WITHOUT NOTICE, ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY AND ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND WARRANTIES AS TO THE SIZE AND NATURE OF IMPROVEMENTS TO BE CONSTRUCTED OR THAT ANY IMPROVEMENTS WILL BE CONSTRUCTED OR AS TO THE IDENTITY OR NATURE OF ANY OCCUPANTS THEREOF.

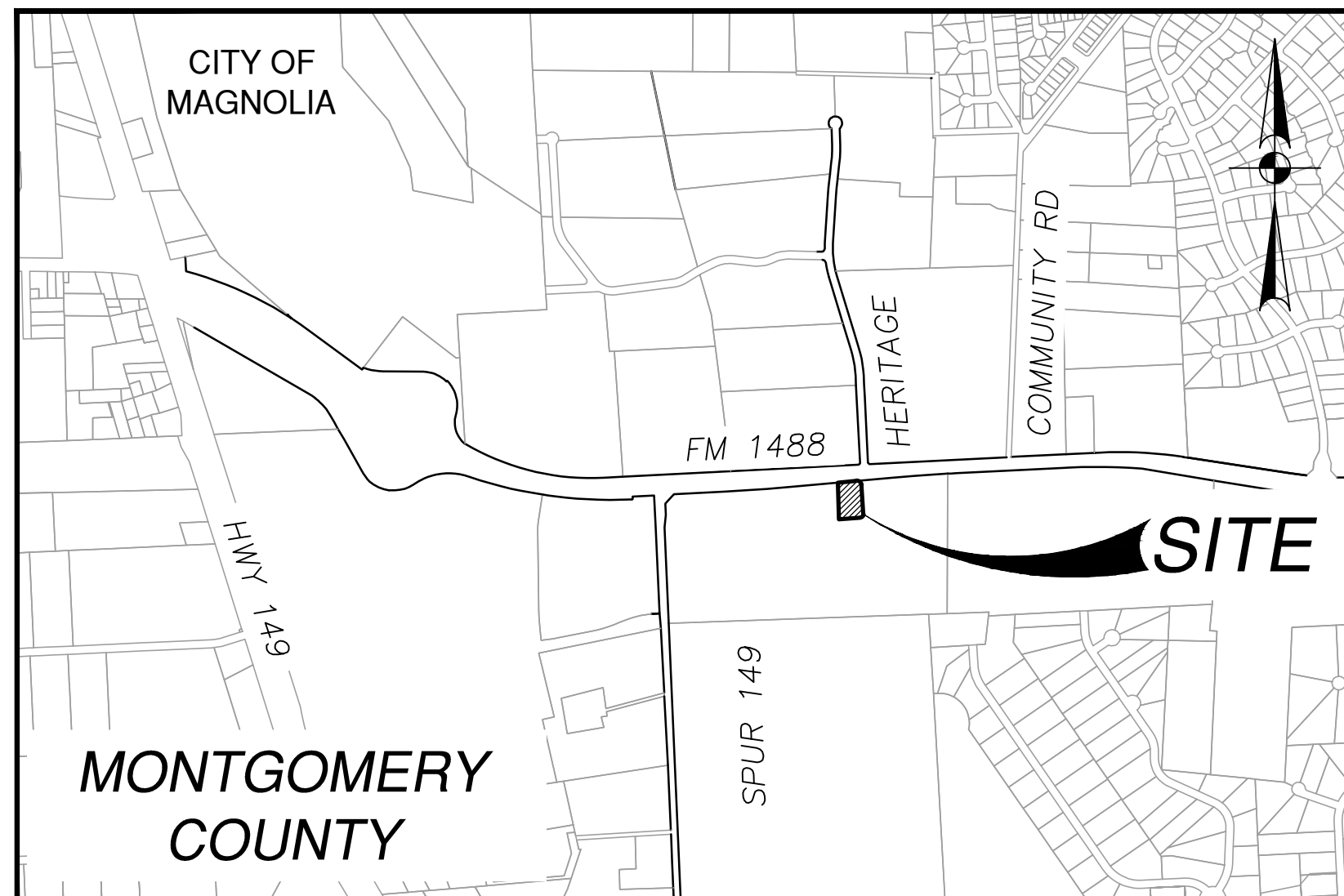
CIVIL PLANS
FOR
McDonald's
(42-3308)
AT
13337 FM 1488

CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS 77354

REVISION

SHEET INDEX

Description	Sheet No.
COVER SHEET	C-0.00
ALTA-NSPS LAND SURVEY	C-0.10
DEMOLITION PLAN	C-1.00
OVERALL SITE PLAN	C-2.00
PAVING PLAN	C-2.10
FIRE PROTECTION PLAN	C-2.20
GRADING PLAN	C-3.00
DRAINAGE PLAN	C-3.10
DRAINAGE CALCULATIONS	C-3.20
DETENTION PLAN (REFERENCE)	C-3.30
UTILITY PLAN	C-4.00
STORM WATER POLLUTION PREVENTION PLAN	C-5.00
STORM WATER POLLUTION PREVENTION PLAN DETAILS	C-5.10
DETAIL SHEET (SHEET 1 OF 3)	C-6.00
DETAIL SHEET (SHEET 2 OF 3)	C-6.10
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LANDSCAPE PLAN	LP-1
LANDSCAPE SPECS & SCHED	LP-2
LANDSCAPE DETAILS	LP-3



VICINITY MAP

NOT-TO-SCALE

ZIP CODE: 77354

JUNE 2023

PROJECT TEAM

OWNER

MCDONALD'S - HOUSTON REGION
3707 FM 1960, SUITE 300
HOUSTON, TX 77068
PH: 281.587.7300
ATTN: JORGE MARTINEZ

CIVIL ENGINEER

PAPE - DAWSON ENGINEERS, INC.
10333 RICHMOND AVE, SUITE 900
HOUSTON, TX 77042
PH: 713.428.2400
ATTN: NATHAN C. BILLIOT, P.E.

ARCHITECT

CASTLE'S DESIGN GROUP, INC.
3801 KIRBY DRIVE, SUITE 600
HOUSTON, TEXAS 77098
PH: 713-664-7974
ATTN: ALEXANDER M. FAZZINO, AIA

MEP ENGINEER

MPW ENGINEERING
110W, 7TH STREET, STE 600
TULSA, OK 74119
ATTN: -

CONTRACTOR

TBD

STRUCTURAL ENGINEER

SHULTZ BURMAN ENGINEERING, PLLC
12804 WILLOW CENTER DRIVE
SUITE B
HOUSTON, TX 77066
ATTN: ANDREW BRUMAN

UTILITY PROVIDERS:

WATER: CITY OF MAGNOLIA
SANITARY SEWER: CITY OF MAGNOLIA
GAS: EPCOR
TELEPHONE: AT&T



HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713.428.2400
TBP FIRM REGISTRATION #470 | TBP LBS FIRM REGISTRATION #10193974

LEGAL DESCRIPTION

A 1.105 ACRE, OR 48,132 SQUARE FEET MORE OR LESS, TRACT OF LAND, BEING A PORTION OF A 20.951 ACRE TRACT OF LAND CONVEYED TO GC MAGNOLIA, LP, AS DESCRIBED IN A DEED RECORDED IN MONTGOMERY COUNTY CLERK'S FILE NO. 2021118371, AND BEING PARTIALLY OUT OF THE MAGNOLIA VILLAGE SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 2022006682 AND CABINET 002, SHEET 8123-8125 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS, SITUATED IN THE HAMPTON TILLONS SURVEY, ABSTRACT NUMBER 556, IN THE CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS.

FEMA FLOODPLAIN NOTE

THE SUBJECT PROPERTY IS WITHIN THE FOLLOWING FLOOD ZONE(S) AS DEPICTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP NUMBER 48339C0485G, DATED AUGUST 14, 2014 FOR MONTGOMERY COUNTY, TEXAS AND INCORPORATED AREAS. THIS DATA IS AVAILABLE ON THE WEBSITE WWW.MSC.FEMA.GOV.
ZONE X (UNSHADED), DEFINED AS: "OTHER AREAS; AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN."



Nathan C. Billiot

C-0.00

Date: Aug 14, 2023, 6:49pm, User: (b: mvalbena, File: K:\Projects\410\20\03\2-0 Design\2-1 Civil\2-1-4 Plans\Sheets\00.00-4102003-CV.dwg

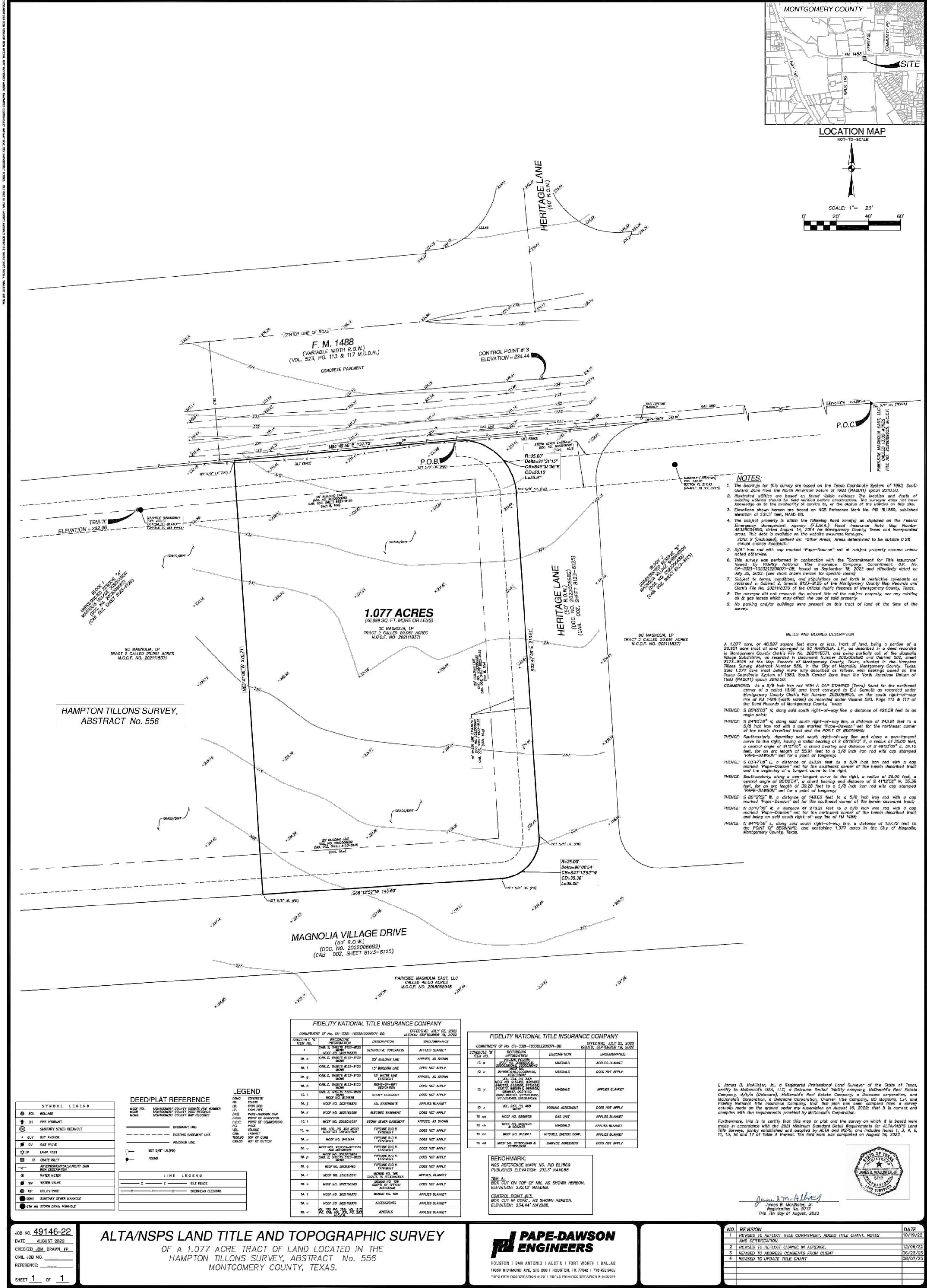
CALL BEFORE YOU DIG!
TEXAS ONE CALL PARTICIPANTS REQUEST
48 HOURS NOTICE BEFORE YOU DIG, DRILL,
OR BLAST - STOP CALL.

Texas One Call System

1-800-344-8377

MCDONALD'S No. 42-3308, 13337 FM 1488, CITY OF MAGNOLIA, TEXAS

Date: Aug 08, 2023, 8:13am User: ID: hvalbana File: K:\Projects\41012003\2-1-Civil\2-1-1-Plans\Sheets\0010-1-4102003-LS.dwg

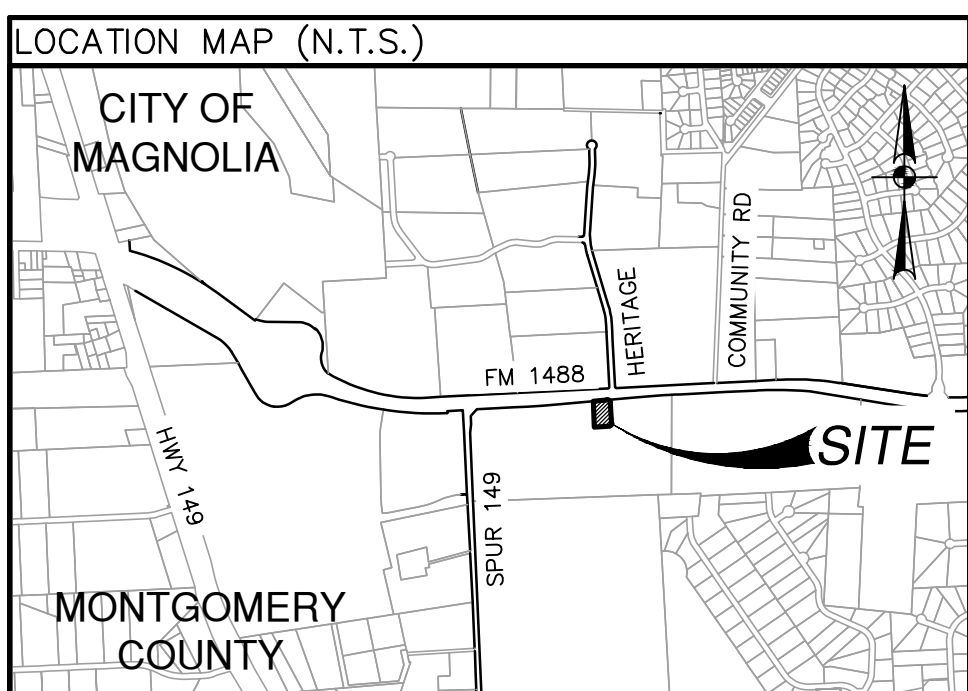


JOB NO. 49146-22
DATE: AUGUST 2023
DRAWN: JIM SHAWL, P.E.
CHECKED: JIM SHAWL, P.E.
CIVIL NO. 201118371
REFERENCE: 0010-1-4102003-LS.dwg
SHEET 1 OF 1

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY
OF A 1.077 ACRE TRACT OF LAND LOCATED IN THE
HAMPTON TILLONS SURVEY, ABSTRACT No. 556
MONTGOMERY COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS
HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
1055 RICHMOND AVE., STE 200 | HOUSTON, TX 77042 | 713-428-2400
TXPE FIRM REGISTRATION #470 | TPLS FIRM REGISTRATION #10193074

NO.	REVISION	DATE
1	ISSUED TO REFLECT THE COMMENTS, ADD THE CHECK NOTES AND CORRECT THE PLAN	08/14/23
2	ISSUED TO REFLECT CHANGE IN ADDRESS	12/06/23
3	ISSUED TO ADDRESS COMMENTS FROM CLIENT	08/23/23
4	ISSUED TO UPDATE THE CHECK	08/23/23



GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
- NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND T&S STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

SURVEY

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	22	90" SPACES 20'-0" X 9'-0"
43	--	60" SPACES 20'-0" X 9'-0"
	--	--

PLAN SCALE: N/A

STREET ADDRESS
13337 FM 1488

CITY
MAGNOLIA

STATE
TEXAS

COUNTY
MONTGOMERY

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
DRAWING TITLE **0010-4102003-LS.dwg**

PLAN APPROVALS

REGIONAL MANAGER	RECONSTRUCTION MGR	OPERATIONS MANAGER	REAL ESTATE MANAGER	CONTRACTOR OWNER

CO-SIGN SIGNATURES

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		

SHEET INDEX

C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
C-1.00 DEMOLITION PLAN
C-2.00 OVERALL SITE PLAN
C-2.10 PAVING PLAN
C-2.20 FIRE PROTECTION SITE PLAN
C-3.00 GRADING PLAN
C-3.10 DRAINAGE PLAN
C-3.20 DRAINAGE CALCULATIONS
C-3.30 DETENTION PLAN (REFERENCE)
C-4.00 UTILITY PLAN
C-5.00 SWPPP PLAN
C-5.10 SWPPP PLAN DETAILS
C-6.00 DETAIL SHEET (SHEET 1 OF 3)
C-6.10 DETAIL SHEET (SHEET 2 OF 3)
C-6.20 DETAIL SHEET (SHEET 3 OF 3)

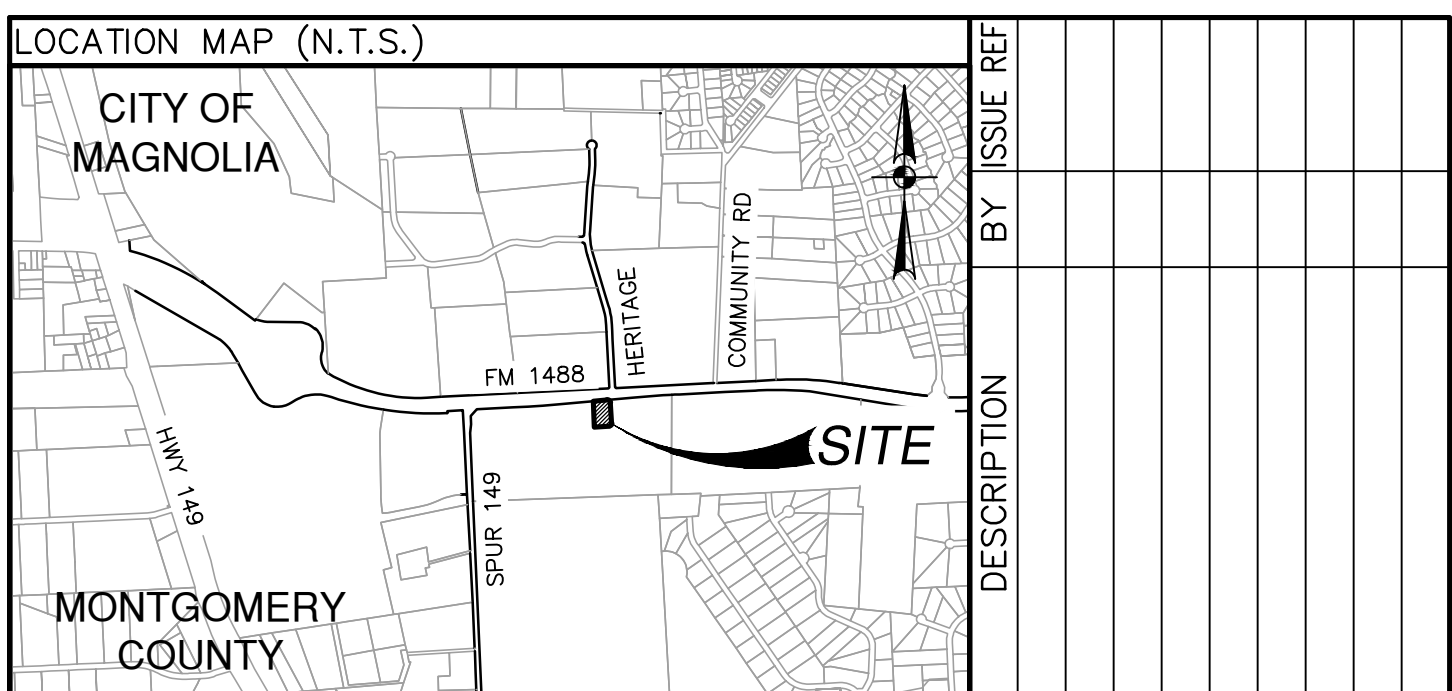
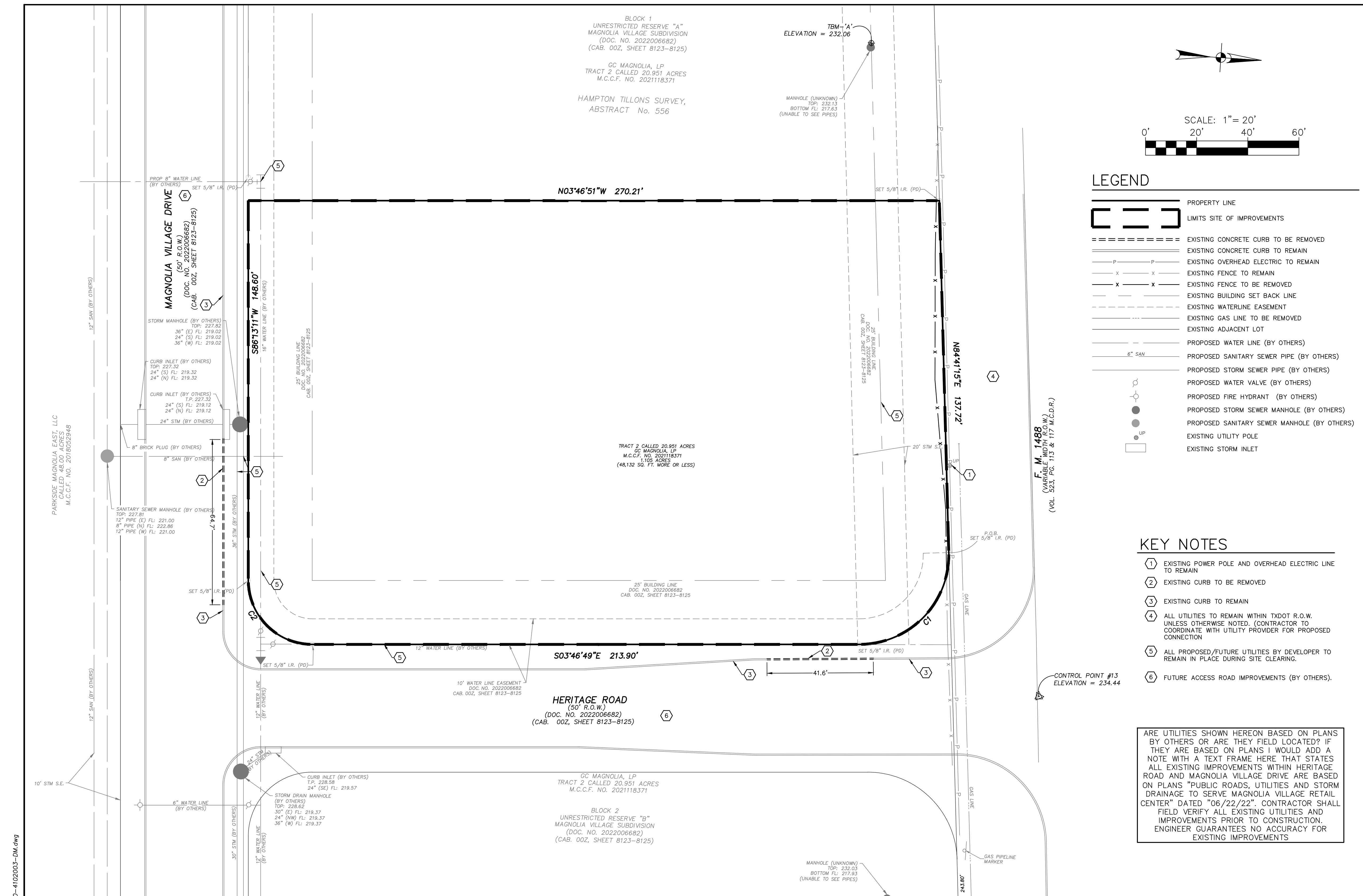
STATE OF TEXAS
NATHAN C. BILLIOT
96488
LICENSED PROFESSIONAL ENGINEER
8/14/2023
Nathan C. Billiot
PAPE-DAWSON ENGINEERS

McDonald's

MCDONALD'S USA - SOUTH TEXAS TEAM
3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

OFFICE ADDRESS

NEW



LEGEND

	PROPERTY LINE
	LIMITS SITE OF IMPROVEMENTS
	EXISTING CONCRETE CURB TO BE REMOVED
	EXISTING CONCRETE CURB TO REMAIN
	EXISTING OVERHEAD ELECTRIC TO REMAIN
	EXISTING FENCE TO REMAIN
	EXISTING FENCE TO BE REMOVED
	EXISTING BUILDING SET BACK LINE
	EXISTING WATERLINE EASEMENT
	EXISTING GAS LINE TO BE REMOVED
	EXISTING ADJACENT LOT
	PROPOSED WATER LINE (BY OTHERS)
	PROPOSED SANITARY SEWER PIPE (BY OTHERS)
	PROPOSED STORM SEWER PIPE (BY OTHERS)
	PROPOSED WATER VALVE (BY OTHERS)
	PROPOSED FIRE HYDRANT (BY OTHERS)
	PROPOSED STORM SEWER MANHOLE (BY OTHERS)
	PROPOSED SANITARY SEWER MANHOLE (BY OTHERS)
	EXISTING UTILITY POLE
	EXISTING STORM INLET

- ### KEY NOTES
- EXISTING POWER POLE AND OVERHEAD ELECTRIC LINE TO REMAIN
 - EXISTING CURB TO BE REMOVED
 - EXISTING CURB TO REMAIN
 - ALL UTILITIES TO REMAIN WITHIN TYPED R.O.W. UNLESS OTHERWISE NOTED. (CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR PROPOSED CONNECTION)
 - ALL PROPOSED/FUTURE UTILITIES BY DEVELOPER TO REMAIN IN PLACE DURING SITE CLEARING.
 - FUTURE ACCESS ROAD IMPROVEMENTS (BY OTHERS).

ARE UTILITIES SHOWN HEREON BASED ON PLANS BY OTHERS OR ARE THEY FIELD LOCATED? IF THEY ARE BASED ON PLANS I WOULD ADD A NOTE WITH A TEXT FRAME HERE THAT STATES ALL EXISTING IMPROVEMENTS WITHIN HERITAGE ROAD AND MAGNOLIA VILLAGE DRIVE ARE BASED ON PLANS "PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER" DATED "06/22/22". CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION. ENGINEER GUARANTEES NO ACCURACY FOR EXISTING IMPROVEMENTS

- ### GENERAL NOTES
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
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 - COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
 - CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
 - THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
 - DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
 - THE SPS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
 - NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND T&S STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

NIS REFERENCE MARK NO. PD BL1869
PUBLISHED ELEVATION: 231.37 NAVD83
BM A
BOX CUT ON TOP OF M.N. AS SHOWN HEREON.
ELEVATION: 232.12 NAVD83
CONTROL POINT #13
BOX CUT IN CONC. AS SHOWN HEREON.
ELEVATION: 234.44 NAVD83

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

SITE PREPARATION PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	21	90' SPACES 20'-0" X 9'-0"
43	21	60' SPACES 20'-0" X 9'-0"
	--	--
	--	--

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
TXBLS FIRM REGISTRATION #470 | TPLS FIRM REGISTRATION #10109074

PLAN SCALE: 1" = 20'

STREET ADDRESS
13337 FM 1488

CITY **MAGNOLIA** STATE **TEXAS**
COUNTY **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
DRAWING TITLE **01.00-4102003-DM.dwg**

NEW

REV	DATE	DESCRIPTION	BY	ISSUE REF

McDonald's

OFFICE ADDRESS: 3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

PLAN APPROVALS	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)	CONTRACTOR OWNER
REGIONAL MANAGER	OWNER
REC CONSTRUCTION MGR	
OPERATIONS MANAGER	
REAL ESTATE MANAGER	

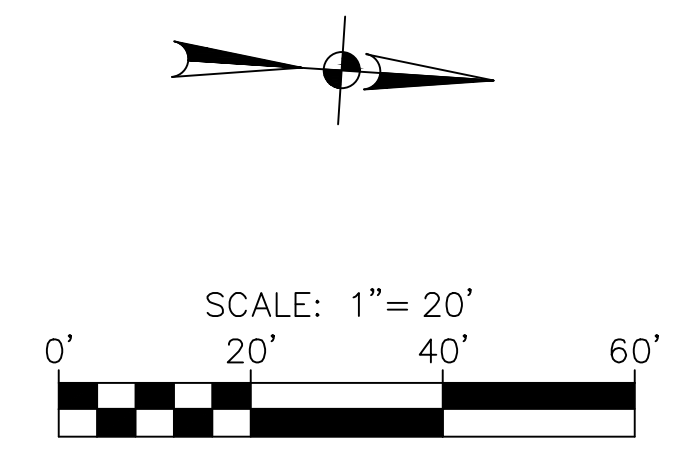
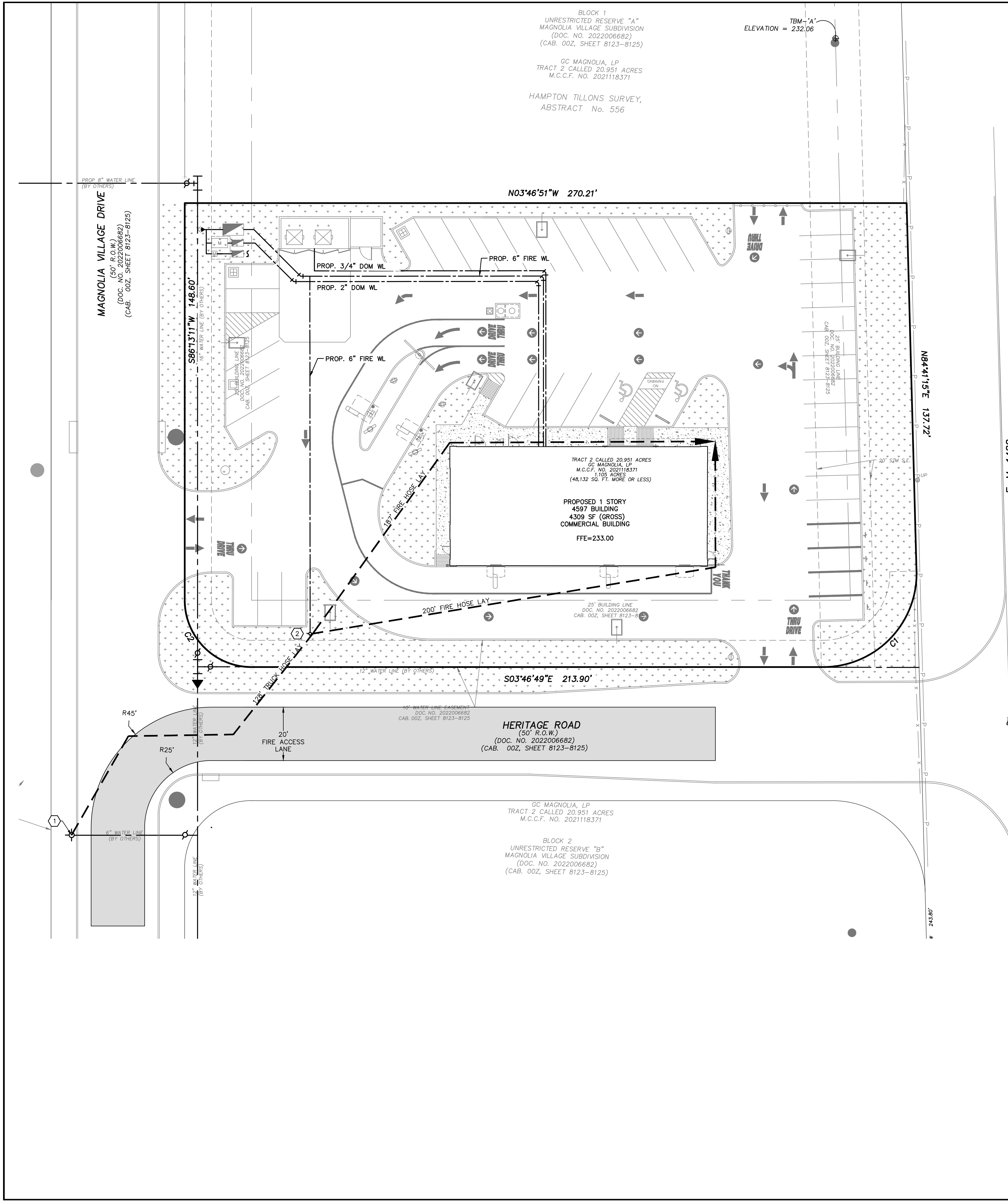
STATUS: PRELIMINARY | DATE: | BY: |

PLAN DRAWN: | PLAN CHECKED: |

SHEET INDEX

C-0.00 COVER SHEET	C-6.10 DETAIL SHEET (SHEET 1 OF 3)
C-0.10 ALTA-NSPS LAND SURVEY	C-6.20 DETAIL SHEET (SHEET 2 OF 3)
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C-3.00 GRADING PLAN	
C-3.10 DRAINAGE PLAN	
C-3.20 DRAINAGE CALCULATIONS	
C-3.30 DETENTION PLAN (REFERENCE)	
C-4.00 UTILITY PLAN	
C-5.00 SWPPP PLAN	
C-5.10 SWPPP PLAN DETAILS	

- ### DEMOLITION NOTES
- LOCATION OF EXISTING UTILITIES AND DRAINAGE STRUCTURES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SCHEDULED TO REMAIN.
 - DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION CONTRACTOR.
 - ALL EXISTING ITEMS WITHIN PROPERTY LINES NOT SPECIFICALLY NOTED TO REMAIN SHALL BE REMOVED. ALL PROPOSED DEVELOPER UTILITIES "LABELED AS "FUTURE"/"BY OTHERS" ARE TO REMAIN IN PLACE. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT ARE TO REMAIN.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES. POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
 - CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.
 - DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, GAS UTILITY PROVIDER MUST MAINTAIN ACCESS TO VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
 - ALL EXISTING ELECTRIC SERVICES TO BE REMOVED ARE TO BE BY ELECTRIC SERVICE PROVIDER AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CPS AND OWNER AS REQUIRED BEFORE REMOVAL OF ANY ELECTRIC FACILITIES.
 - NO EXISTING ASPHALT SCHEDULED FOR REMOVAL SHALL REMAIN ON-SITE OR BE USED AS FILL MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIAL OFFSITE FOLLOWING ALL APPLICABLE DISPOSAL REGULATIONS.
 - CONTRACTOR SHALL NOT DISTURB ANY LAND WITHIN THE PUBLIC R.O.W. OF FM 1488 WITHOUT A TYPED PERMIT. ALL OTHER SITE WORK AND DEMOLITION TO BE CONTAINED WITHIN LIMITS OF DEMOLITION AS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT AND OWNER FOR ANY TREE REMOVAL PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH ELECTRIC PROVIDER TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED. ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.
 - CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL APPROPRIATE STORM WATER POLLUTION PREVENTION MEASURES ARE INSTALLED AND APPLICABLE REGULATORY REQUIREMENTS ARE COMPLETED.
 - CONTRACTOR SHALL CONFIRM WITH THE OWNER OR THEIR DESIGNATE WHETHER TO SALVAGE AND MAKE ARRANGEMENTS TO STORE TRANSPLANTABLE TREES PRIOR TO REMOVAL.
 - THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL, OF ALL DEMOLISHED OR UNWANTED MATERIAL.
 - THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.
 - THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
 - REFER TO THE SITES WORK SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING DEMOLITION, SITE PREPARATION AND EARTHWORK FOR THIS PROJECT.
 - NO PARKING AND/OR STORAGE SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN.
 - CONTRACTOR SHALL REMOVE ALL EXISTING IRRIGATION PIPING ON SITE.
 - CONTRACTOR SHALL INSTALL A MINIMUM 6'-FOOT HIGH, PROTECTIVE FENCE ALONG THE PERIMETER OF CONSTRUCTION/DEMOLITION LIMITS AS SHOWN. PROTECTIVE FENCE SHALL BE IN PLACE BEFORE ANY DEMOLITION OR CONSTRUCTION BEGINS AND REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ADJACENT BUSINESSES AT ALL TIMES THROUGHOUT CONSTRUCTION. CONSTRUCTION FENCING, STORAGE, MATERIALS AND/OR ACTIVITIES SHALL NOT INTERFERE WITH PUBLIC ACCESS.
 - CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
 - CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE OWNER PRIOR TO BEGINNING ANY WORK IN THIS AREA. CONTRACTOR SHALL PROVIDE ADEQUATE FENCING AND PROTECTION FOR CUSTOMERS UTILIZING ADJACENT PARKING AND SIDEWALKS AREAS. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR DATE AND TIME OF DEMOLITION.



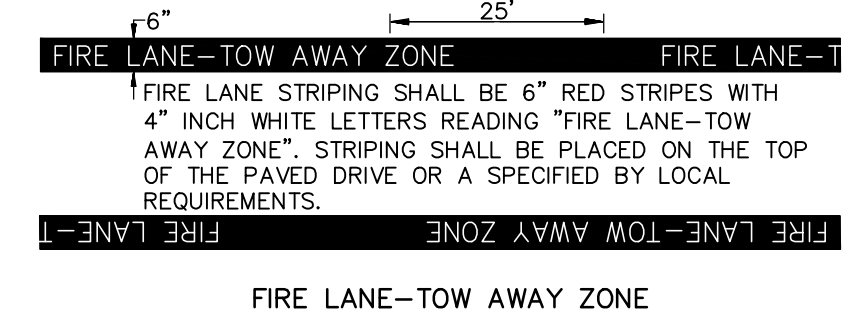
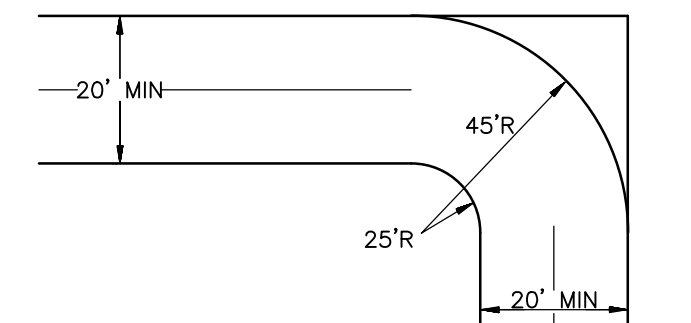
LEGEND

	PROPERTY LINE
	EXISTING FIRE HYDRANT
	PROPOSED 20' CLEAR FIRE ACCESS
	PROPOSED DOMESTIC WATER LINE
	PROPOSED PRIVATE WATER LINE
	FIRE HOSE LAY (LANE TO BLDG FOR SPRINKLED BLDG)
	TRUCK HOSE LAY (HYDRANT TO BUILDING)

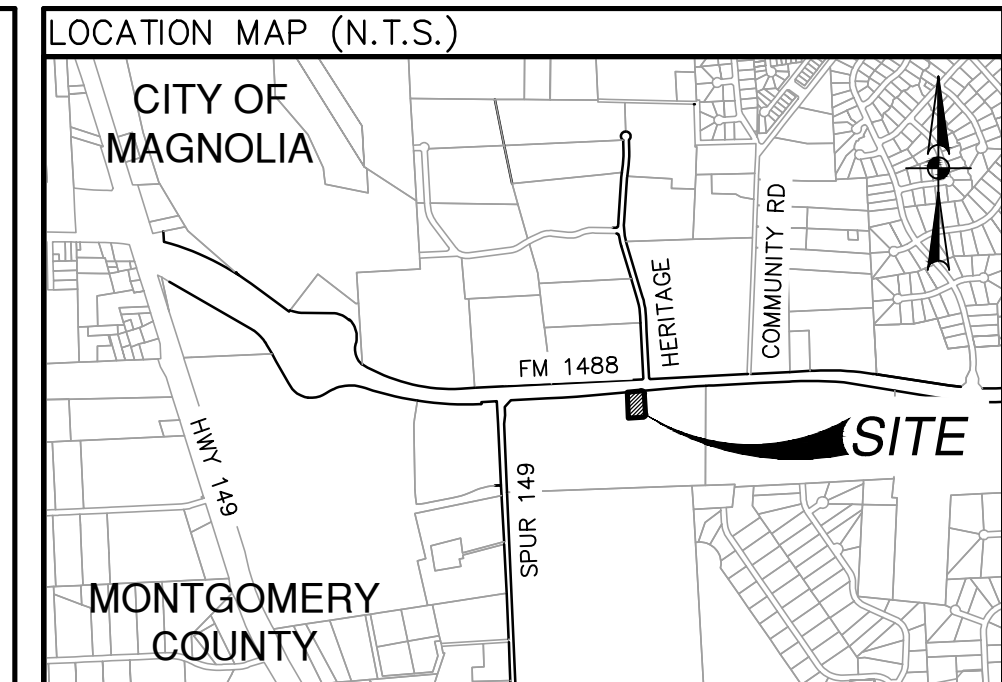
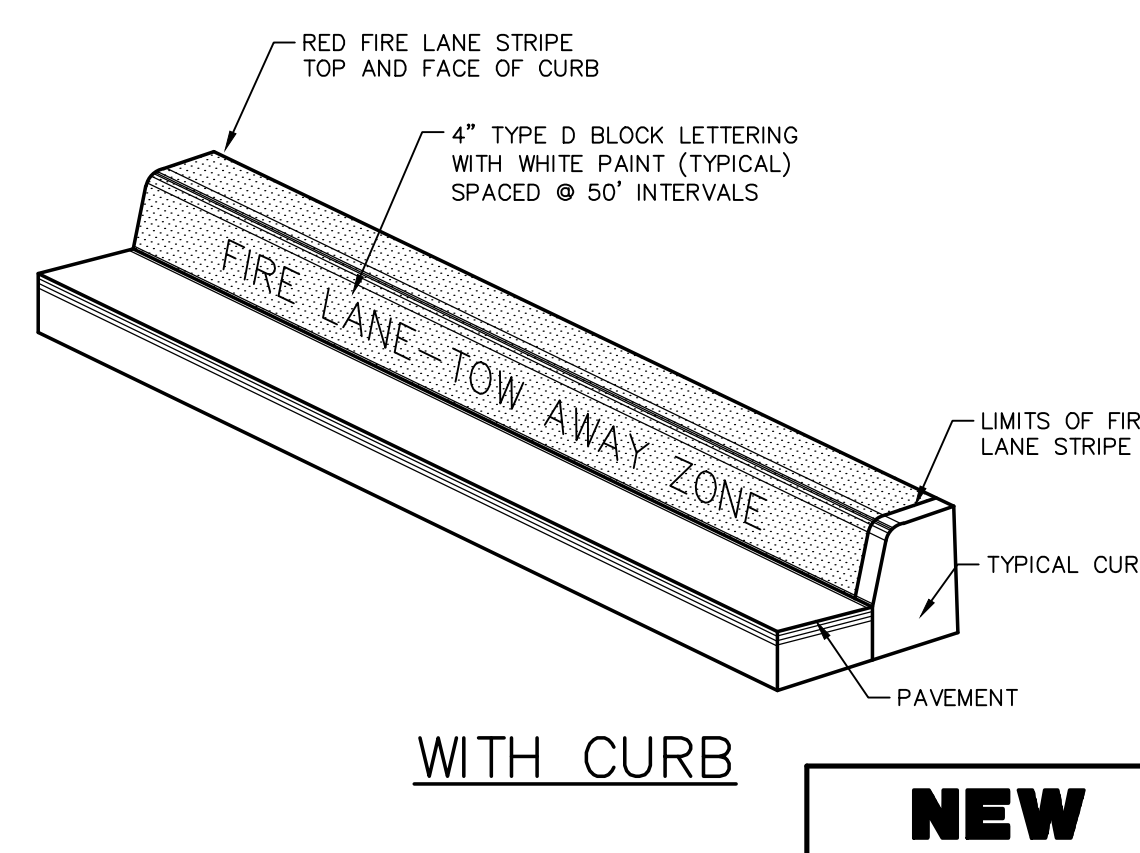
- KEY NOTES**
- PROPOSED REMOTE FDC (TO BE LOCATED WITHIN 150' FROM EXISTING FIRE HYDRANT)

FIRE PROTECTION NOTES:

- FIRE LANES SHALL HAVE A MINIMUM 2-WAY TRAFFIC WIDTH OF 20 FT. UNLESS OTHERWISE NOTED.
- FIRE LANES NEXT TO FIRE HYDRANTS OR DESIGNATED FOR AERIAL APPARATUS SHALL BE A MINIMUM OF 26 FT.
- FIRE LANES SHALL BE DESIGNATED IN ACCORDANCE TO THE LATEST INTERNATIONAL FIRE CODE AND PER APPLICABLE LOCAL AMENDMENTS.
- CONTRACTOR SHALL COORDINATE WITH FIRE DEPARTMENT TO CONFIRM STRIPING PLACEMENT.
- SEE SITE PLAN FOR CURB TYPES AND LOCATIONS.
- WHERE NO CURB EXISTS CONTRACTOR SHALL PAINT A 6" WIDE RED STRIPE LOCATED 3" OFF EDGE OF PAVEMENT WITH 4" WHITE LETTERING ON 6" RED STRIPE.



**TYPICAL FIRE LANE MARKING
DETAIL WITHOUT CURB**



GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RADII ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
- NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 1:1

BENCHMARK

NGS REFERENCE MARK NO. PD BL1869
PUBLISHED ELEVATION: 231.37 NAVD83
BM A
ELEVATION: 232.12 NAVD83
BOX CUT ON TOP OF CONC. AS SHOWN HEREON.
CONTROL POINT #13
ELEVATION: 234.44 NAVD83
BOX CUT IN CONC. AS SHOWN HEREON.

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 202118371.

FIRE PROTECTION SITE PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	90' SPACES 20'-0" X 9'-0"	60' SPACES 20'-0" X 9'-0"
43	22	21

PAPE-DAWSON ENGINEERS
HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
TXPE FIRM REGISTRATION #470 | TXPL FIRM REGISTRATION #1019074

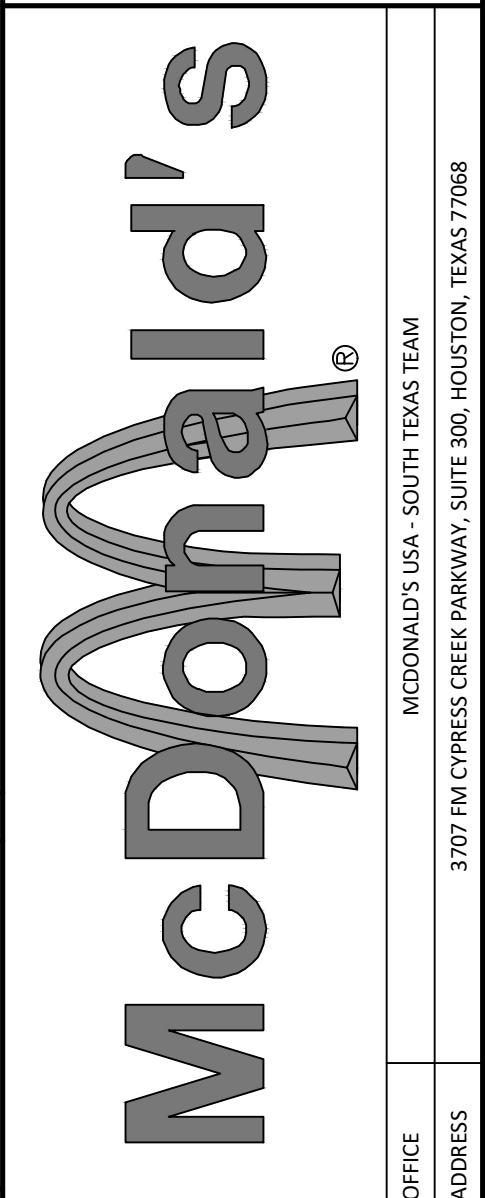
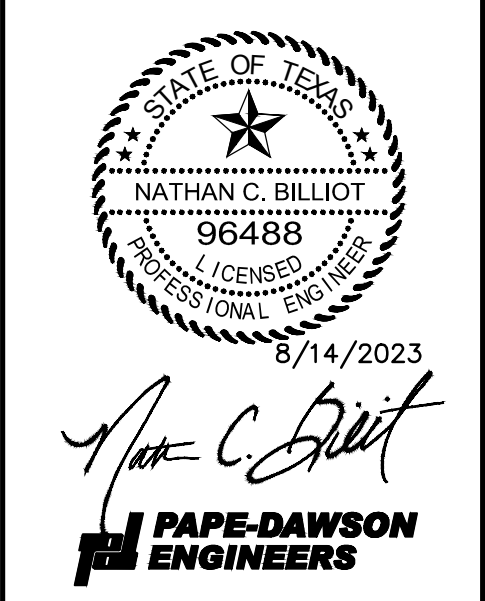
PLAN SCALE: 1" = 20'

STREET ADDRESS
13337 FM 1488

CITY **MAGNOLIA** STATE **TEXAS**
COUNTY **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
DRAWING TITLE **02.20-4102003-FP.dwg**

REV	DATE	DESCRIPTION	BY	ISSUE REF



PLAN APPROVALS

SIGNATURE (2 REQUIRED)	CO-SIGN SIGNATURES

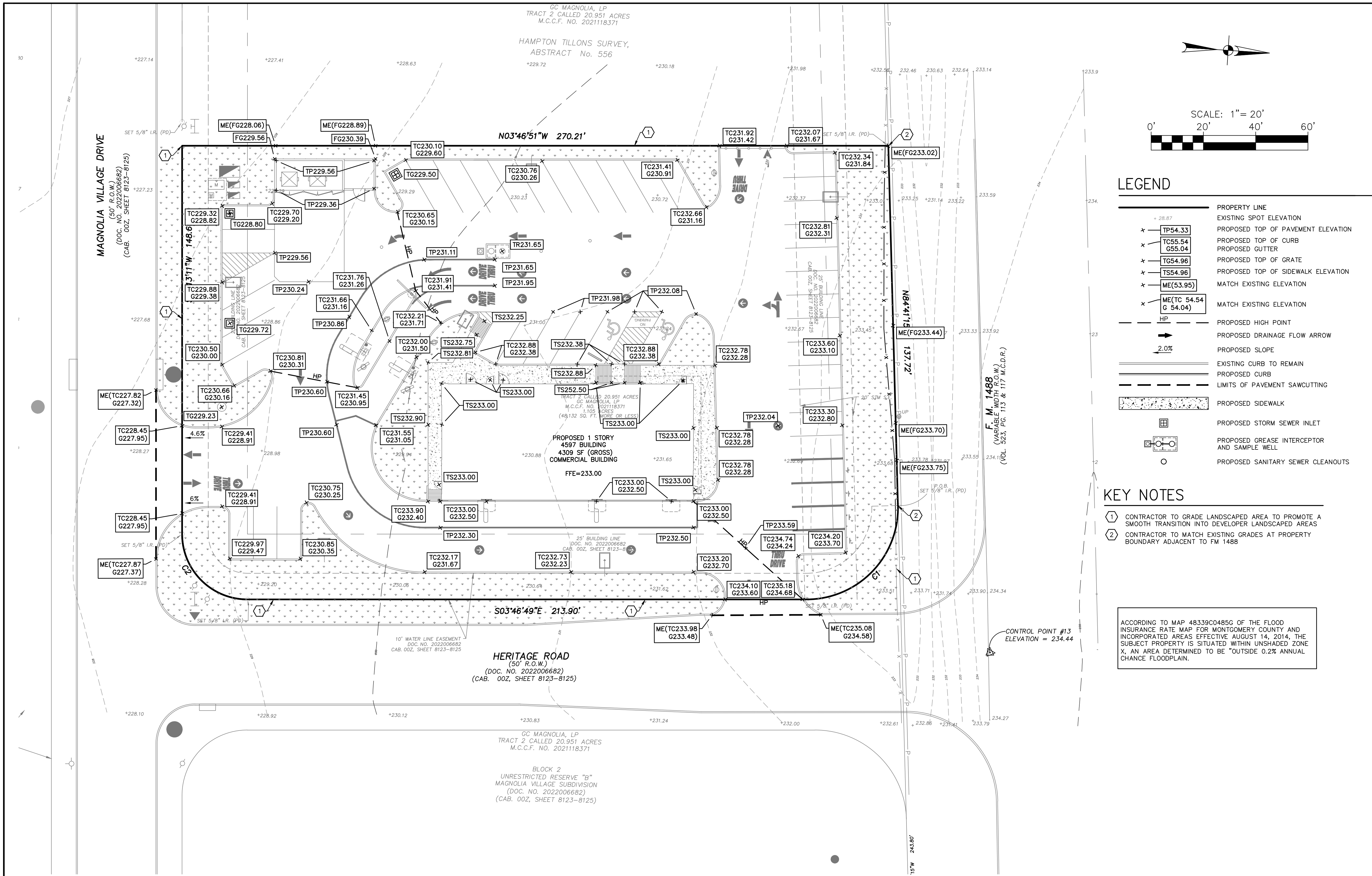
STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		

SHEET INDEX

C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
C-1.00 DEMOLITION PLAN
C-2.00 OVERALL SITE PLAN
C-2.10 PAVING PLAN
C-2.20 FIRE PROTECTION SITE PLAN
C-3.00 GRADING PLAN
C-3.10 DRAINAGE PLAN
C-3.20 DRAINAGE CALCULATIONS
C-3.30 DETENTION PLAN (REFERENCE)
C-4.00 UTILITY PLAN
C-5.00 SWPPP PLAN
C-5.10 SWPPP PLAN DETAILS
C-6.00 DETAIL SHEET (SHEET 1 OF 3)
C-6.10 DETAIL SHEET (SHEET 2 OF 3)
C-6.20 DETAIL SHEET (SHEET 3 OF 3)

C-2.20

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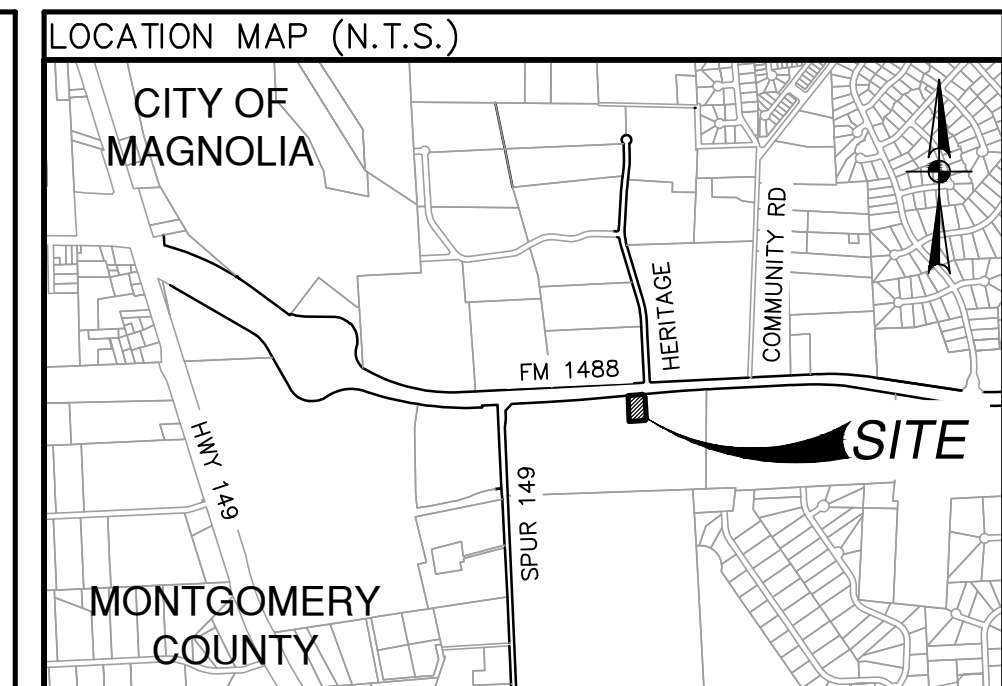
LEGEND

- +28.87— PROPOSED TOP OF PAVEMENT ELEVATION
- +28.87— PROPOSED TOP OF CURB ELEVATION
- +28.87— PROPOSED TOP OF GUTTER ELEVATION
- +28.87— PROPOSED TOP OF GRATE ELEVATION
- +28.87— PROPOSED TOP OF SIDEWALK ELEVATION
- +28.87— MATCH EXISTING ELEVATION
- +28.87— MATCH EXISTING ELEVATION
- HP PROPOSED HIGH POINT
- PROPOSED DRAINAGE FLOW ARROW
- 2.0% PROPOSED SLOPE
- EXISTING CURB TO REMAIN
- PROPOSED CURB
- LIMITS OF PAVEMENT SAWCUTTING
- PROPOSED SIDEWALK
- PROPOSED STORM SEWER INLET
- PROPOSED GREASE INTERCEPTOR AND SAMPLE WELL
- PROPOSED SANITARY SEWER CLEANOUTS

KEY NOTES

- ① CONTRACTOR TO GRADE LANDSCAPED AREA TO PROMOTE A SMOOTH TRANSITION INTO DEVELOPER LANDSCAPED AREAS
- ② CONTRACTOR TO MATCH EXISTING GRADES AT PROPERTY BOUNDARY ADJACENT TO FM 1488

ACCORDING TO MAP 48339C0485G OF THE FLOOD INSURANCE RATE MAP FOR MONTGOMERY COUNTY AND INCORPORATED AREAS EFFECTIVE AUGUST 14, 2014, THE SUBJECT PROPERTY IS SITUATED WITHIN UNSHADED ZONE X, AN AREA DETERMINED TO BE "OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN."



GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
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7. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
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BENCHMARK

NGS REFERENCE MARK NO. PD BL1869
 PUBLISHED ELEVATION: 233.7 NAVD83
 BM A.
 BOX CUT ON TOP OF MTL AS SHOWN HEREON.
 ELEVATION: 232.12' NAVD83
 CONTROL POINT #1
 BOX CUT IN CONC. AS SHOWN HEREON.
 ELEVATION: 234.44' NAVD83

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

GRADING PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	90" SPACES 20'-0" X 9'-0"	60" SPACES 20'-0" X 9'-0"
43	22	21

PAPE-DAWSON ENGINEERS
 HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10550 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713-428-2400
 TBP# FIRM REGISTRATION #470 | TBP# FIRM REGISTRATION #1099074

PLAN SCALE: 1" = 20'
 STREET ADDRESS: **13337 FM 1488**
 CITY: **MAGNOLIA** STATE: **TEXAS**
 COUNTY: **MONTGOMERY**
 REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
 DRAWING TITLE: **03.00-4102003-GR.dwg**

REV	DATE	DESCRIPTION	BY	ISSUE REF

PAPE-DAWSON ENGINEERS

McDonald's

MCDONALD'S USA - SOUTH TEXAS TEAM
 3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

PLAN APPROVALS	CO-SIGN SIGNATURES

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		

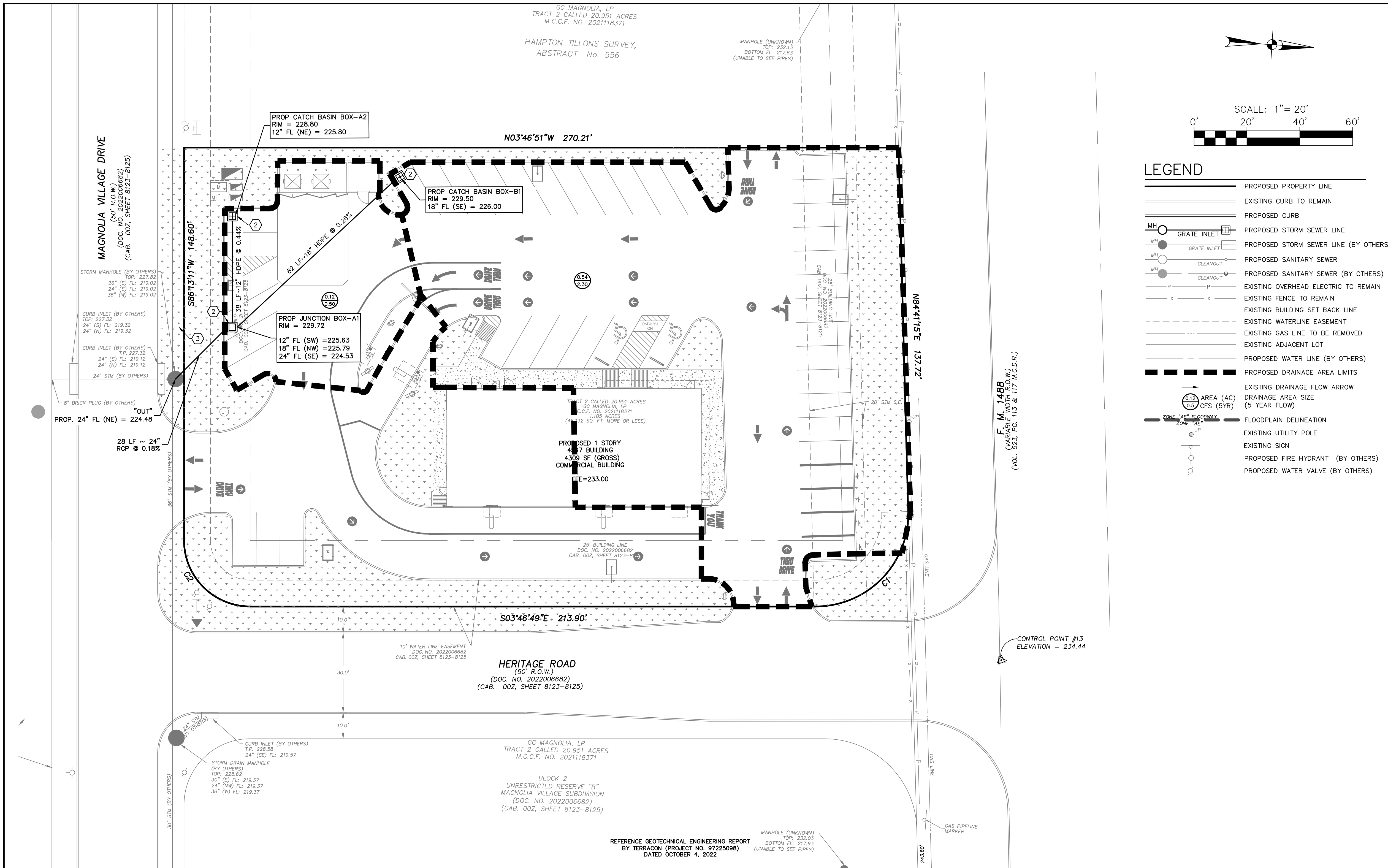
SHEET INDEX

C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
C-1.00 DEMOLITION PLAN
C-2.00 OVERALL SITE PLAN
C-2.10 PAVING PLAN
C-2.20 FIRE PROTECTION SITE PLAN
C-3.00 GRADING PLAN
C-3.10 DRAINAGE PLAN
C-3.20 DRAINAGE CALCULATIONS
C-3.30 DETENTION PLAN (REFERENCE)
C-4.00 UTILITY PLAN
C-5.00 SWPPP PLAN
C-5.10 SWPPP PLAN DETAILS
C-6.00 DETAIL SHEET (SHEET 1 OF 3)
C-6.10 DETAIL SHEET (SHEET 2 OF 3)
C-6.20 DETAIL SHEET (SHEET 3 OF 3)

C-3.00

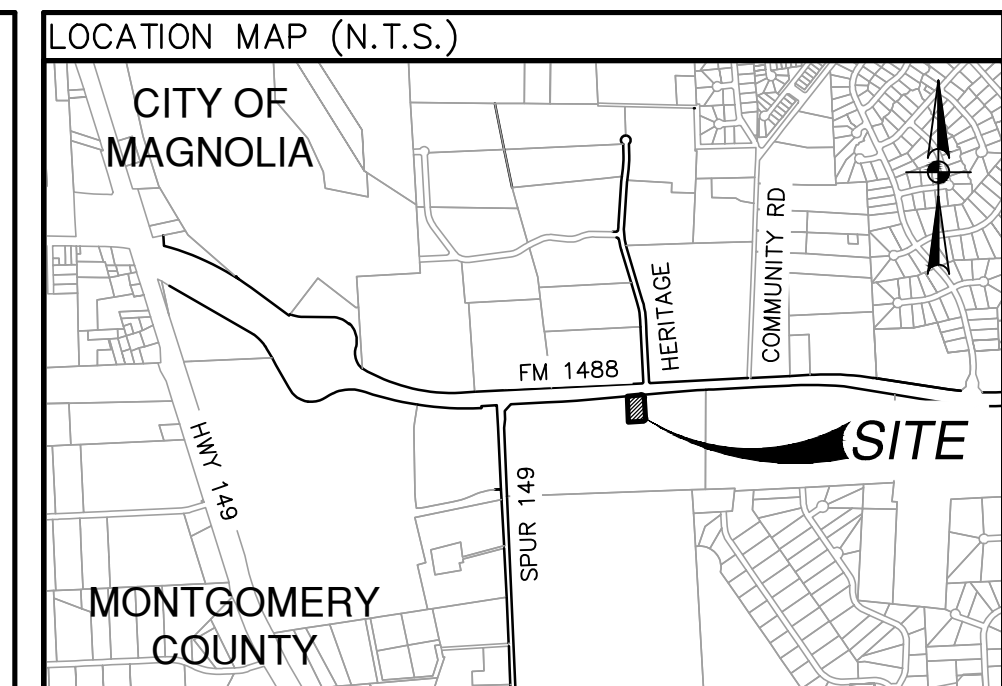
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LEGEND

- PROPOSED PROPERTY LINE
- EXISTING CURB TO REMAIN
- PROPOSED CURB
- PROPOSED STORM SEWER LINE
- PROPOSED STORM SEWER LINE (BY OTHERS)
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER (BY OTHERS)
- EXISTING OVERHEAD ELECTRIC TO REMAIN
- EXISTING FENCE TO REMAIN
- EXISTING BUILDING SET BACK LINE
- EXISTING WATERLINE EASEMENT
- EXISTING GAS LINE TO BE REMOVED
- EXISTING ADJACENT LOT
- PROPOSED WATER LINE (BY OTHERS)
- PROPOSED DRAINAGE AREA LIMITS
- EXISTING DRAINAGE FLOW ARROW
- DRAINAGE AREA SIZE (5 YEAR FLOW)
- FLOODPLAIN DELINEATION
- EXISTING UTILITY POLE
- EXISTING SIGN
- PROPOSED FIRE HYDRANT (BY OTHERS)
- PROPOSED WATER VALVE (BY OTHERS)



GENERAL NOTES

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BENCHMARK

NGS REFERENCE MARK NO. PD BL1869
 PUBLISHED ELEVATION: 231.37 NAVD83
 BOX CUT ON TOP OF M.H. AS SHOWN HEREON.
 ELEVATION: 232.12 NAVD83
 CONTROL POINT #13
 BOX CUT IN CONC. AS SHOWN HEREON.
 ELEVATION: 234.44 NAVD83

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LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

DRAINAGE PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	21	90' SPACES 20'-0" X 9'-0"
43	21	60' SPACES 20'-0" X 9'-0"
	--	--
	--	--

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
 TEL# FIRM REGISTRATION #470 | TEL# FIRM REGISTRATION #1019074

PLAN SCALE: 1" = 20'

STREET ADDRESS
13337 FM 1488

CITY: **MAGNOLIA** STATE: **TEXAS**
 COUNTY: **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
 DRAWING TITLE **03.10-4102003-DR.dwg**

DRAINAGE NOTES:

- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITIES AND SHOULD THEY BE DAMAGED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR WILL BE REQUIRED TO REPAIR OR REPLACE THE DAMAGED FACILITIES AT CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION.
- ALL LENGTHS OF PIPE ARE TO INSIDE FACE OF STRUCTURES.
- CONTRACTOR SHALL ENSURE PROPER SIZE OF JUNCTION BOXES NEEDED WHERE INDICATED ON PLAN. CONTRACTOR SHALL CONNECT STORM DRAIN PIPE TO JUNCTION BOXES PER MANUFACTURERS SPECIFICATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITIES AND SHOULD THEY BE DAMAGED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR WILL BE REQUIRED TO REPAIR OR REPLACE THE DAMAGED FACILITIES AT CONTRACTOR'S EXPENSE.
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- CONTRACTOR SHALL ENSURE PROPER SIZE OF JUNCTION BOXES NEEDED WHERE INDICATED ON PLAN. CONTRACTOR SHALL CONNECT STORM DRAIN PIPE TO JUNCTION BOXES PER MANUFACTURERS SPECIFICATIONS.
- ALL GRATE INLETS WITHIN DRIVABLE SURFACES MUST BE H20 RATED GRATES.
- TOPS OF MANHOLES, JUNCTION BOXES AND GRATES SHALL BE SET FLUSH TO FINISHED SURFACE BASED UPON GRADING PLAN.
- ONSITE STORM DRAINS SHALL COMPLY WITH THE CURRENT APPLICABLE CITY, COUNTY AND/OR TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE NOTED ON PLANS:
 - REINFORCED CONCRETE PIPE (RCP) PER ASTM C75/75M SHALL BE CLASS II, WALL TYPE A, MESH REINFORCEMENT, AND BELL AND SPIGOT END JOINTS WITH GASKET, AND WATERTIGHT JOINTS PER ASTM C443/443M.
 - CORRUGATED METAL PIPE (CMP) SHALL BE ALUMINIZED STEEL TYPE 2 PER AASHTO M274/ASTM A929, HELICAL LOCK SEAM, COATED INSIDE AND OUT WITH 0.050 INCH THICK BITUMINOUS COATING, AND 2-2/3"x1/2" CORRUGATION. MINIMUM GAUGE PER TxDOT STANDARD SPECIFICATIONS. COUPLING BANDS FOR JOINTS SHALL BE GALVANIZED STEEL, 0.052 INCHES THICK BY 10 INCHES WIDE, AND CONNECTED WITH TWO NEOPRENE "O" RING GASKETS AND TWO GALVANIZED STEEL BOLTS.
 - ULTRA FLO CORRUGATED METAL PIPE (UF-CMP) SHALL BE ALUMINIZED STEEL TYPE 2 PER AASHTO M274/ASTM A929, COATED INSIDE AND OUT WITH 0.050 INCH THICK BITUMINOUS COATING, AND SPIRAL RIB PIPE WITH 3/4"x3/4"x7-1/2" CONTINUOUS RIB CORRUGATION. MINIMUM GAUGE PER TxDOT STANDARD SPECIFICATIONS. COUPLING BANDS FOR JOINTS SHALL BE GALVANIZED STEEL, 0.052 INCHES THICK BY 10 INCHES WIDE, AND CONNECTED WITH TWO NEOPRENE "O" RING GASKETS AND TWO GALVANIZED STEEL BOLTS.
 - HIGH DENSITY POLYETHYLENE PIPE (HDPE) PER ASTM F2648 SHALL BE DUAL WALL PIPE, BELL AND SPIGOT END JOINT WITH GASKET, AND WATERTIGHT JOINTS PER ASTM D3212. ADS N-12 WT B PIPE OR EQUIVALENT.

UTILITY EXCAVATION BACKFILL

THE UPPER PART OF UTILITY EXCAVATION SHOULD BE BACKFILLED WITH PROPERLY COMPACTED CLAYEY SOIL TO REDUCE AND CONTROL INFILTRATION OF WATER. A CLAY PLUG THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR SHOULD BE PROVIDED IN TRENCH ON THE EXTERIOR OF THE BUILDING TO PREVENT WATER FROM GAINING ACCESS ALONG THE TRENCH TO THE SUBGRADE BENEATH THE STRUCTURE. REFER TO PROJECT GEOTECH REPORT BY TERRACON DATED OCTOBER 4, 2022.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL / SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

ACCORDING TO MAP 48339C0485G OF THE FLOOD INSURANCE RATE MAP FOR MONTGOMERY COUNTY AND INCORPORATED AREAS EFFECTIVE AUGUST 14, 2014, THE SUBJECT PROPERTY IS SITUATED WITHIN ZONE X, AN AREA DETERMINED TO BE "OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN."

KEY NOTES

- ROOF DRAIN FLOW ELEVATION IS 4 FEET BELOW FFE (228.00); REFER TO MEP PLAN FOR CONTINUATION OF UTILITIES INSIDE THE BUILDING.
- PROPOSED TRAFFIC-DUTY RATED STORM CATCH BASIN. CONTRACTOR TO SET TOP FLUSH WITH PROPOSED PAVEMENT. (SEE DETAIL SHEET 08.20.)
- CONTRACTOR TO VERIFY DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

CALL BEFORE YOU DIG!
 TEXAS ONE CALL PARTICIPANTS REQUEST
 48 HOURS NOTICE BEFORE YOU DIG, DRILL,
 OR BLAST - STOP CALL.

Texas One Call System
 1-800-245-4545

NEW

STATE OF TEXAS
 NATHAN C. BILLIOT
 LICENSED PROFESSIONAL ENGINEER
 96488
 8/14/2023
 Pape-Dawson Engineers

McDonald's

MCDONALD'S USA - SOUTH TEXAS TEAM
 3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	REGIONAL MANAGER	REC CONSTRUCTION MGR	OPERATIONS MANAGER	REAL ESTATE MANAGER	CONTRACTOR OWNER

CO-SIGN SIGNATURES

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		
SHEET INDEX		
C-0.00 COVER SHEET		
C-0.10 ALTA-NSPS LAND SURVEY		
C-1.00 DEMOLITION PLAN		
C-2.00 OVERALL SITE PLAN		
C-2.10 PAVING PLAN		
C-2.20 FIRE PROTECTION SITE PLAN		
C-3.00 GRADING PLAN		
C-3.10 DRAINAGE PLAN		
C-3.20 DRAINAGE CALCULATIONS		
C-3.30 DETENTION PLAN (REFERENCE)		
C-4.00 UTILITY PLAN		
C-5.00 SWPPP PLAN		
C-5.10 SWPPP PLAN DETAILS		
C-6.00 DETAIL SHEET (SHEET 1 OF 3)		
C-6.10 DETAIL SHEET (SHEET 2 OF 3)		
C-6.20 DETAIL SHEET (SHEET 3 OF 3)		

DRAINAGE AREA CALCULATIONS:

DESIGN STORM SEWER CALCULATIONS (5-YEAR):

Project Name:	McDonald's-Magnolia-FM 1488	Jurisdiction:	MONTGOMERY COUNTY	Rainfall Coeff.	b = 77.0
Project No.:	41020-03	Design Storm:	5 year	d = 12.8	e = 0.777
Prepared By:	DB	Date:	12/13/2022		
Checked By:	CM	Date:	12/13/2022		
		Starting W.S. Elev.:	222.12 feet		

Storm Sewer Design Calculations

Manhole No. From	Manhole No. to	Drainage Area to Inlet(s) (acres)	Total Drainage Area (acres)	Runoff Coeff. C	Sum Of C - A	Inlet Time of Conc. (min)	System Time of Conc. (min)	Rainfall Intensity I (in/hr)	Drainage Area Flow (cfs)	Sum Of Flows (cfs)	Pipe Type	Reach Length (ft)	Diameter (in) or Rise (ft)	Box Span (ft)	Number of Barrels	Slope %	Manning's Roughness Coeff. "n"	Design Capacity (cfs)	Design Velocity (ft/sec)	Fall (ft)	Manhole Drop (ft)	Flowline Elevations Upstream Elev. (ft)	Flowline Elevations Downstream Elev. (ft)	Actual Velocity (ft/sec)	Hydraulic Gradient %	Change in Head (ft)	DS MH Junc Loss Coeff K	Energy Grade Line Upstream Elev. (ft)	Energy Grade Line Downstream Elev. (ft)	Hydraulic Grade Line Upstream Elev. (ft)	Hydraulic Grade Line Downstream Elev. (ft)	Upstream Top of Curb / Pvm (ft)	Curb Height (in)	Gutter Elevation Upstream (ft)	Ponding Depth (in)
A1	OUT	0.00	0.67	0.90	0.60	0.0	10.0	6.78	0.0	4.1	RCP	28	24		1	0.180	0.013	9.6	3.1	0.05	N/A	224.53	224.48	2.97	0.187	0.05		225.72	222.26	225.58	222.12	230.22	6	229.72	0.0 in.
A2	A1	0.12	0.12	0.90	0.11	21.9	10.0	6.78	0.5	0.8	HDPE	38	12		1	0.440	0.012	2.6	3.3	0.17	1.10	225.80	225.63	2.88	0.457	0.17		226.51	226.13	226.38	226.00	229.30	6	228.80	0.0 in.
B1	A1	0.54	0.54	0.90	0.49	24.0	10.0	6.78	2.3	3.3	HDPE	82	18		1	0.260	0.012	5.8	3.3	0.21	1.26	226.00	225.79	3.40	0.262	0.22		227.25	226.18	227.07	226.00	230.00	6	229.50	0.0 in.

EXTREME EVENT STORM SEWER CALCULATIONS (100-YEAR):

Project Name:	McDonald's-Magnolia-FM 1488 - EXTREME EVENT ANALYSIS	Jurisdiction:	MONTGOMERY COUNTY	Rainfall Coeff.	b = 92.3
Project No.:	41020-03	Design Storm:	25 year	d = 12.7	e = 0.734
Prepared By:	DB	Date:	12/13/2022		
Checked By:	CM	Date:	12/13/2022		
		Starting W.S. Elev.:	222.12 feet		

Storm Sewer Design Calculations

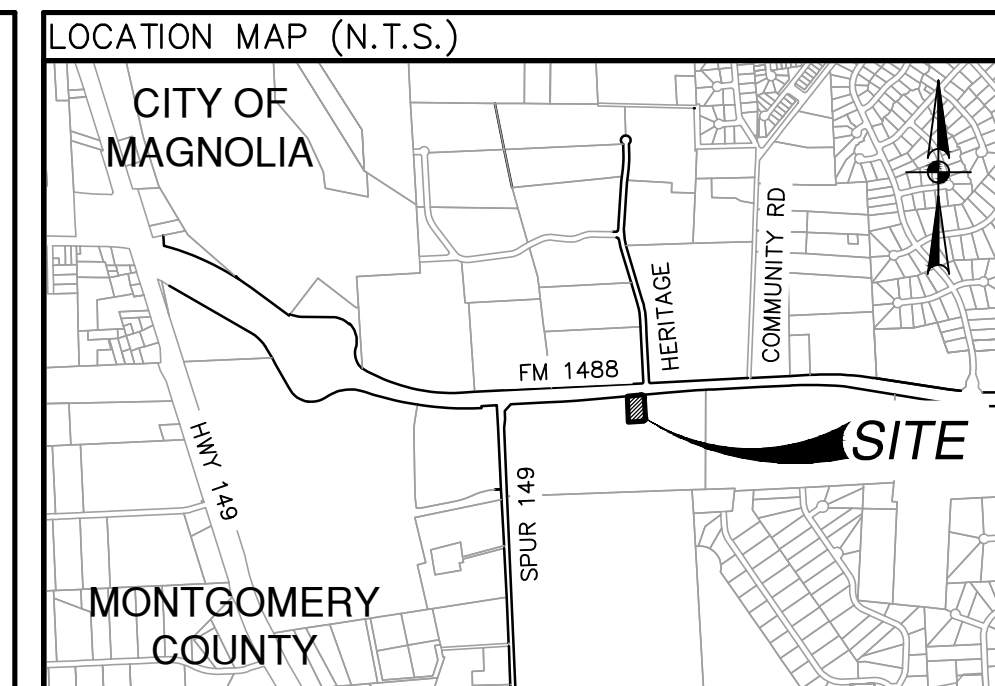
Manhole No. From	Manhole No. to	Drainage Area to Inlet(s) (acres)	Total Drainage Area (acres)	Runoff Coeff. C	Sum Of C - A	Inlet Time of Conc. (min)	System Time of Conc. (min)	Rainfall Intensity I (in/hr)	Drainage Area Flow (cfs)	Sum Of Flows (cfs)	Pipe Type	Reach Length (ft)	Diameter (in) or Rise (ft)	Box Span (ft)	Number of Barrels	Slope %	Manning's Roughness Coeff. "n"	Design Capacity (cfs)	Design Velocity (ft/sec)	Fall (ft)	Manhole Drop (ft)	Flowline Elevations Upstream Elev. (ft)	Flowline Elevations Downstream Elev. (ft)	Actual Velocity (ft/sec)	Hydraulic Gradient %	Change in Head (ft)	DS MH Junc Loss Coeff K	Energy Grade Line Upstream Elev. (ft)	Energy Grade Line Downstream Elev. (ft)	Hydraulic Grade Line Upstream Elev. (ft)	Hydraulic Grade Line Downstream Elev. (ft)	Upstream Top of Curb / Pvm (ft)	Curb Height (in)	Gutter Elevation Upstream (ft)	Ponding Depth (in)
A1	OUT	0.00	0.67	0.90	0.60	0.0	10.0	9.35	0.0	6.2	RCP	28	24		1	0.180	0.013	9.6	3.1	0.05	N/A	224.53	224.48	3.34	0.194	0.05		226.02	0.17	225.84	0.00	230.22	6	229.72	0.0 in.
A2	A1	0.12	0.12	0.90	0.11	21.9	10.0	9.35	0.8	1.2	HDPE	38	12		1	0.440	0.012	2.6	3.3	0.17	1.10	225.80	225.63	3.27	0.477	0.18		226.69	226.27	226.53	226.10	229.30	6	228.80	0.0 in.
A3	A2																																		
B1	A1	0.54	0.54	0.90	0.49	24.0	10.0	9.35	3.5	5.0	HDPE	82	18		1	0.260	0.012	5.8	3.3	0.21	1.26	226.00	225.79	3.80	0.278	0.23		227.59	226.42	227.36	226.20	230.00	6	229.50	0.0 in.

DETENTION REQUIREMENT:

DETENTION HAS BEEN PROVIDED FOR THIS TRACT AS PART OF THE DEVELOPMENT FOR 'MAGNOLIA VILLAGE' IN MAGNOLIA, TEXAS.

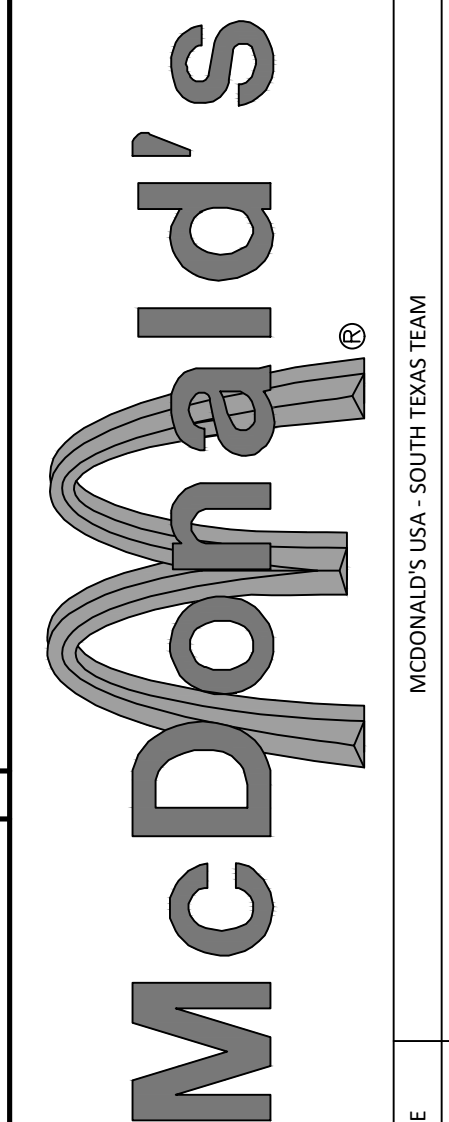
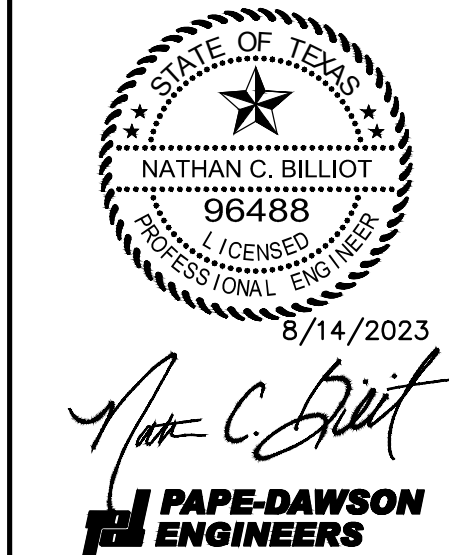
PLEASE REFERENCE 'MONTGOMERY COUNTY MUD NO. 108 PLANS FOR CONSTRUCTION OF THE STORMWATER DETENTION FACILITIES TO SERVE MAGNOLIA VILLAGE, MYRTLE GARDENS, AND B.B.Q. EQUITY PARTNERS' PRODUCED BY IDS ENGINEERING GROUP, FOR INFORMATION REGARDING DETENTION.

ALSO, PLEASE REFERENCE THE DRAINAGE ANALYSIS TITLED 170 AC SOUTHEAST CORNER OF FM1488 & SPUR 149 FOR MONTGOMERY COUNTY MUD NO. 108 PRODUCED BY IDS ENGINEERING GROUP, FOR MORE INFORMATION REGARDING DRAINAGE FOR THIS DEVELOPMENT.



GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
- NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1



BENCHMARK

NGS REFERENCE MARK NO. PD BL1869
 PUBLISHED ELEVATION: 231.3' NAVD83
 BM AL
 BOX CUT ON TOP OF BM, AS SHOWN HEREON.
 ELEVATION: 232.12' NAVD83
 CONTROL POINT #1
 IN CONC., AS SHOWN HEREON.
 ELEVATION: 234.44' NAVD83

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

DRAINAGE CALCULATIONS

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	21	90" SPACES 20'-0" X 9'-0"
43	21	60" SPACES 20'-0" X 9'-0"
	--	--
	--	--

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
 TEPLE FIRM REGISTRATION #470 | TEPLE FIRM REGISTRATION #1019074

PLAN SCALE: 1" = 20'

STREET ADDRESS
13337 FM 1488

CITY: **MAGNOLIA** STATE: **TEXAS**
 COUNTY: **MONTGOMERY**

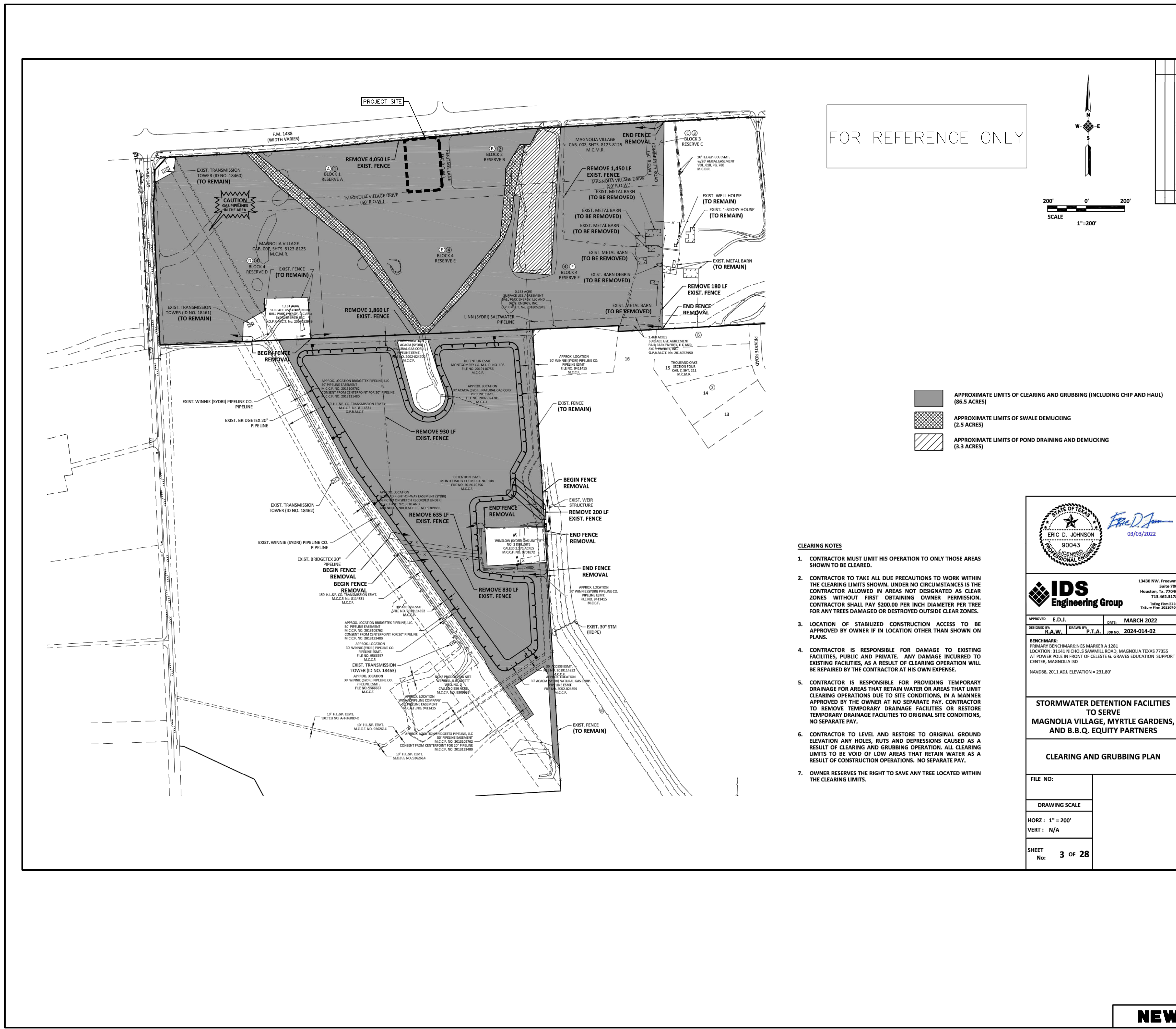
REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
 DRAWING TITLE: **03.20-4102003-DR.dwg**

PLAN APPROVALS	CO-SIGN SIGNATURES	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)	REGIONAL MANAGER REC CONSTRUCTION MGR OPERATIONS MANAGER REAL ESTATE MANAGER	PRELIMINARY		
	CONTRACTOR OWNER	PLAN DRAWN		
		PLAN CHECKED		
		SHEET INDEX		
		C-0.00 COVER SHEET		
		C-0.10 ALTA-NSPS LAND SURVEY		
		C-1.00 DEMOLITION PLAN		
		C-2.00 OVERALL SITE PLAN		
		C-2.10 PAVING PLAN		
		C-2.20 FIRE PROTECTION SITE PLAN		
		C-3.00 GRADING PLAN		
		C-3.10 DRAINAGE PLAN		
		C-3.20 DRAINAGE CALCULATIONS		
		C-3.30 DETENTION PLAN (REFERENCE)		
		C-4.00 UTILITY PLAN		
		C-5.00 SWPPP PLAN		
		C-5.10 SWPPP PLAN DETAILS		
		C-6.00 DETAIL SHEET (SHEET 1 OF 3)		
		C-6.10 DETAIL SHEET (SHEET 2 OF 3)		
		C-6.20 DETAIL SHEET (SHEET 3 OF 3)		

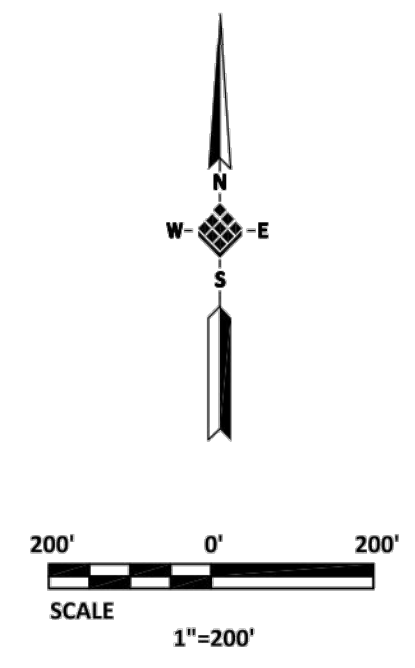
NEW

Date: Aug 14, 2023, 6:50pm User: ID: mvebbana File: K:\Projects\410120\0312-0 Design\3-1 Civil\2-1-4 Plans\Sheets\03.20-4102003-DR.dwg

MCDONALD'S NO. 42-3308 - 13337 FM 1488, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS



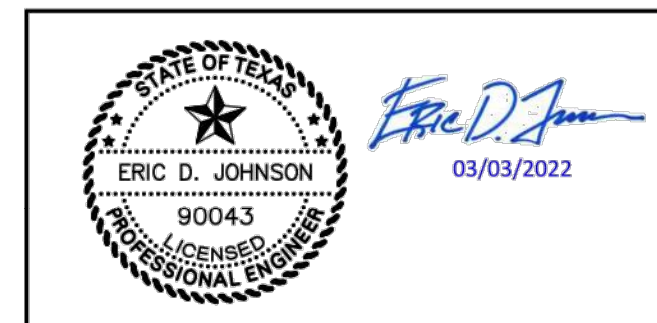
FOR REFERENCE ONLY



- APPROXIMATE LIMITS OF CLEARING AND GRUBBING (INCLUDING CHIP AND HAUL) (86.5 ACRES)
- APPROXIMATE LIMITS OF SWALE DEMUCKING (2.5 ACRES)
- APPROXIMATE LIMITS OF POND DRAINING AND DEMUCKING (3.3 ACRES)

CLEARING NOTES

1. CONTRACTOR MUST LIMIT HIS OPERATION TO ONLY THOSE AREAS SHOWN TO BE CLEARED.
2. CONTRACTOR TO TAKE ALL DUE PRECAUTIONS TO WORK WITHIN THE CLEARING LIMITS SHOWN. UNDER NO CIRCUMSTANCES IS THE CONTRACTOR ALLOWED IN AREAS NOT DESIGNATED AS CLEAR ZONES WITHOUT FIRST OBTAINING OWNER PERMISSION. CONTRACTOR SHALL PAY \$200.00 PER INCH DIAMETER PER TREE FOR ANY TREES DAMAGED OR DESTROYED OUTSIDE CLEAR ZONES.
3. LOCATION OF STABILIZED CONSTRUCTION ACCESS TO BE APPROVED BY OWNER IF IN LOCATION OTHER THAN SHOWN ON PLANS.
4. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES, PUBLIC AND PRIVATE. ANY DAMAGE INCURRED TO EXISTING FACILITIES, AS A RESULT OF CLEARING OPERATION WILL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DRAINAGE FOR AREAS THAT RETAIN WATER OR AREAS THAT LIMIT CLEARING OPERATIONS DUE TO SITE CONDITIONS, IN A MANNER APPROVED BY THE OWNER AT NO SEPARATE PAY. CONTRACTOR TO REMOVE TEMPORARY DRAINAGE FACILITIES OR RESTORE TEMPORARY DRAINAGE FACILITIES TO ORIGINAL SITE CONDITIONS, NO SEPARATE PAY.
6. CONTRACTOR TO LEVEL AND RESTORE TO ORIGINAL GROUND ELEVATION ANY HOLES, RUTS AND DEPRESSIONS CAUSED AS A RESULT OF CLEARING AND GRUBBING OPERATION. ALL CLEARING LIMITS TO BE VOID OF LOW AREAS THAT RETAIN WATER AS A RESULT OF CONSTRUCTION OPERATIONS. NO SEPARATE PAY.
7. OWNER RESERVES THE RIGHT TO SAVE ANY TREE LOCATED WITHIN THE CLEARING LIMITS.



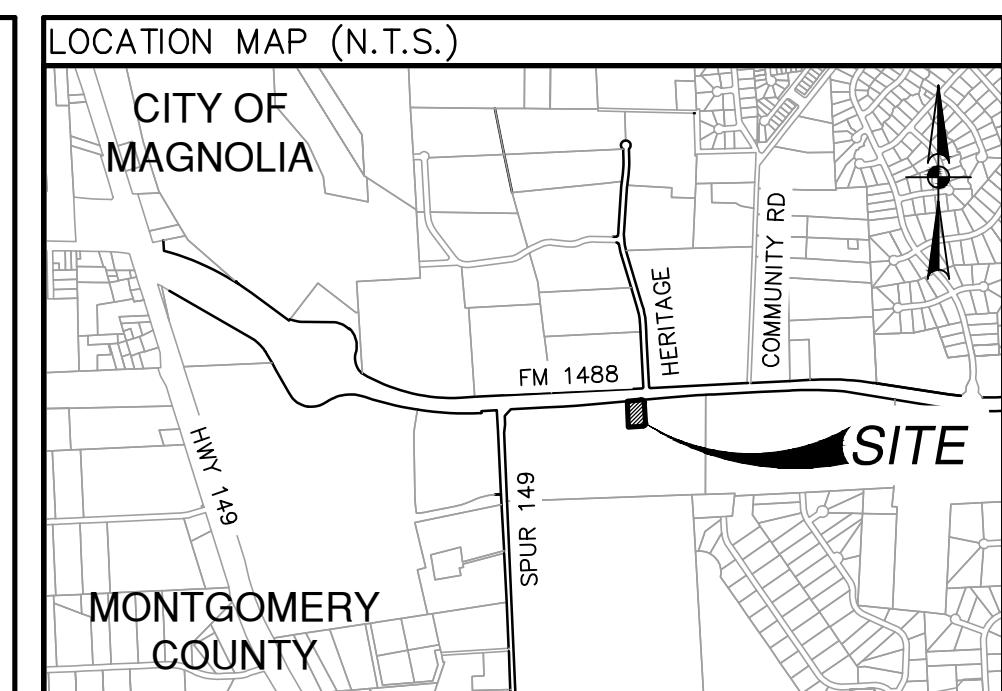
APPROVED BY: E.D.J.	DATE: MARCH 2022
DESIGNED BY: R.A.W.	DRAWN BY: P.T.A.
ISSUED NO: 2024-014-02	

BENCHMARK: PRIMARY BENCHMARK MARKER A 1281
 LOCATION: 31141 NICHOLS SAWMILL ROAD, MAGNOLIA TEXAS 77355
 AT POWER POLE IN FRONT OF CELESTE G. GRAVES EDUCATION SUPPORT CENTER, MAGNOLIA ISD
 NAVD83, 2011 ADJ. ELEVATION = 231.80'

STORMWATER DETENTION FACILITIES TO SERVE MAGNOLIA VILLAGE, MYRTLE GARDENS, AND B.B.Q. EQUITY PARTNERS

CLEARING AND GRUBBING PLAN

FILE NO:	
DRAWING SCALE:	
HORZ: 1" = 200'	
VERT: N/A	
SHEET NO: 3 OF 28	



GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
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3. ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
4. COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
5. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
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14. NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
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BENCHMARK
 NGS REFERENCE MARK NO. PD 81869
 PUBLISHED ELEVATION: 231.7 NAVD83
 BOX CUT ON TOP OF MARK AS SHOWN HEREON.
 ELEVATION: 232.12' NAVD83
 CONTROL POINT AND BOX CUT IN CONC. AS SHOWN HEREON.
 ELEVATION: 234.44' NAVD83

LEGAL DESCRIPTION
 A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

DRAINAGE CALCULATIONS

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	90' SPACES 20'-0" X 9'-0"	60' SPACES 20'-0" X 9'-0"
43	22	21



PLAN SCALE: 1" = 20'
 STREET ADDRESS: **13337 FM 1488**

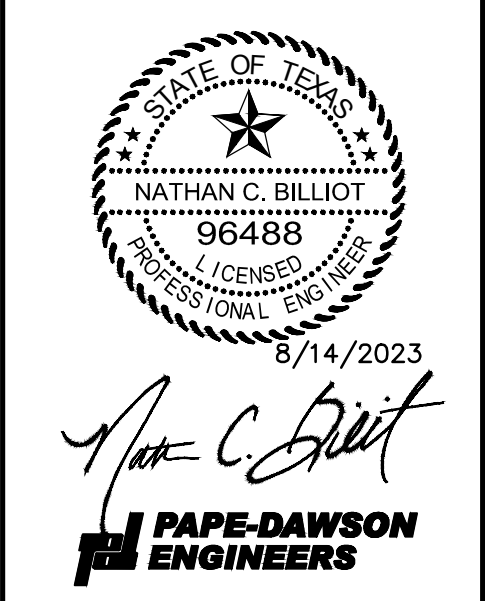
CITY: **MAGNOLIA** STATE: **TEXAS**
 COUNTY: **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
 DRAWING TITLE: **03.30-4102003-DET.dwg**

NEW

BY	ISSUE REF

REV	DATE	DESCRIPTION



McDonald's
 McDONALD'S USA - SOUTH TEXAS TEAM
 3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

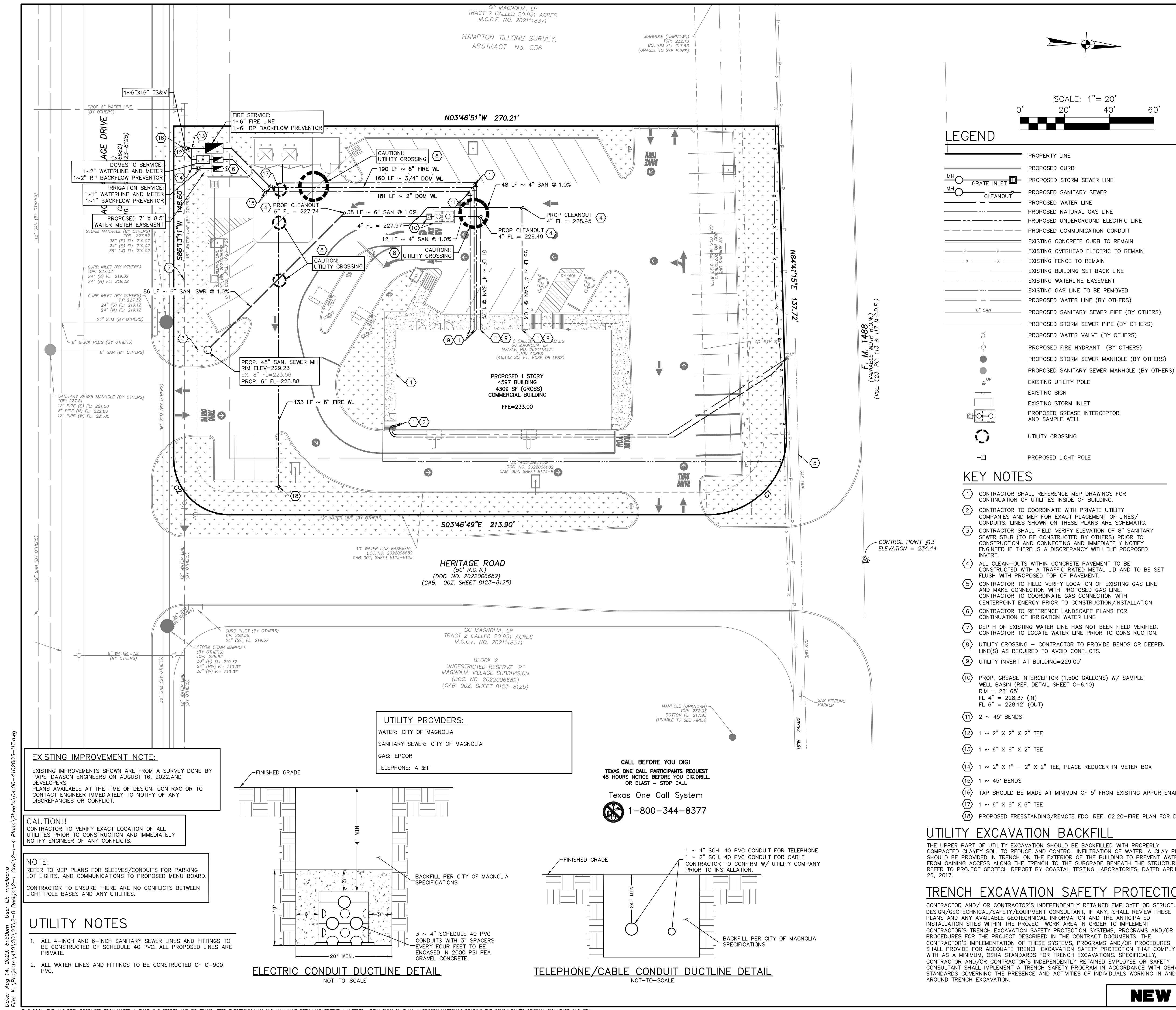
PLAN APPROVALS	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)	CONTRACTOR OWNER
REGIONAL MANAGER	
REC CONSTRUCTION MGR	
OPERATIONS MANAGER	
REAL ESTATE MANAGER	

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		

SHEET INDEX

SHEET NO.	TITLE
C-0.00	COVER SHEET
C-0.10	ALTA-NSPS LAND SURVEY
C-1.00	DEMOLITION PLAN
C-2.00	OVERALL SITE PLAN
C-2.10	PAVING PLAN
C-2.20	FIRE PROTECTION SITE PLAN
C-3.00	GRADING PLAN
C-3.10	DRAINAGE PLAN
C-3.20	DRAINAGE CALCULATIONS
C-3.30	DETENTION PLAN (REFERENCE)
C-4.00	UTILITY PLAN
C-5.00	SWPPP PLAN
C-5.10	SWPPP PLAN DETAILS
C-6.00	DETAIL SHEET (SHEET 1 OF 3)
C-6.10	DETAIL SHEET (SHEET 2 OF 3)
C-6.20	DETAIL SHEET (SHEET 3 OF 3)

C-3.30



LEGEND

---	PROPERTY LINE
---	PROPOSED CURB
---	PROPOSED STORM SEWER LINE
---	PROPOSED SANITARY SEWER
---	PROPOSED WATER LINE
---	PROPOSED NATURAL GAS LINE
---	PROPOSED UNDERGROUND ELECTRIC LINE
---	PROPOSED COMMUNICATION CONDUIT
---	EXISTING CONCRETE CURB TO REMAIN
---	EXISTING OVERHEAD ELECTRIC TO REMAIN
---	EXISTING FENCE TO REMAIN
---	EXISTING BUILDING SET BACK LINE
---	EXISTING WATERLINE EASEMENT
---	EXISTING GAS LINE TO BE REMOVED
---	PROPOSED WATER LINE (BY OTHERS)
---	PROPOSED SANITARY SEWER PIPE (BY OTHERS)
---	PROPOSED STORM SEWER PIPE (BY OTHERS)
---	PROPOSED WATER VALVE (BY OTHERS)
---	PROPOSED FIRE HYDRANT (BY OTHERS)
---	PROPOSED STORM SEWER MANHOLE (BY OTHERS)
---	PROPOSED SANITARY SEWER MANHOLE (BY OTHERS)
---	EXISTING UTILITY POLE
---	EXISTING SIGN
---	EXISTING STORM INLET
---	PROPOSED GREASE INTERCEPTOR AND SAMPLE WELL
---	UTILITY CROSSING
---	PROPOSED LIGHT POLE

- ### KEY NOTES
- CONTRACTOR SHALL REFERENCE MEP DRAWINGS FOR CONTINUATION OF UTILITIES INSIDE OF BUILDING.
 - CONTRACTOR TO COORDINATE WITH PRIVATE UTILITY COMPANIES AND MEP FOR EXACT PLACEMENT OF LINES/CONDUITS. LINES SHOWN ON THESE PLANS ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ELEVATION OF 8" SANITARY SEWER STUB (TO BE CONSTRUCTED BY OTHERS) PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER IF THERE IS A DISCREPANCY WITH THE PROPOSED INVERT.
 - ALL CLEAN-OUTS WITHIN CONCRETE PAVEMENT TO BE CONSTRUCTED WITH A TRAFFIC RATED METAL LID AND TO BE SET FLUSH WITH PROPOSED TOP OF PAVEMENT.
 - CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING GAS LINE AND MAKE CONNECTION WITH PROPOSED GAS LINE. CONTRACTOR TO COORDINATE GAS CONNECTION WITH CENTERPOINT ENERGY PRIOR TO CONSTRUCTION/INSTALLATION.
 - CONTRACTOR TO REFERENCE LANDSCAPE PLANS FOR CONTINUATION OF IRRIGATION WATER LINE.
 - DEPTH OF EXISTING WATER LINE HAS NOT BEEN FIELD VERIFIED. CONTRACTOR TO LOCATE WATER LINE PRIOR TO CONSTRUCTION.
 - UTILITY CROSSING - CONTRACTOR TO PROVIDE BENDS OR DEEPEN LINE(S) AS REQUIRED TO AVOID CONFLICTS.
 - UTILITY INVERT AT BUILDING=229.00'
 - PROP. GREASE INTERCEPTOR (1,500 GALLONS) W/ SAMPLE WELL BASIN (REF. DETAIL SHEET C-6.10)
RIM = 231.65'
FL 4" = 228.37 (IN)
FL 6" = 228.12 (OUT)
 - 2 ~ 45° BENDS
 - 1 ~ 2" x 2" x 2" TEE
 - 1 ~ 6" x 6" x 2" TEE
 - 1 ~ 2" x 1" - 2" x 2" TEE, PLACE REDUCER IN METER BOX
 - 1 ~ 45° BENDS
 - TAP SHOULD BE MADE AT MINIMUM OF 5' FROM EXISTING APPURTENANCES
 - 1 ~ 6" x 6" x 6" TEE
 - PROPOSED FREESTANDING/REMOTE FDC. REF. C2.20-FIRE PLAN FOR DTLS

UTILITY PROVIDERS:
 WATER: CITY OF MAGNOLIA
 SANITARY SEWER: CITY OF MAGNOLIA
 GAS: EPCOR
 TELEPHONE: AT&T

CALL BEFORE YOU DIG!
 TEXAS ONE CALL PARTICIPANTS REQUEST 48 HOURS NOTICE BEFORE YOU DIG, DRILL OR BLAST - STOP CALL
 Texas One Call System
 1-800-344-8377

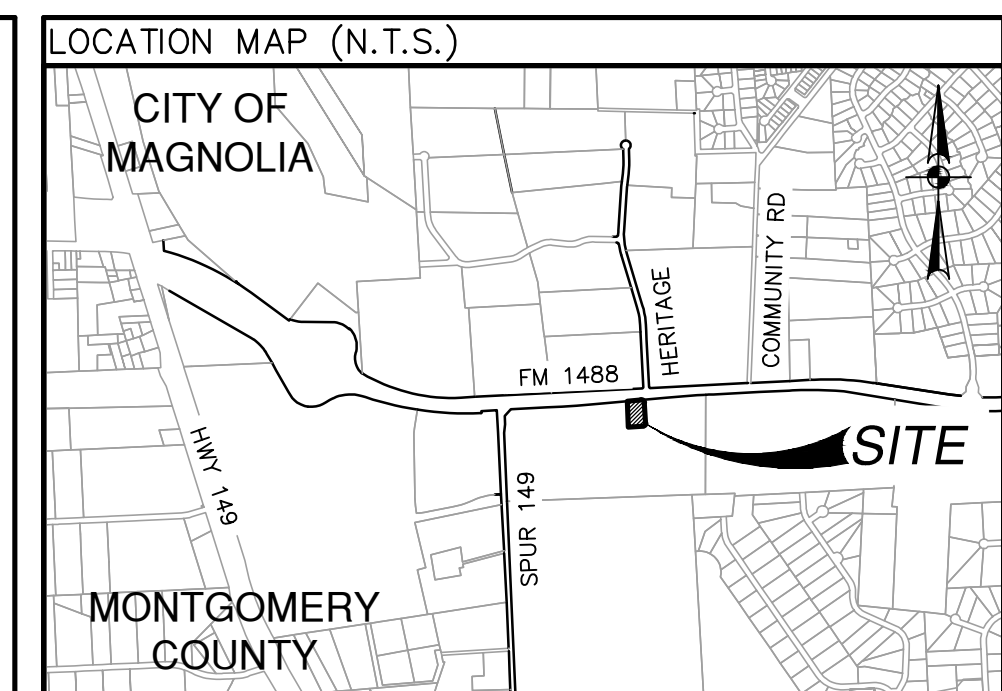
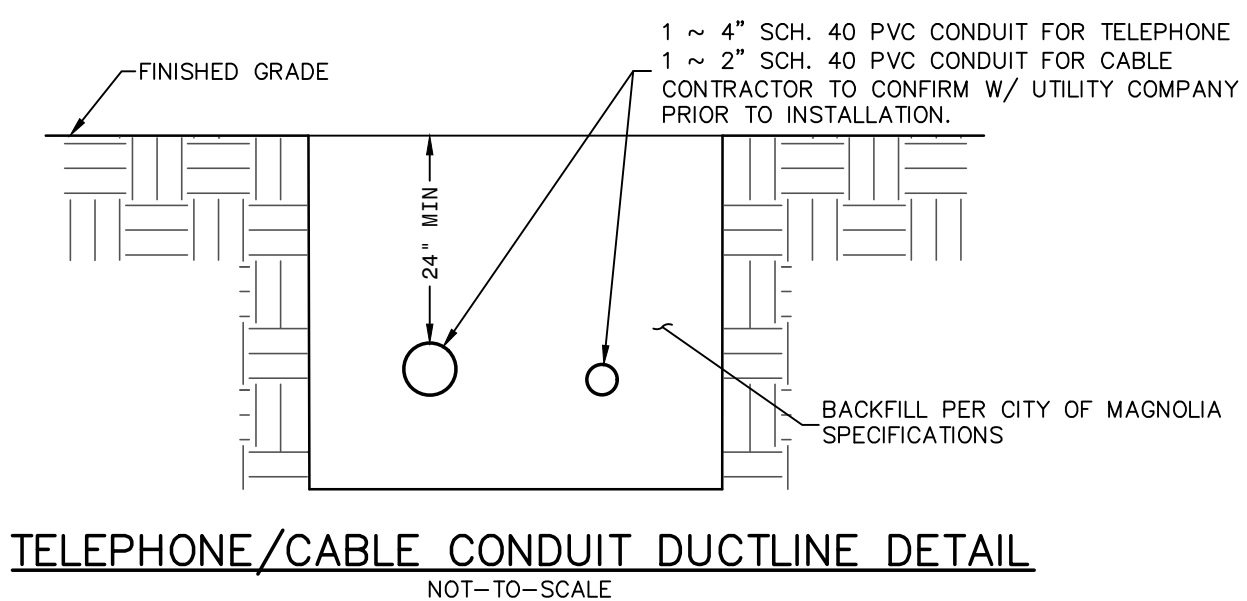
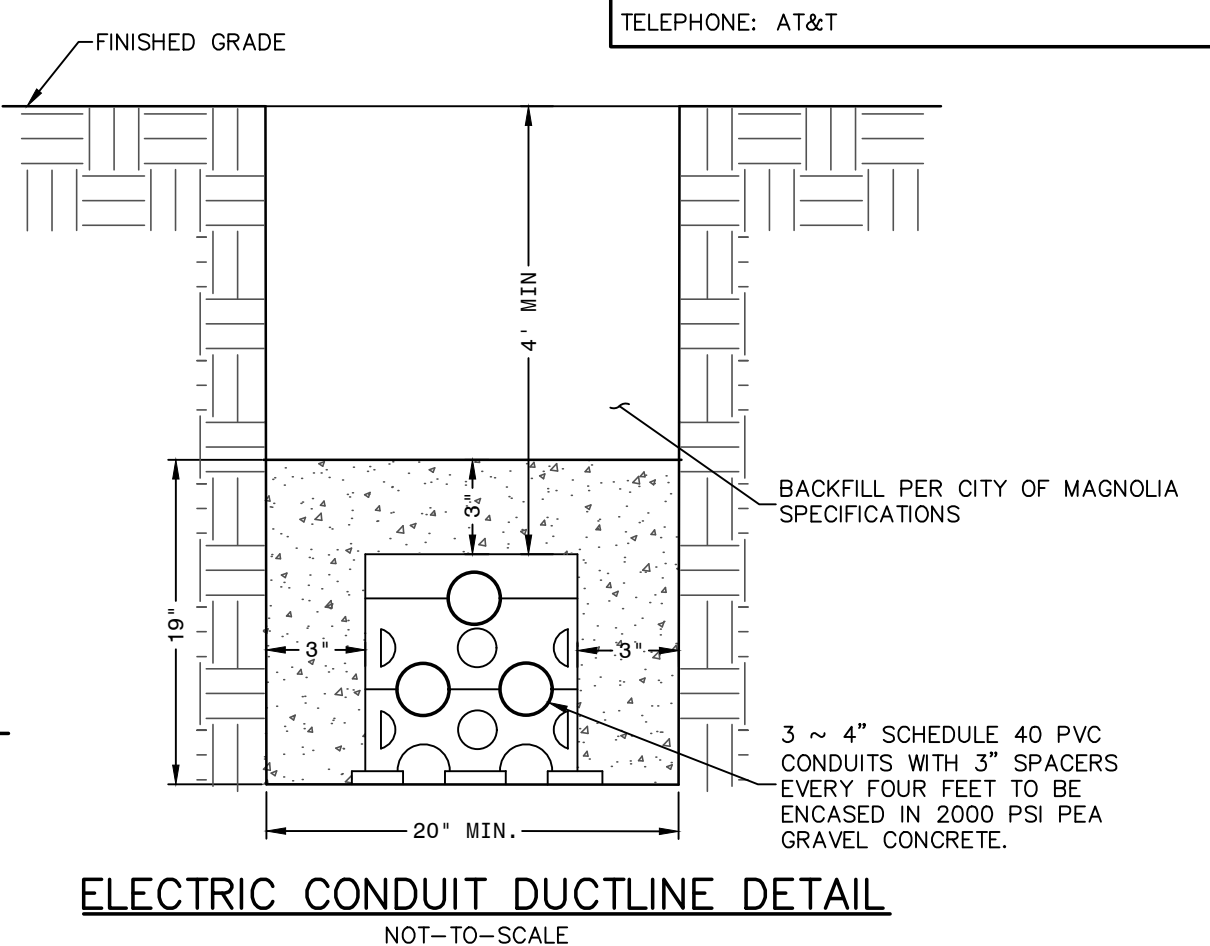
EXISTING IMPROVEMENT NOTE:
 EXISTING IMPROVEMENTS SHOWN ARE FROM A SURVEY DONE BY PAPE-DAWSON ENGINEERS ON AUGUST 16, 2022 AND DEVELOPERS. PLANS AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY TO NOTIFY OF ANY DISCREPANCIES OR CONFLICT.

CAUTION!!
 CONTRACTOR TO VERIFY EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICTS.

NOTE:
 REFER TO MEP PLANS FOR SLEEVES/CONDUITS FOR PARKING LOT LIGHTS, AND COMMUNICATIONS TO PROPOSED MENU BOARD. CONTRACTOR TO ENSURE THERE ARE NO CONFLICTS BETWEEN LIGHT POLE BASES AND ANY UTILITIES.

UTILITY NOTES

- ALL 4-INCH AND 6-INCH SANITARY SEWER LINES AND FITTINGS TO BE CONSTRUCTED OF SCHEDULE 40 PVC. ALL PROPOSED LINES ARE PRIVATE.
- ALL WATER LINES AND FITTINGS TO BE CONSTRUCTED OF C-900 PVC.



GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
- NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT ARE NOT LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

NGS REFERENCE MARK NO. PD BL1869
 PUBLISHED ELEVATION: 231.7 NAVD83
 BOX CUT ON TOP OF M.H. AS SHOWN HEREON.
 ELEVATION: 232.12' NAVD83
 CONTROL POINT #1
 BOX CUT IN CONC. AS SHOWN HEREON.
 ELEVATION: 234.44' NAVD83

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

UTILITY PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	21	90" SPACES 20'-0" x 9'-0"
43	22	60" SPACES 20'-0" x 9'-0"
	---	---
	---	---

PAPE-DAWSON ENGINEERS
 HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
 TEPLE FIRM REGISTRATION #470 | TEPLE FIRM REGISTRATION #10191074

PLAN SCALE: 1" = 20'
STREET ADDRESS
13337 FM 1488
 CITY: **MAGNOLIA** STATE: **TEXAS**
 COUNTY: **MONTGOMERY**
 REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
 DRAWING TITLE **04.00-4102003-UT.dwg**

BY	ISSUE REF

REV	DATE	DESCRIPTION

PAPE-DAWSON ENGINEERS

PLAN APPROVALS	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)	CONTRACTOR OWNER
REGIONAL MANAGER	
REC CONSTRUCTION MGR	
OPERATIONS MANAGER	
REAL ESTATE MANAGER	

STATUS	DATE	BY
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PLAN DRAWN		
PLAN CHECKED		

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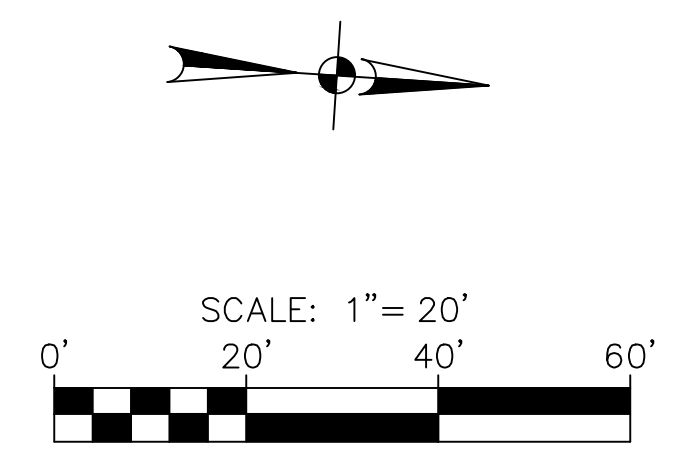
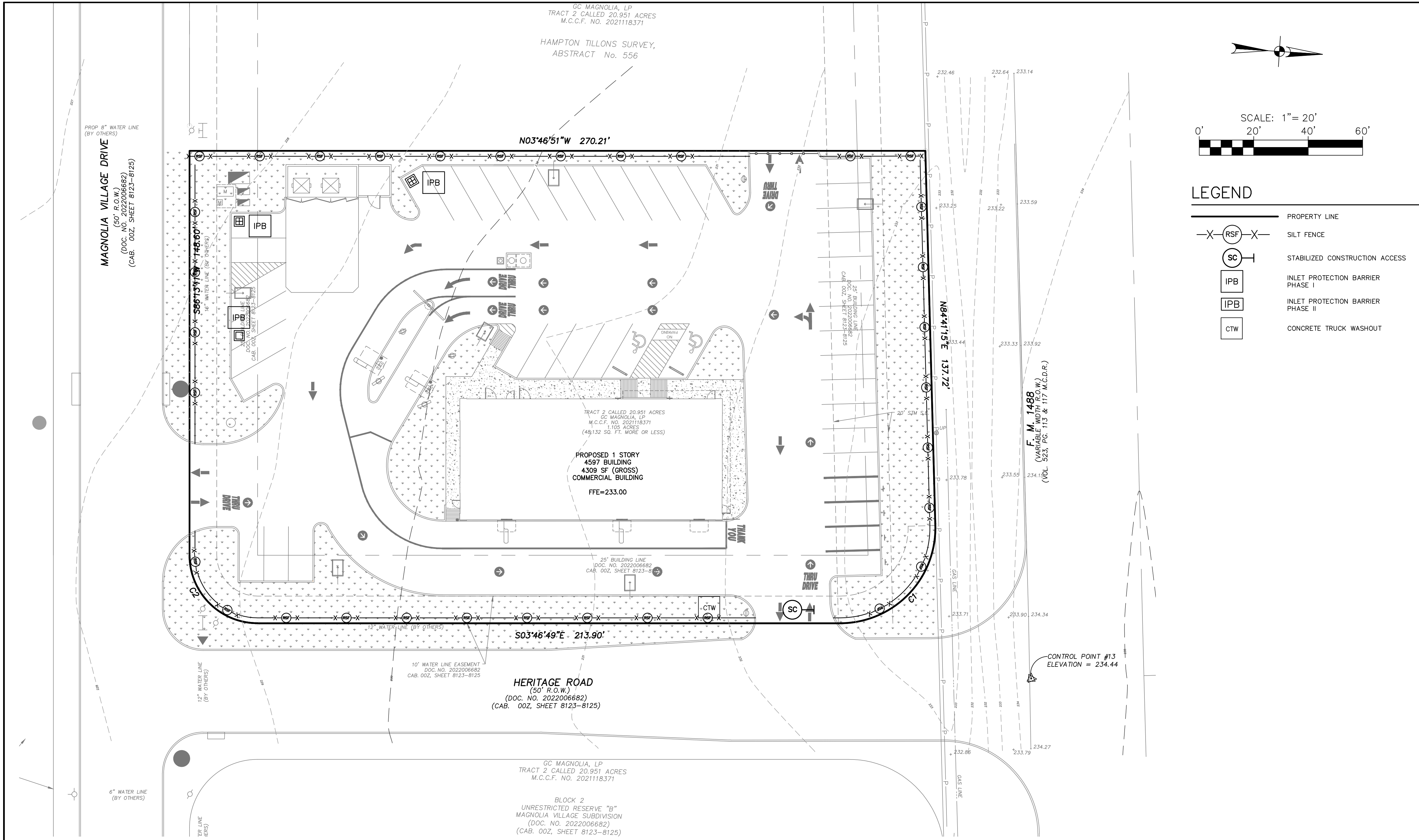
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C-6.10 DETAIL SHEET (SHEET 2 OF 3)
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NEW

Date: Aug 14, 2023, 6:50pm User: ID: mvabona File: K:\Projects\4102003\2-0 Design\2-1 Civil\2-1-4 Plans\Sheets\04-00-4102003-UT.dwg

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

Date: Aug 14, 2023, 6:50pm User: ID: mveabona
 File: K:\Projects\410\20\0312-0 Design\2-1 Civil\2-1-4 Plans\Sheets\05-00-4102003-SW.dwg

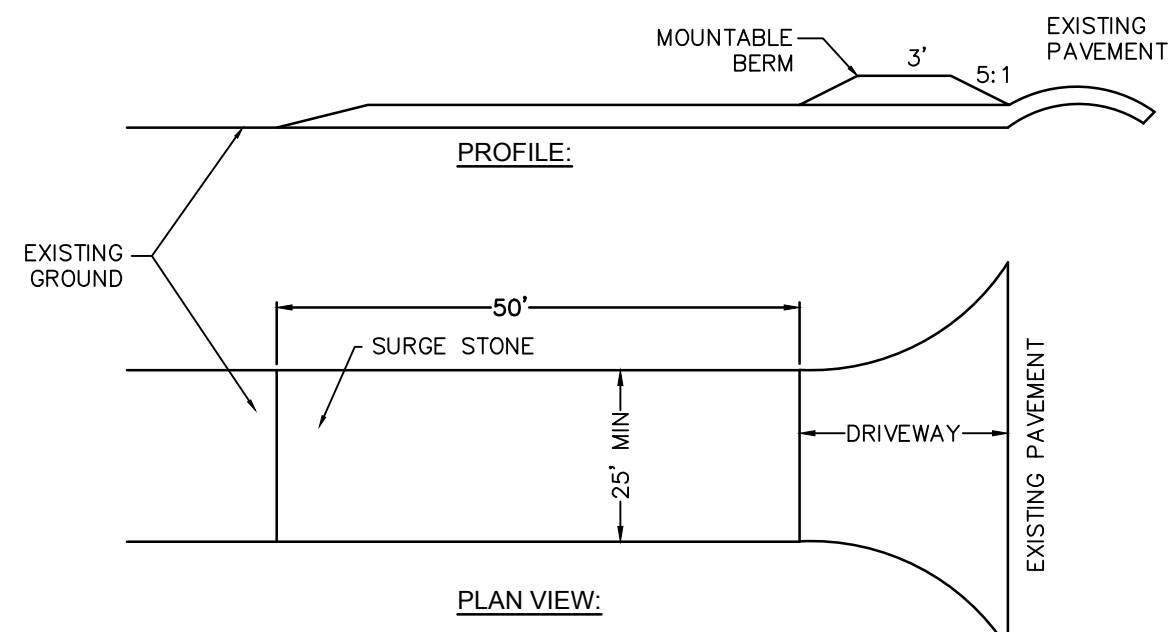


LEGEND

	PROPERTY LINE
	SILT FENCE
	STABILIZED CONSTRUCTION ACCESS
	INLET PROTECTION BARRIER PHASE I
	INLET PROTECTION BARRIER PHASE II
	CONCRETE TRUCK WASHOUT

STORM WATER POLLUTION PREVENTION NOTES

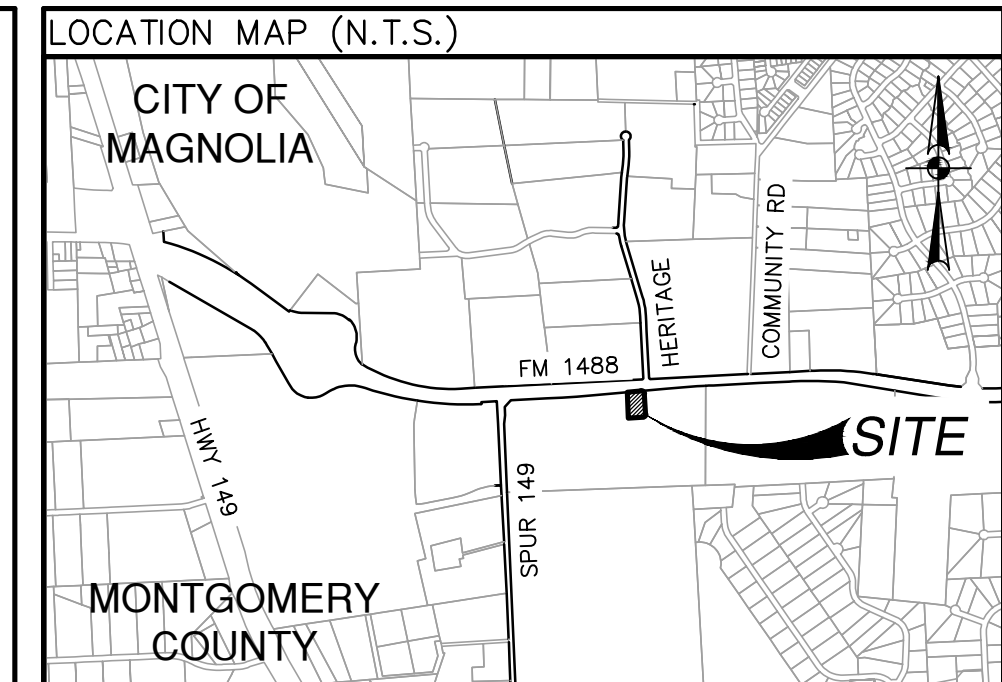
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL INSTALL POLLUTION PREVENTION SYSTEMS AT LOCATION SHOWN ON PLANS.
- IF POLLUTION PREVENTION SYSTEMS ARE EXISTING FROM PRIOR CONTRACTS, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE THE EXISTING POLLUTION PREVENTION SYSTEMS FOR DAMAGE PRIOR TO CONTRACTOR STARTING CONSTRUCTION OF THE CONTRACT. ANY DAMAGE NOTED AT THIS TIME SHALL BE REPAIRED AT OWNER'S EXPENSE.
- CONTRACTOR SHALL INSPECT ALL POLLUTION PREVENTION SYSTEMS SPECIFIED HEREIN, AS REQUIRED IN THE PERMIT.
- CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEMS THROUGHOUT THE DURATION OF THE CONTRACT.
- CONTRACTOR SHALL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS AND OTHER POTENTIALLY TOXIC MATERIALS.
- CONTRACTOR SHALL LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. CONTRACTOR SHALL USE A LINER UNDER ABOVE GROUND STORAGE TANKS. CONTRACTOR SHALL USE FILTER FABRIC FENCING, HAY BALES, OR BERMS AROUND FUEL STORAGE AREAS.
- CONTRACTOR SHALL ADVISE OWNER IMMEDIATELY, VERBALLY, AND IN WRITING, OF ANY FUEL OR TOXIC MATERIAL SPILLS ONTO THE PROJECT/CONSTRUCTION AREA AND THE ACTIONS TAKEN TO REMEDY THE PROBLEM.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF HIS FUELS, MATERIALS, AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE ENVIRONMENTAL LAWS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATELY MAINTAINED SANITARY FACILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STREET CLEANING, ON A DAILY BASIS, ALL MUD AND DIRT DEPOSITED ON THE EXISTING PAVEMENT DUE TO THIS CONSTRUCTION ACTIVITY. STREET CLEANING WILL BE DONE BY STREET SCRAPING OR BY USING VACUUM SWEEPER. WASHING SEDIMENT INTO SEWER INLETS IS PROHIBITED BY THE DISTRICT AND THE EPA.
- CONTRACTOR SHALL PROVIDE A STABILIZED CONSTRUCTION EXIT.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE FILTER FABRIC FENCE WHEN IT BECOMES ABOUT ONE-THIRD OF THE HEIGHT OF THE FENCE.
- WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE HAS BEEN ESTABLISHED, STRUCTURAL CONTROLS WILL BE REMOVED AND DISTURBED AREAS WILL BE RESTABILIZED.
- AT COMPLETION OF THE CONTRACT, OWNER AND/OR OWNER'S REPRESENTATIVE AND THE CONTRACTOR SHALL EXAMINE THE POLLUTION PREVENTION SYSTEM BEFORE RELIEVING CONTRACTOR OF HIS MAINTENANCE RESPONSIBILITIES.
- CONTRACTOR TO BE RESPONSIBLE FOR THE SUBMISSION OF HIS STORM WATER POLLUTION PREVENTION PLAN ITEMS INSPECTION REPORT WITH HIS PAYMENT REQUEST. FAILURE TO COMPLY MAY RESULT IN A DELAY IN PAYMENT.
- CONTRACTOR TO PROVIDE CONCRETE TRUCK WASHOUT AND IDENTIFICATION SIGN ON SITE FOR THE DURATION OF THE CONTRACT. THE CONTRACTOR MUST CLEAN AND MAINTAIN THE SITE AS NECESSARY AND IS RESPONSIBLE FOR THE PROPER AND LEGAL DISPOSAL OF CONCRETE. SILT FENCING MUST BE INSTALLED ALONG THE CURB IN FRONT OF THE WASHOUT AREA AS WELL AS AN ACCESS PAD.



- STONE SIZE - USED 3-6" STONE, OR EQUAL
- MIN LENGTH - 50 FEET
- MIN THICKNESS - SIX (6) INCHES
- WIDTH - 25 FOOT MIN
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
- SURFACE WATER - ALL SURFACE WATER FLOWING TOWARD THE CONSTRUCTION EGRESS SHALL BE DIVERTED EITHER BY PIPE OF SWALES TO PREVENT THE WASHOUT OF THE EGRESS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRED PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ACCESS DETAIL

NEW



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LEGAL DESCRIPTION

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SWPPP PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	90" SPACES 20'-0" X 9'-0"	60" SPACES 20'-0" X 9'-0"
43	22	21

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
 TEXAS FIRM REGISTRATION #470 | TDELP FIRM REGISTRATION #1019074

PLAN SCALE: 1" = 20'

STREET ADDRESS: **13337 FM 1488**

CITY: **MAGNOLIA** STATE: **TEXAS**

COUNTY: **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**

DRAWING TITLE: **05.00-4102003-SW.dwg**

BY: ISSUE REF

DESCRIPTION

DATE

REV

PAPE-DAWSON ENGINEERS

McDonald's

MCDONALD'S USA - SOUTH TEXAS TEAM
 3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

OFFICE ADDRESS

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	REGIONAL MANAGER	REC CONSTRUCTION MGR	OPERATIONS MANAGER	REAL ESTATE MANAGER	CONTRACTOR	OWNER

CO-SIGN SIGNATURES

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
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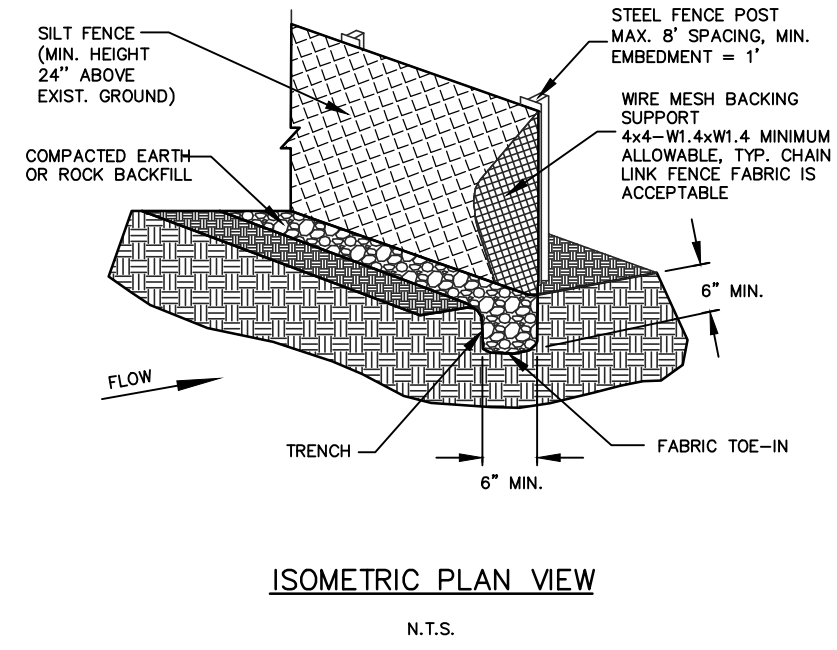
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C-5.00

SILT FENCE
A SILT FENCE IS A BARRIER CONSISTING OF GEOTEXTILE FABRIC SUPPORTED BY METAL POSTS TO PREVENT SOIL AND SEDIMENT LOSS FROM A SITE WHEN PROPERLY USED. SILT FENCES CAN BE HIGHLY EFFECTIVE AT CONTROLLING SEDIMENT FROM DISTURBED AREAS. THEY CAUSE RUNOFF TO POND, ALLOWING HEAVIER SOLIDS TO SETTLE OUT, IF NOT PROPERLY INSTALLED, SILT FENCES ARE NOT LIKELY TO BE EFFECTIVE.

THE PURPOSE OF A SILT FENCE IS TO INTERCEPT AND DETAIN WATER-BORN SEDIMENT FROM UNPROTECTED AREAS OF A LIMITED EXTENT. SILT FENCE IS USED DURING THE PERIOD OF CONSTRUCTION NEAR THE PERIMETER OF A DISTURBED AREA TO INTERCEPT SEDIMENT WHILE ALLOWING WATER TO PERCOLATE THROUGH. THIS FENCE SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. SILT FENCE SHOULD NOT BE USED WHERE THERE IS A CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY. IF CONCENTRATED FLOW OCCURS AFTER INSTALLATION, CORRECTIVE ACTION MUST BE TAKEN SUCH AS PLACING A ROCK BERM IN THE AREAS OF CONCENTRATED FLOW.

SILT FENCING WITHIN THE SITE MAY BE TEMPORARILY MOVED DURING THE DAY TO ALLOW CONSTRUCTION ACTIVITY PROVIDED IT IS REPLACED AND PROPERLY ANCHORED TO THE GROUND AT THE END OF THE DAY. SILT FENCES ON THE PERIMETER OF THE SITE OR AROUND DRAINAGE WAYS SHOULD NOT BE MOVED AT ANY TIME.

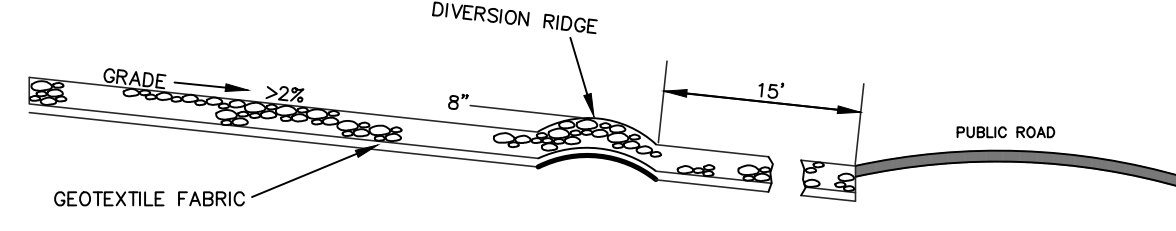
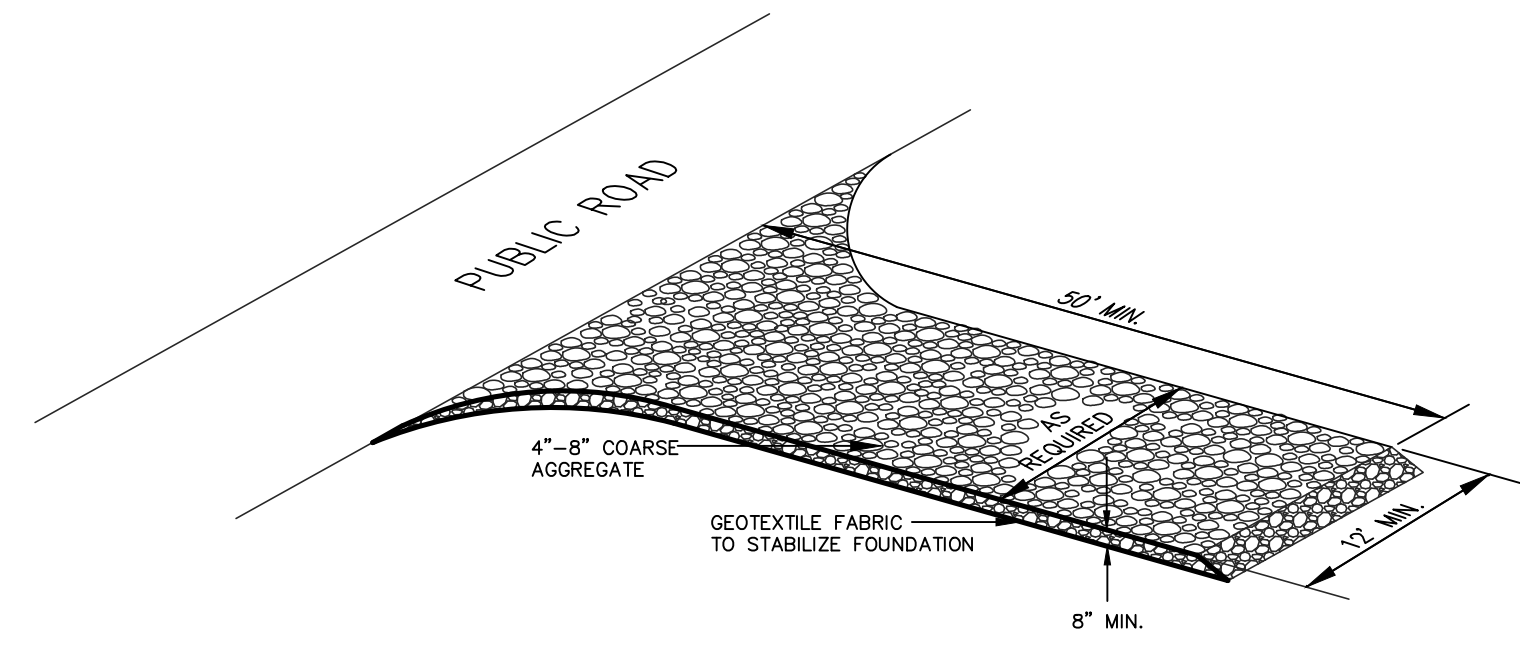


MATERIALS:
(1) SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC WIDTH SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN², ULTRAVIOLET STABILITY EXCEEDING 70%, AND MINIMUM APPARENT OPENING SIZE OF U.S. SIEVE NO. 30.
(2) FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR Y-BAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM NOMINAL WEIGHT 1.25 LB/FT, AND BRINDELL HARDNESS EXCEEDING 140.
(3) WOVEN WIRE BACKING TO SUPPORT THE FABRIC SHOULD BE GALVANIZED 2" X 4" WELDED WIRE, 12 GAUGE MINIMUM.

INSTALLATION:
(1) STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF 1-FOOT DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER. WHERE WATER CONCENTRATES, THE MAXIMUM SPACING SHOULD BE 6 FEET.
(2) LAY OUT FENCING DOWN-SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS ¼ ACRE/100 FEET OF FENCE.
(3) THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G., PAVEMENT OR ROCK OUTCROP), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
(4) THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
(5) SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
(6) SILT FENCE SHOULD BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

COMMON TROUBLE POINTS:
(1) FENCE NOT INSTALLED ALONG THE CONTOUR CAUSING WATER TO CONCENTRATE AND FLOW OVER THE FENCE.
(2) FABRIC NOT SEATED SECURELY TO GROUND (RUNOFF PASSING UNDER FENCE).
(3) FENCE NOT INSTALLED PERPENDICULAR TO FLOW LINE (RUNOFF ESCAPING AROUND SIDES).
(4) FENCE TREATING TOO LARGE AN AREA, OR EXCESSIVE CHANNEL FLOW (RUNOFF OVERTOPS OR COLLAPSES FENCE).

INSPECTION AND MAINTENANCE GUIDELINES:
(1) INSPECT ALL FENCING WEEKLY, AND AFTER RAINFALL.
(2) REMOVE SEDIMENT WHEN BUILDUP REACHES 6 INCHES.
(3) REPLACE TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION.
(4) REPLACE OR REPAIR SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY. IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT WILL NOT OBSTRUCT VEHICLES. A TRIANGULAR FILTER DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS.
(5) WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE REVEGETATED. THE FENCE ITSELF SHOULD BE DISPOSED OF IN AN APPROVED LANDFILL.



MATERIALS:
(1) THE AGGREGATE SHOULD CONSIST OF 4 TO 8 INCH WASHED STONE OVER A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.
(2) THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8 INCHES.
(3) THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 6 OZ/YD², A MULLEN BURST RATING OF 140 LB/IN², AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.
(4) IF A WASHING FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4 INCH DIAMETER WASHED STONE OR COMMERCIAL ROCK SHOULD BE INCLUDED IN THE PLANS. DIVERT WASTEWATER TO A SEDIMENT TRAP OR BASIN.

INSTALLATION:
(1) AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES. REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.
(2) THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.
(3) THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
(4) IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
(5) PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
(6) PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE.
(7) DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.
(8) INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.

COMMON TROUBLE POINTS:
(1) INADEQUATE RUNOFF CONTROL—SEDIMENT WASHES ONTO PUBLIC ROAD.
(2) STONE TOO SMALL OR GEOTEXTILE FABRIC ABSENT, RESULTS IN MUDDY CONDITION AS STONE IS PRESSED INTO SOIL.
(3) PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC—EXTEND PAD BEYOND THE MINIMUM 50 FOOT LENGTH AS NECESSARY.
(4) PAD NOT FLARED SUFFICIENTLY AT ROAD SURFACE, RESULTS IN MUD BEING TRACKED ON TO ROAD AND POSSIBLE DAMAGE TO ROAD.
(5) UNSTABLE FOUNDATION — USE GEOTEXTILE FABRIC UNDER PAD AND/OR IMPROVE FOUNDATION DRAINAGE.

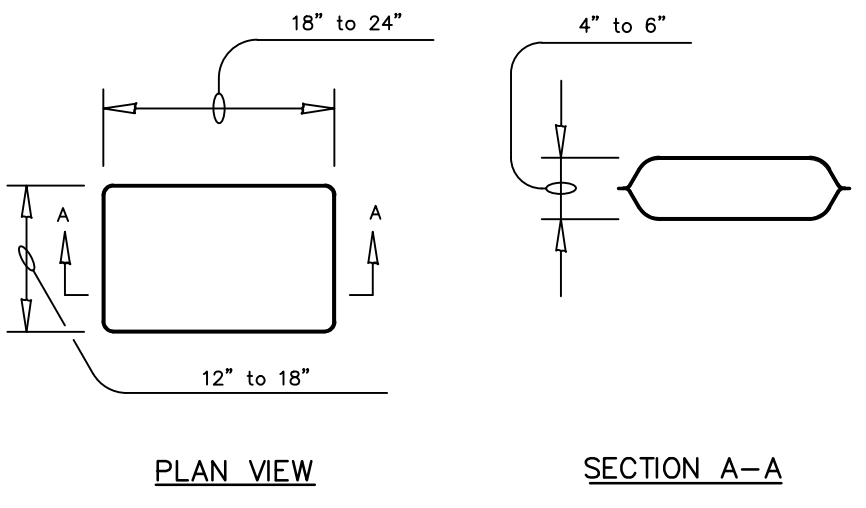
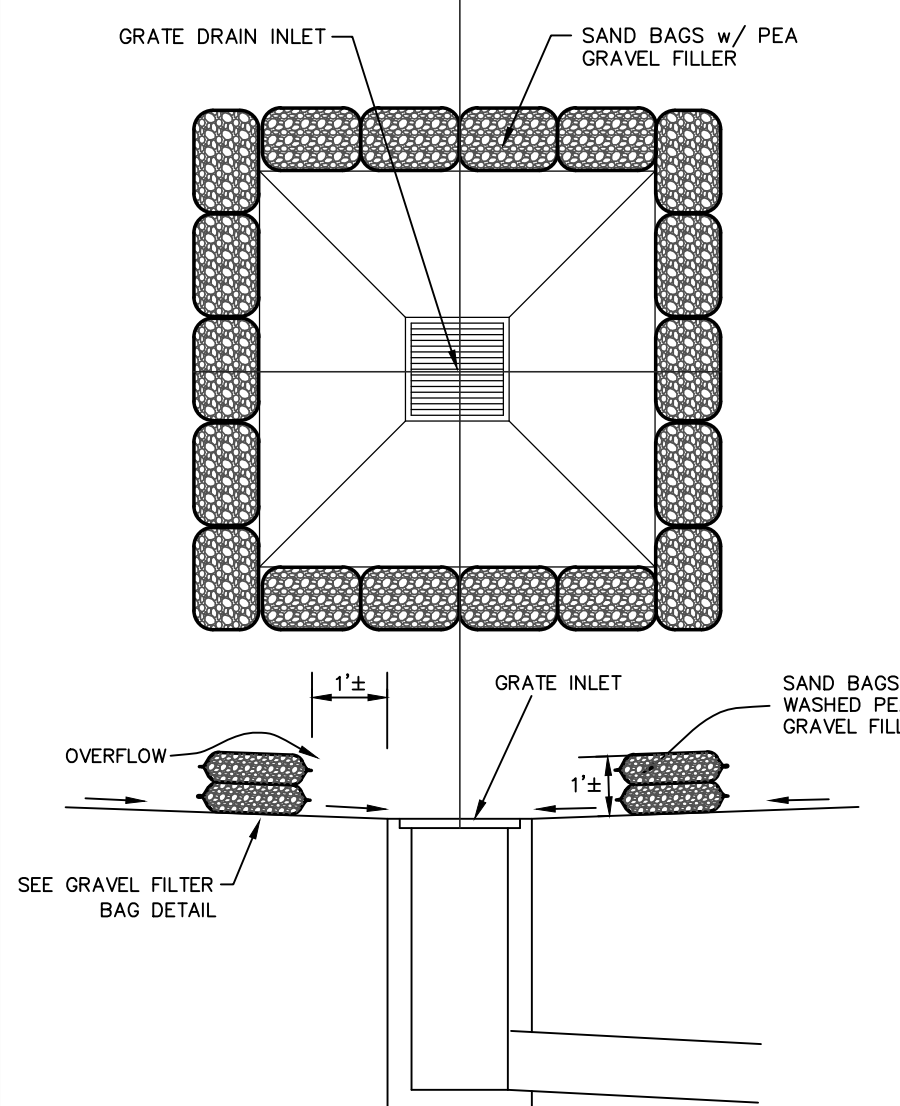
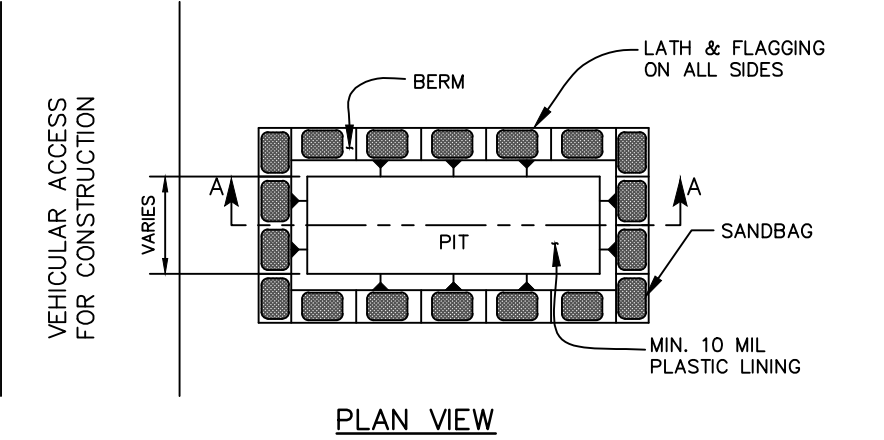
INSPECTION AND MAINTENANCE GUIDELINES:
(1) THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
(2) ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.
(3) WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
(4) WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
(5) ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.

SILT FENCE

N.T.S.

STABILIZED CONSTRUCTION ENTRANCE/EXIT

N.T.S.



GENERAL NOTES:
1) DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.
2) WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
3) WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF.
4) LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES, OR WATER BODIES.
5) TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE CONSTRUCTED WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.

MATERIALS:
1) PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

INSPECTION AND MAINTENANCE GUIDELINES:
1) WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF.
2) MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.
3) HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.

GENERAL NOTES:
1) THE SANDBAGS SHOULD BE FILLED WITH WASHED PEA GRAVEL AND STACKED TO FORM A CONTINUOUS BARRIER ABOUT 1 FOOT HIGH AROUND INLETS.
2) THE BAGS SHOULD BE TIGHTLY ABUTTED AGAINST EACH OTHER TO PREVENT RUNOFF FROM FLOWING BETWEEN THE BAGS.

INSPECTION AND MAINTENANCE GUIDELINES:
1) INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED BY THE CONTRACTOR.
2) REMOVE SEDIMENT WHEN BUILDUP REACHES A DEPTH OF 3 INCHES. REMOVED SEDIMENT SHOULD BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3) CHECK PLACEMENT OF DEVICE TO PREVENT GAPS BETWEEN DEVICE AND CURB.
4) INSPECT FILTER FABRIC AND PATCH OR REPLACE IF TORN OR MISSING.
5) STRUCTURES SHOULD BE REMOVED AND THE AREA STABILIZED ONLY AFTER THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

MATERIALS:
1) THE FILTER BAG MATERIAL SHALL BE MADE OF POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN FABRIC. MIN. UNIT WEIGHT OF 4 OUNCES/SY, HAVE A MULLEN BURST STRENGTH EXCEEDING 300 PSI AND ULTRAVIOLET STABILITY EXCEEDING 70%.
2) THE FILTER BAG SHALL BE FILLED WITH CLEAN, MEDIUM (WASHED PEA GRAVEL), TO COURSE GRAVEL (0.31 TO 0.75 INCH DIAMETER).

GRAVEL FILTER BAG DETAIL

N.T.S.

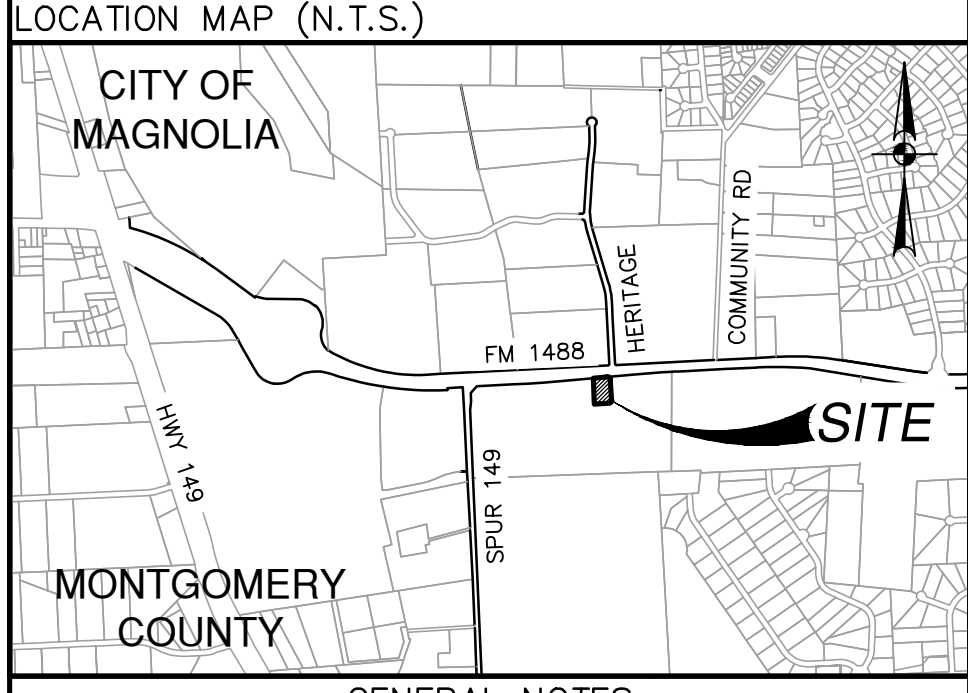
THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE TPOES—STORM WATER POLLUTION PREVENTION PLAN (SWP3) REGULATIONS.
THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF THE SWP3 ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

CONCRETE TRUCK WASHOUT PIT

N.T.S.

BAGGED GRAVEL GRATE INLET PROTECTION

N.T.S.



GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
3. ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
4. COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
5. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
7. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
9. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
10. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
12. DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
13. THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
14. NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
— SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
— ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
— CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

SWPPP PLAN DETAILS

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	21	90' SPACES 20'-0" X 9'-0"
43	--	60' SPACES 20'-0" X 9'-0"
--	--	--
--	--	--

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
TPOE FIRM REGISTRATION #470 | TPOE FIRM REGISTRATION #10190974

PLAN SCALE: N/A

STREET ADDRESS

13337 FM 1488

CITY

MAGNOLIA

STATE

TEXAS

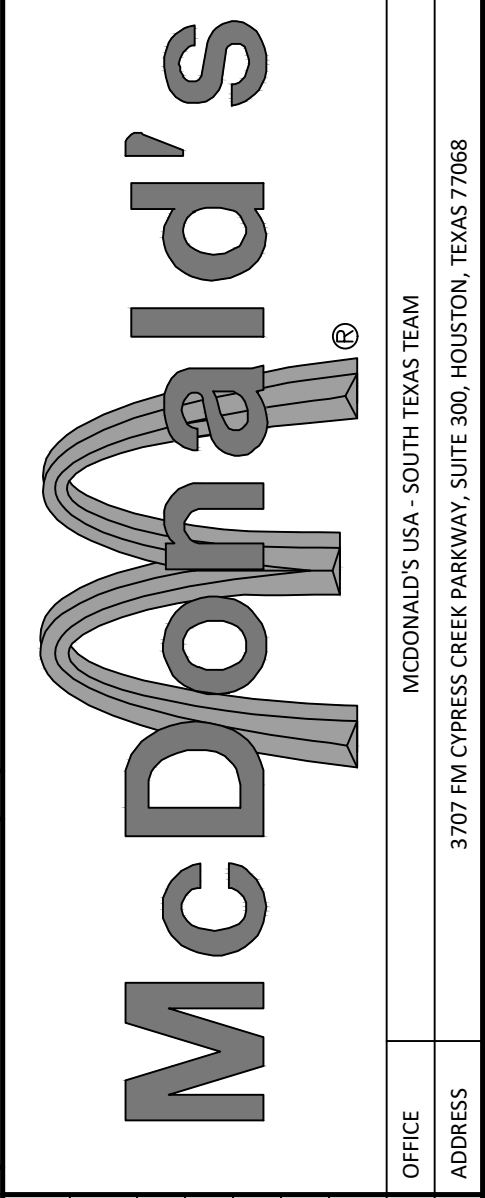
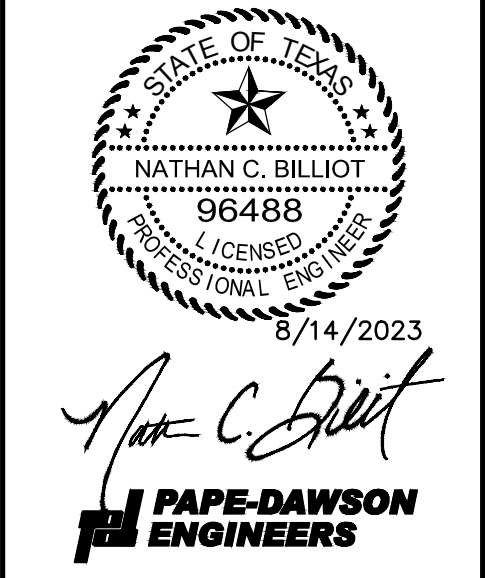
COUNTY

MONTGOMERY

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
DRAWING TITLE **08.10-4102003-SWDT (NON CON).dwg**

NEW

BY	ISSUE REF	DESCRIPTION	DATE	REV



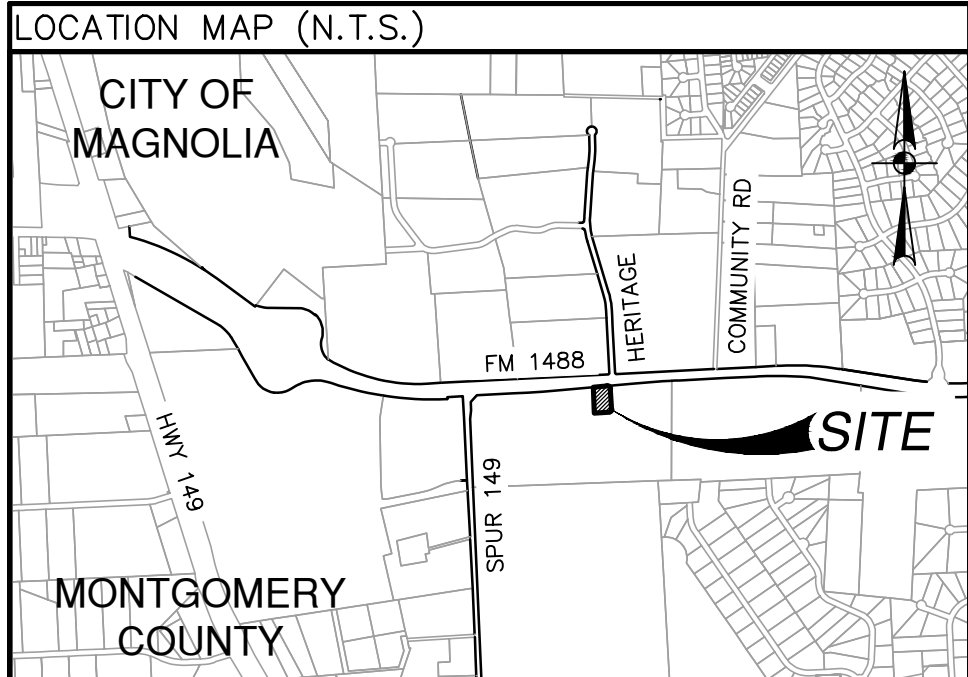
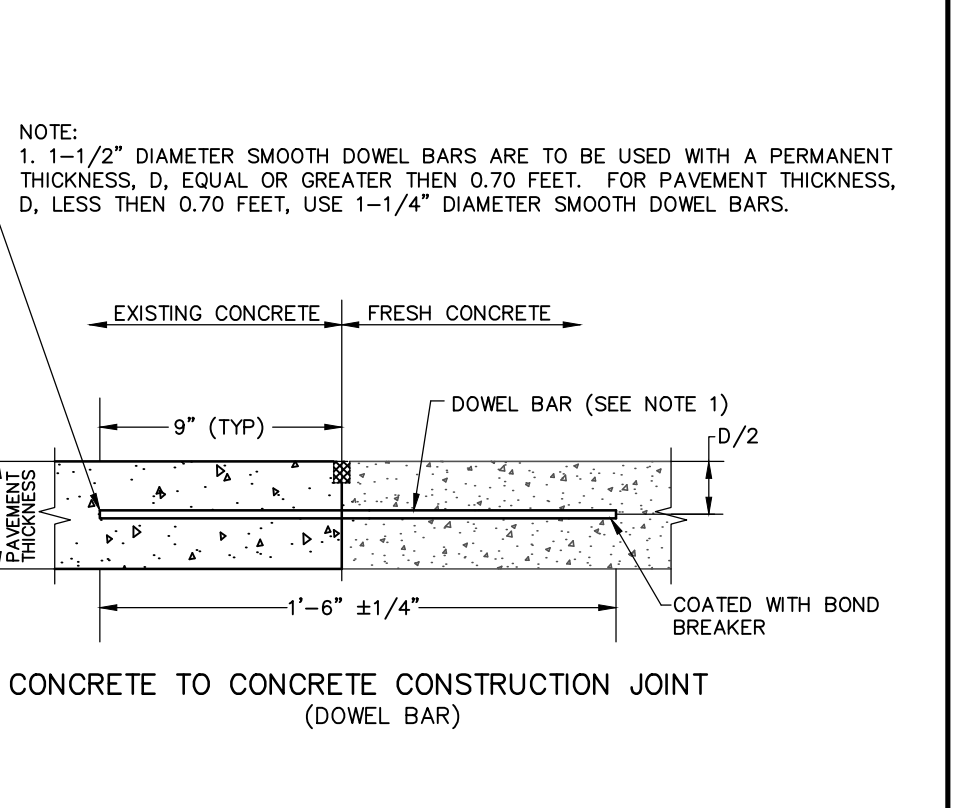
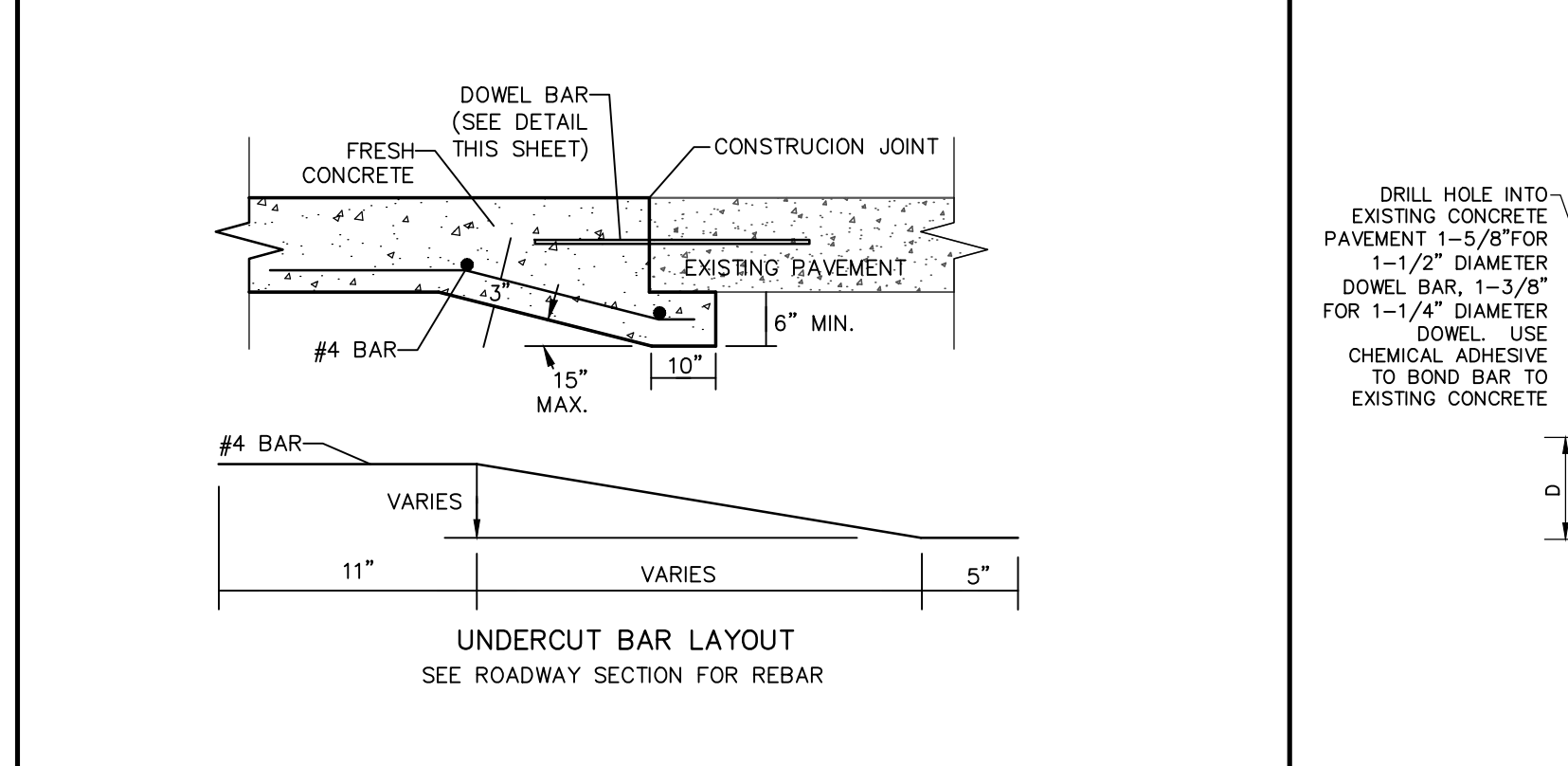
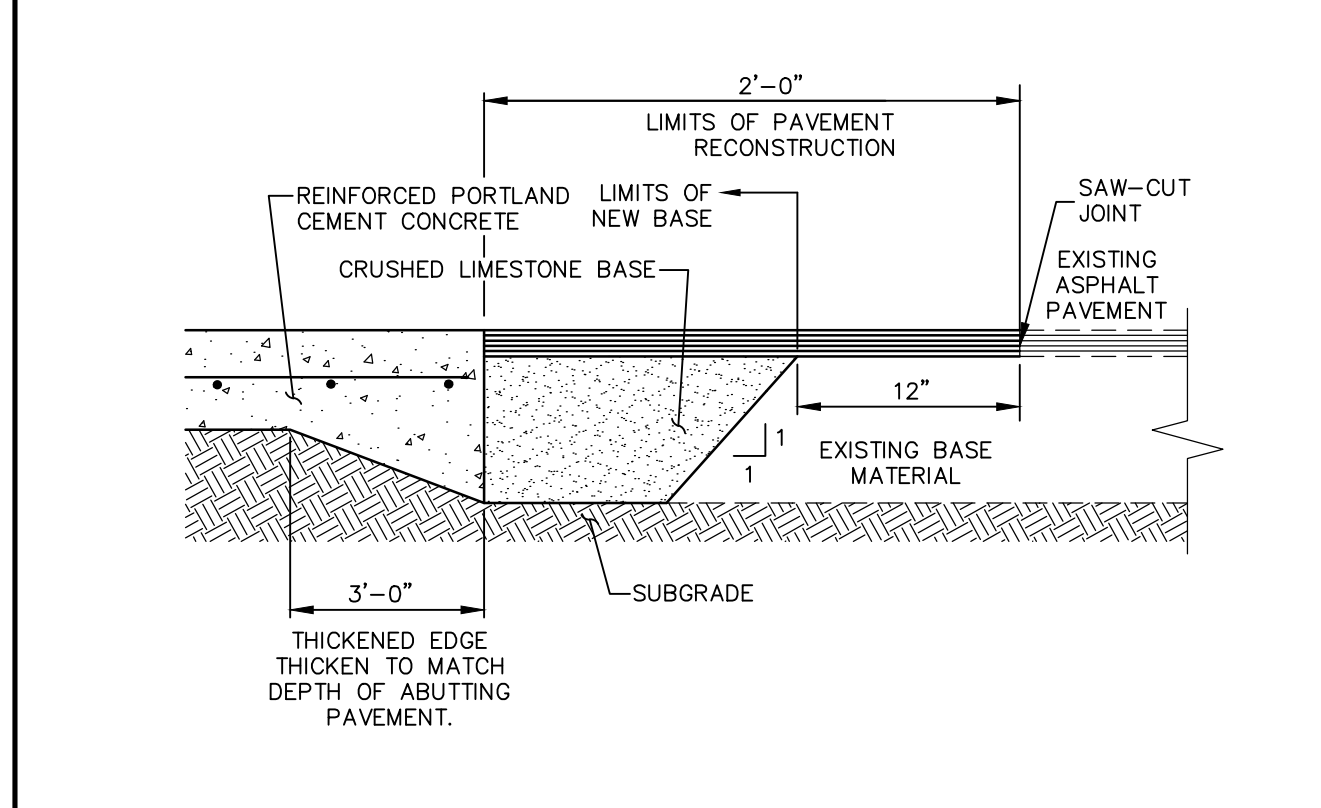
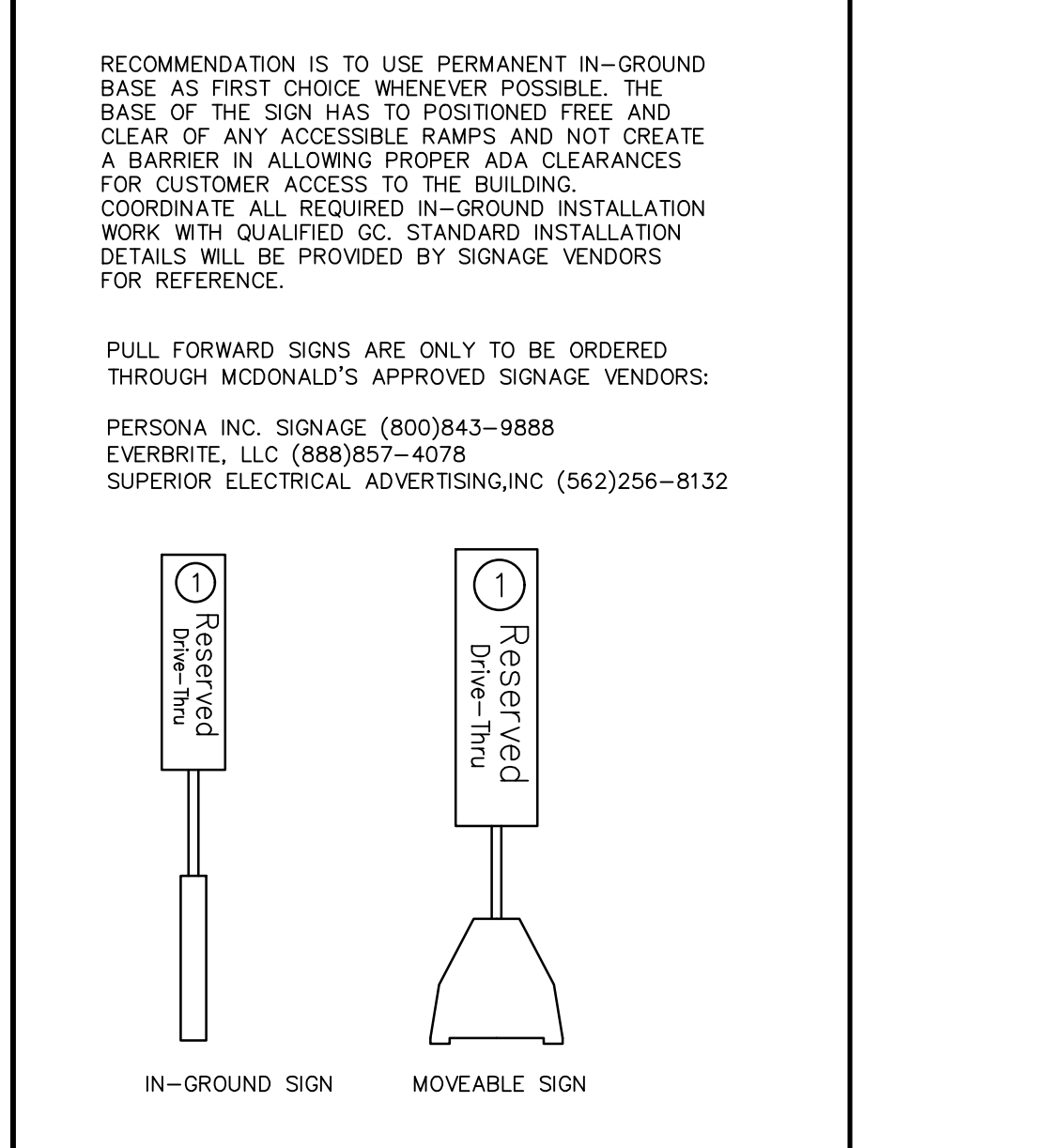
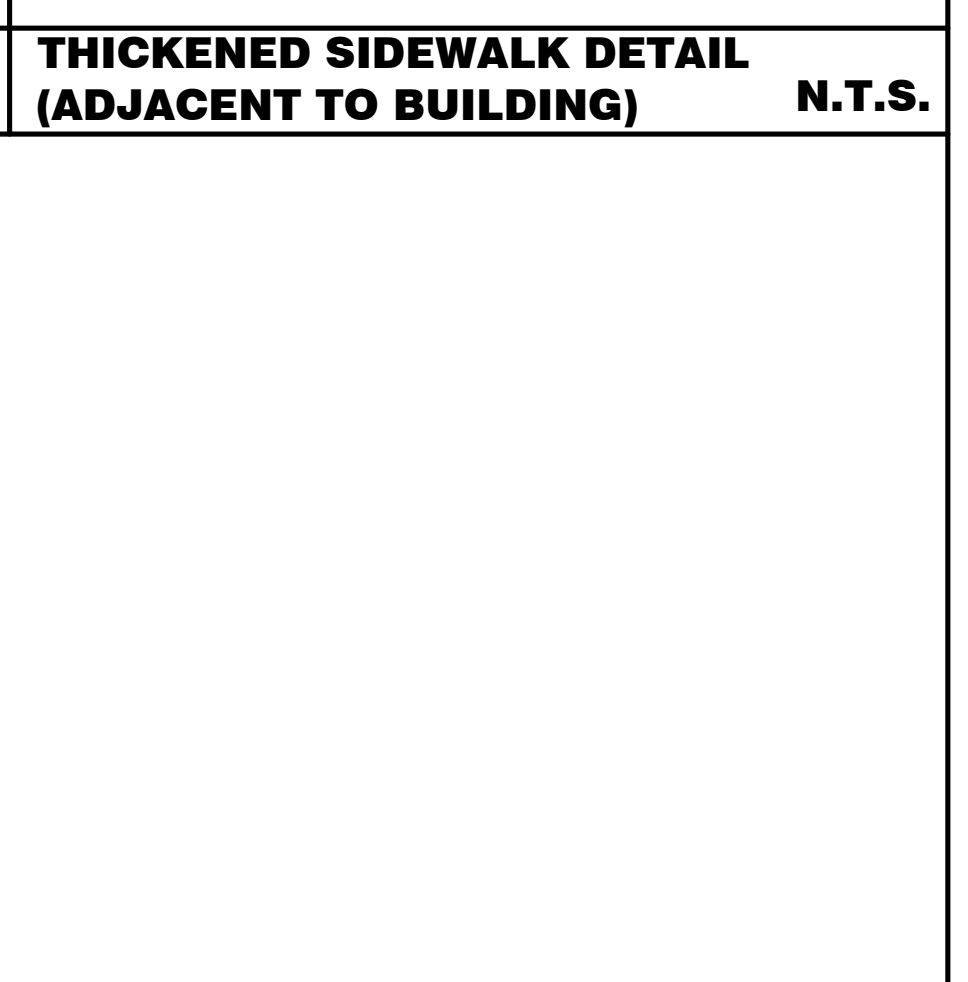
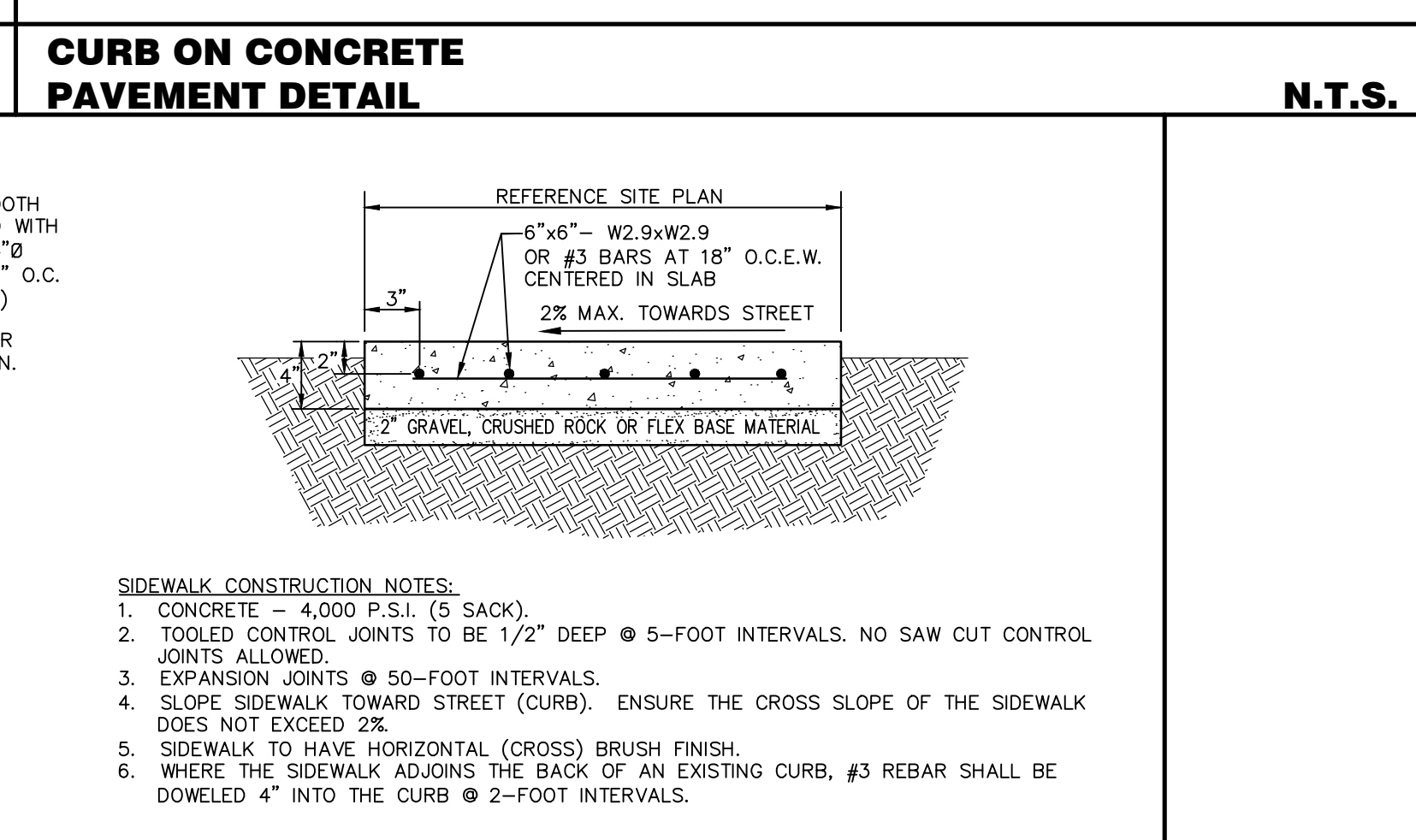
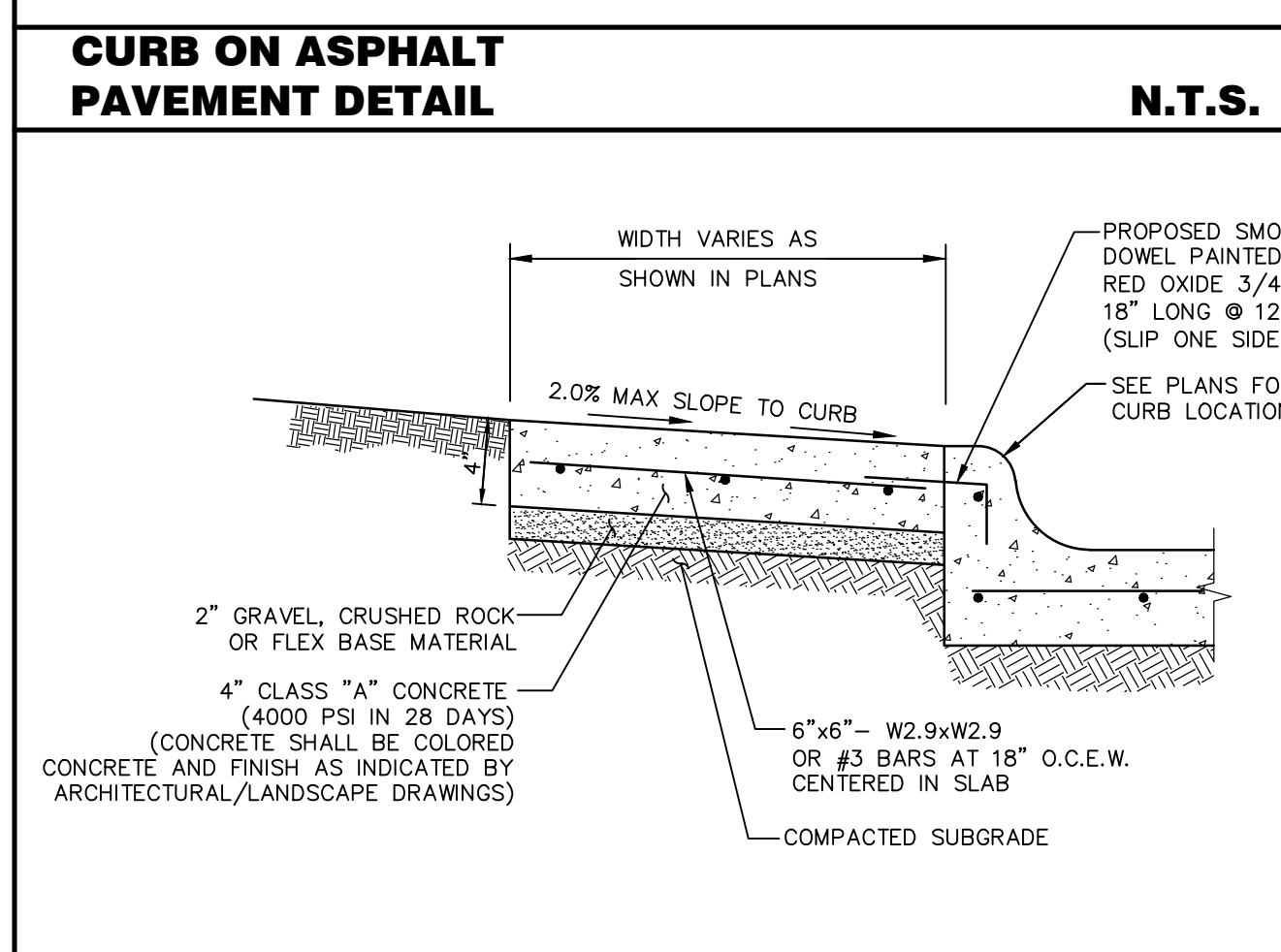
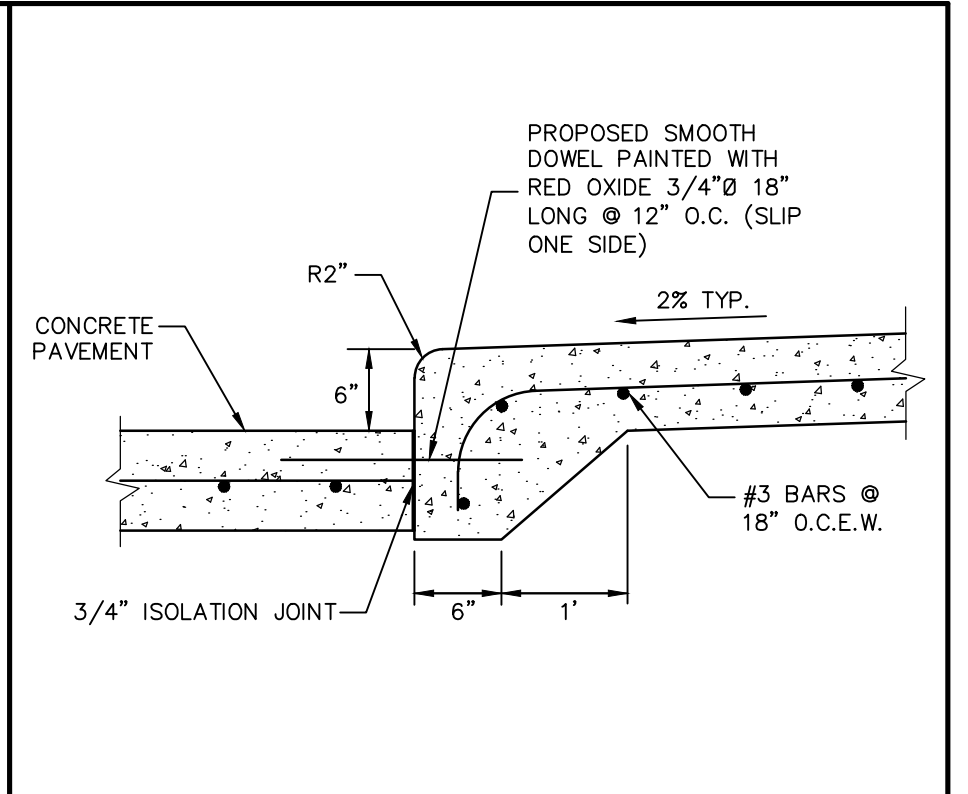
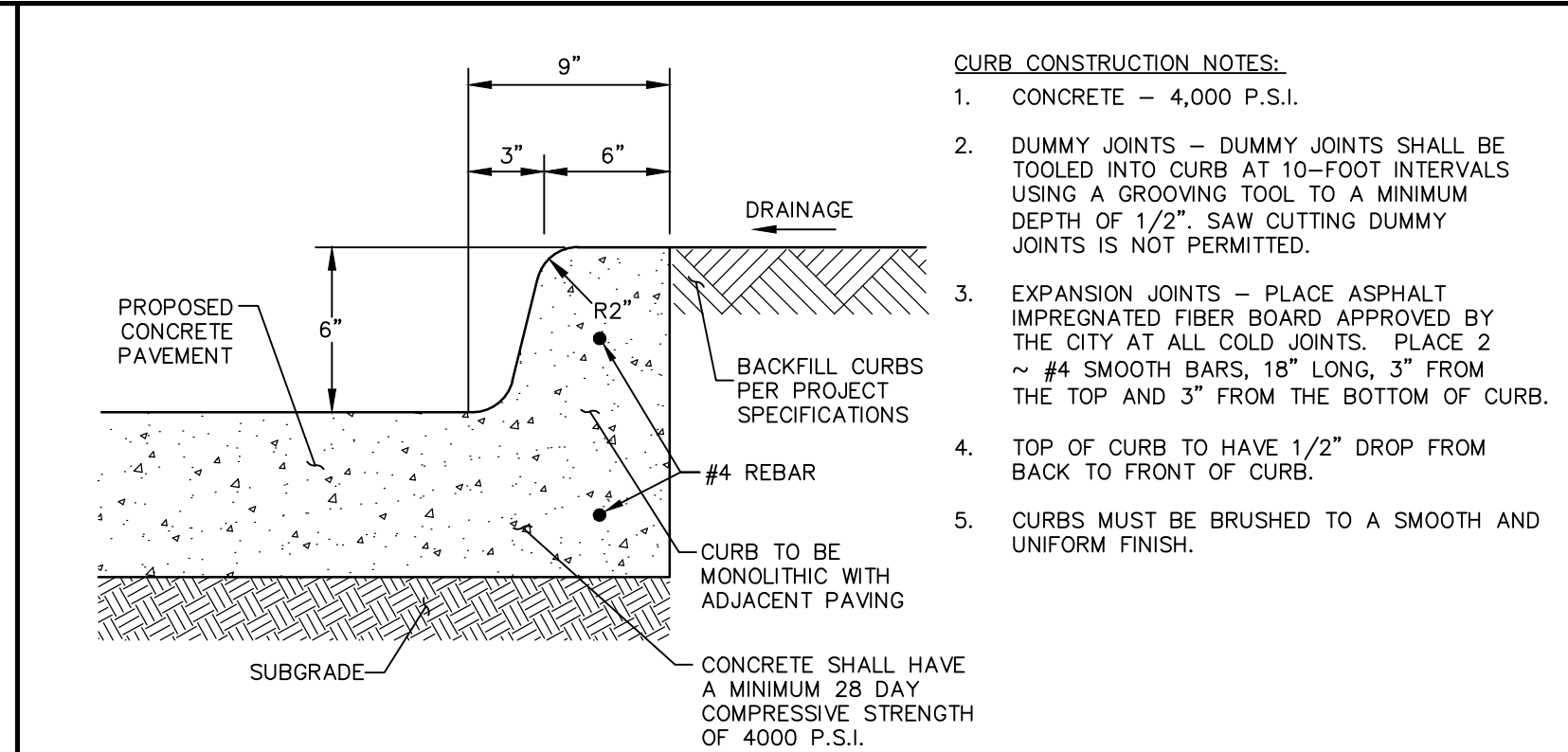
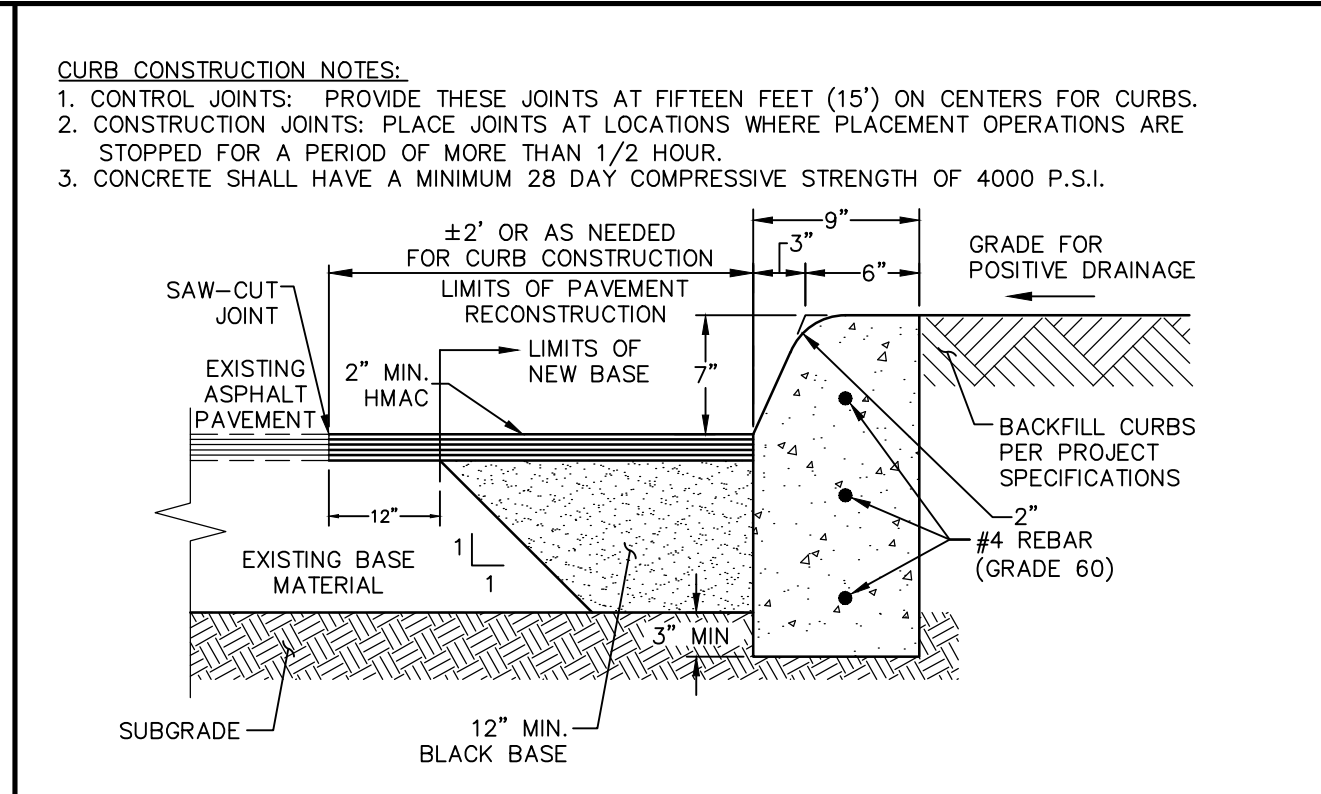
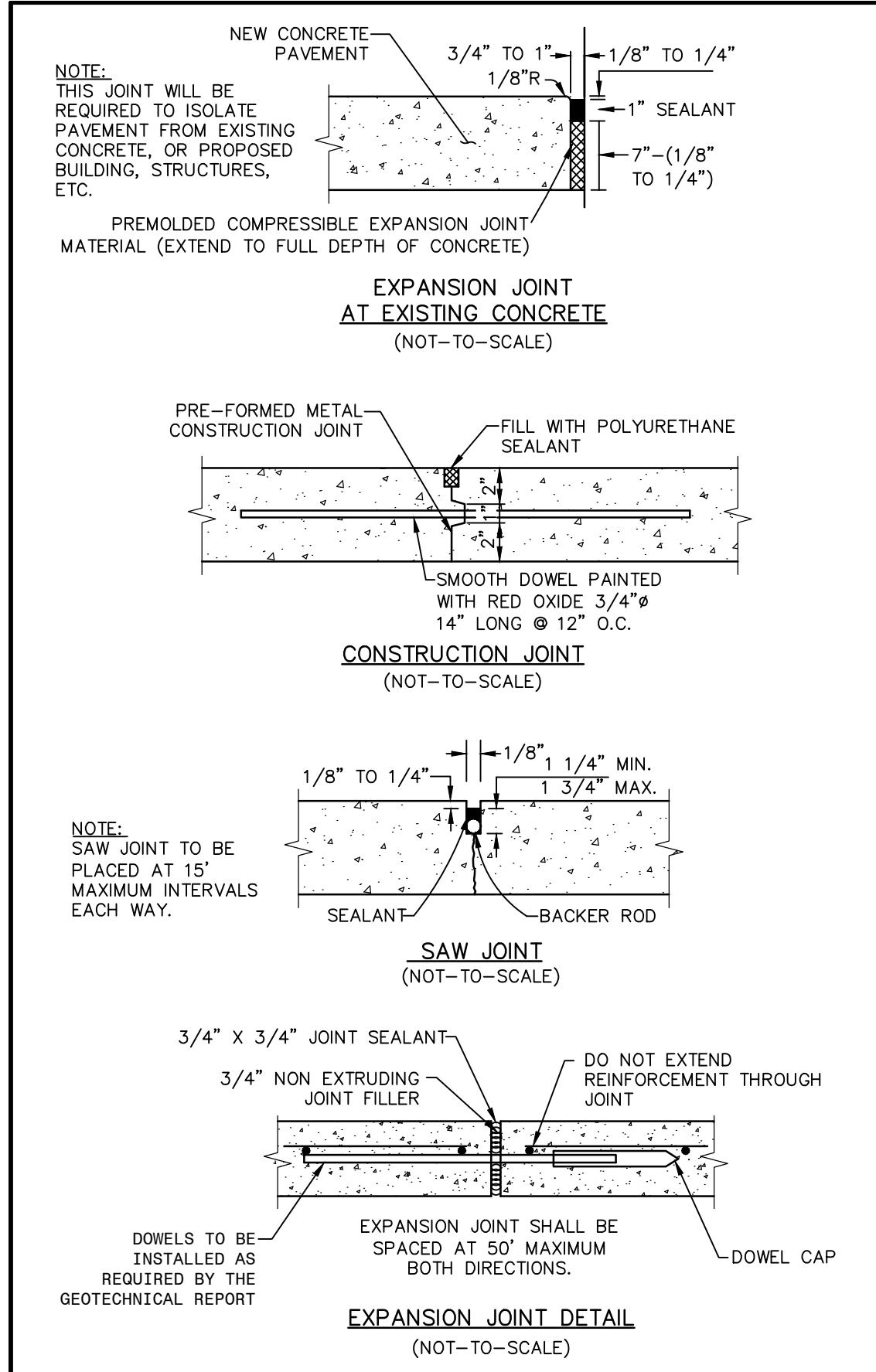
PLAN APPROVALS	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)	CONTRACTOR OWNER
REGIONAL MANAGER	CONTRACTOR OWNER
REGISTRATION MGR	CONTRACTOR OWNER
OPERATIONS MANAGER	CONTRACTOR OWNER
REAL ESTATE MANAGER	CONTRACTOR OWNER

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		

SHEET INDEX
C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
C-1.00 DEMOLITION PLAN
C-2.00 OVERALL SITE PLAN
C-2.10 PAVING PLAN
C-2.20 FIRE PROTECTION SITE PLAN
C-3.00 GRADING PLAN
C-3.10 DRAINAGE PLAN
C-3.20 DRAINAGE CALCULATIONS
C-3.30 DETENTION PLAN (REFERENCE)
C-4.00 UTILITY PLAN
C-5.00 SWPPP PLAN
C-5.10 SWPPP PLAN DETAILS
C-6.00 DETAIL SHEET (SHEET 1 OF 3)
C-6.10 DETAIL SHEET (SHEET 2 OF 3)
C-6.20 DETAIL SHEET (SHEET 3 OF 3)

C-5.10

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 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

NGS REFERENCE MARK NO. PD BL1869
 PUBLISHED ELEVATION: 231.3' NAVD83
 BOX CUT ON TOP OF M.N. AS SHOWN HEREON.
 ELEVATION: 232.12' NAVD83
 CONTROL POINT NO. 1
 BOX CUT IN CONC. AS SHOWN HEREON.
 ELEVATION: 234.44' NAVD83

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

DETAIL SHEET 1			
TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION			
TOTAL SPACES	22	90' SPACES 20'-0" X 9'-0"	60' SPACES 20'-0" X 9'-0"
43	--	--	--

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
 TEMPL FIRM REGISTRATION #470 | TEMPL FIRM REGISTRATION #1019074

PLAN SCALE: N.T.S.

STREET ADDRESS
13337 FM 1488

CITY **MAGNOLIA** STATE **TEXAS**

COUNTY **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
 DRAWING TITLE **06.00-4102003-DT.dwg**

McDonald's

McDONALD'S USA - SOUTH TEXAS TEAM
 3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

OFFICE ADDRESS

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	
------------------------	--

CO-SIGN SIGNATURES

REGIONAL MANAGER	
REGISTRATION MGR	
OPERATIONS MANAGER	
REAL ESTATE MANAGER	
CONTRACTOR	
OWNER	

STATUS DATE BY

PRELIMINARY
 PLAN DRAWN
 PLAN CHECKED

SHEET INDEX

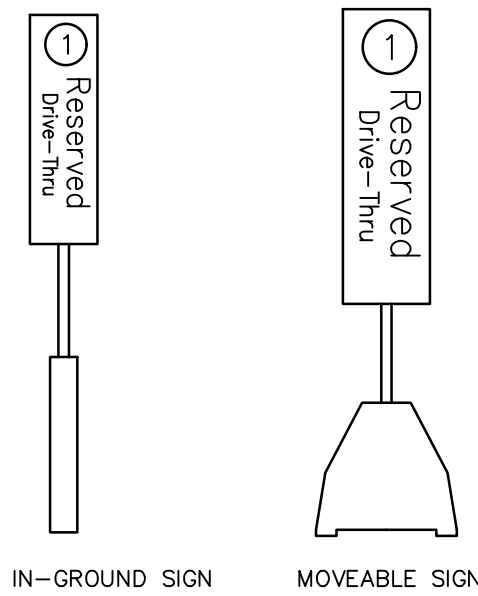
C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
C-1.00 DEMOLITION PLAN
C-2.00 OVERALL SITE PLAN
C-2.10 PAVING PLAN
C-2.20 FIRE PROTECTION SITE PLAN
C-3.00 GRADING PLAN
C-3.10 DRAINAGE PLAN
C-3.20 DRAINAGE CALCULATIONS
C-3.30 DETENTION PLAN (REFERENCE)
C-4.00 UTILITY PLAN
C-5.00 SWPPP PLAN
C-5.10 SWPPP PLAN DETAILS
C-6.00 DETAIL SHEET (SHEET 1 OF 3)
C-6.10 DETAIL SHEET (SHEET 2 OF 3)
C-6.20 DETAIL SHEET (SHEET 3 OF 3)

NEW

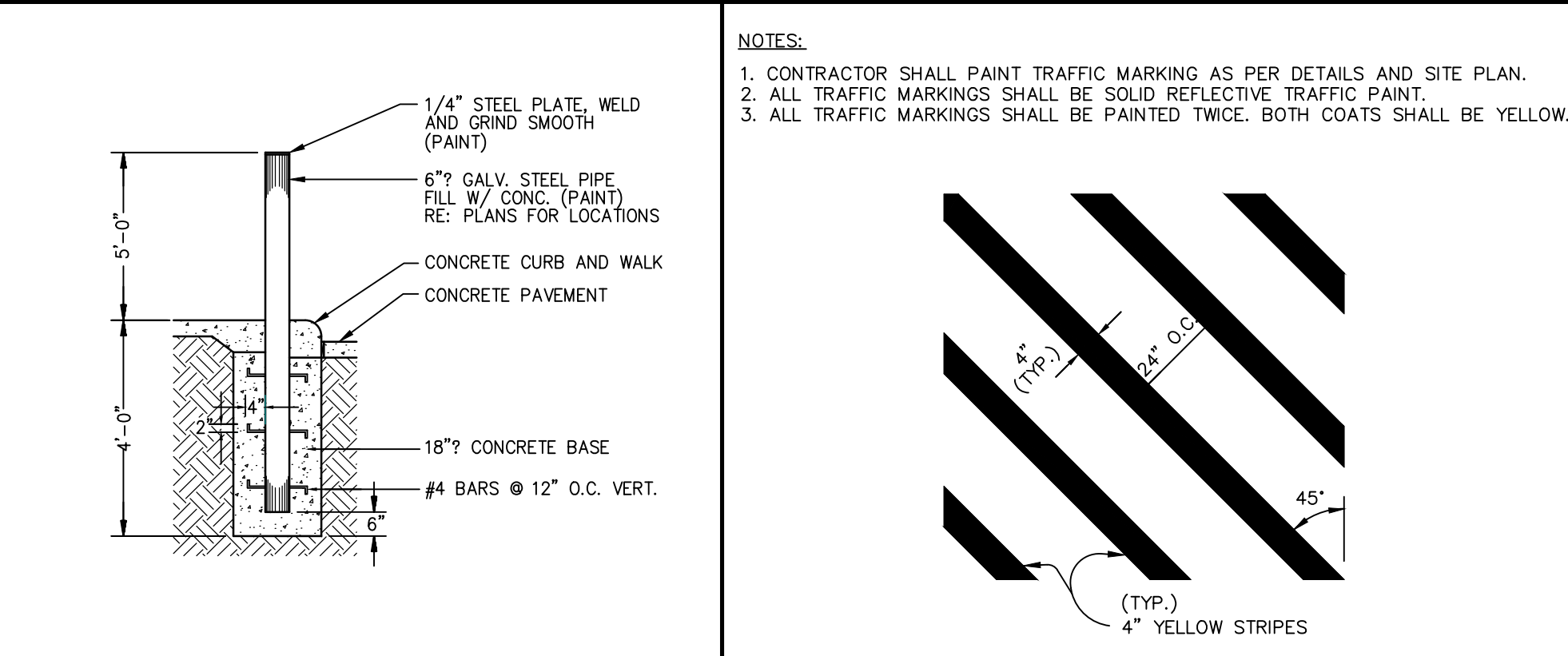
RECOMMENDATION IS TO USE PERMANENT IN-GROUND BASE AS FIRST CHOICE WHENEVER POSSIBLE. THE BASE OF THE SIGN HAS TO BE POSITIONED FREE AND CLEAR OF ANY ACCESSIBLE RAMPS AND NOT CREATE A BARRIER IN ALLOWING PROPER ADA CLEARANCES FOR CUSTOMER ACCESS TO THE BUILDING. COORDINATE ALL REQUIRED IN-GROUND INSTALLATION WORK WITH QUALIFIED GC. STANDARD INSTALLATION DETAILS WILL BE PROVIDED BY SIGNAGE VENDORS FOR REFERENCE.

PULL FORWARD SIGNS ARE ONLY TO BE ORDERED THROUGH MCDONALD'S APPROVED SIGNAGE VENDORS:

PERSONA INC. SIGNAGE (800)843-9888
EVERBRITE, LLC (888)857-4078
SUPERIOR ELECTRICAL ADVERTISING, INC (562)256-8132

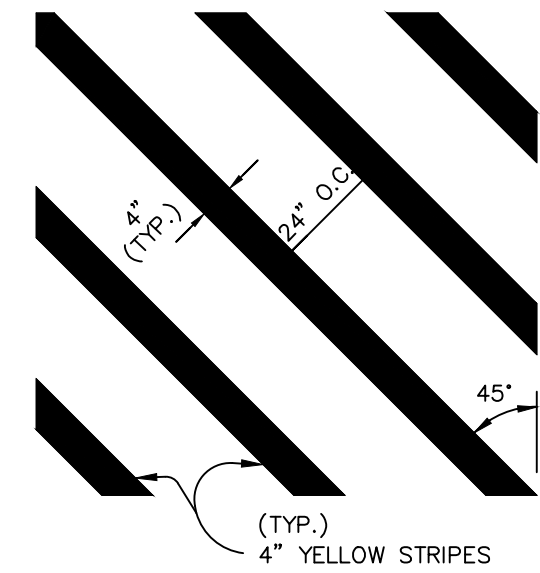


PAVEMENT MARKINGS DETAIL



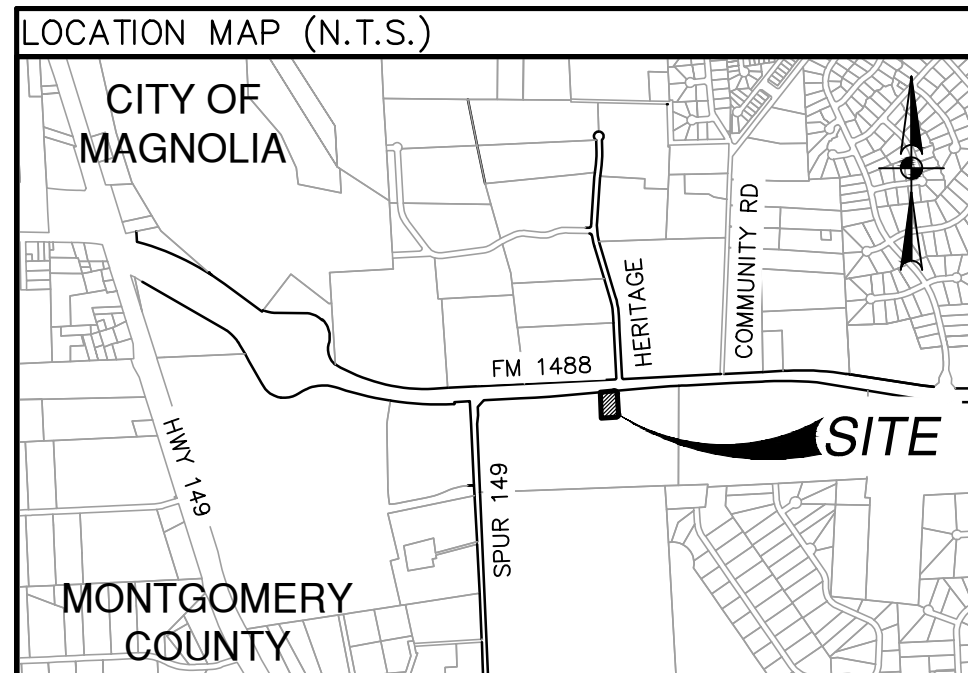
NOTES:

- CONTRACTOR SHALL PAINT TRAFFIC MARKING AS PER DETAILS AND SITE PLAN.
- ALL TRAFFIC MARKINGS SHALL BE SOLID REFLECTIVE TRAFFIC PAINT.
- ALL TRAFFIC MARKINGS SHALL BE PAINTED TWICE. BOTH COATS SHALL BE YELLOW.



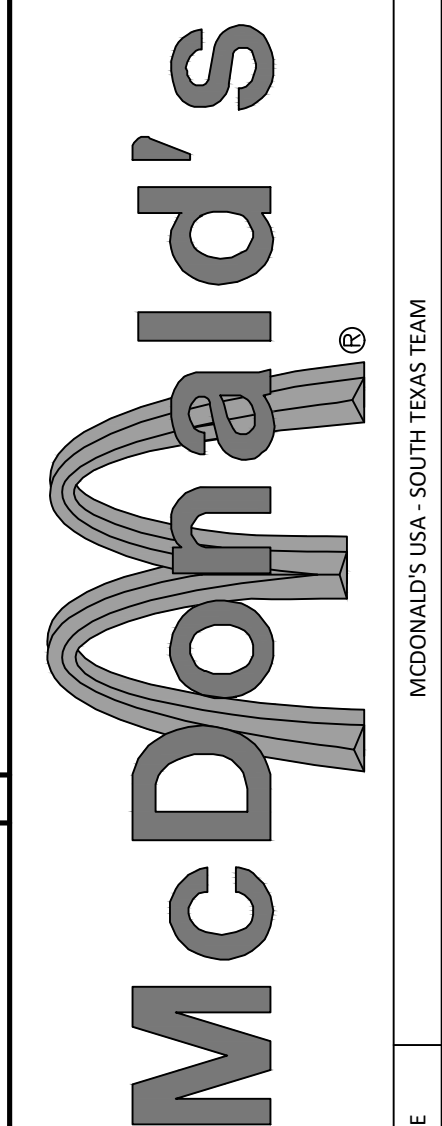
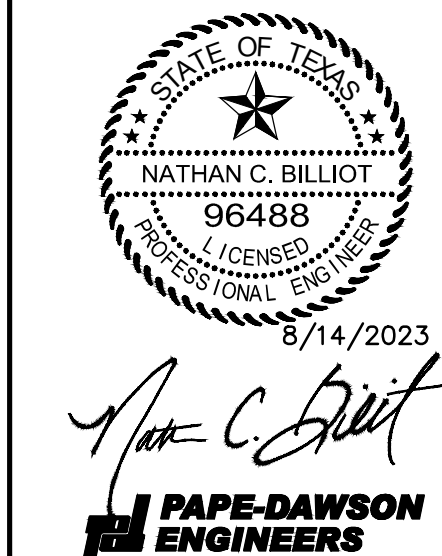
NOTES:

- CURB RAMP SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.



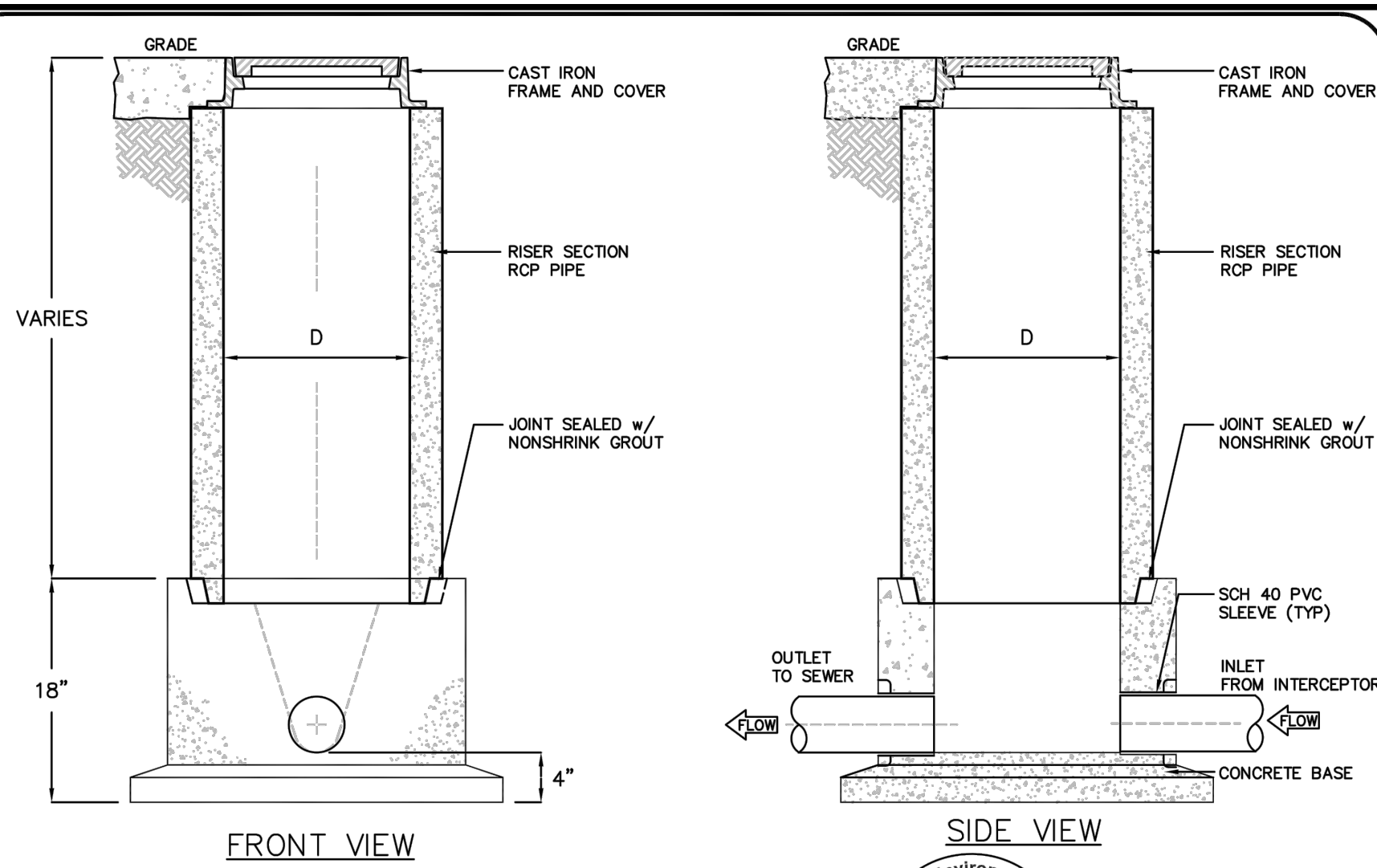
GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
- NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMP SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

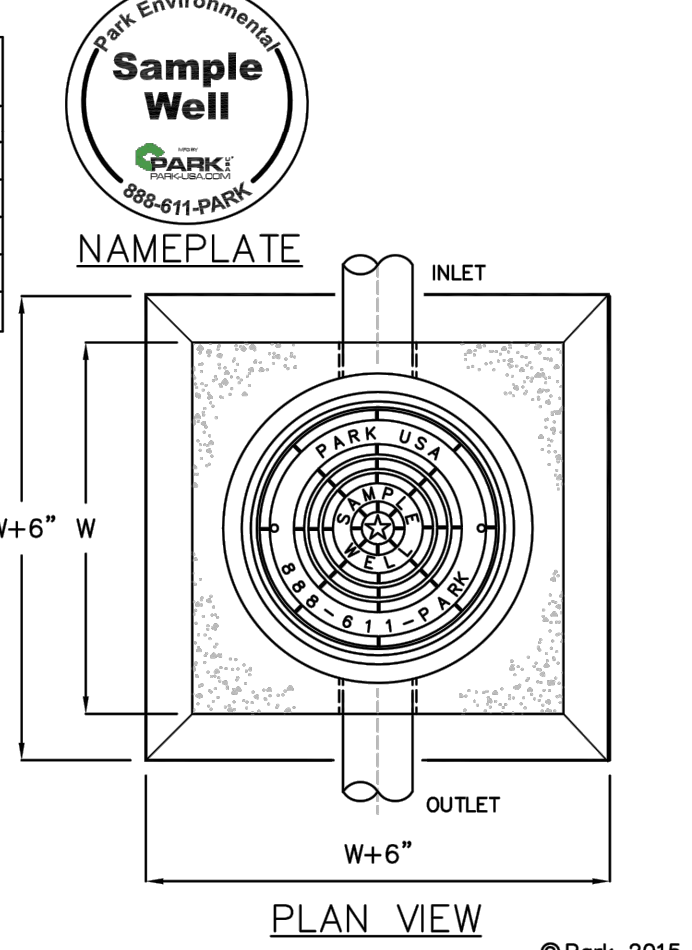


MCDONALD'S USA - SOUTH TEXAS TEAM
3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

OFFICE ADDRESS
MONTGOMERY COUNTY, TEXAS



MODEL	DIAMETER "D"	IN & OUT PIPE SIZE	WIDTH "W"
SWB-154	15"	4"	24"
SWB-156	15"	6"	24"
SWB-184	18"	4"	28"
SWB-186	18"	6"	28"
SWB-244	24"	4"	34"
SWB-246	24"	6"	34"



- NOTES**
- SAMPLING WELL MUST BE INSTALLED UNDER A SEPARATE PLUMBING PERMIT.
 - USE 15" T&G R.C.P. FOR INSTALLATION FOR INSTALLATION 6'-0" DEEP AND LESS.
 - USE 24" T&G R.C.P. FOR INSTALLATION GREATER THAN 6'-0" DEEP. (STD RING AND M.H. COVER REQUIRED)
 - SAMPLING WELL MUST BE SET IN A CIRCULAR OR SQUARE CONCRETE PAD (1'-0" GREATER THAN OUTSIDE DIAMETER OF PIPE.)
 - INSIDE INSTALLATION NOT PERMITTED, WHERE OUTSIDE INSTALLATION IS POSSIBLE.
 - INSTALLATION INSIDE BLDG MUST BE POURED IN PLACE (15' MIN) NO CONCRETE PIPE IS PERMITTED, (AIR-TIGHT COVER REQUIRED.)
 - LAWN INSTALLATION MUST BE 4" ABOVE FINISHED GRADE.
 - DRIVE & SIDEWALK INSTALLATION MUST BE BROUGHT TO FINISHED GRADE
 - TO BE INSTALLED ON PRIVATE PROPERTY, IN AN ACCESSIBLE LOCATION TO CITY PERSONNEL.

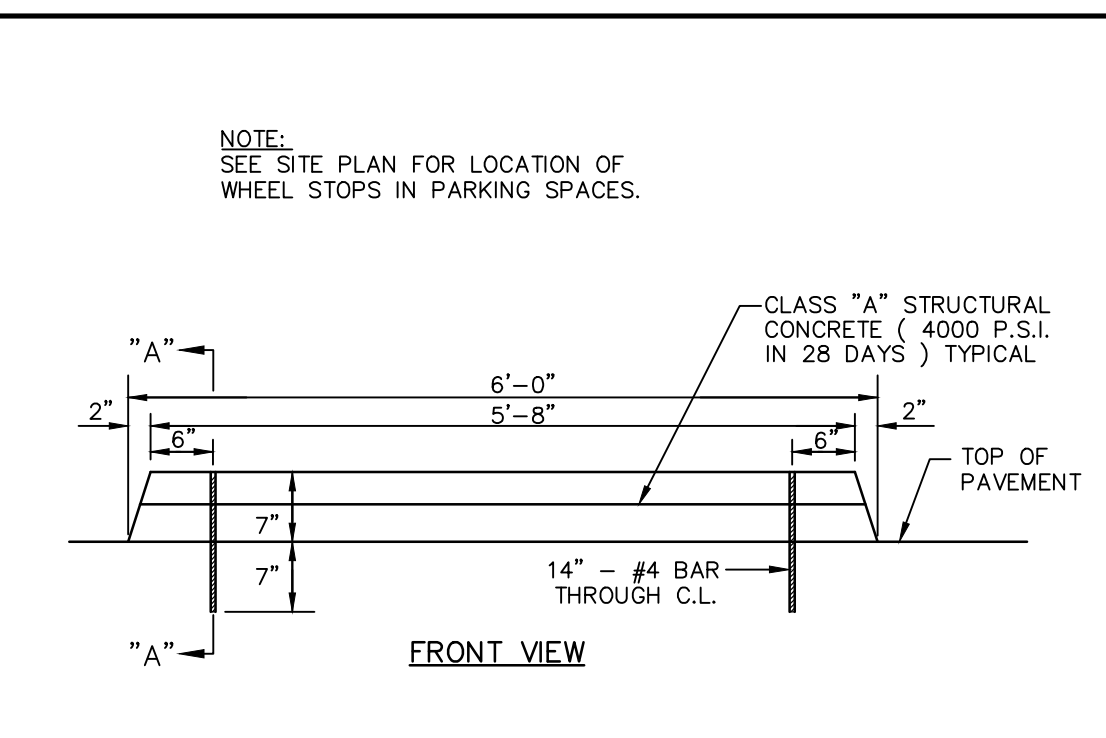
SPECIFICATIONS

CONCRETE : Class 1/1 concrete with of design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.

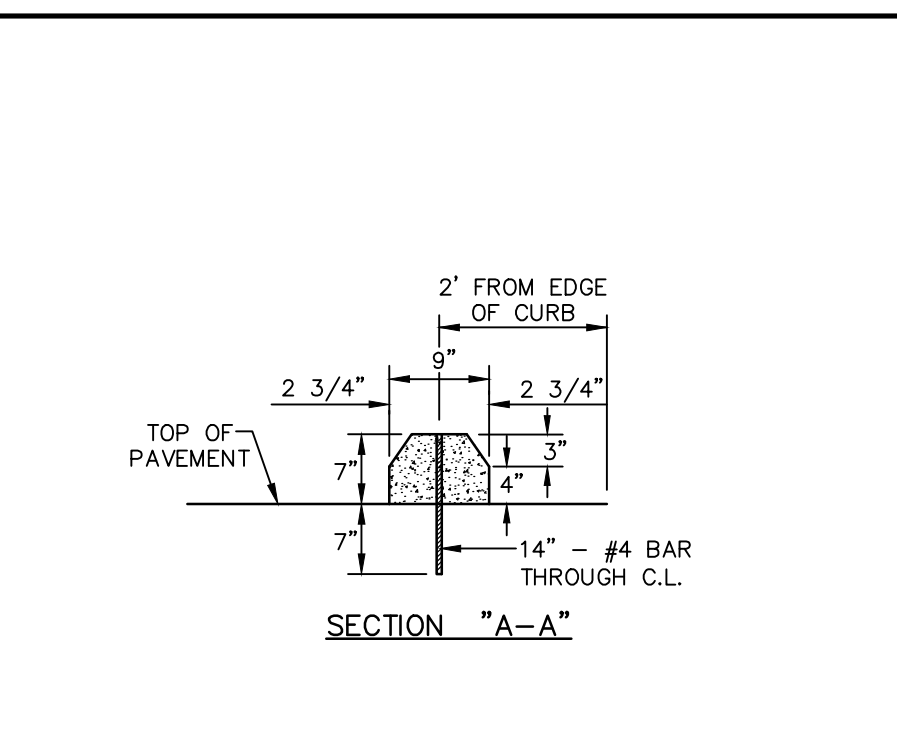
C.I. CASTINGS: Cast iron frames and grates are manufactured of grey cast iron conforming to ASTM A48-76 Class 30, Heavy-Duty AASHTO H-20

PM	DRN	CHK	DWG. NO.	REV.
			SWB-1	A

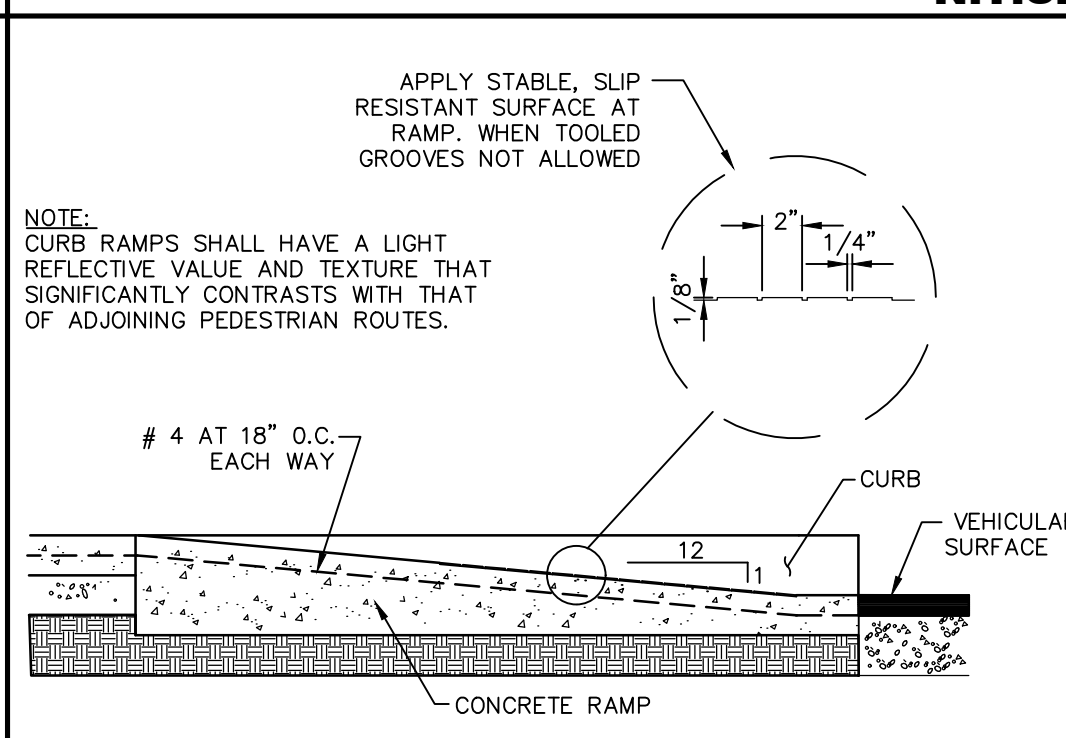
PULL FORWARD SIGNAGE DETAIL



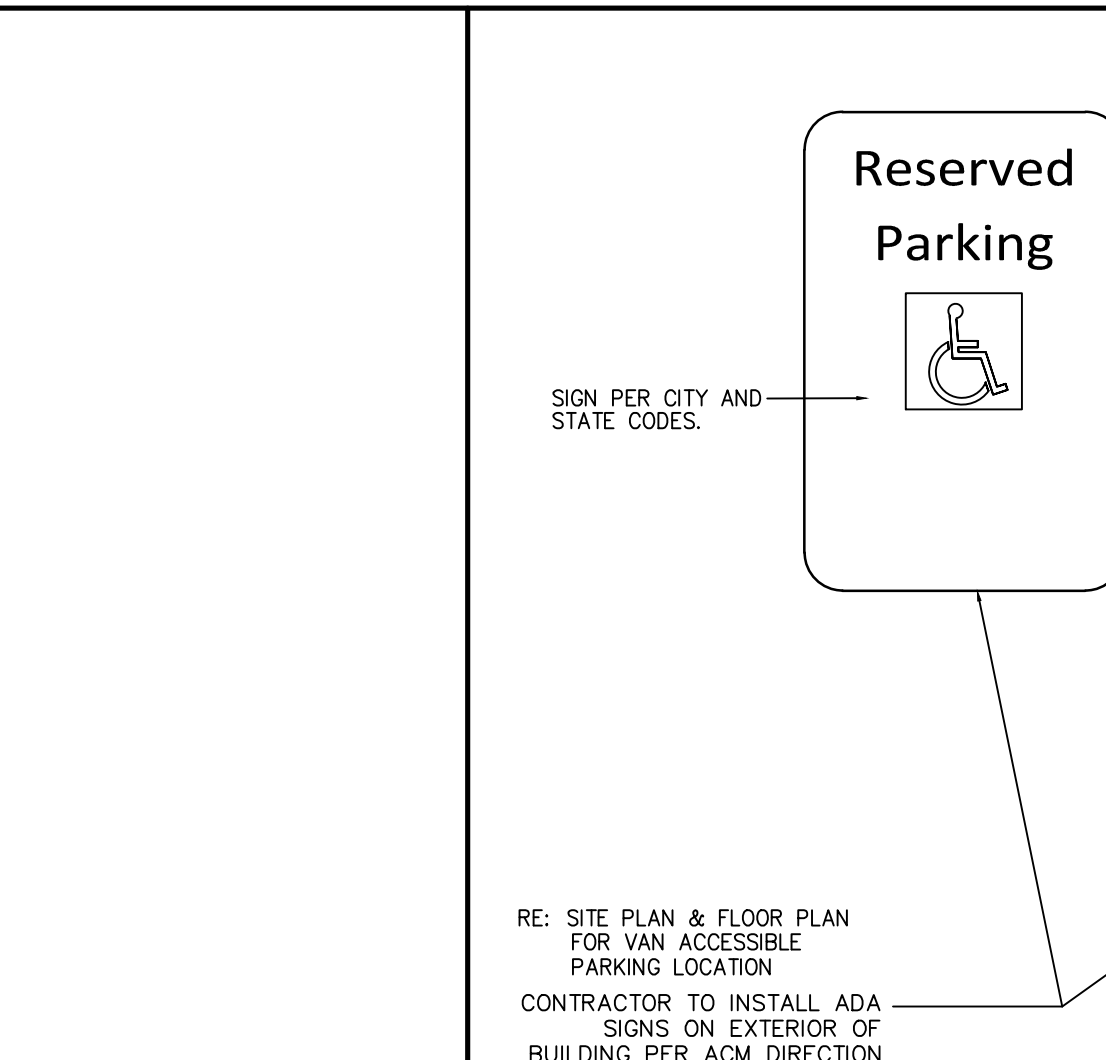
PIPE BOLLARD DETAIL



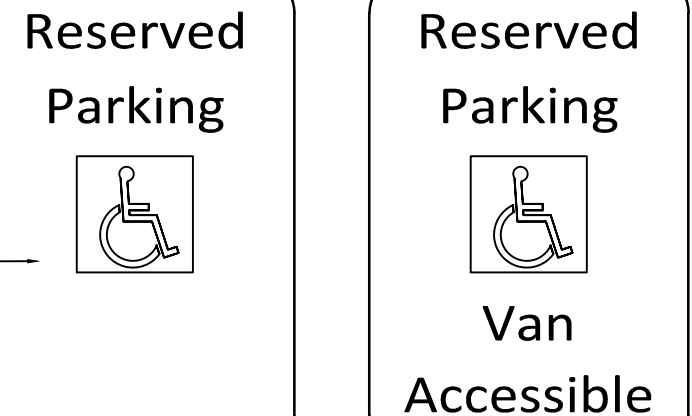
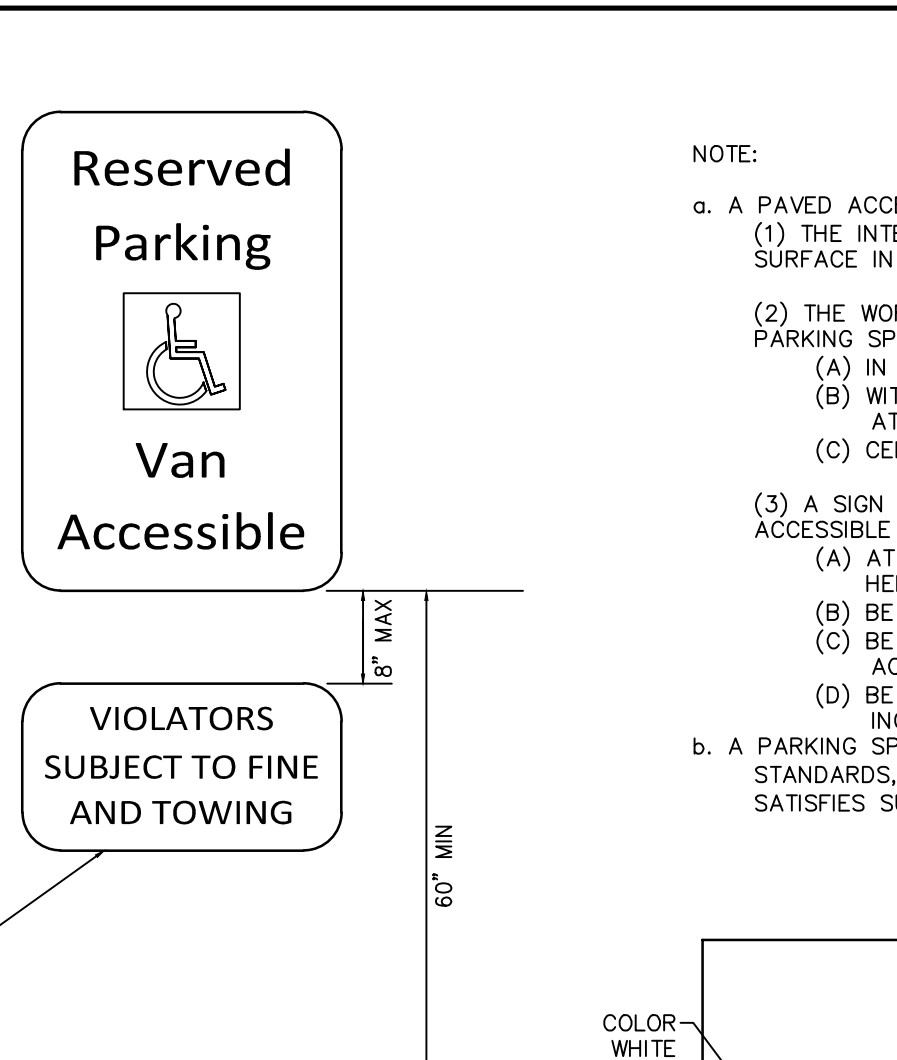
STRIPED ISLAND DETAIL



WHEEL STOP DETAIL



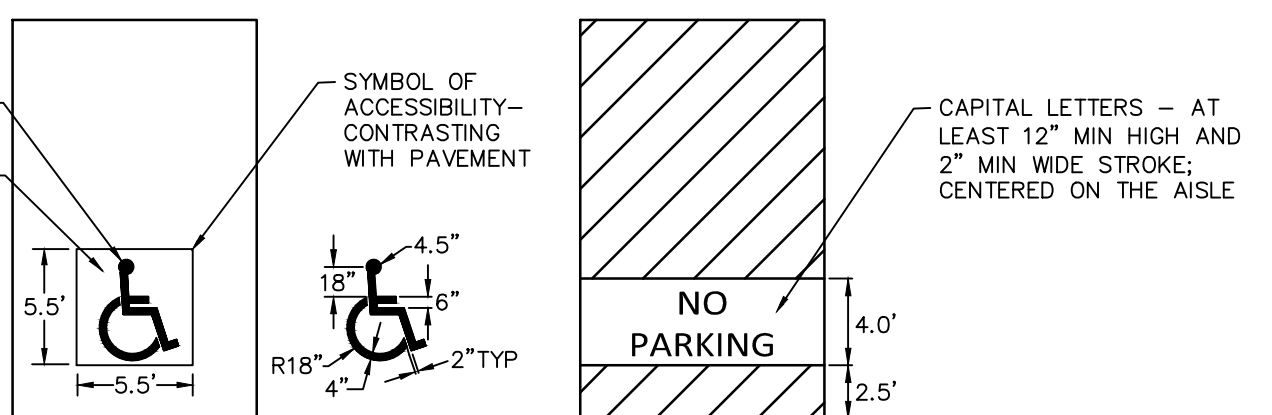
CURB RAMP DETAIL (PRIVATE)



VIOLATORS SUBJECT TO FINE AND TOWING

RE: SITE PLAN & FLOOR PLAN FOR VAN ACCESSIBLE PARKING LOCATION
CONTRACTOR TO INSTALL ADA SIGNS ON EXTERIOR OF BUILDING PER ACM DIRECTION

- NOTE:**
- A PAVED ACCESSIBLE PARKING SPACE MUST INCLUDE:
 - THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT
 - THE WORDS "NO PARKING" PAINTED ON ANY ACCESS AISLE ADJACENT TO THE PARKING SPACE. THE WORDS MUST BE PAINTED:
 - IN ALL CAPITAL LETTERS
 - WITH A LETTER HEIGHT OF AT LEAST TWELVE INCHES, AND A STROKE WIDTH OF AT LEAST TWO INCHES
 - CENTERED WITHIN EACH ACCESS AISLE ADJACENT TO THE PARKING SPACE
 - A SIGN IDENTIFYING THE CONSEQUENCES OF PARKING ILLEGALLY IN A PAVED ACCESSIBLE PARKING SPACE. THE SIGN MUST:
 - AT A MINIMUM STATE "VIOLATORS SUBJECT TO FINE AND TOWING" IN A LETTER HEIGHT OF AT LEAST ONE INCH
 - BE MOUNTED ON A POLE, POST, WALL OR FREESTANDING BOARD
 - BE NO MORE THAN EIGHT INCHES BELOW A SIGN REQUIRED BY TEXAS ACCESSIBILITY STANDARDS, 502.6
 - BE INSTALLED SO THAT THE BOTTOM EDGE OF THE SIGN IS NO LOWER THAN 48 INCHES AND NO HIGHER THAN 80 INCHES ABOVE GROUND LEVEL
 - A PARKING SPACE IDENTIFICATION SIGN THAT COMPLIES WITH TEXAS ACCESSIBILITY STANDARDS, 502.6, THAT INCLUDES THE REQUIREMENTS IN SUBSECTION (a)(3)(A) SATISFIES SUBSECTION (a)(3).



HANDICAP PARKING SIGN AND ACCESSIBLE PARKING DETAIL (WALL MOUNTED)

N.T.S.

DETAIL SHEET 2

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION			
TOTAL SPACES	22	90" SPACES 20'-0" X 9'-0"	
	21	60" SPACES 20'-0" X 9'-0"	
	--	--	
	--	--	

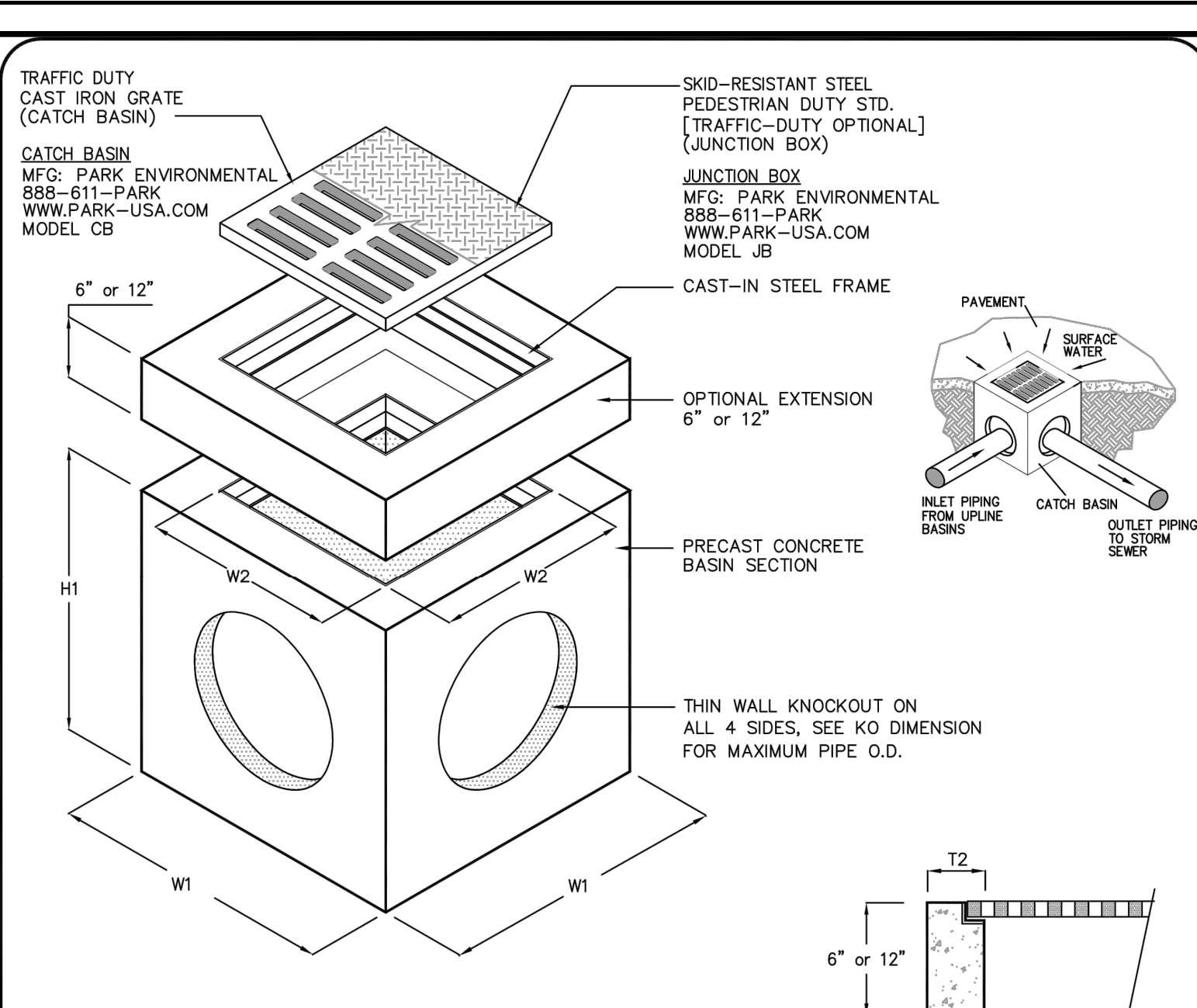
PAPE-DAWSON ENGINEERS
HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713-428-2400
TXPE FIRM REGISTRATION #470 | TXPE FIRM REGISTRATION #1910974

PLAN SCALE: N.T.S.	STREET ADDRESS: 13337 FM 1488
CITY: MAGNOLIA	STATE: TEXAS
COUNTY: MONTGOMERY	
REGIONAL DRAWING NO. 42-3308	JOB NO. 4102003
	DRAWING TITLE 06.00-4102003-DT.dwg

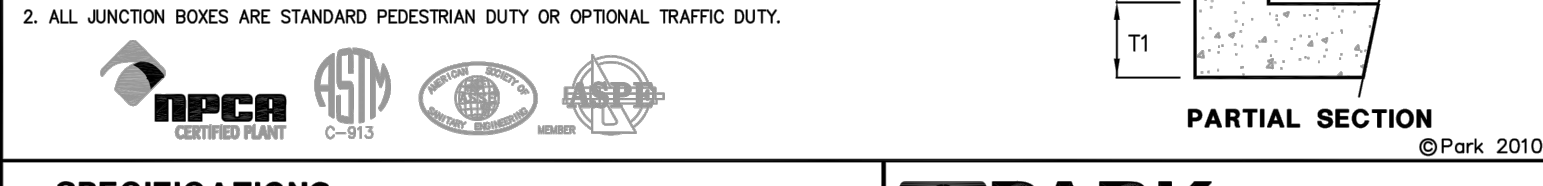
PLAN APPROVALS	
SIGNATURE (2 REQUIRED)	
REGIONAL MANAGER	
REC CONSTRUCTION MGR	
OPERATIONS MANAGER	
REAL ESTATE MANAGER	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		

SHEET INDEX	
C-0.00 COVER SHEET	
C-0.10 ALTA-NSPS LAND SURVEY	
C-1.00 DEMOLITION PLAN	
C-2.00 OVERALL SITE PLAN	
C-2.10 PAVING PLAN	
C-2.20 FIRE PROTECTION SITE PLAN	
C-3.00 GRADING PLAN	
C-3.10 DRAINAGE PLAN	
C-3.20 DRAINAGE CALCULATIONS	
C-3.30 DETENTION PLAN (REFERENCE)	
C-4.00 UTILITY PLAN	
C-5.00 SWPPP PLAN	
C-5.10 SWPPP PLAN DETAILS	
C-6.00 DETAIL SHEET (SHEET 1 OF 3)	
C-6.10 DETAIL SHEET (SHEET 2 OF 3)	
C-6.20 DETAIL SHEET (SHEET 3 OF 3)	



MODEL #	JUNCTION BOX #	DIMENSIONS								GRATE	WEIGHT LBS
CATCH BASIN		W1	W2	H1	H2	T1	T2	KO			
CB-12	JB-12	15"	10"	21"	18"	3"	2 1/2"	10"	12"x12"x1"	180	
CB-14	JB-14	20"	14"	28"	24"	4"	3"	12"	14"x14"x1 1/4"	600	
CB-18	JB-18	24"	16"	34"	30"	4"	4"	15"	18"x18"x1 1/4"	1,000	
CB-20	JB-20	26"	18"	34"	30"	4"	4"	17"	20"x20"x1 1/4"	1,335	
CB-24	JB-24	32"	22"	41"	36"	5"	5"	22"	24"x24"x2"	2,245	
CB-27	JB-27	37"	25"	42"	36"	6"	6"	24"	27"x27"x2"	2,875	
CB-30	JB-30	42"	30"	42"	36"	6"	6"	30"	32"x32"x2"	3,675	
CB-36	JB-36	48"	36"	42"	36"	6"	6"	32"	38"x38"x2"	4,585	



SPECIFICATIONS

CONCRETE: Class II concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.

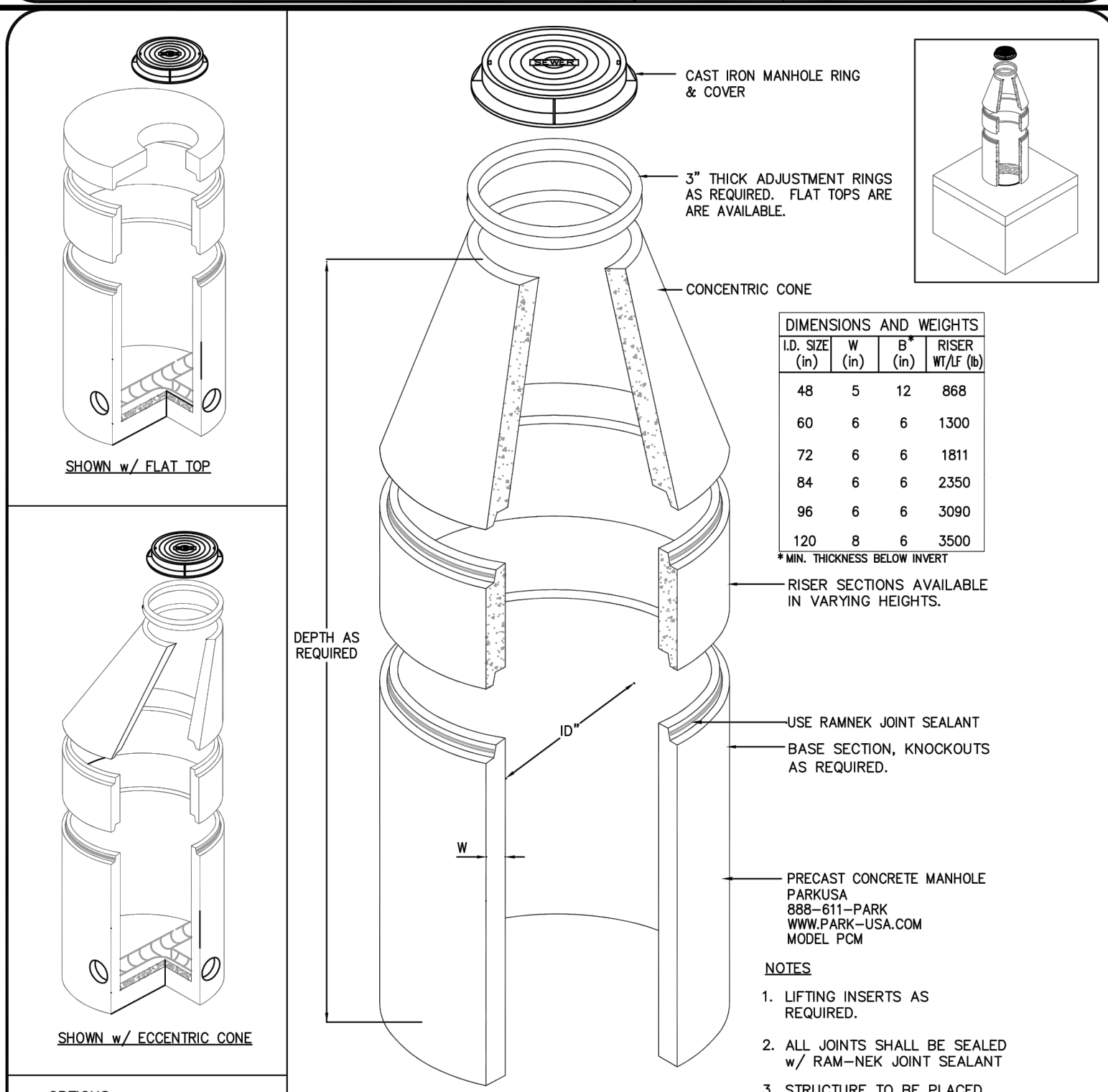
REINFORCEMENT: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.

C.I. CASTINGS: Cast iron frames and grates are manufactured of grey cast iron conforming to ASTM A48-76 Class 35.

PARK ENVIRONMENTAL EQUIPMENT 888-611-PARK www.park-usa.com "Expect the Best"

CATCH BASIN MODEL CB - 12" THRU 36" JUNCTION BOX MODEL JB - 12" THRU 36"

SCALE NONE DWG. NO. CBJB36 REV. A DATE 2010



SPECIFICATIONS

CONCRETE: Class I/II concrete with design strength of 4500 PSI at 28 days. Rated for H-20 loading.

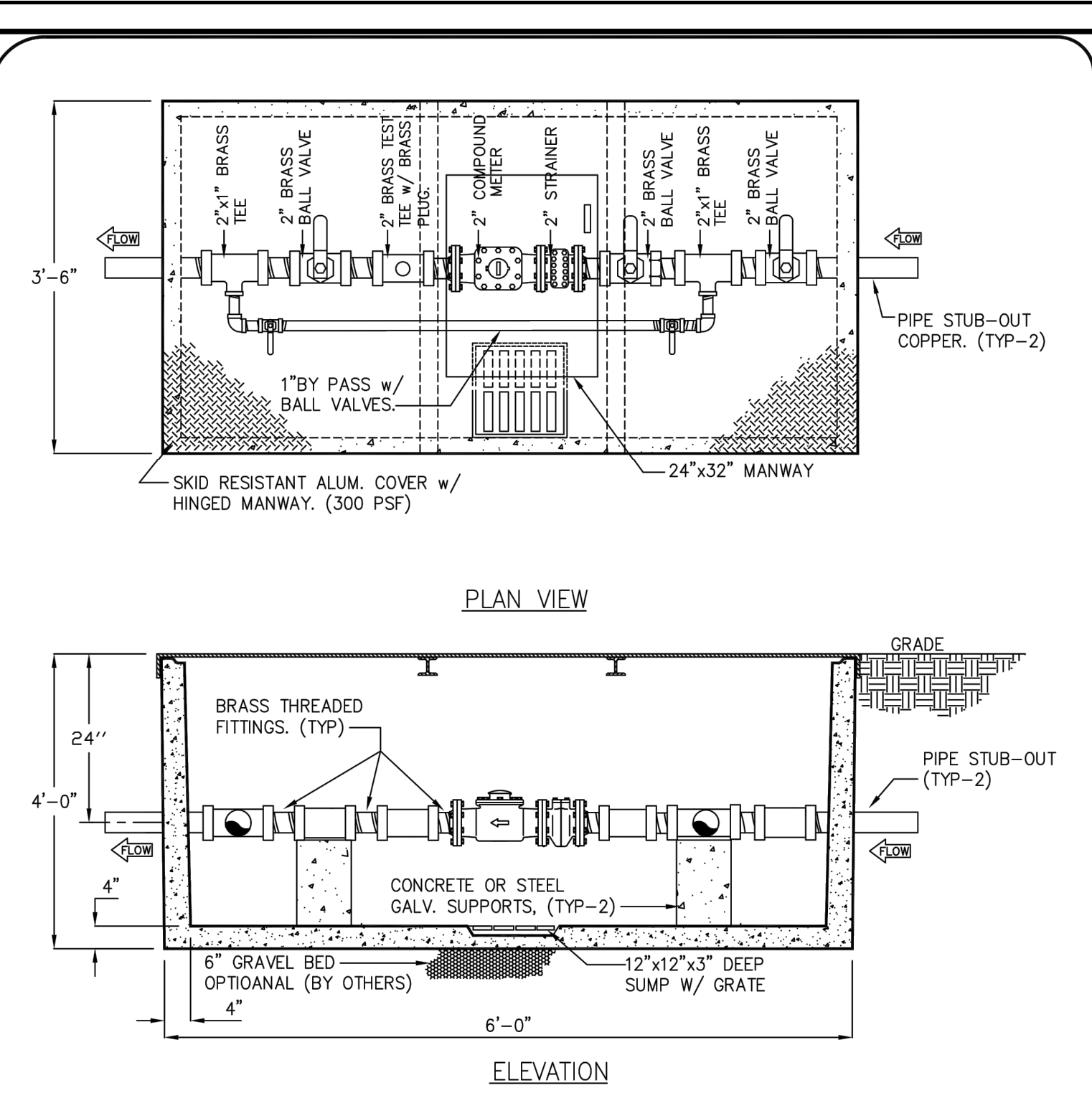
REINFORCEMENT: Structural reinforcement conforming to ASTM-C-478.

C.I. CASTINGS: Cast iron frames and grates are manufactured of grey cast iron conforming to ASTM A48-76 Class 30.

PARK ENVIRONMENTAL EQUIPMENT 888-611-PARK www.park-usa.com "Expect the Best"

PRECAST CONCRETE MANHOLE FOR SANITARY SEWER - MODEL PCM - 48" THRU 120"

SCALE NONE DWG. NO. PCM REV. A DATE 09/17



SPECIFICATIONS

CONCRETE: Class I/II concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth. Gross empty weight of approximately 5,000 pounds.

REINFORCEMENT: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.

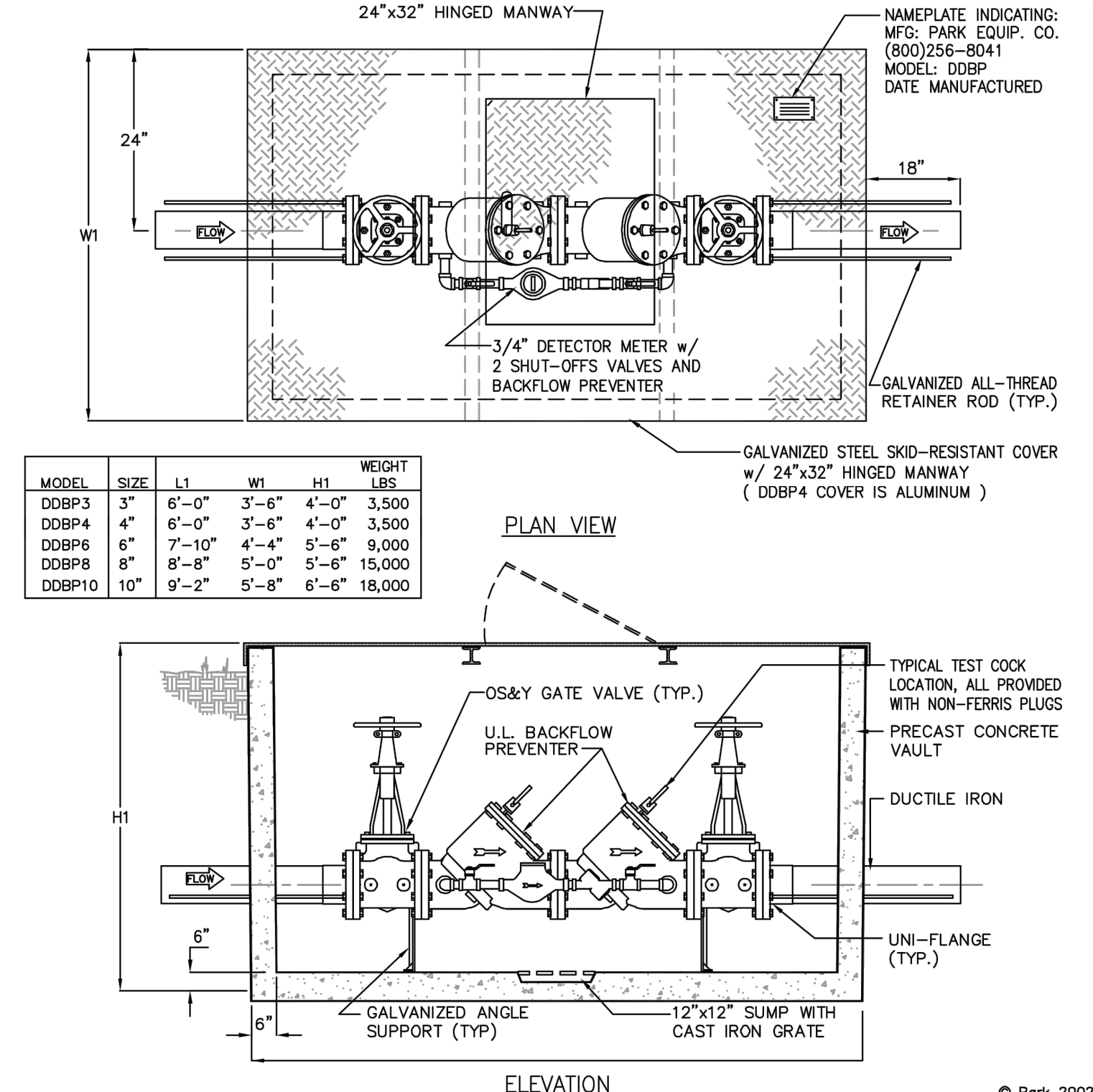
ALUM. COVER: 1/4" aluminum skid-resistant floor plate welded to angle frame & hinged manway.

Engineering Data
Field excavation and preparation shall be completed prior to delivery of assembly. Use dimensional data as shown. Pipe, valves and fittings of the assembly are approved by one or more of the following associations:

PARK ENVIRONMENTAL EQUIPMENT 888-611-PARK www.park-usa.com "Expect the Best"

2" WATER METER ASSEMBLY

SCALE NONE DWG. NO. DMC-2 REV. A DATE 08/2017



SPECIFICATIONS

CONCRETE: Class I concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.

REINFORCEMENT: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.

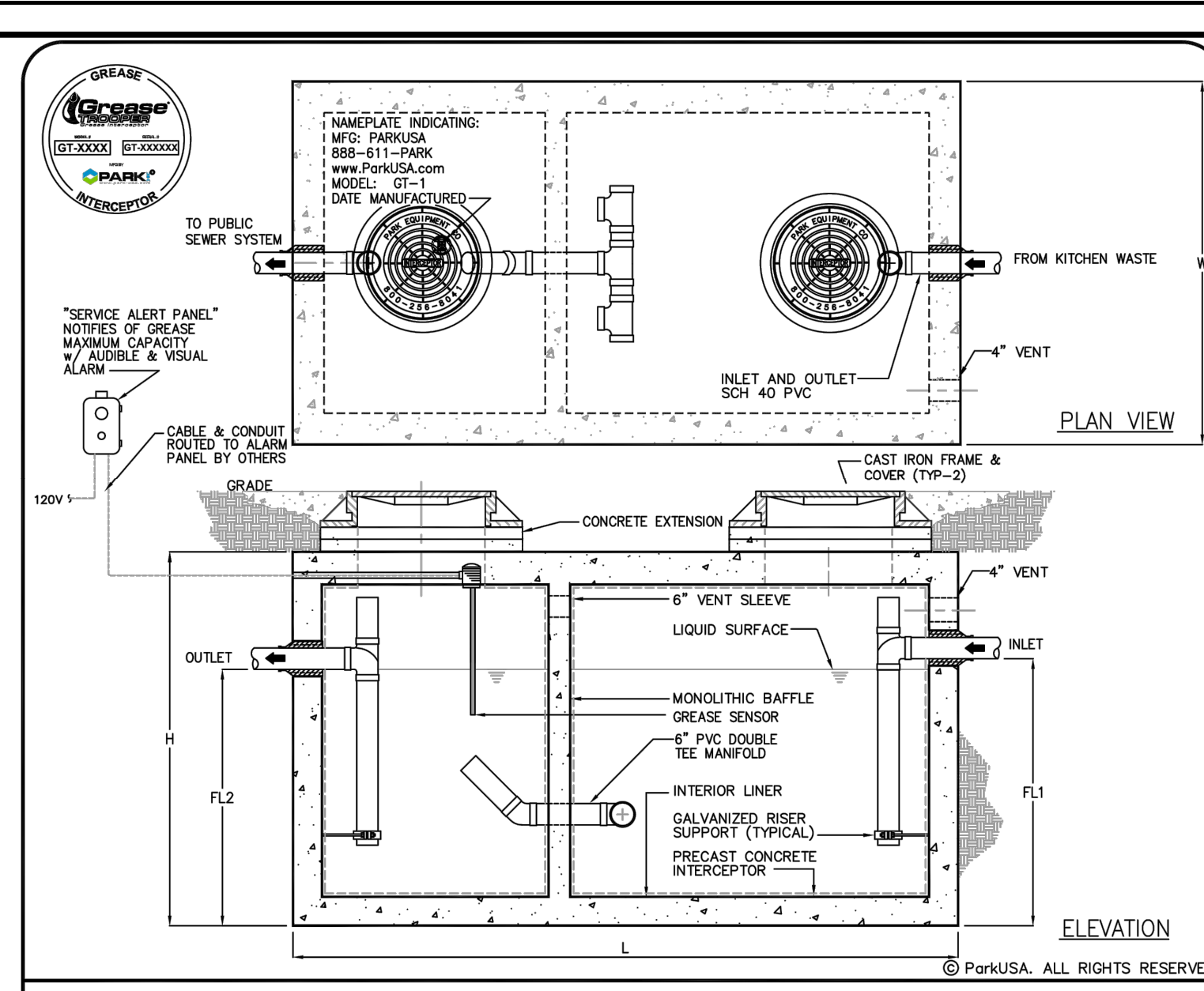
STEEL COVER: 1/4" steel skid-resistant floor plate welded to 3" angle frame with (2) 3"x2-3/8" I beam supports (300 PSF).

Engineering Data
The backflow assembly shall be factory assembled in vault & hydrostatically tested prior to delivery. Field excavation & preparation shall be complete prior to delivery. Pipe, valves and fittings of the assembly shall be approved by one or more of the following associations:

PARK ENVIRONMENTAL EQUIPMENT 888-611-PARK www.park-usa.com "Expect the Best"

6" DOUBLE DETECTOR BACKFLOW PREVENTER ASSEMBLY FOR FIRE SERVICE

SCALE NONE DWG. NO. DDBP-1 REV. A DATE 01/02



GREASE INTERCEPTOR SCHEDULE

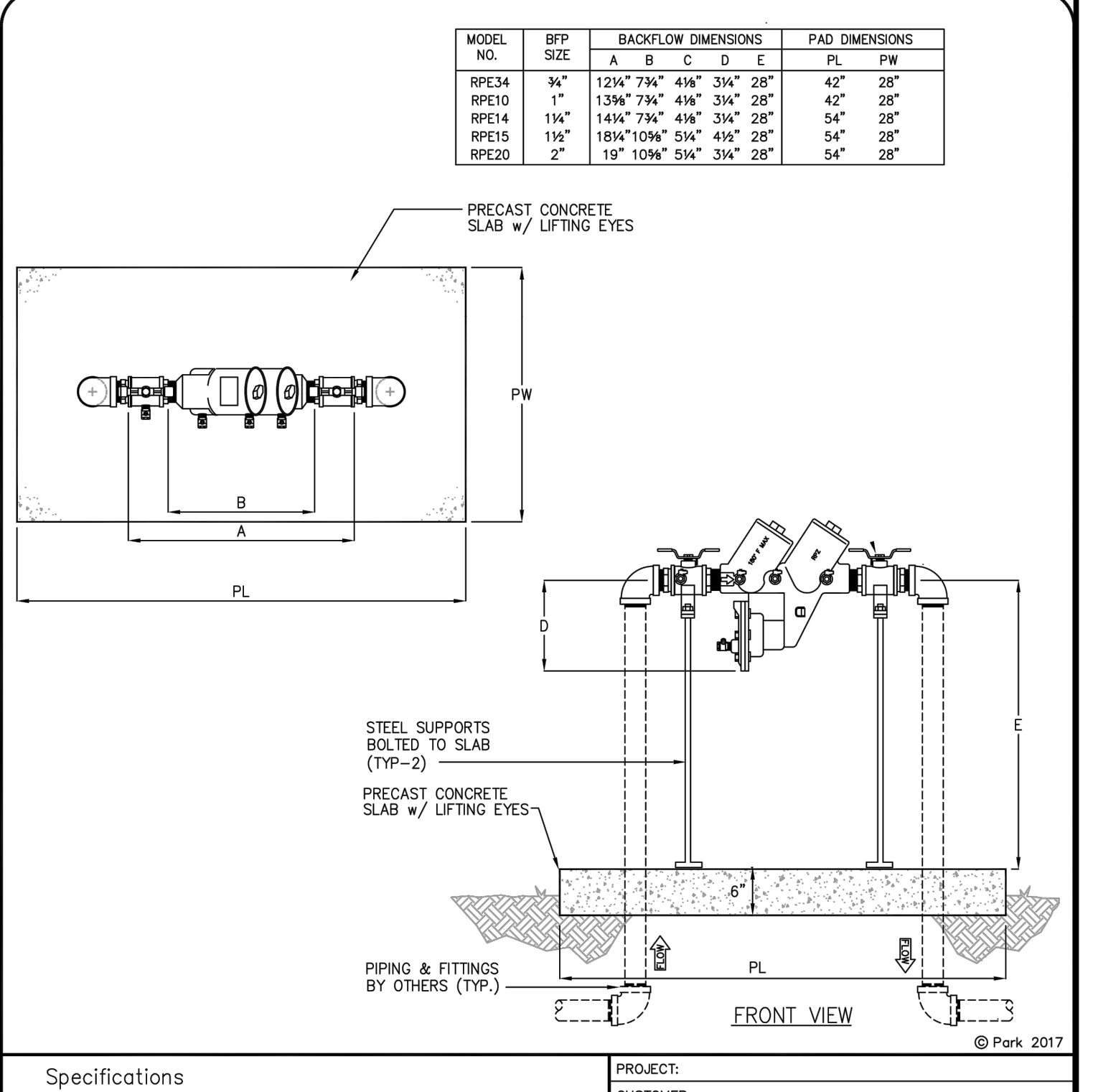
MODEL NO.	USGAL CAP. (LBS)	GREASE CAP. (LBS)	EMPTY LENGTH	WIDTH	HEIGHT	INLET FL2	OUTLET FL1
GT-500	500	1,200	9,500	7'-10"	4'-4"	4'-5"	3'-3"
GT-750	750	1,700	9,500	7'-10"	4'-4"	4'-5"	4'-2"
GT-1000	1,000	2,300	13,300	8'-8"	5'-0"	6'-0"	4'-5"
GT-1250	1,250	2,800	14,650	9'-2"	5'-8"	6'-0"	4'-2"
GT-1500	1,500	3,500	16,050	9'-2"	5'-8"	7'-0"	5'-5"
GT-2000	2,000	4,600	21,250	9'-0"	6'-0"	6'-0"	6'-6"
GT-2500	2,500	5,700	27,050	13'-0"	7'-0"	7'-0"	5'-5"
GT-3000	3,000	6,800	33,150	13'-0"	7'-0"	6'-0"	6'-6"
GT-3500	3,500	8,000	38,550	13'-0"	7'-0"	8'-6"	7'-3"
GT-4000	4,000	9,300	38,100	16'-0"	8'-6"	7'-0"	5'-9"

Engineering Data
The grease interceptor is structurally & hydraulically engineered to conform to UPC/IPC and regional plumbing codes recommended in most cities. Consult with local authorities for specific application requirements.
Shop drawings shall include complete structural & buoyancy calculations certified by a licensed professional engineer upon request.
Consult with Park Equipment Company for exact excavation dimensions & shipping information.

PARK ENVIRONMENTAL EQUIPMENT 888-611-PARK www.park-usa.com "Expect the Best"

GREASE INTERCEPTOR SERIES GT 500 THRU 4000 GALLON CAPACITY

SCALE NONE DWG. NO. GT-1 REV. A DATE 2018



SPECIFICATIONS

CONCRETE: Class I/II concrete with design strength of 4500 PSI at 28 days.

REINFORCEMENT: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.

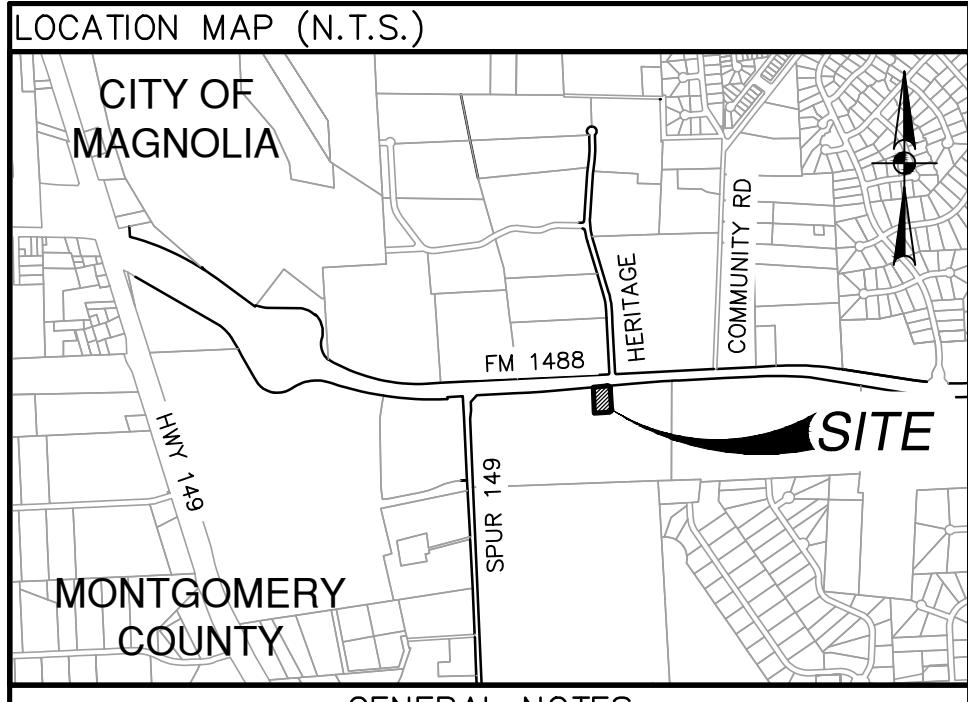
Typical Applications
RP devices are used to protect against high hazard (toxic) fluids in water services to industrial plants, hospital facilities, morgues, mortuaries, and chemical plants. They are also used in irrigation systems, boiler feed, water lines and other installations requiring maximum protection.

Engineering Data
The backflow assembly shall be factory assembled on pad & hydrostatically tested prior to delivery. Field excavation & preparation shall be complete prior to delivery. Pipe, valves and fittings of the assembly shall be approved by one or more of the following associations:

PARK ENVIRONMENTAL EQUIPMENT 888-611-PARK www.park-usa.com "Expect the Best"

REDUCED PRESSURE BACKFLOW PREVENTER ON PRECAST CONCRETE PAD

SCALE NONE DWG. NO. RP-1 REV. A DATE 01/17



GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
- NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

EXISTING IMPROVEMENTS DELINEATED HEREIN WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION
A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

DETAIL SHEET 3

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	90' SPACES 20'-0" X 9'-0"	60' SPACES 20'-0" X 9'-0"
43	22	21

STATUS PRELIMINARY
DATE PLAN DRAWN
BY PLAN CHECKED

SHEET INDEX
C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
C-1.00 DEMOLITION PLAN
C-2.00 OVERALL SITE PLAN
C-2.10 PAVING PLAN
C-2.20 FIRE PROTECTION SITE PLAN
C-3.00 GRADING PLAN
C-3.10 DRAINAGE PLAN
C-3.20 DRAINAGE CALCULATIONS
C-3.30 DETENTION PLAN (REFERENCE)
C-4.00 UTILITY PLAN
C-5.00 SWPPP PLAN
C-5.10 SWPPP PLAN DETAILS
C-6.00 DETAIL SHEET (SHEET 1 OF 3)
C-6.10 DETAIL SHEET (SHEET 2 OF 3)
C-6.20 DETAIL SHEET (SHEET 3 OF 3)

REGIONAL DRAWING NO. 42-3308 **JOB NO. 4102003**
DRAWING TITLE 06.00-4102003-DT.dwg

McDonald's

McDONALD'S USA - SOUTH TEXAS TEAM
3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

PAPE-DAWSON ENGINEERS
NATHAN C. BILLIOT
LICENSED PROFESSIONAL ENGINEER
96488
8/14/2023

PLAN APPROVALS

REGIONAL MANAGER	REC. CONSTRUCTION MGR	OPERATIONS MANAGER	REAL ESTATE MANAGER	CONTRACTOR OWNER

CO-SIGN SIGNATURES

CONTRACTOR

OWNER

STATUS PRELIMINARY
DATE PLAN DRAWN
BY PLAN CHECKED

SHEET INDEX
C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
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NEW