

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III

City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Interim City Secretary, Christian Gable



NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, APRIL 20, 2023 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held March 23, 2023.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR WENDY'S.
7. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR WELLS FARGO.
8. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA PLACE SECTION 2, FINAL PLAT, +/- 27.592 ACRES.
9. FUTURE AGENDA ITEMS
10. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Christian Gable, Interim City Secretary



Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III

City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Interim City Secretary, Christian Gable



MINUTES OF PLANNING & ZONING COMMISSION SPECIAL MEETING - MARCH 23, 2023

A meeting of the Planning & Zoning Commission was held on March 23, 2023, beginning at 4:45pm in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Shelburne called the special meeting to order at 4:45 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Tom Mayhew, Holly Knee, Robert Barker III, and Josh Jakubik.

Absent: Anne Sundquist

Staff Present: City Administrator Don Doering

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held February 16, 2023.

MOTION: Upon a motion to approve Consent Agenda made by Tom Mayhew and seconded by Josh Jakubik, the Commission members voted, and the motion carried unanimously, 4-0.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

None

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

City Administrator Don Doering announced that the annual Magnolia Showdown BBQ Cook-Off has been cancelled.

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

City Administrator Don Doering reported the status of 4 new water wells.

6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE PARKSIDE MAGNOLIA WEST, PRELIMINARY PLAT, +/- 14.246 ACRES.

MOTION: A motion to approve was made by Robert Barker III and seconded by Holly Knee.

Robert Barker III commented that the adjacent right-of-way needs to be tied down with corner pins on the final plat and the title company noted that two drainage easements exist that are not shown, so they should be shown on the final plat.

AMENDED MOTION: Upon a motion to approve contingent upon the comments made by Robert Barker III and seconded by Holly Knee, the Commission members voted, and the amended motion carried unanimously, 4-0.

7. FUTURE AGENDA ITEMS

None

8. ADJOURN

MOTION: Upon a motion to adjourn made by Josh Jakubik and seconded by Holly Knee, the Commission members voted, the motion carried unanimously, 4-0, and Chairman Shelburne adjourned the special meeting at 4:51 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the special meeting of the City of Magnolia Planning and Zoning Commission held on March 23, 2023.

ATTEST:

Don Doering, City Administrator



April 14, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: Wendy's – Site Plan Review
City of Magnolia
Job No. 230487.80-001

Dear Mr. Doering:

We received the site plans for the proposed Wendy's Site on March 27, 2023. On behalf of City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to approval of this project, subject to the following comments:

1. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,



Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter and Woodman, Inc.
Consulting Engineers
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Ms. Karleigh Brown – Baxter & Woodman, Inc. Consulting Engineers
Mr. Tommy Cormier Jr, PE. – Baxter & Woodman, Inc. Consulting Engineers
Mr. Michael A. Kurzy, P.E. – Baxter & Woodman, Inc. Consulting Engineers
Mr. Joel Castro– Anchor Construction and Management



Site Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION

Applicant

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Project Name: _____ Lot#: _____ Reviewer: _____

PROPERTY PROFILE

Site Address _____

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

_____Proposed Use of the Property

Total Area of Site _____

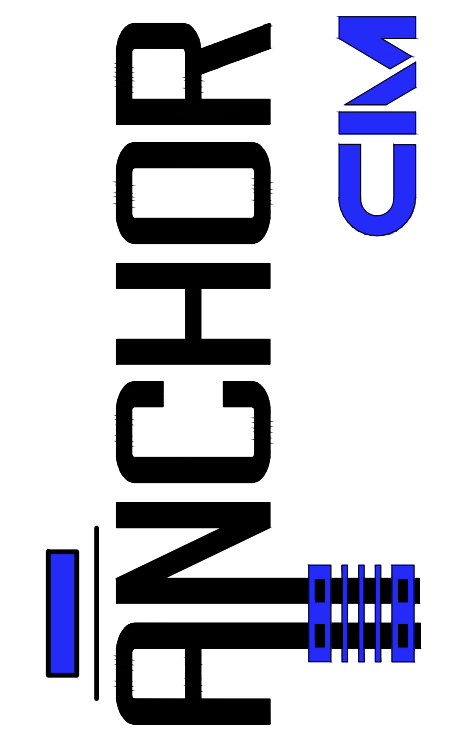
Project Name: _____ Lot#: _____ Reviewer: _____

WENDY'S SITE

13660 FM 1488
MAGNOLIA TX 77356



REV	DATE	DESCRIPTION
0	08/23/2022	ISSUE FOR PERMIT



GENERAL NOTES

- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT OF RECORD. FLOOR PLAN BY ARCHITECT OF RECORD SUPERSEDES OTHER PLANS. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., ETC
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT/EGRESS LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD AND COORDINATED WITH THE OWNER'S REPRESENTATIVE PRIOR TO CUTTING/CORING.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- 'TYP.' MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- EXTERIOR BUILDING SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY LOCAL AUTHORITIES. EXTERIOR SIGNS ARE NOT WITHIN THE SCOPE OF BUILDING DEPARTMENT APPROVAL.
- PRIOR TO COMMENCEMENT OF WORK - OBTAIN A COPY OF THE BUILDING CONSTRUCTION PERMIT FROM THE AUTHORITY HAVING JURISDICTION (AHJ) AND A COPY OF THE SET OF CONSTRUCTION DOCUMENTS SIGNED AND SEALED BY A LICENSED DESIGN PROFESSIONAL FOR ALL DISCIPLINES AS REQUIRED AND USED TO OBTAIN THE BUILDING PERMIT.
- IF REQUIRED BY LOCAL JURISDICTION - SPRINKLER, LIFE SAFETY, AND FIRE ALARM SYSTEMS ARE TO BE DESIGNED AND SUBMITTED FOR REVIEW AND APPROVAL BY LOCALLY LICENSED DESIGN PROFESSIONAL. THE DESIGN OF SYSTEM(S) MUST COMPLY TO LOCAL, STATE, AND NATIONAL CODES.
- BIDDERS REFER TO WENDY'S APPROVED SUPPLIER LIST TO OBTAIN NATIONAL ACCOUNT PHONE NUMBERS AND CONTACTS.
- GC IS RESPONSIBLE FOR FINDING AND LOCATING ALL UNDERGROUND UTILITIES IN AREAS OF EXCAVATION PRIOR TO DIGGING. ACCIDENTAL INTERRUPTION OF THESE SERVICES DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE GC. PRIOR TO DIGGING, GC TO CALL LOCAL UTILITY LOCATION SERVICE.

DATA AND SQUARE FOOTAGE

OCCUPANCY GROUP	A-2 RESTAURANT
ZONING	AC
WIND SPEED	REFER TO STRUCTURAL DRAWINGS
GROSS BUILDING AREA: 2,300 SF. GROSS PATIO AREA = 0 SF. TOTAL FOOTPRINT AREA: 2,300 SF.	
CONSTRUCTION TYPE:	COMBUSTIBLE VB
FIRE RESISTIVE REQUIREMENTS:	EXTERIOR BEARING WALL.....0 HR
	ROOF CONSTRUCTION.....0 HR
	CEILING.....0 HR
SPRINKLERS:	NOT REQUIRED

TEMPLATE ISSUE LOG

0	ISSUE FOR PERMIT	10.26.2022

SHEET INDEX

SHEET #	SHEET NAME	REVISION			
G1.1	COVER SHEET				
PLAT	SHEET 1 OF 3				
PLAT	SHEET 2 OF 3				
PLAT	SHEET 3 OF 3				
	ALTA SURVEY				
	TOPO SURVEY				
AS1.0	OVERALL SITE PLAN				
AS1.1	ARCHITECTURAL SITE PLAN				
AS1.2	FIRE SITE PLAN				
AS3.1	TRASH ENCLOSURE DETAILS				
A2	COLOR ELEVATIONS				
C-1	SITE PAVING AND GRADING PLAN				
C-2	SITE DRAINAGE AREA MAP				
LP-1	LANDSCAPE PLAN				
LI-1	IRRIGATION PLAN				

PROJECT TEAM DIRECTORY

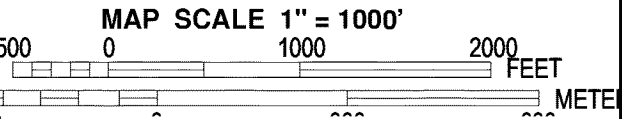
CLIENT	HAZA FOODS
	4415 HWY 6
	SUGAR LAND, TX 77478
	281-201-2700
RESTAURANT DESIGN	WENDY'S
	ONE DAVE THOMAS BLVD
	DUBLIN, OH 43017
CIVIL ENGINEER	KARIM DADELAHI
	SARAN STRUCTURAL & CIVIL LLC
	13831 NORTHWEST FREEWAY
	HOUSTON TX
	832-922-1145
GENERAL CONTRACTOR	ANCHOR CM
	4415 HWY 6
	SUGAR LAND, TX 77478
	713-449-9447



13660 FM 1488
MAGNOLIA TX 77354

SHEET NAME:
COVER SHEET

SHEET #:
G1.1



PANEL 0485G

FIRM
FLOOD INSURANCE RATE MAP
MONTGOMERY COUNTY,
TEXAS
AND INCORPORATED AREAS

PANEL 485 OF 750
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
MONTGOMERY COUNTY	480483	0485	G
CONROE, CITY OF	480484	0485	G

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

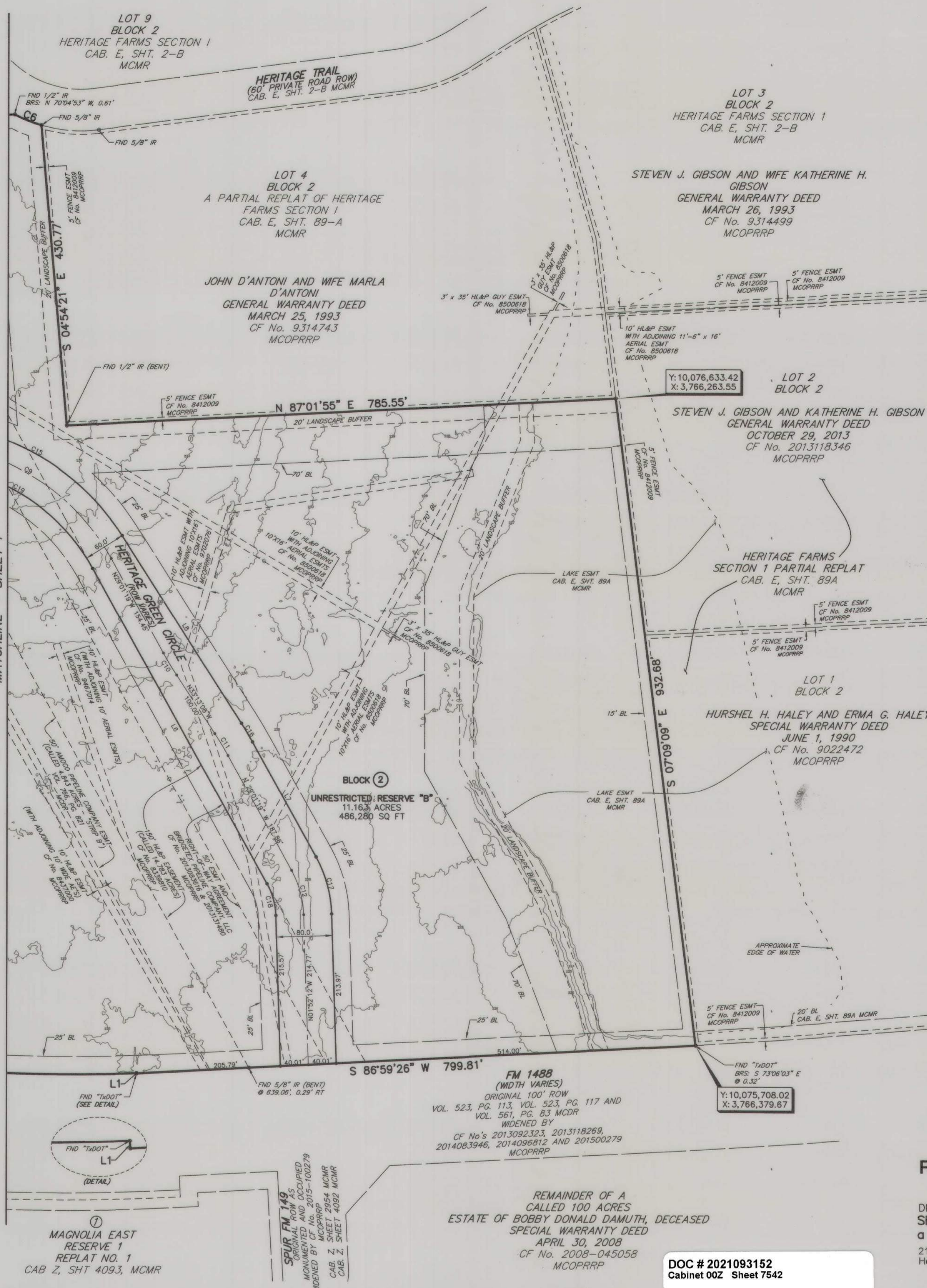
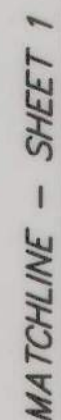


MAP NUMBER
48339C0485G

MAP REVISED
AUGUST 18, 2014

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

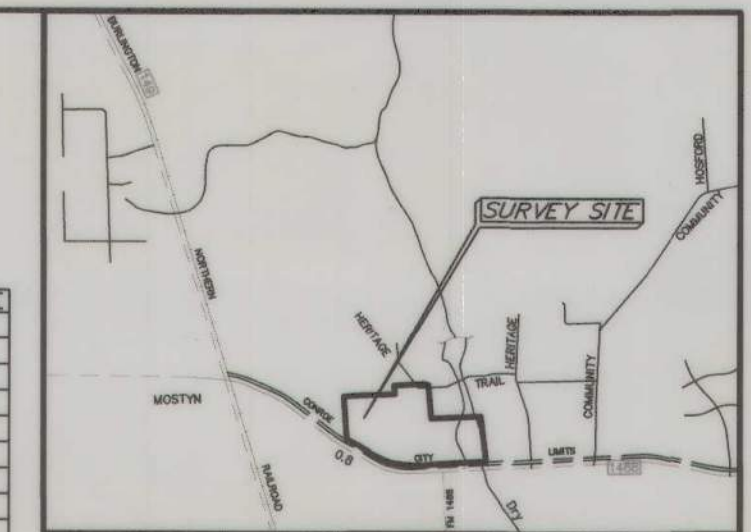


LINE	BEARING	DISTANCE
L1	N 04°03'40" W	0.40'
L2	N 73°22'21" W	130.84'
L3	N 69°30'09" W	123.26'
L4	N 45°40'20" E	127.94'
L5	N 03°27'37" W	112.32'
L6	S 29°01'19" E	515.23'
L7	S 29°01'19" E	187.86'
L8	S 32°34'12" E	318.00'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	2789.79'	630.05'	628.71'	N 85°33'59" W	12°56'23"
C2	2768.79'	275.53'	275.42'	N 71°05'48" W	5°42'06"
C3	1859.86'	72.59'	72.58'	N 60°10'27" W	2°14'10"
C4	207.00'	229.97'	218.32'	N 15°04'11" W	63°39'13"
C5	255.00'	271.86'	259.17'	N 13°47'07" W	61°05'06"
C6	202.72'	41.19'	41.41'	S 68°18'12" E	11°38'31"
C7	350.00'	67.10'	67.10'	E 02°39'33" E	02°00'61"
C8	55.00'	88.55'	77.82'	S 44°49'09" W	90°09'47"
C9	315.00'	347.25'	329.93'	N 60°38'09" W	63°09'40"
C10	500.00'	36.62'	36.62'	S 31°07'14" E	41°11'49"
C11	500.00'	36.62'	36.62'	N 31°07'14" W	41°11'49"
C12	140.00'	66.35'	65.73'	N 15°26'46" W	27°09'08"
C13	320.00'	55.32'	55.26'	N 02°36'24" E	9°54'21"
C14	85.00'	133.76'	120.38'	S 42°44'07" W	90°09'47"
C15	345.00'	30.96'	34.31'	N 62°20'42" W	59°40'35"
C16	500.00'	30.96'	34.31'	N 31°47'45" E	31°47'45"
C17	180.00'	85.30'	84.50'	N 15°26'46" W	27°09'08"
C18	100.00'	47.39'	46.95'	N 15°26'46" W	27°09'08"
C19	285.00'	314.18'	298.51'	N 60°36'09" W	63°09'40"
C20	25.00'	39.34'	35.41'	N 02°44'07" W	90°09'47"
C21	380.00'	66.70'	66.61'	S 42°40'55" E	10°03'24"

LEGEND

- ① BLOCK NUMBER
BL..... BUILDING SETBACK LINE
BRS..... BEARS
OF No..... CLERK'S FILE NUMBER
CAB..... CABINET
ELEV..... ELEVATION
ESMT..... EASEMENT
FND..... FOUND
HL&P..... HOUSTON LIGHTING & POWER
IR..... IRON ROD
MCDR..... MONTGOMERY COUNTY DEED RECORDS
MCMR..... MONTGOMERY COUNTY MAP RECORDS
MCOFRRP..... MONTGOMERY COUNTY OFFICIAL PUBLIC
RECORDS OF REAL PROPERTY
PG..... PAGE
ROW..... RIGHT OF WAY
RT..... RIGHT
SHT..... SHEET
SQ FT..... SQUARE FEET
TBM..... TEMPORARY BENCHMARK
"TXDOT..... FOUND 5/8" IRON ROD WITH ALUMINUM DISK
STAMPED "TEXAS DEPT OF TRANSPORTATION
R.O.W. MONUMENT"
W/..... WITH
VOL..... VOLUME
1. BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS
COORDINATE SYSTEM OF 1983, CENTRAL ZONE.
2. COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS
COORDINATE SYSTEM OF 1983, CENTRAL ZONE. COORDINATES
ARE GRID VALUES (U.S. SURVEY FEET) AND HAVE A COMBINED
SCALE FACTOR OF 1.000033060.



VICINITY MAP



HERITAGE GREEN

A SUBDIVISION OF 49.060 ACRES OF LAND OUT OF
THE COLIN McRAE SURVEY, A-375, AND
JOHN B. RICHARDS SURVEY, A-449,
ALSO BEING A REPLAT OF
LOT 4, BLOCK 2, OF HERITAGE FARMS, SECTION 1,
RECORDED IN CABINET E, SHEET 2-B,
AND
LOT 5, BLOCK 2, OF PARTIAL REPLAT OF
HERITAGE FARMS, SECTION 1,
RECORDED IN CABINET E, SHEET 89-A
MONTGOMERY COUNTY, TEXAS.

2 RESERVES 2 BLOCKS

JUNE 2021

REASON FOR REPLAT: TO CREATE TWO UNRESTRICTED RESERVES

DEVELOPER/OWNER:
SHADYSIDE LAND COMPANY, LLC
a Texas limited liability company
2131 San Felipe
Houston, Texas 77019

SURVEYOR/PLANNER: JONES|CARTER



Texas Board of Professional Engineers Registration No. F-439
Texas Board of Professional Land Surveying Registration No. 10046106
1575 Sawdust Road, Suite 400 • The Woodlands, TX 77380 • 281.363.4039

DOC # 2021093152
Cabinet 00Z Sheet 7542

THE STATE OF TEXAS §
COUNTY OF MONTGOMERY §

We, Shadyside Land Company, LLC, a Texas limited liability company, acting herein by and through Steven J. Gibson, Manager, Owners of the property subdivided in the above and foregoing map of Heritage Green, do hereby make subdivision of said property according to the lines, streets, alleys, parks, and easements thereon shown, and designate said subdivision as Heritage Green, in the Colin McRae Survey, A-375 and the John B. Richards Survey, A-449, Montgomery County, Texas; and on behalf of Shadyside Land Company, LLC, a Texas limited liability company, dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

FURTHER, Owners certifies that all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

1. That drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
2. Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

IN TESTIMONY WHEREOF, the Shadyside Land Company, LLC, a Texas limited liability company, has caused these presents to be signed by Steven J. Gibson, Manager, thereunto authorized, this 18th day of June, 2021.

Shadyside Land Company, LLC
A Texas limited liability company

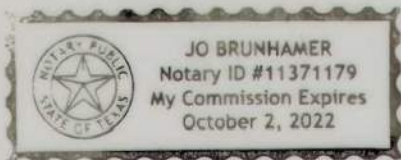
By: Steven J. Gibson
Steven J. Gibson
Manager

STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, on this day personally appeared Steven J. Gibson, Manager, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein and herein state, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 18th day of June, 2021.

Jo Brunhamer
Notary Public in and for the State of Texas
Print Name
October 2, 2022
My Commission Expires:



This is to certify that I, William Awalt, a licensed surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all blocks, lot corners, angle points and points of curve are properly marked with five-eighths inch (5/8") iron rods, three feet (3') long, set with the head flush with the ground or sidewalks and that this plat correctly represents that survey made by me.



William B. Awalt
William Awalt
Registered Professional Land Surveyor
Texas Registration No. 6738

I, Mark Turnbull, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on July 7, 2021, at 12:32 o'clock P.M., and duly recorded on July 7, 2021, at 12:32 o'clock P.M., in Cabinet 002, Sheet 754-7543, of record of Montgomery County for said county.

Witness my hand and seal of office, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull
Mark Turnbull, Clerk, County Court,
Montgomery County, Texas

by: Wendy A. Camarero
Deputy

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of Heritage Green as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the 19th day of June, 2021, do approved this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Robert Franklin
Robert Franklin
Planning and Zoning Commission Chair



City of Magnolia
18111 Buddy Riley Blvd.
Magnolia, TX 77354

Kandice Garrett
Kandice Garrett
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of Heritage Green as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the 19th day of June, 2021, do approved this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana
Todd Kana
Mayor



City of Magnolia
18111 Buddy Riley Blvd.
Magnolia, TX 77354

Kandice Garrett
Kandice Garrett
City Secretary

HERITAGE GREEN

A SUBDIVISION OF 49.060 ACRES OF LAND OUT OF
THE COLIN McRAE SURVEY, A-375, AND
JOHN B. RICHARDS SURVEY, A-449,
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AND
LOT 5, BLOCK 2, OF PARTIAL REPLAT OF
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JUNE 2021

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2131 San Felipe
Houston, Texas 77019

SURVEYOR/PLANNER: JONES|CARTER



Texas Board of Professional Engineers Registration No. F-439
Texas Board of Professional Land Surveying Registration No. 10046106
1575 Sawdust Road, Suite 400 • The Woodlands, TX 77380 • 281.363.4039

DOC # 2021093152
Cabinet 002 Sheet 7543

STATE OF TEXAS

COUNTY OF MONTGOMERY

A METES AND BOUNDS description of a 0.9498 acre tract of land situated in the John B. Richards Survey, Abstract Number 449, Montgomery County, Texas; being out of and a part of Unrestricted Reserve 'B', Block 2 of Heritage Green as shown on a plat filed for record in Cabinet Z, Sheet 7541 of the Montgomery County Map Records; said 0.9498 acre being more particularly described as follows with all bearings based on the Texas Coordinate System of 1983, Central Zone:

BEGINNING at a set 3/4-inch iron rod (with cap stamped 'Quiddity Eng. Property Corner') for the northeast intersection of the north right-of-way of FM 1488 (width varies), originally 100-feet wide, as filed for record in Volume 523, Page 113, Volume 523, Page 117 and Volume 561, Page 83 all of the Montgomery County Deed Records and widened by Clerk's File No's 2013092323, 2013118269, 2014083946, 2014098812 and 201500279 all of the Montgomery County Official Public Records of Real Property and the east right-of-way of the western portion of Heritage Green Circle (called 60-feet wide) as shown on a the plat of said Heritage Green, for the southwest corner of said Unrestricted Reserve 'B' and the herein described tract, from which a found 3/4-inch iron rod (with cap stamped 'JonesCarter Property Corner') bears North 81°29'06" West, 60.01 feet (chord distance), beginning a non-tangent curve to the left;

THENCE, in a northeast direction, along the east right-of-way of said western portion of Heritage Green Circle and the west line of said Unrestricted Reserve 'B', with the arc of said non-tangent curve to the left, having a radius of 380.00 feet, a central angle of 10°03'24", an arc length of 66.70 feet, and a chord bearing North 02°40'55" East, 66.61 feet to a set 3/4-inch iron rod (with cap stamped 'Quiddity Eng. Property Corner');

THENCE, North 02°20'47" West, 230.82 feet, continuing along the east right-of-way of said western portion of Heritage Green Circle and the west line of said Unrestricted Reserve 'B', to a set mag nail (with shiner stamped 'Quiddity Eng.') for the northwest corner of the herein described tract, from which a found 3/4-inch iron rod (with cap stamped 'JonesCarter Property Corner') bears North 02°20'47" West, 514.56 feet, beginning a non-tangent curve to the left;

THENCE, in a southeast direction, departing the east right-of-way of said western portion of Heritage Green Circle and the west line of said Unrestricted Reserve 'B', over and across said Unrestricted Reserve 'B', with the arc of said non-tangent curve to the left, having a radius of 2528.21 feet, a central angle of 02°27'36", an arc length of 108.55 feet, and a chord bearing South 82°16'01" East, 108.54 feet to a set mag nail (with shiner stamped 'Quiddity Eng.') for the northwest corner of a called 3.454 acre tract conveyed to Silver HG Center, LLC by Special Warranty Deed dated November 12, 2021 filed for record under Clerk's File No. 2021157661 of the Montgomery County Official Public Records of Real Property and the northeast corner of the herein described tract;

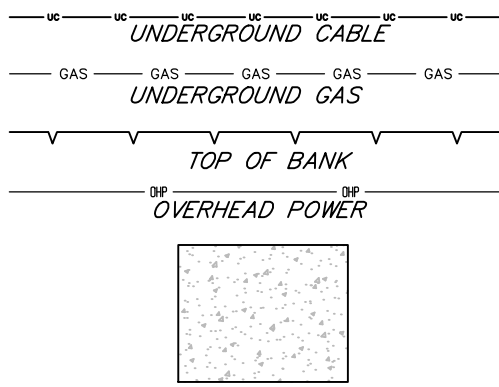
THENCE, in a southeast direction, continuing over and across said Unrestricted Reserve 'B', with the arc of said reverse curve to the right, having a radius of 300.00 feet, a central angle of 06°16'28", an arc length of 32.85 feet, and a chord bearing South 80°21'29" East, 32.84 feet to a set mag nail (with shiner stamped 'Quiddity Eng.') for the northwest corner of a called 3.454 acre tract conveyed to Silver HG Center, LLC by Special Warranty Deed dated November 12, 2021 filed for record under Clerk's File No. 2021157661 of the Montgomery County Official Public Records of Real Property and the northeast corner of the herein described tract;

THENCE, South 02°20'47" East, 293.62 feet along the west line of said 3.454 acres to a set 3/4-inch iron rod (with cap stamped 'Quiddity Eng. Property Corner') in the north right-of-way of said FM 1488 and the south line of said Unrestricted Reserve 'B', for the southwest corner of said 3.454 acres and the southeast corner of the herein described tract, beginning a non-tangent curve to the right;

THENCE, in a northwest direction, along the north right-of-way of said FM 1488 and the south line of said Unrestricted Reserve 'B', with the arc of said non-tangent curve to the right, having a radius of 2789.79 feet, a central angle of 03°00'35", an arc length of 146.55 feet, and a chord bearing North 83°36'24" West, 146.53 feet to the POINT OF BEGINNING, CONTAINING 0.9498 acre of land in Montgomery County, Texas.

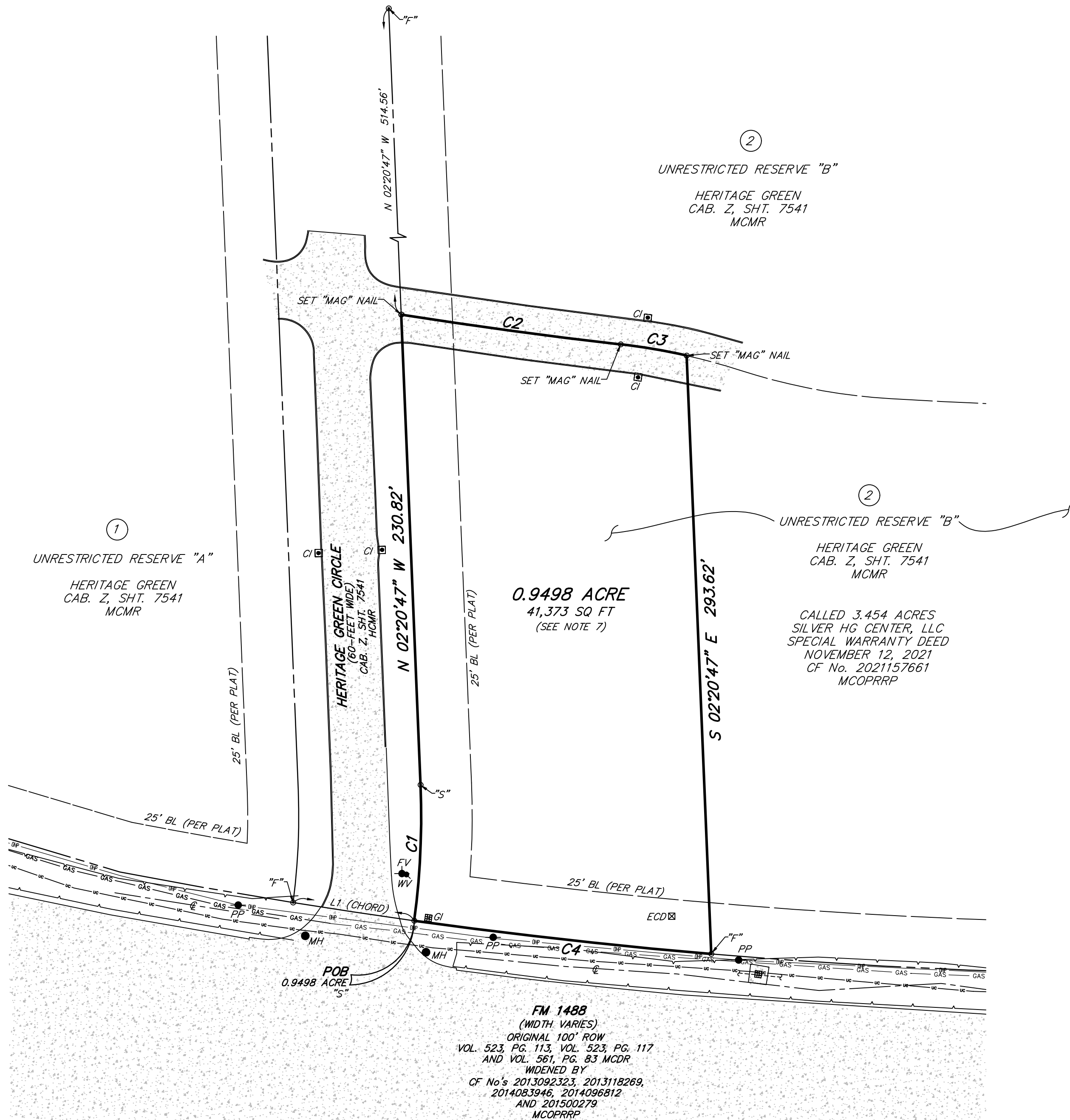
LEGEND

BL	BUILDING SETBACK LINE
CI	CI INLET
CL	CENTERLINE
CAB	CABINET
CF No.	CLERK'S FILE NUMBER
ECD	ELECTRIC CONDUIT
"F"	FOUND 3/4-INCH IRON ROD (WITH CAP STAMPED "JONES/CARTER PROPERTY CORNER")
FV	FLUSH VALVE
"MAG"	SET MAG NAIL (WITH SHINER STAMPED "QUIDDITY ENG.")
MCDR	MONTGOMERY COUNTY DEED RECORDS
MCMR	MONTGOMERY COUNTY MAP RECORDS
MCOPRRP	MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
MH	MANHOLE
PG	PAGE
POB	POINT OF BEGINNING
PP	POWER POLE
ROW	RIGHT OF WAY
"S"	SET 3/4-INCH IRON ROD (WITH CAP STAMPED "QUIDDITY ENG. PROPERTY CORNER")
SHT	SHEET
SN	SIGN
SQ. FT.	SQUARE FEET
VOL.	VOLUME
WV	WATER VALVE



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 81°29'06" W	60.01'

CURVE TABLE		
CURVE	RADIUS	DELTA ANGLE
C1	380.00'	10°03'24"
C2	2528.21'	2°27'36"
C3	300.00'	6°16'28"
C4	2789.79'	3°00'35"



Subject to the General Notes shown:

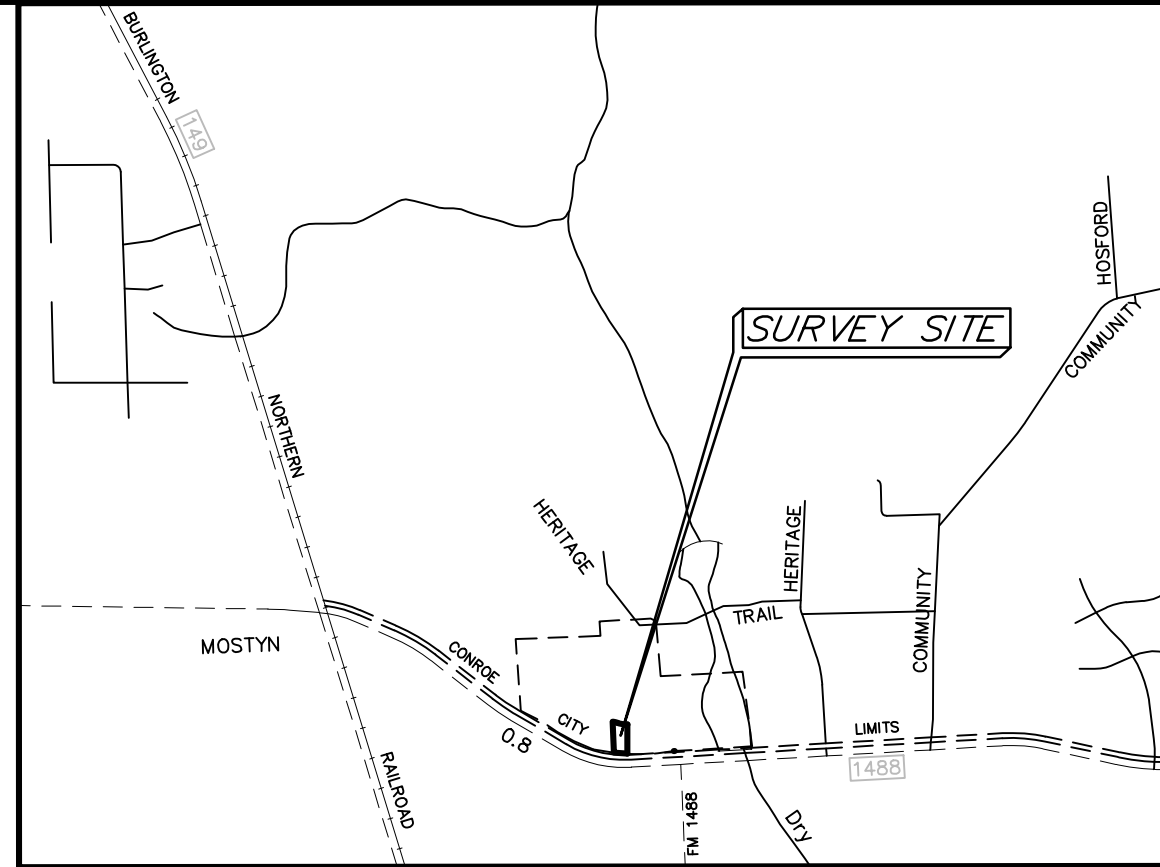
To: Wendy's, Haza Foods, LLC, Shadyside Land Company, LLC, Stewart Title Guaranty Company and Stewart Title Insurance Company

We, Quiddity Engineering, acting by and through William B. Awalt, a Registered Professional Land Surveyor, hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Manual of Practice requirements for a Category 1A, Condition 2 Survey.

Surveyed: September 6, 2022
Issued: September 13, 2022



William B. Awalt
Registered Professional Land Surveyor
No. 6738
wawalt@quiddity.com



VICINITY MAP

GENERAL NOTES:

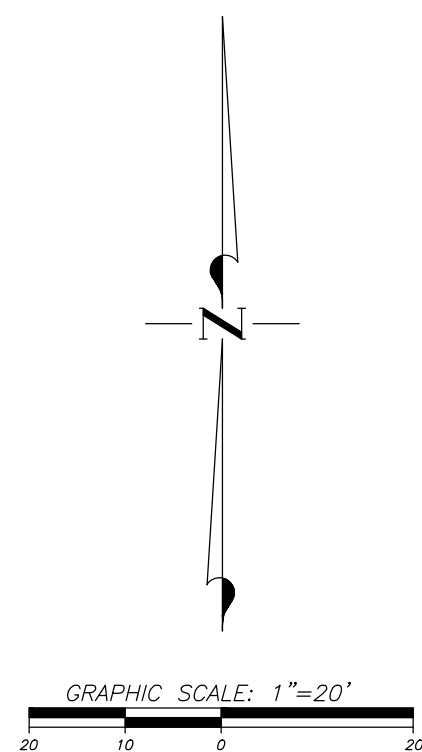
- Reference Commitment for Title Insurance issued by Stewart Title Guaranty Company, countersigned by Stewart Title Insurance Company, G.F. No. 22000330836, having an effective date of June 23, 2022 and an issue date of July 5, 2022. No further research for easements or encumbrances was performed by Quiddity Engineering.
- Development of the subject tract may require submittal, approval, and/or recording of a plat or replat. Rules and regulations are established by the governmental agency, which has jurisdiction. These rules and regulations may include dedication of setback lines, easements, additional right-of-way, and other matters.
- Bearings shown hereon are based on the Texas Coordinate System of 1983, Central Zone.
- This survey does not provide any determination concerning wetlands, fault lines, toxic waste or any other environmental issues. Such matters should be directed by the client or prospective purchaser to an expert consultant.
- According to Map No. 48339C0485G of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Montgomery County, Texas, dated August 18, 2014 the subject tract is situated within: Unshaded Zone 'X'; defined as areas determined to be outside the 500-year flood plain.
- This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods, can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- Research for Adjoiner Tracts was performed by Quiddity Engineering on September 12, 2022.
- The square footage totals as shown hereon are based on the mathematical closure of the courses and distances reflected on this survey. It does not include the tolerances that may be present due to position accuracy of the boundary monuments shown hereon. The square footage shown hereon has an accuracy of ± 4 square feet. This is based on the calculations of area standards in the Manual of Practice for Land Surveying in the State of Texas as published by the Texas Society of Professional Land Surveyors for an 41,373 square foot tract of land.
- The surveyor has not been provided with construction plans showing the location of underground utilities. Underground utilities may exist which are not shown hereon.
- This survey has been prepared for the sole purpose of the transaction described in the above referenced Title Commitment and the parties listed thereon. This survey is not to be used for any subsequent transactions.
- The subject property abuts Heritage Green Circle and such street is paved and dedicated public rights-of-way and maintained by Montgomery County and also abuts FM 1488 and such street is paved and dedicated public rights-of-way and maintained by the Texas Department of Transportation. This statement is subject to the exercise of power of the governmental authority to limit, control or deny access, ingress or egress.
- Visible improvements/utilities were located with this survey; no subsurface probing, excavation or exploration was performed for this survey.
- Fieldwork was completed on September 6, 2022.

SCHEDULE B NOTES

- Tract subject to Restrictive Covenants recorded in Cabinet E, Sheet 89-A and Cabinet Z, Sheet 7541 of the Montgomery County Map Records and in County Clerk File No.(s) 8412009, 2019037611, 20211144696, 2021146100, and 2022060043 of the Montgomery County Official Public Records of Real Property.
- Item No. 10R of said Commitment of Title Insurance, the tract is subject to terms, conditions to that certain Utility Development Agreement and Chapter 360 Agreement as recorded in County Clerk's File No. 20220393137 of the Montgomery County Official Public Records of Real Property. (Affects)

TSPS
LAND TITLE SURVEY
OF
0.9498 ACRE
OUT OF THE
JOHN B. RICHARDS SURVEY, A-449
MONTGOMERY COUNTY, TEXAS
SEPTEMBER 2022

QUIDDITY
Texas Board of Professional Engineers and Land Surveyors
Registration Nos. F-23298 & 10046100
1575 Sawdust Road, Suite 400, The Woodlands, TX 77380 281-363-4039



Notes:

1. This topographic survey was prepared without benefit of a current title report. Easements, building lines and other matters of record are not shown hereon. The surveyor has not abstracted the subject property.
2. The bearing basis shown hereon is the Texas Coordinate System of 1983, South Central Zone (4204).
3. The described property is located within an area having a Zone Designation X-unshaded by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 48339C0485G, with an identification date of August 8, 2014.

BENCHMARK INFORMATION:

Elevations shown hereon are based on National Geodetic Survey Monument Designation M 1510, PID No. BL2005 having published information as follows:
Latitude 30° 08' 28.1 North
Longitude 95° 37' 48.7 West
NAD 83 (1986)
Elevation 166.99 feet, NAVD 88 (1991 ADJ)

Temporary Benchmark (TBM) being a 100-D nail found in a power pole, located on the north ROW of FM 1488, approximately 700 feet west of Spur FM 149, approximately 50 feet east of a concrete driveway approximately 18 feet north of the northern edge of concrete of FM 1488, as shown hereon.
Elevation = 231.90 feet, NAVD 88, 1991 Adjustment.

TO: ANCHOR CM

THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT (2006 REVISED ELEVENTH EDITION) TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 6, CONDITION II SURVEY.

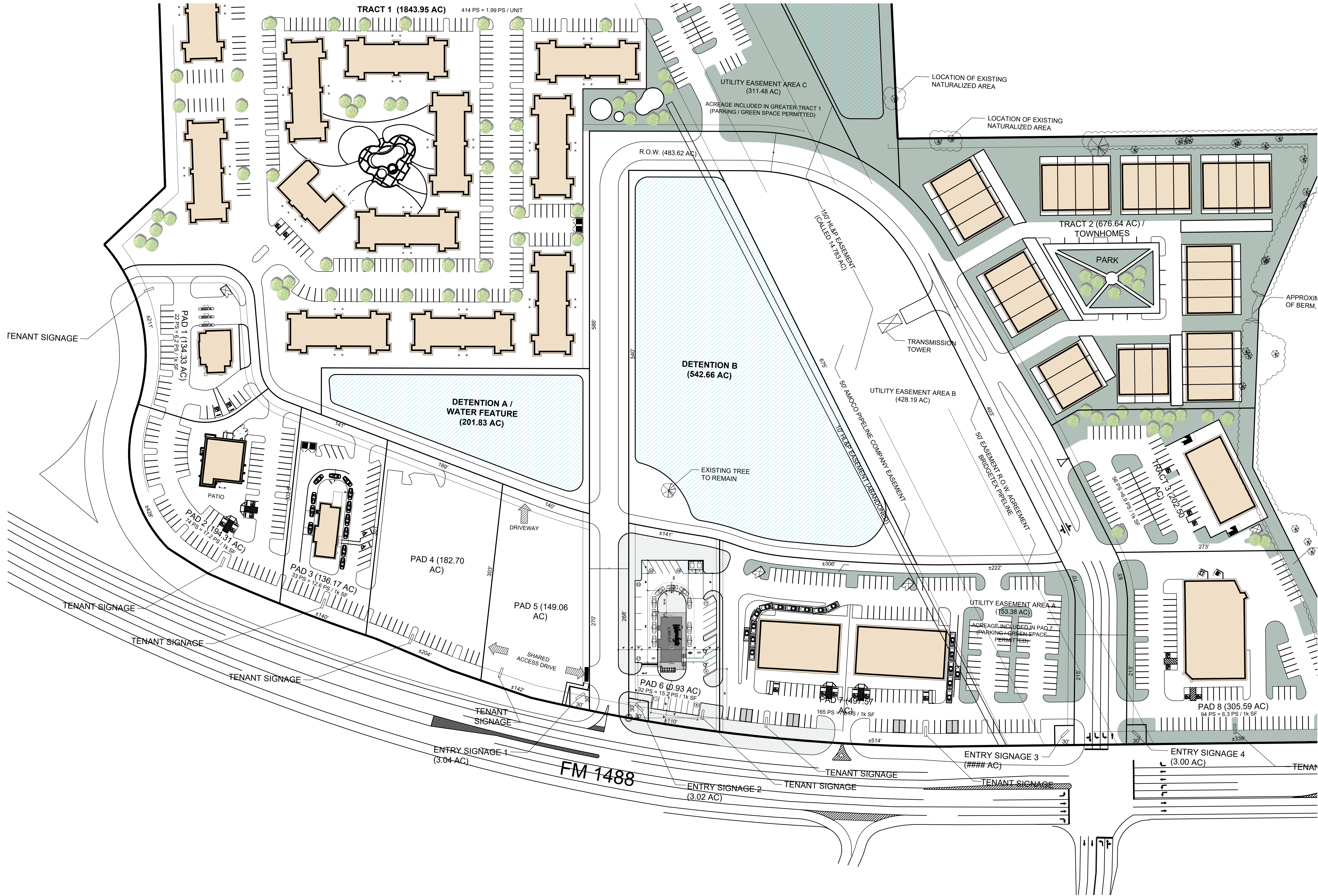
DATED THIS 30th DAY OF JUNE, 2022.
(revised 07-19-22 add storm and sanitary inverts)

RONALD G. HARRISON, R.P.L.S. No. 5342

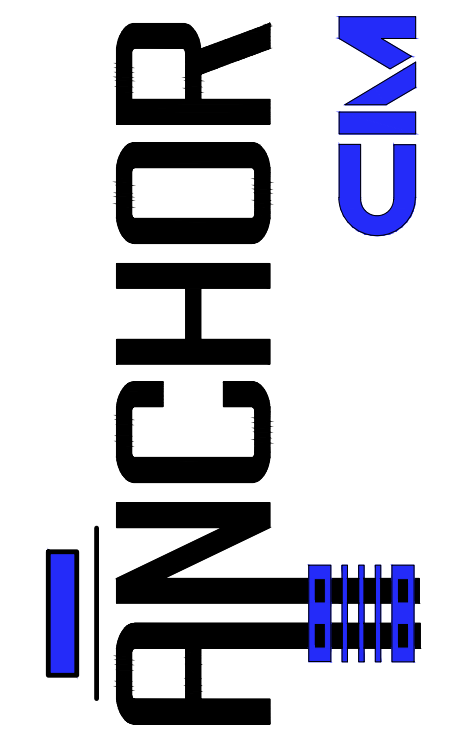
BENCHMARK ENGINEERING CORPORATION
Consulting Engineers - Planners - Surveyors
2401 Fountainview Suite 500
Houston, Texas 77057 U.S.A. (713)266-9930

**PARTIAL TOPOGRAPHIC SURVEY
PAD 6 OF PROPOSED HERITAGE GREEN
A SUBDIVISION TO BE RECORDED IN
MONTGOMERY COUNTY, TEXAS**

DRAWN BY: MHVJ	DATE: 06-22-2022	SCALE: 1"=20'
CHECKED BY: RGH	JOB No. 22026	SHEET No. 1 OF 1



REV	DATE	DESCRIPTION

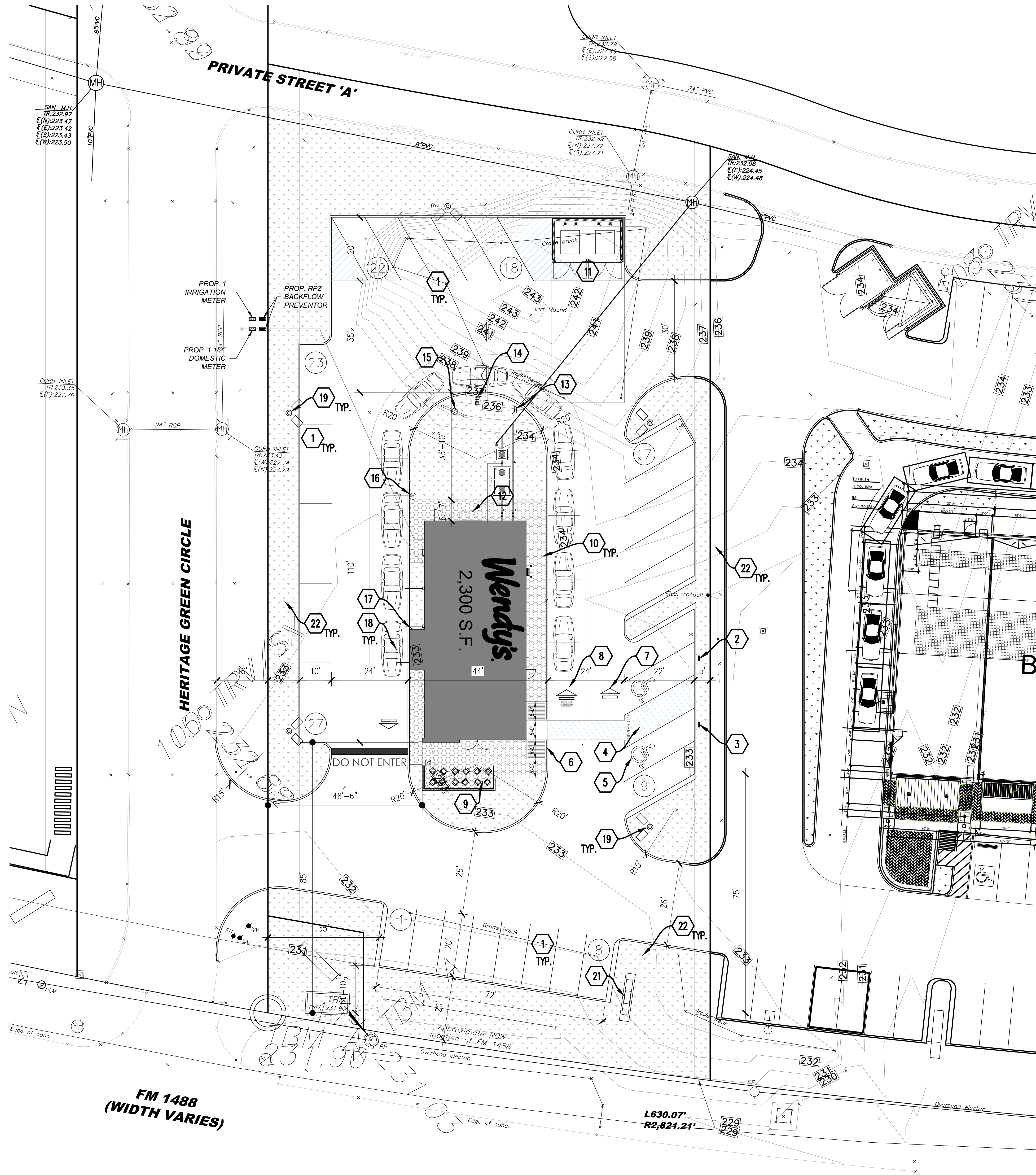


HERITAGE GREEN
MAGNOLIA, TX 77354

SHEET NAME:
OVERALL
SITE PLAN

SHEET #:
AS1.0





KEYED NOTES

1. PROPOSED PARKING – PARKING TO BE 20'-0"D X 9'-0"W UNLESS NOTED OTHERWISE. PARKING STRIPING TO BE 4" WIDE TYP.
2. VAN ACCESSIBLE PARKING SIGN @ 60" TO BOTTOM OF SIGN.
3. ACCESSIBLE PARKING SIGN @ 60" TO BOTTOM OF SIGN.
4. ACCESSIBLE LANDING.
5. PAINTED HC SYMBOL SEE DETAIL 03/AS2.1
6. ACCESSIBLE SIDEWALK RAMP
7. PAVEMENT MARKER – SIMILAR TO DETAIL 11/AS2.1 (WITHOUT TEXT)
8. PAVEMENT MARKER 'PICK-UP WINDOW', SEE DETAIL 11/AS2.1
9. COVER PATIO
10. CONCRETE SIDEWALK
11. DUMPSTER ENCLOSURE AND APPROACH PAD, REFER TO AS3.1
12. GREASE TANK& CO2 CONTAINER ENCLOSURE.
13. PRE-SELL MENU BOARDS – SEE DETAIL 07/AS2.2
14. ORDER STATION CANOPY – SEE DETAIL 03/AS2.2
15. MENU BOARDS – SEE DETAIL 1/AS2.2
16. CLEARANCE POLE – SEE DETAIL 06/AS2.2
17. CONCRETE FILLED BOLLARD, REFER TO DETAIL 12/AS2.1
18. PAY/PICKUP WINDOW AND CANOPY.
19. PROPOSED SITE LIGHT POLE MAX 20FT HT. LED LIGHTING MODEL: VP-L-96NB-280-5K-T4BLC
20. ENTER AND EXIT SIGNS.
21. PYLON SIGN.
22. LANDSCAPING.

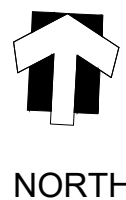
GENERAL NOTES

1. PAVING DIMENSIONS ARE SHOWN TO FACE OF CURB
2. REFER TO THE GEOTECHNICAL STUDY
3. REFER TO CIVIL DRAWINGS FOR SITE WORK
4. GENERAL CONTRACTOR IS TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES & NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. GENERAL CONTRACTOR TO PROTECT ALL TREES& SHRUBS(IF ANY) IN AREA OF NEW CONSTRUCTION.
6. ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
7. PERMITS TO PERFORM WATER/SANITARY/STORM SEWER TAPS SHALL BE OBTAINED BY THE APPLICANT FROM THE APPROPRIATE GOVERNING AGENCIES.
8. A SAFE AND ADEQUATE TRAVEL ROUTE FOR PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES, PEDESTRIANS SHALL NOT BE DETOURED INTO THE EXISTING ROADWAY.
9. SAW CUT THE EXISTING CONCRETE CURB AND GUTTER AND APPROACHES FULL DEPTH AND REMOVE IT PRIOR TO REPLACEMENT OF DRIVEWAY APPROACH AND CLOSING THE EXISTING CURB DROPS.
10. SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
11. PROTECTIVE FENCE SHALL BE PLACED AROUND ALL TRENCH EXCAVATIONS THAT ARE LEFT OPEN OVERNIGHT.
12. CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE PAVEMENT. PROVIDE A MINIMUM 4" OF LEVELING COURSE IF HEAVY CONSTRUCTION VEHICLES ARE TO TRAVERSE ON THE PAVEMENT STRUCTURE.REPAIR ANY PAVEMENT AREAS DAMAGED BY CONSTRUCTION TRAFFIC PRIOR TO PLACING THE FINAL WEARING COURSE.

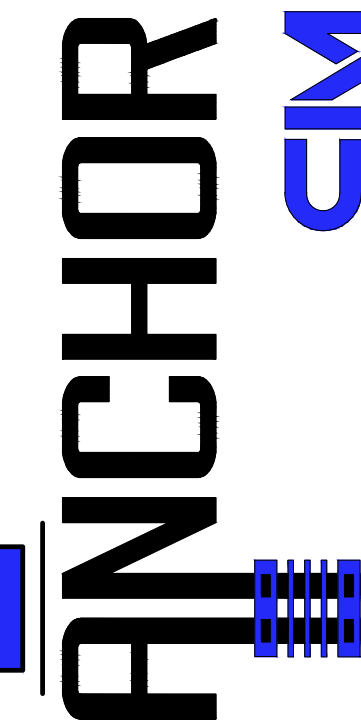
PARKING CALCULATIONS

TABLE 7-1-2.02.3 PARKING FOR COMMERCIAL USES
RESTAURANT (WITH DRIVE-THROUGH OR DRIVE-IN) 1 SPACE PER 200 SF.
(2,300 BUILDING + 350 PATIO = 2,650 S.F./200 S.F.) = 13.25 = 14
PARKING SPACES REQUIRED = 14 SPACES
PARKING SPACES PROVIDES ON SITE = 27 SPACES
HANDICAP PARKING REQUIRED = 2 SPACES
HANDICAP PARKING PROVIDED = 1 HC ACCESSIBLE
1 VAN ACCESSIBLE
TOTAL PROVIDES = 2 SPACES

01 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"



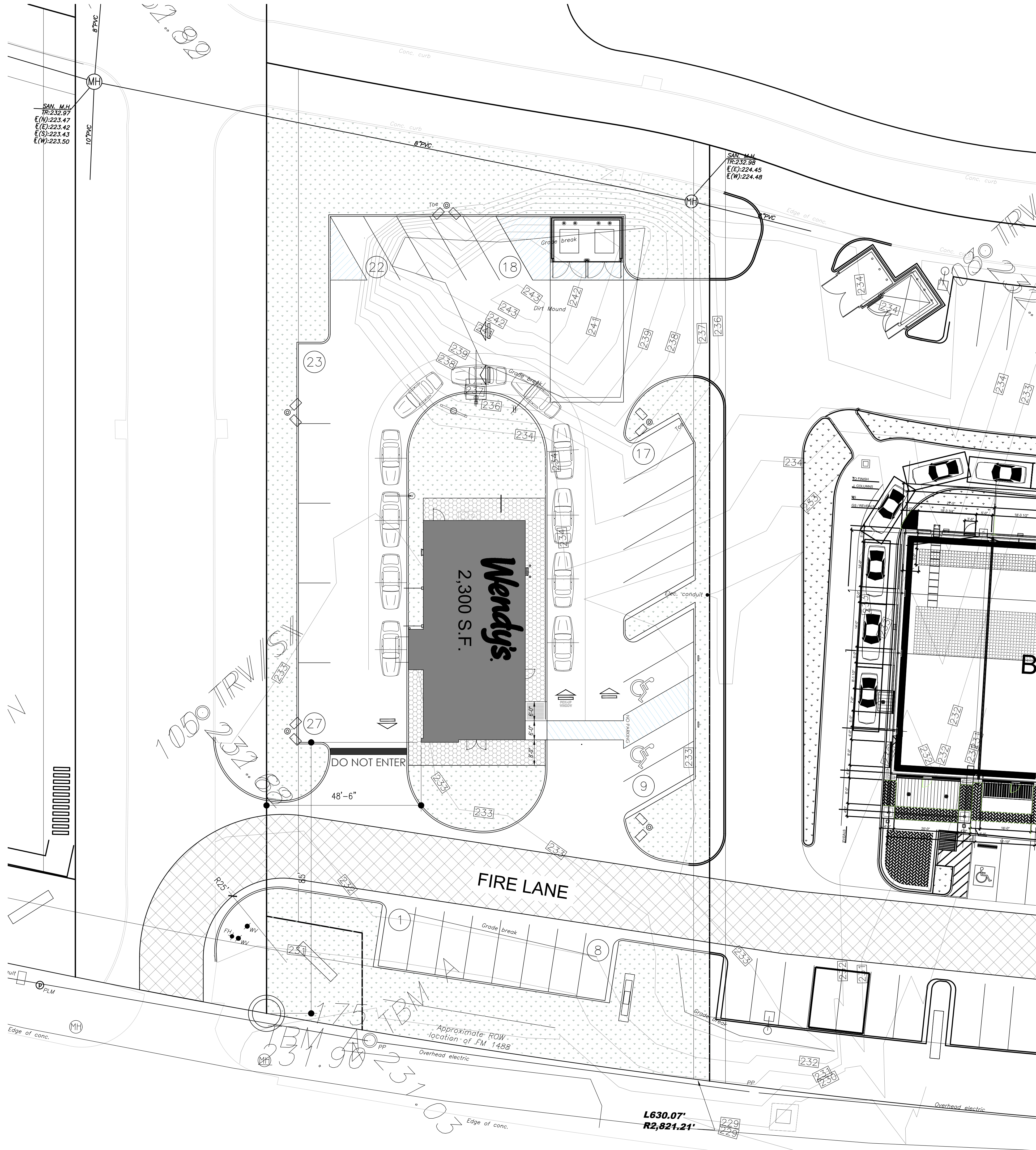
REV	DATE	DESCRIPTION
0	06/23/2022	ISSUE FOR PERMIT



13660 FM 1488
MAGNOLIA TX 77354

SHEET NAME:
ARCHITECTURAL
SITE PLAN

SHEET #:
AS1.1



KEYED NOTES

1. HATCH PATTERN INDICATES PROPOSED 20' WIDE FIRE APPARATUS ACCESS LANE. REF. TO FIRE LANE MARKING SPECS ON THIS SHEET FOR APPROVED METHOD

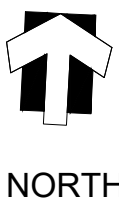
GENERAL NOTES

SECTION 503.1.1 ACCESS TO BUILDINGS BY FIRE APPARATUS

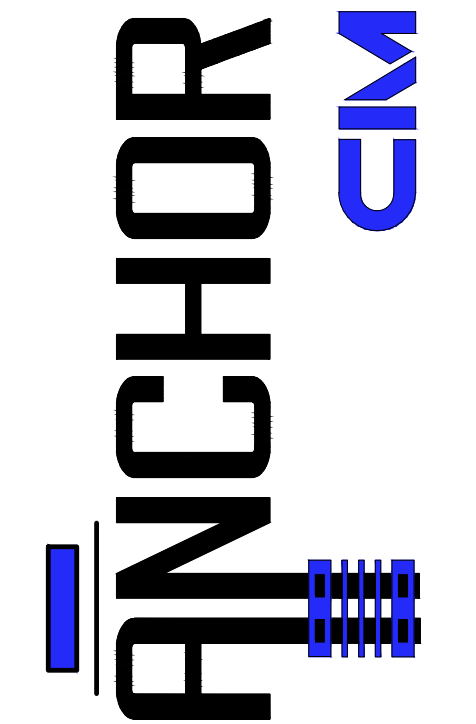
AN APPROVED FIRE APPARATUS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF A FACILITY AND ITS EXTERIOR WALLS. LARGER BUILDINGS MAY REQUIRE MORE THAN ONE APPROVED APPARATUS ROAD.

SECTION 503.2 SPECIFICATIONS

- (a) ALL BUILDINGS WITHIN MONTGOMERY COUNTY SHALL HAVE ADEQUATE ACCESS FOR FIRE DEPARTMENT APPARATUS. THE BUILDING OWNER OR TENANT SHALL DESIGNATE FIRE LANES, WITH FIRE MARSHAL APPROVAL. IN NO CASE SHALL A FIRE LANE BE LESS THAN TWENTY (20) FEET WIDE, OR 28 FEET WIDE IN CURVES, WITH A VERTICAL CLEARANCE OF LESS THAN THIRTEEN (13) FEET SIX (6) INCHES.
- (b) ALL FIRE LANES SHALL BE POSTED AND MARKED BY THE BUILDING OWNER OR TENANT. FIRE LANES MAY BE MARKED USING SIGNS, PAVEMENT MARKINGS, CURB MARKINGS OR A COMBINATION THEREOF WITH THE FOLLOWING SPECIFICATIONS:
 - (1) SIGNS. SIGNS SHALL READ "FIRE LANE - NO PARKING" AND SHALL BE AT LEAST TWELVE (12) INCHES WIDE AND EIGHTEEN (18) INCHES HIGH. SIGNS SHALL BE PAINTED ON A WHITE BACKGROUND WITH LETTERS AND BORDERS IN RED, USING NOT LESS THAN TWO-INCH LETTERING. SIGNS SHALL BE PERMANENTLY AFFIXED TO A STATIONARY POST, AND INSTALLED SIX (6) FEET, SIX (6) INCHES ABOVE THE FINISHED GRADE. SIGNS SHOULD BE SPACED NO MORE THAN 50 FEET APART. SIGNS MAY BE INSTALLED ON PERMANENT BUILDINGS OR WALLS.
 - (2) PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE INSTALLED USING RED AND WHITE TRAFFIC PAINT. THE BOUNDARIES OF THE FIRE LANE SHALL BE IDENTIFIED BY RED STRIPES AT LEAST SIX (6) INCHES WIDE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR INCH WHITE LETTERS AT NO MORE THAN TWENTY-FIVE FOOT ALTERNATING INTERVALS ON THE RED BORDER MARKINGS.
 - (3) CURB MARKINGS. CURB MARKINGS SHALL BE PAINTED IN RED TRAFFIC PAINT FROM THE TOP SEAM OF THE CURB TO A POINT EVEN WITH THE DRIVING SURFACE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR INCH WHITE LETTERS AT NO MORE THAN 25 FOOT INTERVALS ALONG THE CURB



REV	DATE	DESCRIPTION
0	08/23/2022	ISSUE FOR PERMIT



SHEET NAME:
FIRE
SITE PLAN

SHEET #:
AS1.2

GRADING NOTES

1. CONTRACTOR SHALL MAINTAIN DRAINAGE DURING CONSTRUCTION AS TO NOT IMPACT ADJASCENT / NEIGHBORING PROPERTIES.
2. ANY AREAS OF GRASS WITHIN THE CITY'S RIGHT OF WAY WHICH ARE DISTURBED OR DUG UP DURING CONSTRUCTION SHALL BE REPLACED WITH ST. AUGUSTINE OR GRASS WHICH MATCHED THE GRASS REMOVED.
3. ANY DRAINAGE TO EXISTING ROADS, DRIVEWAYS, SIDEWALKS, OR OTHER APPURTENANCES WITHIN THE CITY'S RIGHT OF WAY SHALL BE SAW CUT , REMOVED AND REPLACED WITH MATERIALS EQUAL TO OR SUPERIOR MATERIAL, AND MUST BE INSTALLED TO CITY STANDARDS.
4. ALL SURFACE ORGANIC, TOPSOIL AND UNSUITABLE MATERIAL SHALL BE STRIPPED FROM ALL PROPOSED BUILDING AND PAVING AREAS.
5. ALL TREE-STUMPS THAT ARE TO BE REMOVED SHALL BE DONE THOROUGHLY BY REMOVING ALL THE ROOTS AND FILLING UP THE VOID WITH SELECT FILL AND COMPACTED PRIOR TO CONSTRUCTION.
6. PROOF ROLL THE SUBGRADE TO DETECT ANY WET, SOFT OR PUMPING AREAS, TREAT THESE AREAS WITH DRYING/STABILIZING AGENTS AS NECESSARY OR REMOVE & REPLACE THEM WITH SELECT FILL.
7. COMPACT THE SUBGRADE TO A MINIMUM OF 95% OF ITS DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D 698).
8. ADDITIONAL FILL MATERIAL WITHIN THE BUILDING AREA SHOULD BE SILTY OR SANDY CLAY HAVING A PLASTICITY INDEX (PI) OF 10 - 20 & A LIQUID LIMIT OF 28 OR MORE. SILL MATERIALS SHOULD BE PLACED IN 6 TO 8 INCH LIFTS & COMPACTED AT OPTIMUM MOISTURE CONTENT TO 98% OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR COMPACTION TEST (ASTM D 698).

STORM SEWER CONSTRUCTION NOTES

1. STORM SEWER PIPE TO BE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D-3034, SDR 35, FOR 8"-15" PIPE AND ASTM F-679 FOR 18"-24" PIPE, EXCEPT AS OTHERWISE NOTED ON THE PLANS. REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO ASTM C-76, CLASS III, EXCEPT AS OTHERWISE NOTED ON THE PLANS. DUCTILE IRON PIPE SHALL CONFORM TO ANSI A21.51, THICKNESS CLASS 50S1, EXCEPT AS OTHERWISE NOTED ON THE PLANS.
2. ALL STORM SEWERS TO RECEIVE BEDDING AND BACKFILL IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS. STORM SEWERS WITHIN PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS TO RECEIVE BEDDING AND BACKFILL IN ACCORDANCE WITH MONTGOMERY COUNTY PUBLIC WORKS DEPARTMENT SPECIFICATIONS FOR SEWER CONSTRUCTION, ENGINEERING STANDARD CONSTRUCTION DETAILS, LATEST PRINTING AND AMENDMENTS THERETO.
3. ALL STORM SEWER MANHOLES, GRATE INLETS AND JUNCTION BOXES TO BE CONSTRUCTED AS SHOWN IN THE DETAILS CONTAINED IN THE PLANS.
4. STORM SEWER CONSTRUCTION, INCLUDING INLETS AND MANHOLES, OUTSIDE OF PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS TO BE IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS. STORM SEWER CONSTRUCTION WITHIN PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS TO BE IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS. STORM SEWER CONSTRUCTION WITHIN PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS TO BE IN ACCORDANCE WITH MONTGOMERY COUNTY PUBLIC WORKS DEPARTMENT SPECIFICATIONS AND ENGINEERING STANDARD CONSTRUCTION DETAILS, LATEST PRINTING AND AMENDMENTS THERETO.
5. ALL STORM SEWER TRENCHES UNDER PROPOSED AND FUTURE PAVEMENT OR WITHIN ONE (1) FOOT BACK OF ALL CURBS TO BE BACKFILLED WITH CEMENT-STABILIZED SAND (CLEAN BANK SAND AND *1 1/2 SK/C.Y. MIN. PORTLAND CEMENT MIXTURE) TO A POINT ONE (1) FOOT BELOW PAVEMENT SUBGRADE AS SHOWN FOR CLASS "AA" BEDDING AND BACKFILL IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS. THE REMAINING BACKFILL TO BE MADE WITH COMPACTED SELECT MATERIAL.
6. WHERE MANHOLES, GRATE INLETS, OR JUNCTION BOXES ARE LOCATED WITHIN PAVED AREAS, CONTRACTOR SHALL SET RIM ELEVATIONS TO MATCH TOP OF PAVEMENT ELEVATIONS, OUTSIDE OF PAVED AREAS, SET MANHOLE RIMS AND TOP OF GRATE AT ELEVATIONS SHOWN ON THE PLANS.
7. CONTRACTOR TO ALLOW A MINIMUM OF 6-INCH VERTICAL CLEARANCE BETWEEN STORM SEWER AND OTHER EXISTING OR PROPOSED UTILITIES.
8. IN EVERY CASE WHERE TRENCHES ON-SITE HAVE BEEN EXCAVATED BELOW THE SPECIFIED DEPTH FOR CLASS "B" BEDDING, THE PIPE SHALL BE LAID WITH CLASS "A" BEDDING.

TRAFFIC NOTES

1. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD-LATEST EDITION WITH REVISIONS) DURING CONSTRUCTION.
2. NO LANES SHALL BE BLOCKED FROM 7 A.M. TO 9 A.M. AND 4 P.M. TO 6:30 P.M. MONDAY THRU FRIDAY.

NOTES

1. NO WATER OR RUNOFF SHALL DRAIN INTO THE ADJOINING PROPERTIES.
2. ROOF DRAINAGE SHOULD BE TIED INTO THE UNDERGROUND SUB SURFACE DRAINAGE SYSTEM AS SHOWN ON THE PLAN.
3. THERE IS NO CONTRIBUTING OFF-SITE RUNOFF. THE PROPOSED TRIANGULAR GRASS-LINED PERIMETER SWALE IS DESIGNED TO CAPTURE THE INTERNAL RUNOFF FROM SMALL LANDSCAPE/PERVIOUS AND THE SIDEWALK AREAS CONVEY THIS FLOW TO THE R.O.W. WITHOUT ANY ADVERSE IMPACT TO THE NEIGHBORING PROPERTY. PLEASE REFER TO SHEET C-3 FOR BYPASS AREA RUNOFF CALCULATIONS.

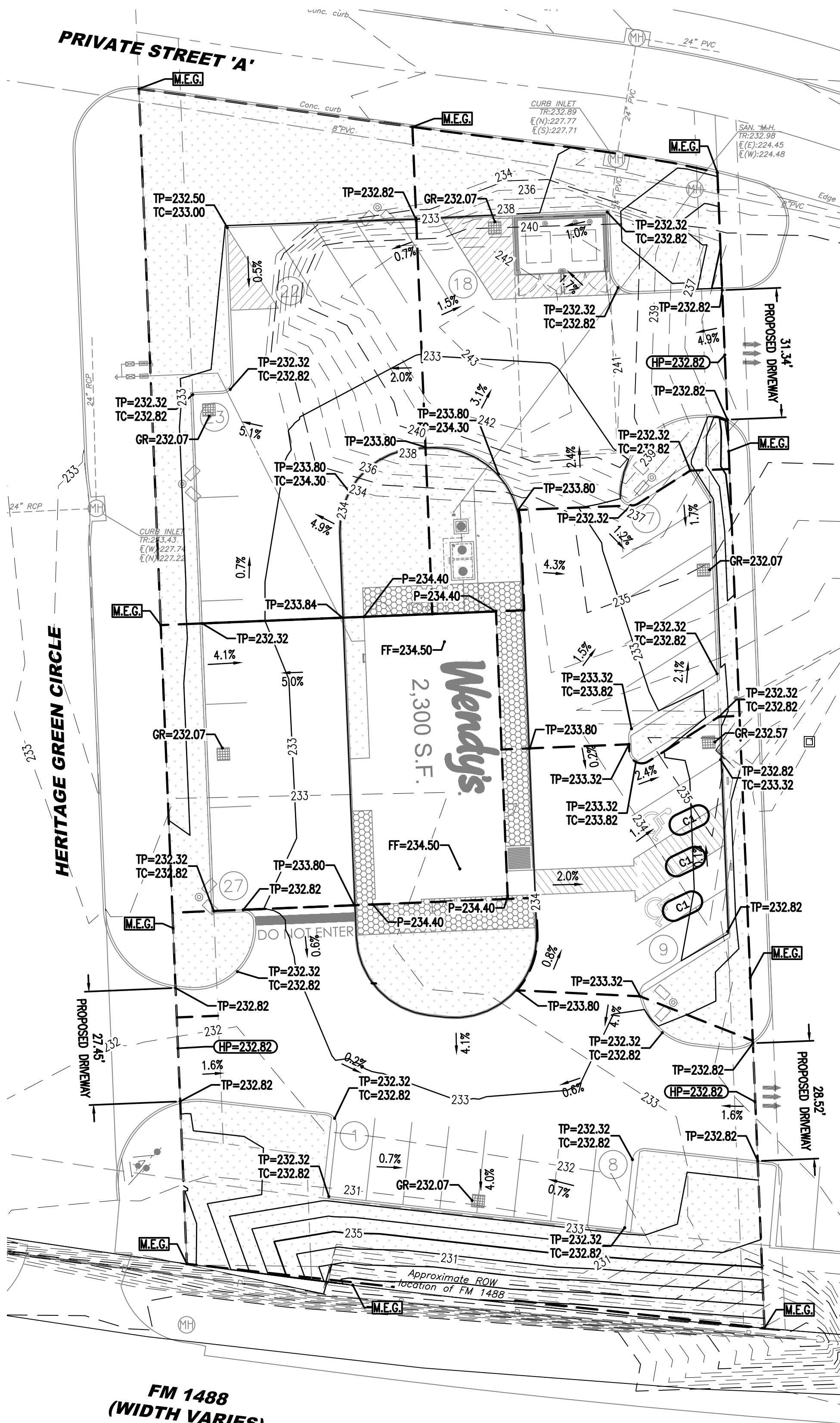
FLOODPLAIN DATA

ACCORDING TO FIRMETTE NO. 48339C0485G DATED AUGUST 18, 2014 PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM, THIS PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD AREA - ZONE X.

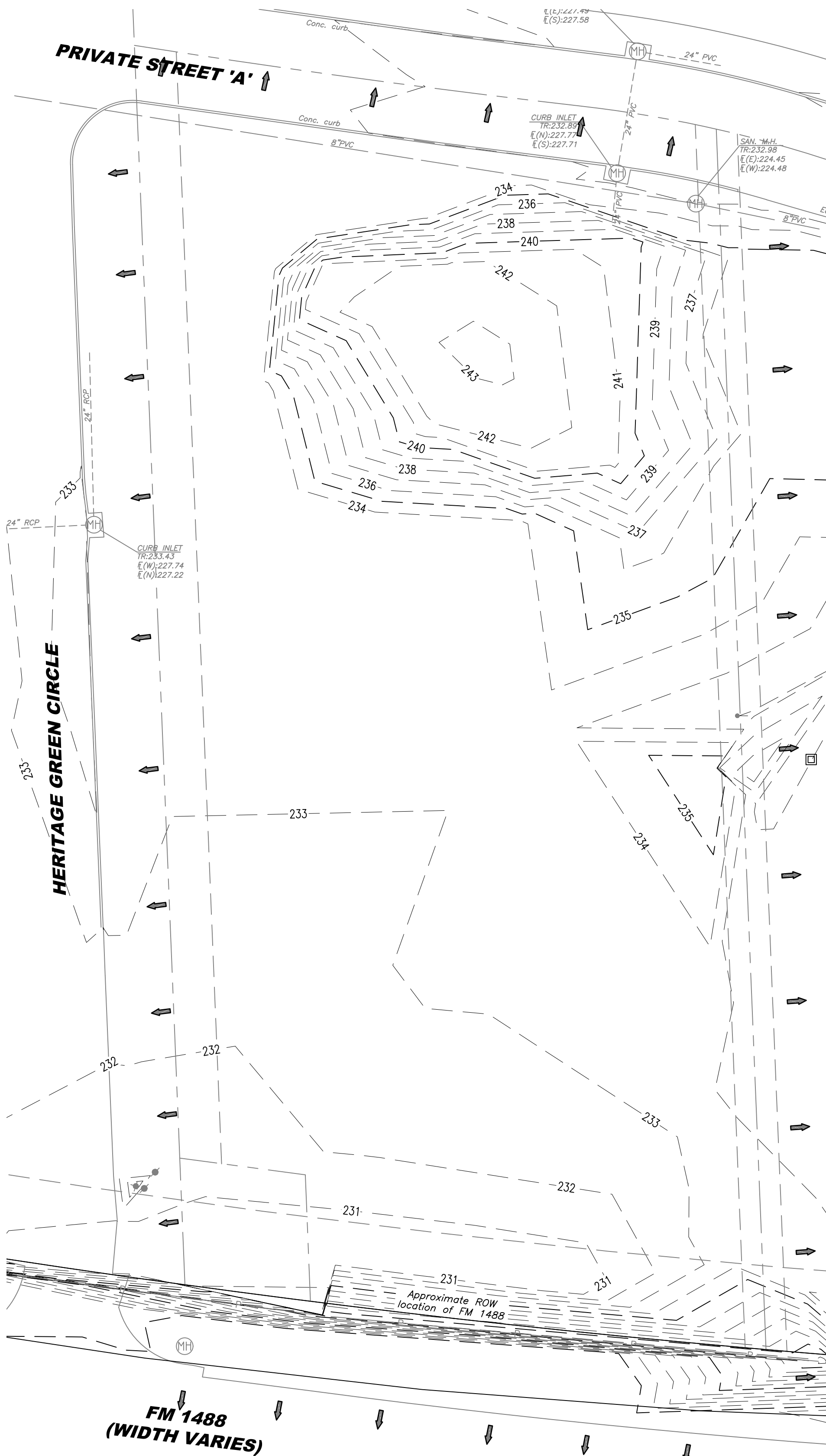
LEGAL DESCRIPTION

KEYED PLAN NOTES:

- (C1) CONTRACTOR SHALL ENSURE HANDICAP PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.



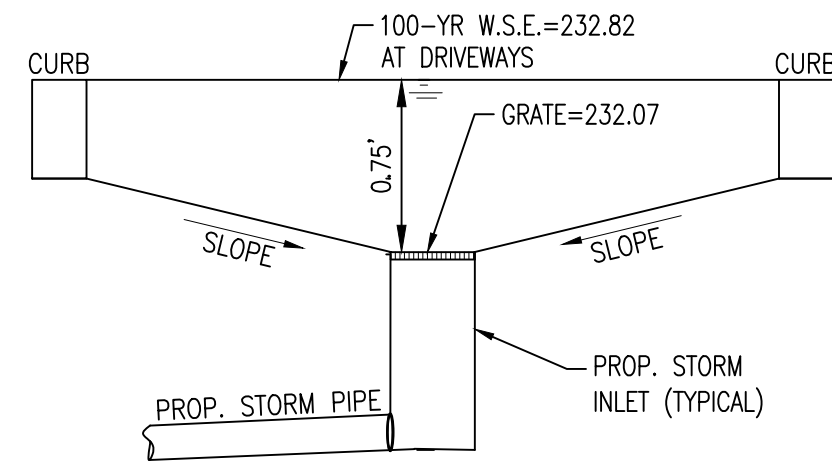
SITE PAVING AND GRADING PLAN



EXISTING DRAINAGE AREA MAP

DRAINAGE SUMMARY TABLE

TxDOT Tracking number (TR #)	
Highway	FM 1488
TxDOT frontage	140.62
TxDOT Area (the strip of site within 150-ft frontage)	0.484
Total tract area based on submitted survey map	
Proposed disturbed area	
Project contributing drainage area to TxDOT	
Off-site contributing drainage area (if applicable)	
Increased impervious area	
10-yr required detention volume	
10-yr proposed detention volume	
10-yr design W.S.E.	
10-yr Pre-developed peak flow	
10-yr Post-developed peak flow (Before detention/restrictor)	
10-yr Proposed discharge to TxDOT R.O.W. (With detention/restrictor)	
100-yr required detention volume	
100-yr proposed detention volume	
100-yr design W.S.E.	
100-yr Pre-developed peak flow	
100-yr Post-developed peak flow (Before detention/restrictor)	
100-yr Proposed discharge to TxDOT (With detention/restrictor)	
TxDOT as-built or calculated allowable discharge	
Primary tie-in/outfall structure size	
Primary restrictor size	
Primary restrictor maximum discharge	
Secondary outfall device size (if applicable)	
Secondary outfall discharge (if applicable)	
Maximum combined pumped discharge (if applicable)	
% Pumped discharge volume (if applicable)	
Effective gravity discharge elevation (if applicable)	
B.F.E. per effective FIRM (if applicable)	
Proposed fill below B.F.E. (if applicable)	
Proposed cut below B.F.E. (if applicable)	



WATER SURFACE ELEVATION ABOVE THE TOP OF GRATE INLETS NTS

LEGEND:

- EXTREME EVENT OUTFLOW
- FLOW DIRECTION
- EG=??? EXISTING GRADE ELEVATION
- TP=??? TC=??? TOP OF PAVEMENT, TOP OF CURB ELEVATION
- FF=??? FINISHED FLOOR ELEVATION
- GR=??? INLET GRATE ELEVATION
- HP=??? HIGH POINT ELEVATION
- M.E.G. MATCH TO EXISTING GRADE
- RIDGE LINE

SS&C
SARAB STRUCTURAL & CIVIL, LLC
13831 Northwest Freeway, Suite 245
FIRM No. F-10808
Houston Texas 77040 (832) 922-1145
Fax: (713) 896-6356

ANCHOR
CIVIL

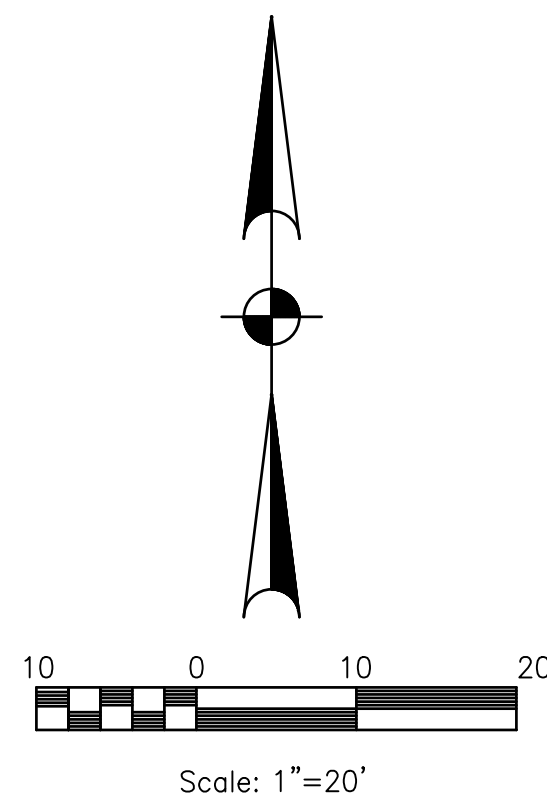
Wendy's
FM1488 MAGNOLIA
TEXAS 77354

Seal
KARIM S. DAELAH
94933
PROFESSIONAL ENGINEER
Aug 15, 2022

REVISIONS
No Current Revision

Project number
Date
Drawn by
Checked by

C-1
1"=20'



TRAFFIC NOTES

1. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD—LATEST EDITION WITH REVISIONS) DURING CONSTRUCTION.
2. NO LANES SHALL BE BLOCKED FROM 7 A.M. TO 9 A.M. AND 4 P.M. TO 6:30 P.M. MONDAY THRU FRIDAY.

NOTES

1. NO WATER OR RUNOFF SHALL DRAIN INTO THE ADJOINING PROPERTIES.
2. ROOF DRAINAGE SHOULD BE TIED INTO THE UNDERGROUND SUB SURFACE DRAINAGE SYSTEM AS SHOWN ON THE PLAN.
3. THERE IS NO CONTRIBUTING OFF-SITE RUNOFF. THE PROPOSED TRIANGULAR GRASS-LINED PERIMETER SWALE IS DESIGNED TO CAPTURE THE INTERNAL RUNOFF FROM SMALL LANDSCAPE/PERVIOUS AND THE SIDEWALK AREAS CONVEY THIS FLOW TO THE R.O.W. WITHOUT ANY ADVERSE IMPACT TO THE NEIGHBORING PROPERTY. PLEASE REFER TO SHEET C-3 FOR BYPASS AREA RUNOFF CALCULATIONS.

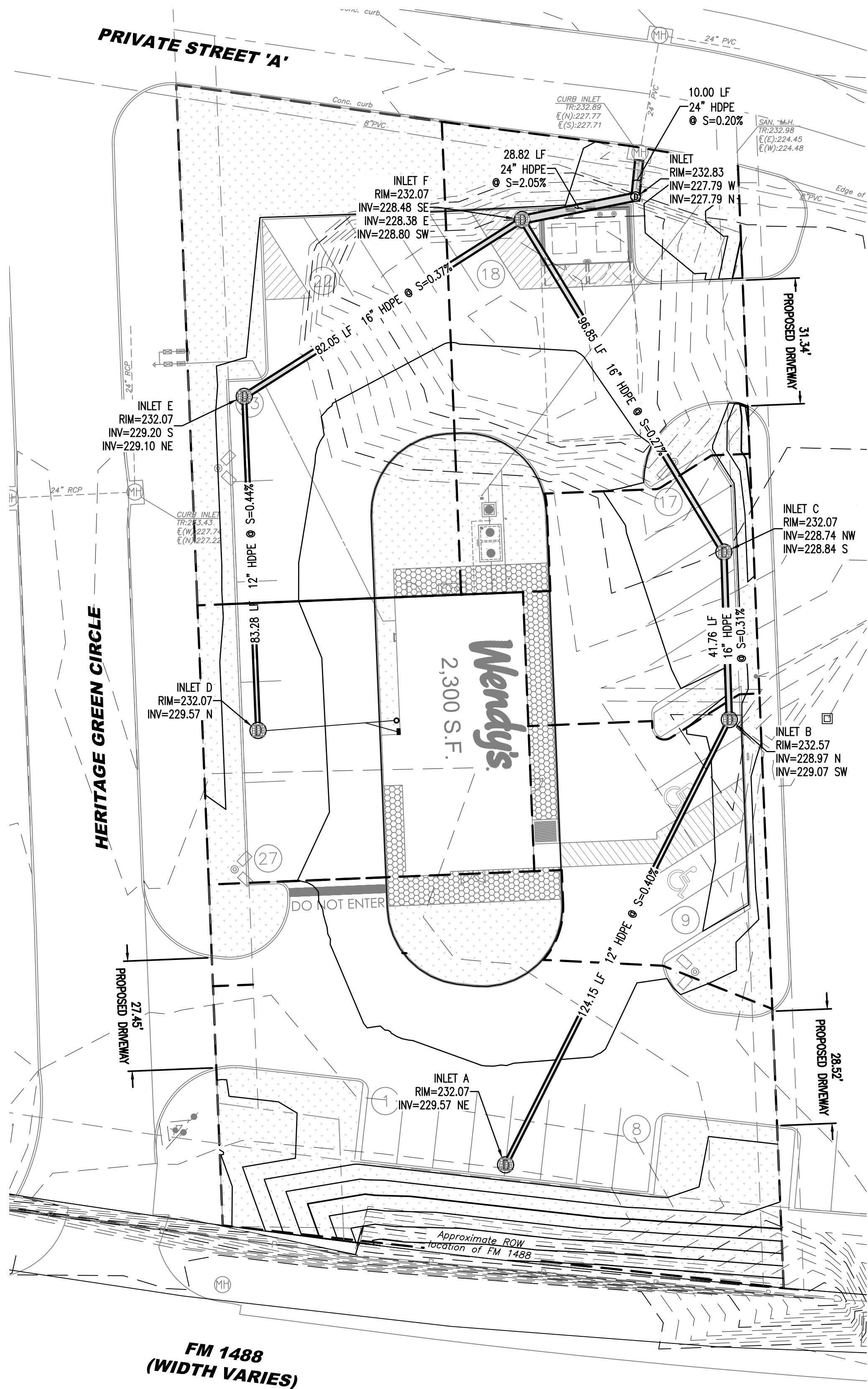
FLOODPLAIN DATA

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LEGAL DESCRIPTION

KEYED PLAN NOTES:

- C1** CONTRACTOR SHALL ENSURE HANDICAP PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.



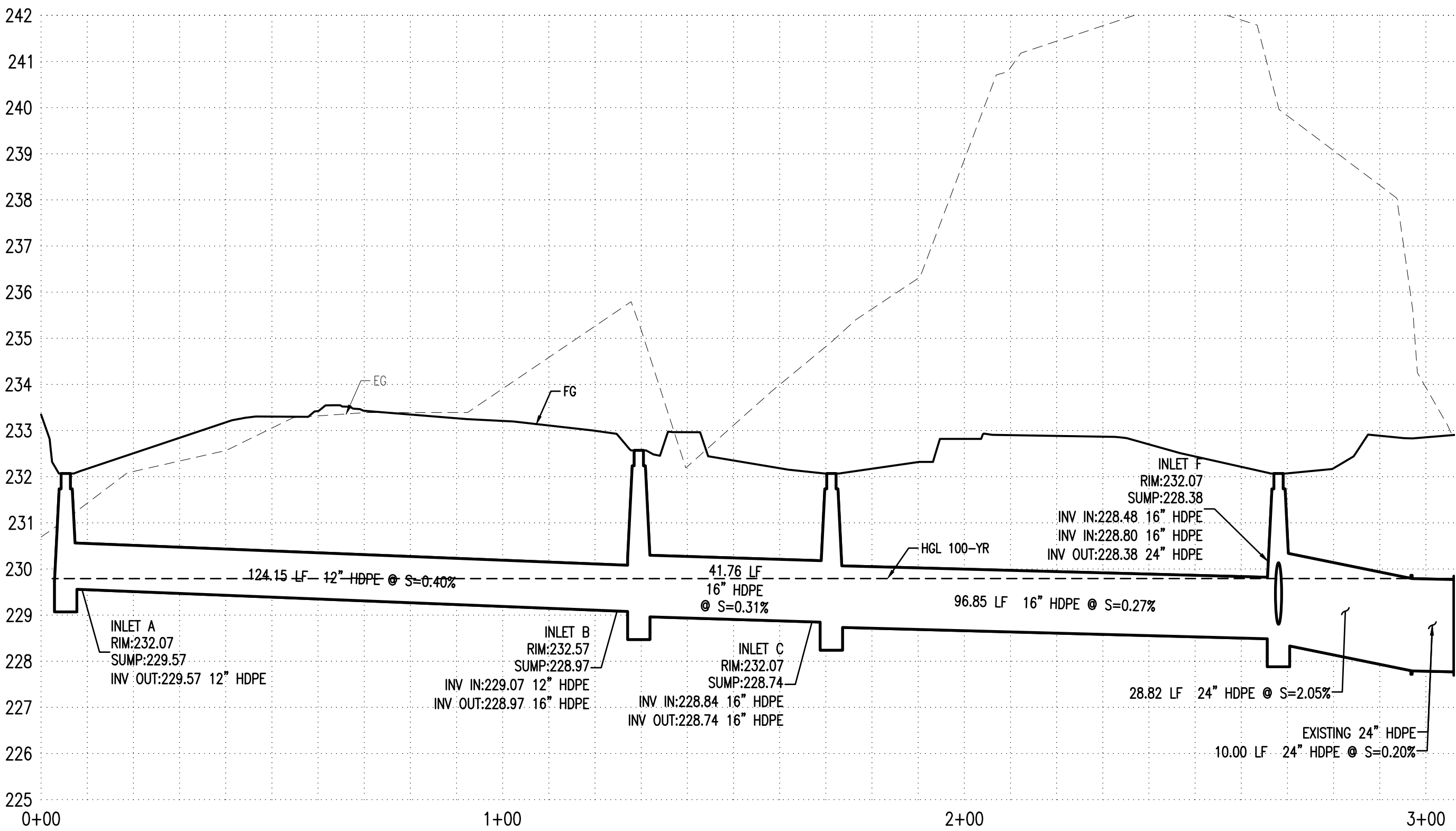
STORM SEWER CALCULATIONS

Design Storm	b	d	e
2-year	65.30	13.15	0.8133
10-year	83.21	12.69	0.7590
100-year	102.84	12.88	0.6967

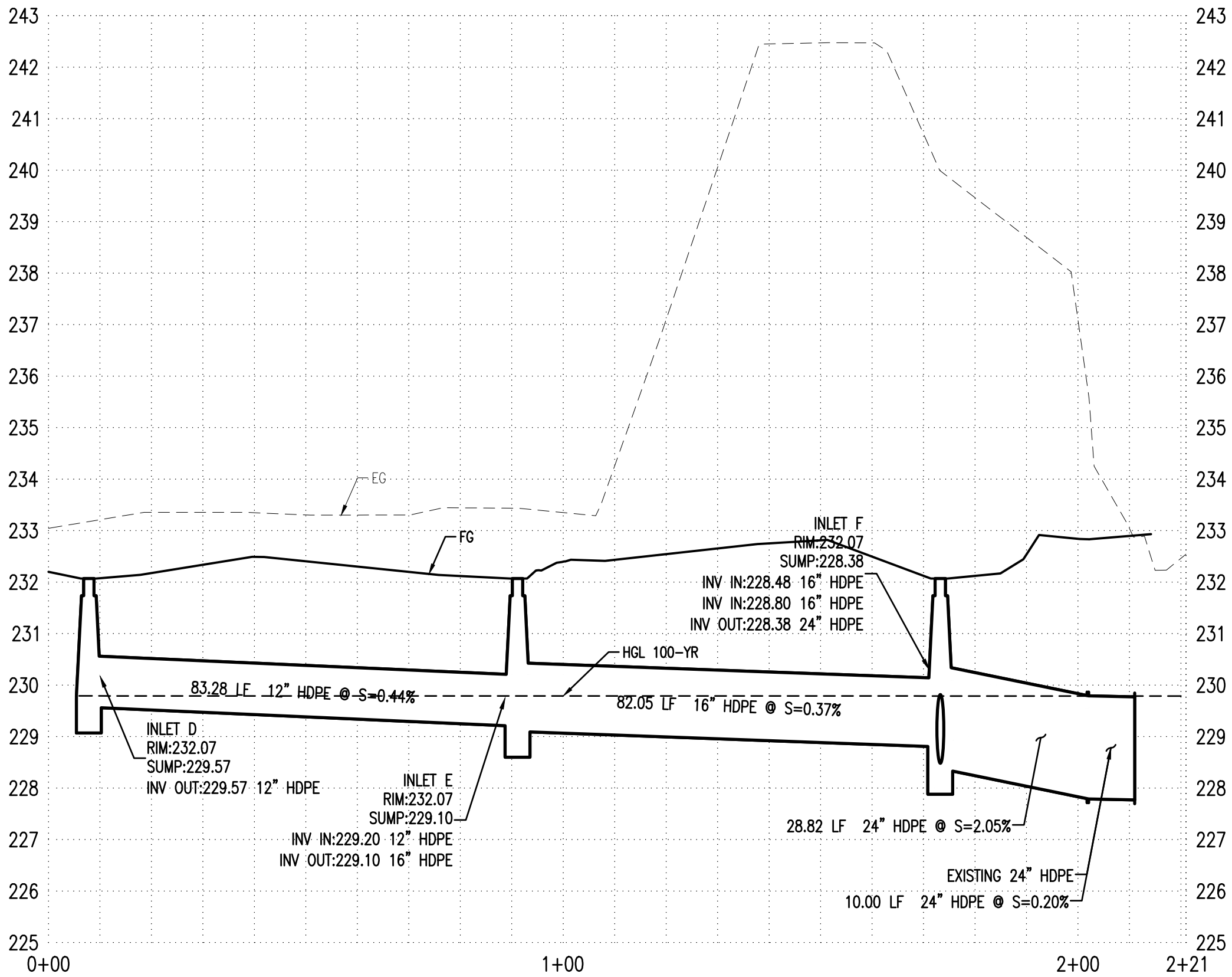
Tailwater Elevation 229.82

Pipe Label	Pipe Information										Drainage Area and Drainage Calculations										Actual Results												
	Manhole or Inlet Number		Invert Elevation, ft		Hydr. Length, ft	Slope, ft/ft	Manning's n	Pipe Size, in	Design Capacity, cfs	Design Velocity, cfs	Drainage Area		Cumulative Drainage Area		Runoff Coeff. C	Sum A * C	Tc, min	Intensity i, in/hr		Sum of Flow Q, cfs		Actual Velocity, fps		Hydraulic Grade, ft/ft		Change in Head, ft		Headloss, ft		HGL Elevation US, ft		HGL Elevation DS, ft	
											sq-ft	ac	sq-ft	ac				2-yr	100-yr	2-yr	100-yr	2-yr	100-yr	2-yr	100-yr	2-yr	100-yr	2-yr	100-yr	2-yr	100-yr		
	Start	End	US	DS																													
1	INLET A	INLET B	229.57	229.07	124.15	0.0040	0.011	12	2.68	3.41	11869	0.27	11869	0.27	0.80	0.22	22.95	3.53	8.50	0.77	1.85	2.95	3.68	0.0040	0.0040	0.5	0.5	0.04	0.20	229.88	230.14	229.84	229.94
2	INLET B	INLET C	228.97	228.84	41.76	0.0031	0.011	16	5.07	3.63	3539	0.08	15408	0.35	0.80	0.28	23.33	3.50	8.44	0.99	2.39	2.82	3.58	0.0031	0.0031	0.13	0.13	0.01	0.03	229.84	229.94	229.84	229.92
3	INLET C	INLET F	228.74	228.48	96.85	0.0027	0.011	16	4.71	3.37	3277	0.08	18685	0.43	0.80	0.34	23.62	3.48	8.39	1.19	2.88	2.77	3.50	0.0027	0.0027	0.26	0.26	0.02	0.09	229.84	229.92	229.82	229.83
4	INLET D	INLET E	229.57	229.2	82.38	0.0044	0.011	12	2.81	3.58	5650	0.13	5650	0.13	0.80	0.10	21.98	3.61	8.66	0.37	0.90	2.49	3.19	0.0044	0.0044	0.37	0.37	0.01	0.03	229.84	229.91	229.83	229.88
5	INLET E	INLET F	229.1	228.78	82.05	0.0037	0.011	16	5.50	3.94	8143	0.19	13793	0.32	0.80	0.25	23.17	3.52	8.46	0.89	2.14	2.98	3.80	0.0037	0.0037	0.3	0.3	0.01	0.04	229.83	229.88	229.82	229.83
6	INLET F	24" HDPE	228.38	227.79	28.82	0.0205	0.011	24	38.36	12.21	6796	0.16	39274	0.90	0.80	0.72	24.82	3.39	8.20	2.45	5.92	6.43	8.34	0.0205	0.0205	0.59	0.59	0.00	0.01	229.82	229.83	229.82	229.82

SITE DRAINAGE AREA MAP



INLET A – OUTLET (SCALE 1"=20 H, 1"=2 V)



INLET D – OUTLET (SCALE 1"=20 H, 1"=2 V)

SS&C
SARAB STRUCTURAL & CIVIL, LLC
13831 Northwest Freeway, Suite 245
FIRM No. F-10808
Houston Texas 77040 (832) 922-1145
Fax: (713) 896-6366

ANCHOR
CIVIL

Wendy's
FM1488 MAGNOLIA
TEXAS 77354

Seal
STATE OF TEXAS
KARIM S. DADELAHI
94933
LICENSED PROFESSIONAL ENGINEER
R. D. Hill
Aug 15, 2022

REVISIONS

No	Current Revision

Project number
Date
Drawn by
Checked by

C-2

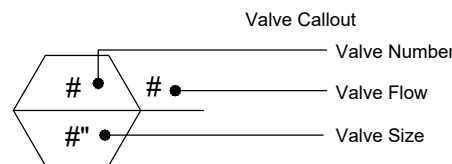
1"=20'

POINT OF CONNECTION
CONNECT MAINLINE DOWNSTREAM OF 1" WATER
METER (BY OTHERS). VERIFY LOCATION IN FIELD.

CONTROLLER NOTE
LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN
FIELD WITH OWNER'S REPRESENTATIVE.

120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION
CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS.
HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE
IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE
LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER
AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

VALVE KEY



IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD R-VAN-STRIP 1806-SAM-P45 ,TURF ROTARY, 5'X15' (LCS AND RCS), 5'X30' (SST) HAND ADJUSTABLE MULTI-STREAM ROTARY W/ 1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAIN BIRD R-VAN14 1806-SAM-P45, TURF ROTARY, 8'-14' 45"-270° AND 360° HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAIN BIRD R-VAN18 1806-SAM-P45, TURF ROTARY, 13'-18' 45"-270° AND 360° HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAIN BIRD R-VAN24 1806-SAM-P45, TURF ROTARY, 17'-24' 45"-270° AND 360° HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH ADAPTER AND RAINBIRD #1402 SERIES BUBBLER NOZZLES. (TWO PER TREE) SEE INSTALLATION NOTE #O-5 REGARDING TREE BUBBLER LATERAL PIPE
	RAINBIRD RWS ROOT WATERING SYSTEM MODEL RWS-M-B-C-1402 WITH RWS-SOCK. (TWO PER TREE)
	RAINBIRD XCZ-100-PRB-COM / 150-PRB-COM SERIES AUTOMATIC DRIP VALVE ASSEMBLY WITH 40 PSI PRESSURE REGULATOR XCZ-100-PRB-COM - 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM. XCZ-150-PRB-LCDR - 1-1/2" PESB-R SCRUBBER GLOBE VALVE WITH SINGLE 1-1/2" PRESSURE REGULATING (40PSI) QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-62GPM.
	RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE SEE INSTALLATION NOTE #O-5 REGARDING TREE BUBBLER LATERAL PIPE
	RAIN BIRD PEB SERIES 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
	AREA TO RECEIVE DRIPLINE RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN SHRUB BED INSTALLED AT 2" DEPTH
	ZURN / WILKINS 375XLB SERIES REDUCED PRESSURE TYPE BACKFLOW PREVENTOR INSTALLED PER CITY CODE WITH SAME SIZE BRONZE BALL VALVE INSTALLED ON THE UP-STREAM SIDE. MOUNTED IN STRONGBOX SMOOTH TOUCH ENCLOSURE.
	LASCO "V101N" SERIES SCH. 80 PVC TRUE UNION BALL VALVE, MAINLINE SIZE
	IRRIGATION WATER METER AND TAP, SIZE AS NOTED ON THE PLAN
	RAINBIRD 33-DNP QUICK COUPLING VALVE WITH LOCKING PURPLE COVER AND 3/4" PVC BALL VALVE
	RAINBIRD ESP12LXMEF SERIES AUTOMATIC WALL MOUNT CONTROLLER
	WR2-RFC RAIN / FREEZE SENSOR LOCATE SENSOR AS FIELD DIRECTED BY THE LANDSCAPE ARCHITECT
	"MASTER" ELECTRIC VALVE (SAME SIZE AS METER) WITH RAINBIRD FLOW SENSOR MODEL #FS100B SERIES
	IRRIGATION LATERAL LINE: CLASS 200
	IRRIGATION MAINLINE: SCHEDULE 40 PVC
	IRRIGATION SLEEVES, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED
	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED

NOTE: L.I.C. SHALL SELECT R-VAN SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE, ADJUSTED
FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.
*** ALL PIPE TO BE SIZED SUCH THAT FLOWS WILL NOT EXCEED VELOCITY OF 5 FPS ***

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR
OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING
AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL
VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED
REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH
ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND
SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY
AND SHALL NOT BE CONSIDERED ABSOLUTE.

AUTOMATIC DRAIN VALVES AND AIR RELIEF VALVES

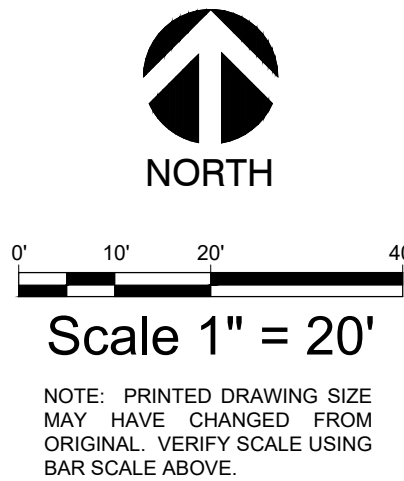
INSTALL AUTOMATIC DRAIN VALVES AT THE LOW POINTS OF EACH LATERAL LINE (MIN. 2
PER VALVE) AS PER DETAIL ON SHEET LI-2. INSTALL AIR RELIEF VALVES ON DRIP
SYSTEMS AT THE LOCATIONS SHOWN ON THE PLANS, AS AS PER DETAILS.

SLEEVING / WIRING NOTES:

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION
CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING
UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO
MORE THAN 25 WIRES. **FOR PLAN CLARITY, ONLY SOME REPRESENTATIVE SLEEVES ARE SHOWN; SOME SLEEVES
MAY NOT BE SHOWN.**

COORDINATION WITH EXISTING TREES

NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY,
WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL
PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE
DIGGING BEGINS.

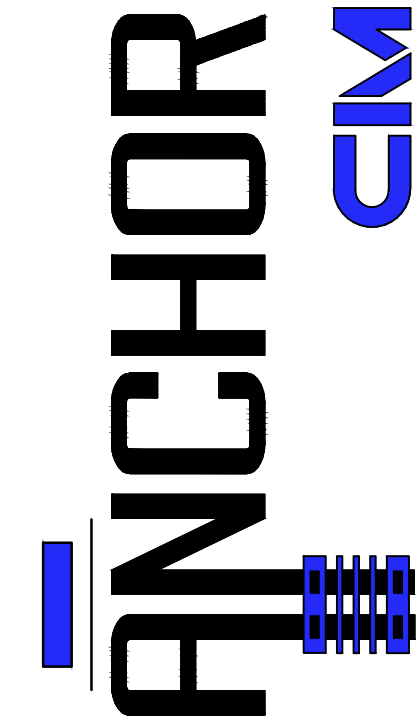


2
RMS, SECTION ONE
V. M.C.M.R.
ANY, LLC
3356
DEED
115

NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS
UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE
APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR
LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT
MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE
BEFORE PROCEEDING WITH WORK.



03/27/2023



Wendy's

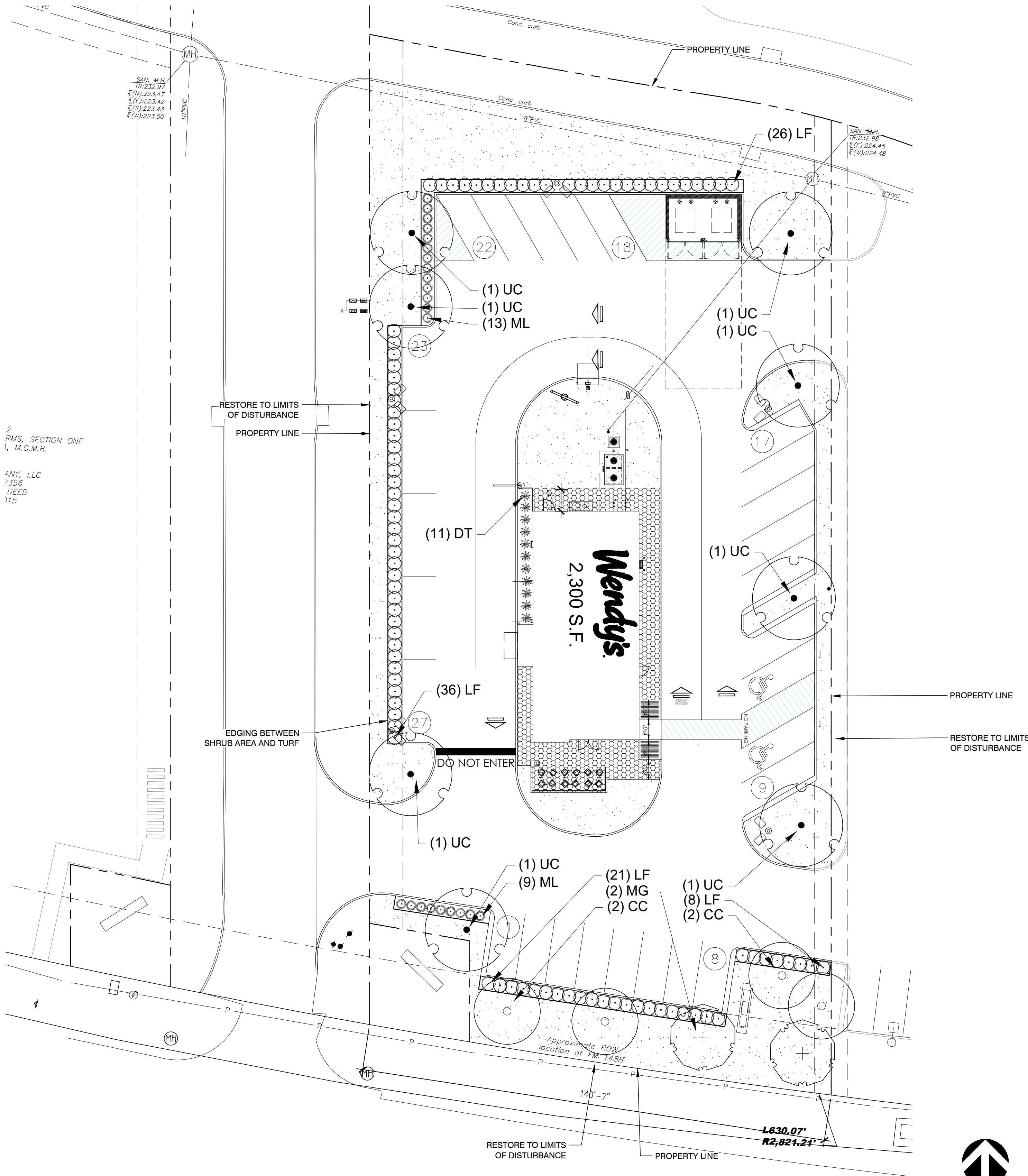
13660 FM 1488
MAGNOLIA TX 77354

SHEET NAME:

IRRIGATION PLAN

SHEET #:

LI-1



IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.






MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" LAYER OF 1-1/2" SHREDDED HARDWOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

PLANT_SCHEDULE

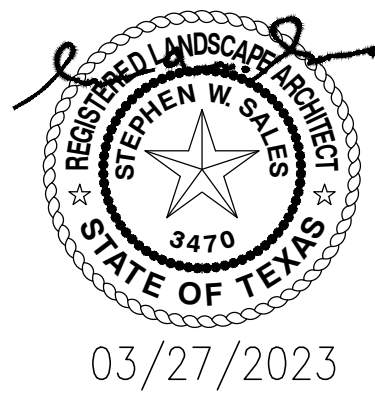
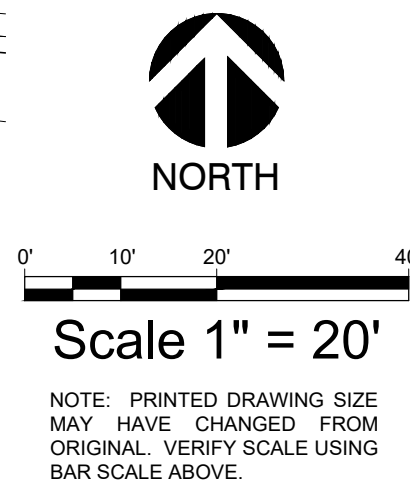
TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	CC	Texas Redbud / Cercis canadensis var. texensis Street Tree	CONT.	3" Cal	4
	MG	Little Gem Magnolia / Magnolia grandiflora 'Little Gem' Street Tree	CONT.	3" Cal	2
	UC	Cedar Elm / Ulmus crassifolia Parking Lot Tree	CONT.	3" Cal	8
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE		QTY
	DT	Variegated Flax Lily / Dianella tasmanica 'Variegata' 42" o.c., 18" min.	3 gal		11
	LF	'Green Cloud' Texas Sage / Leucophyllum frutescens 42" o.c., 24" min.	5 gal		91
	ML	Muhly Grass / Muehlenbergia lindheimer 36" o.c., 24" min.	5 gal		22
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE		QTY
	CD	Bermuda Grass / Cynodon dactylon 'Tiftuf'	sod		10,505

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	41,221 SF
NET BUILDABLE AREA:	28,882 SF
TOTAL FLOOR AREA:	2,300 SF
LANDSCAPE AREA REQUIRED:	6,183 SF (15% REQUIRED)
LANDSCAPE AREA PROVIDED:	12,339 SF (29.9%)
FRONT BUFFER/STREET TREES	
FM 1488 - 110 LF	
STREET TREES REQUIRED:	4 TREES - 30' O.C.
STREET TREES PROVIDED:	4 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE
SHRUBS PROVIDED:	AS REQUIRED
PARKING LOT TREES	
TREES REQUIRED:	9 TREES - EACH ISLAND & END ISLAND
TREES PROVIDED:	9 TREES - 7 CANOPY, 2 UNDERSTORY
DEVELOPMENT LANDSCAPING	
SHRUBS:	CONTINUOUS ROW REQUIRED TO BE 5' ON CENTER OR GROUPED TO EQUAL SAME AMOUNT OF SHRUBS.
LINEAL FEET PROPERTY LINE:	171 LF
TOTAL SHRUBS REQUIRED:	171 / 5 = 34.2 = 35
TOTAL SHRUBS PROVIDED:	38

GENERAL PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT, INCLUDING ALL APPLICABLE JURISDICTION REQUIREMENTS.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY OWNER OF ANY CONFLICTS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
5. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IN WRITING (VIA PROPER CHANNELS).
 - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE OWNER OR OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
6. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
7. PROVIDE AND INSTALL HYDROMULCH IN ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
8. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



Wendy's

13660 FM 1488
MAGNOLIA TX 77354

SHEET NAME:

LANDSCAPE PLAN

SHEET #:

LP-1

April 14, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: Wells Fargo Site Plan Review
City of Magnolia
Job No. 230351.80-001

Dear Mr. Doering:

We received the site plans for the proposed Wells Fargo Site on April 11, 2023. On behalf of City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to approval of this project, subject to the following comments:

1. Provide the signed shared access easement with the dimensions of shared access drive when the final plat is delivered to the city.
2. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,



Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter and Woodman, Inc.
Consulting Engineers
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Ms. Karleigh Brown – Baxter & Woodman, Inc. Consulting Engineers
Mr. Tommy Cormier Jr, P.E. – Baxter & Woodman, Inc. Consulting Engineers
Mr. Michael A. Kurzy, P.E. – Baxter & Woodman, Inc. Consulting Engineers
Mr. Cameron M. Miller, P.E. – Quiddity Engineering – Project Manager



Site Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION

Applicant

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Project Name: _____ Lot#: _____ Reviewer: _____

PROPERTY PROFILE

Site Address _____

Legal Description _____
(Subdivision) (Lot) (Block)

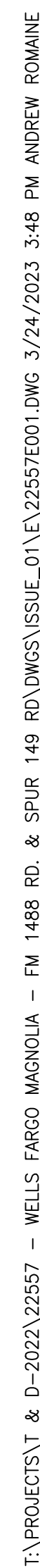
Current Zoning _____

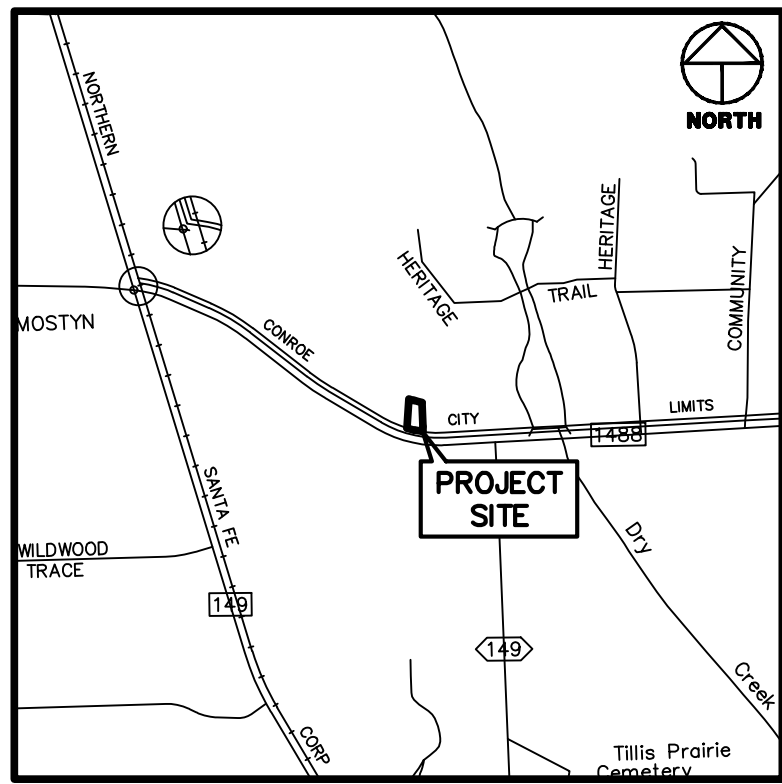
Present Use of Property

_____Proposed Use of the Property

Total Area of Site _____

Project Name: _____ Lot#: _____ Reviewer: _____





CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS
VICINITY MAP
SCALE: 1" = 2000'

SCHEDULE 'B' NOTES

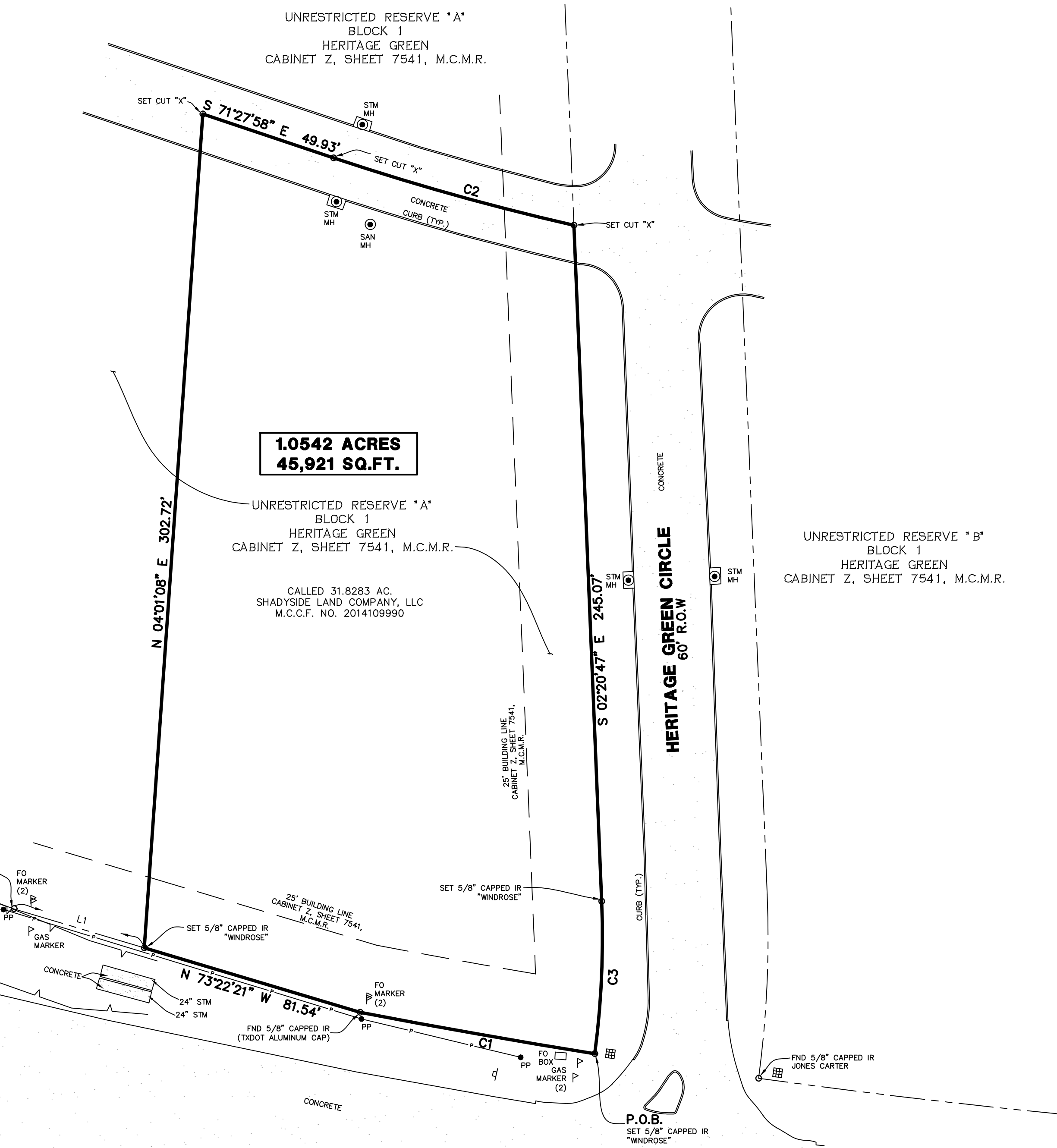
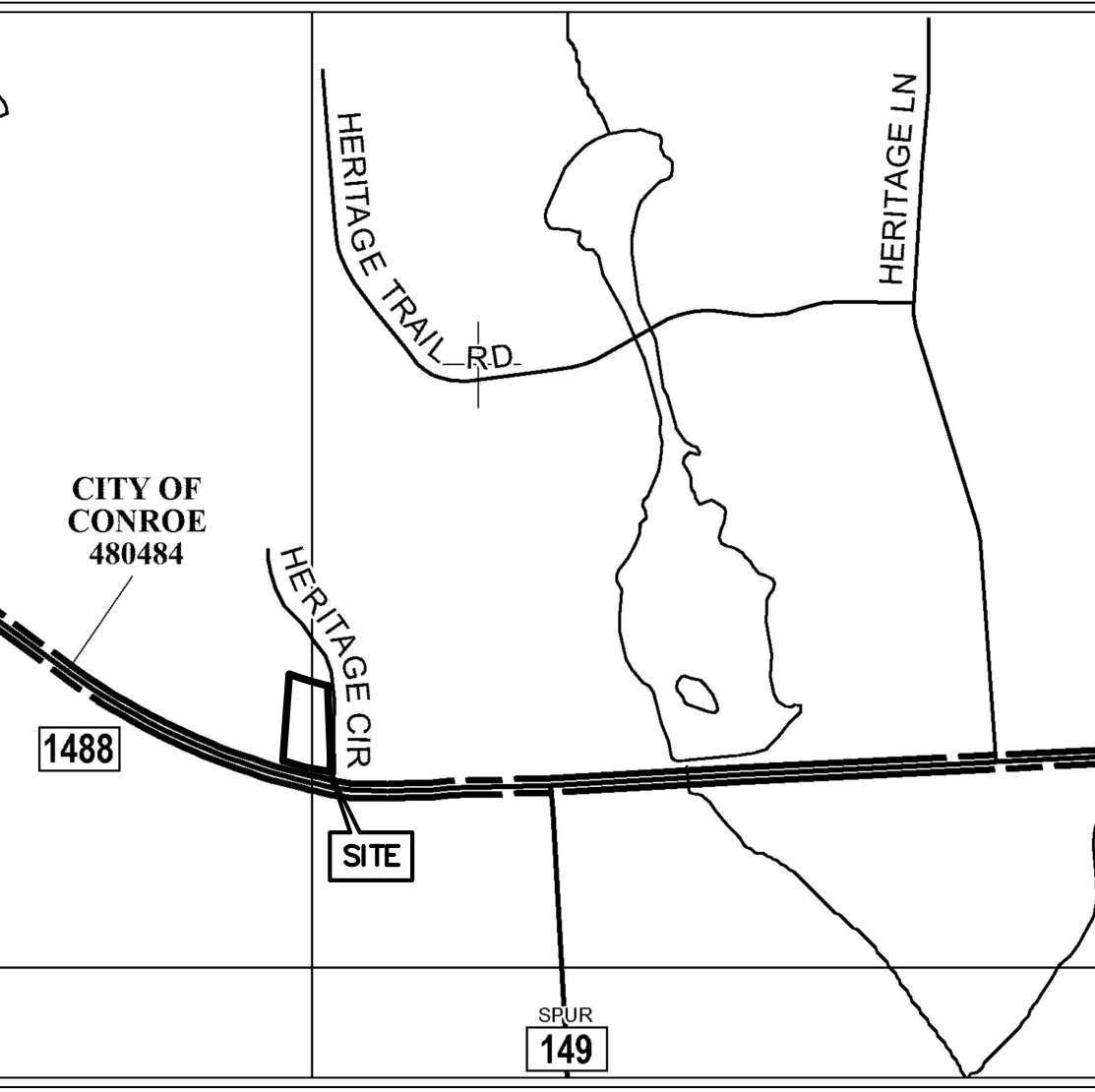
1. SUBJECT TO RESTRICTIVE COVENANTS RECORDED UNDER CABINET E, SHEET 89-A, AND CABINET Z, SHEET 7541, OF THE MAP RECORDS AND IN/UNDER COUNTY CLERK'S FILE NOS. 8412009 AND 2019037611, 20211144699, 2021146100, 2022060043 AND 2022086696 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS. (AFFECTS SUBJECT TRACT)
- 10.a. BUILDING SETBACK LINE 25 FEET IN WIDTH, ALONG THE SOUTHERLY AND EASTERLY PROPERTY LINE, AS SET FORTH BY PLAT RECORDED IN/UNDER CABINET Z, SHEET 7541 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS. (SHOWN HEREON)
- 10.f. ELECTRICAL EASEMENT 150 FEET WIDE ACROSS EASTERLY PORTION OF THE SUBJECT PROPERTY, GRANTED TO HOUSTON LIGHTING & POWER COMPANY BY INSTRUMENT RECORDED IN/ UNDER COUNTY CLERK'S FILE NO. 8339810 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS, AND SHOWN ON PLAT RECORDED IN/UNDER CABINET Z, SHEET 7541 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)
- 10.g. EASEMENTS GRANTED TO HOUSTON LIGHTING & POWER COMPANY BY INSTRUMENT RECORDED IN/UNDER COUNTY CLERK'S FILE NO. 8500618 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS, PARTIAL RELEASED BY COUNTY CLERK'S FILE NO. 2020014358 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS, AND PLAT RECORDED IN/UNDER CABINET Z, SHEET 7541 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)
- 10.h. ELECTRICAL AND COMMUNICATIONS EASEMENT 10 FEET WIDE, TOGETHER WITH AN UNOBSTRUCTED AERIAL EASEMENT 20 FEET WIDE FROM A PLANE 20 FEET ABOVE THE GROUND UPWARD, CENTERED THEREON AND GRANTED TO HOUSTON LIGHTING & POWER COMPANY BY INSTRUMENT RECORDED IN/UNDER VOLUME 618, PAGE 789 OF THE DEED RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)
- 10.i. EASEMENT 10 FEET WIDE, TOGETHER WITH AN UNOBSTRUCTED AERIAL EASEMENT 20 FEET WIDE FROM A PLANE 16 FEET ABOVE THE GROUND ADJOINING BOTH SIDES THEREOF, GRANTED TO HOUSTON LIGHTING & POWER COMPANY BY INSTRUMENT RECORDED IN/UNDER COUNTY CLERK'S FILE NO. 8437000 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)
- 10.j. RIGHT-OF-WAY AND EASEMENT GRANTED TO BRIDGETEX PIPELINE COMPANY, LLC BY INSTRUMENT RECORDED IN/UNDER COUNTY CLERK'S FILE NOS. 2015083616 AND 2013079804 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS, AS AFFECTED BY PIPELINE EASEMENT AND CONSENT RECORDED IN/UNDER COUNTY CLERK'S FILE NO. 2013151460 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)
- 10.k. AN ELECTRIC EASEMENT GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC BY INSTRUMENT RECORDED IN/UNDER COUNTY CLERK'S FILE NUMBER 2022081617 OF THE OFFICIAL PUBLIC RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)
- 10.l. PIPELINE RIGHT-OF-WAY EASEMENT IN FAVOR OF AMOCO PIPELINE COMPANY AS SET FORTH IN INSTRUMENT RECORDED IN/UNDER VOLUME 766, PAGE 821 OF THE DEED RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)
- 10.m. WATER EASEMENT, "PERMITTING OVERFLOW AND/OR BACKWATERS TO EXTEND" ONTO OTHER PROPERTY, RECORDED IN/UNDER VOLUME 472, PAGE 515 OF THE DEED RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT TRACT)
- 10.n. ALL DEDICATIONS, EASEMENTS AND SET BACK LINES SET FORTH BY INSTRUMENT RECORDED IN/UNDER COUNTY CLERK'S FILE NO. 2019037611 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS. (AFFECTS SUBJECT TRACT) (NON-PLOTTABLE)

FLOOD INFORMATION

FIRM
FLOOD INSURANCE RATE MAP
MONTGOMERY COUNTY,
TEXAS
AND INCORPORATED AREAS

PANEL 485 OF 750
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)
CONTAINS:
COMMUNITY NUMBER PANEL SUFFIX
MONTGOMERY COUNTY 480483 0485 G
CONROE, CITY OF 480484 0485 G

Notice to User: The Map Number shown below should be used when plotting map details. The Community Number shown above should be used on insurance applications for the subject community.
MAP NUMBER
4839C0485G
MAP REVISED
AUGUST 18, 2014



FM 1488
(R.O.W. VARIES).
ORIGINAL 100' ROW
VOL. 523, PG. 113, VOL. 523, PG. 117 AND VOL. 561, PG. 83, M.C.D.R.
WIDENED BY C.F. NOS. 2013092323, 201318269, 2014083946, 2014096812, AND 201500279, M.C.O.P.R.P.

LEGEND

- * SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY
- | | | | | | | | |
|-------|----------------------------|---------|----------------------------|-------|-----------------------------------|--------------|--|
| • BO | — BOLLARD | • PP | — POWER POLE | • UCS | — UNDERGROUND CABLE SIGN | FND | — FOUND |
| • C | — HANDICAP | • PP/T | — POWER POLE W/TRANSFORMER | • CTL | — CATHODIC TEST LEAD | M.C.C.F. | — MONTGOMERY COUNTY CLERK FILE |
| • GM | — GAS METER | • PP/LT | — POWER POLE W/LIGHT | • MW | — MONITORING WELL | M.C.D.R. | — MONTGOMERY COUNTY DEED RECORDS |
| • GV | — GAS VALVE | • PP/CT | — POWER POLE W/CONDUIT | P | — PIN FLAG/PAINT MARK | M.C.M.R. | — MONTGOMERY COUNTY MAP RECORDS |
| • FH | — FIRE HYDRANT | • MP | — METER POLE | TC | — TOP OF CURB | M.C.O.P.R.P. | — MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY |
| • WM | — WATER METER | • SP | — SERVICE POLE | G | — GUTTER | IP | — IRON PIPE |
| • WV | — WATER VALVE | • GA | — GUY ANCHOR | TG | — TOP OF GRATE | IR | — IRON ROD |
| • CV | — IRRIGATION CONTROL VALVE | — | — OVERHEAD POWER LINE | FL | — FLOW LINE | NO. | — NUMBER |
| • EI | — GRATE INLET | — | — BARBED WIRE FENCE | HB | — HIGHBANK | PG. | — PAGE |
| • EI | — GRATE INLET | — | — WROUGHT IRON FENCE | SAN | — SANITARY SEWER | R.O.W. | — RIGHT-OF-WAY |
| • MH | — MANHOLE | — | — WOOD FENCE | STM | — STORM SEWER | SQ. FT. | — SQUARE FEET |
| • CO | — CLEANOUT | — | — CHAINLINK FENCE | CMP | — CORRUGATED METAL PIPE | VOL. | — VOLUME |
| • TP | — TELEPHONE PEDESTAL | • GP | — GATE POST | CPP | — CORRUGATED PLASTIC PIPE | F.C. | — FILM CODE |
| • EB | — ELECTRIC BOX | (P) | — PER PLANS | RCR | — REINFORCED CONCRETE PIPE | B.L. | — BUILDING LINE |
| • TSB | — TRAFFIC SIGNAL BOX | APPROX. | — APPROXIMATE | TEL | — TELEPHONE | U.E. | — UTILITY EASEMENT |
| • LP | — LIGHT POLE | — | — HIGHBANK | SWBT | — SOUTHWESTERN BELL TELEPHONE CO. | • | — TREE/SHRUB |
| • TLP | — TRAFFIC LIGHT POLE | • | — SIGN | WTR | — WATER | WR | — WATER RISER |
| • GL | — GROUND/SPOT LIGHT | • PLM | — PIPELINE MARKER | UG | — UNDERGROUND | FO | — FIBER OPTIC |

SURVEYOR'S CERTIFICATION

TO: SHADYSIDE LAND COMPANY, LLC
STEWART TITLE GUARANTY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6a, 7a, 7b1, 7c, 8, 9, 11b, 13, 14, 16, 17, 18, & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 19, 2022.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

MICHAEL JAMES DENNEY
Registered Professional Land Surveyor
Texas Registration No. 5414

09/28/2022
DATE

REVISIONS		
DATE	REASON	BY

DESCRIPTION

A TRACT OR PARCEL CONTAINING 1.0542 ACRES, OR 45,921 SQUARE FEET OF LAND SITUATED IN THE JOHN B. RICHARDS SURVEY, ABSTRACT NO. 449, HARRIS COUNTY, TEXAS, BEING OUT OF AND A PART OF UNRESTRICTED RESERVE 'A', BLOCK 1, HERITAGE GREEN, MAP OR PLAT THEREOF RECORDED UNDER CABINET Z, SHEET 7541, OF THE MAP RECORDS AND IN/UNDER COUNTY CLERK'S FILE NOS. 8412009 AND 2019037611, 20211144699, 2021146100, 2022060043 AND 2022086696 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS, AND SHOWN ON PLAT RECORDED IN/UNDER CABINET Z, SHEET 7541 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS. (DOES NOT LIE WITHIN SUBJECT TRACT)

BEGINNING AT A 5/8 INCH IRON ROD STAMPED "WINDROSE" SET AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY (R.O.W.) LINE OF FM 1488, (ORIGINAL 100 FOOT R.O.W.), RECORDED UNDER VOL. 523, PG. 113, VOL. 523, PG. 117 AND VOL. 561, PG. 83 MONTGOMERY COUNTY DEED RECORDS (M.C.D.R.), WIDENED BY C.F. NOS. 2013092323, 201318269, 2014083946, 2014096812 AND 201500279, MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY (M.C.O.P.R.P.) AND THE WEST R.O.W. LINE OF HERITAGE GREEN CIRCLE (60 FOOT R.O.W.), FOR THE SOUTHEAST CORNER OF SAID UNRESTRICTED RESERVE 'A' AND OF THE HEREIN DESCRIBED TRACT, AND THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE, WITH THE NORTH R.O.W. LINE OF SAID FM 1488 AND SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 2,789.79', A CENTRAL ANGLE OF 01 DEG. 46 MIN. 22 SEC., AN ARC LENGTH OF 86.32 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 79 DEG. 58 MIN. 59 SEC. WEST - 86.32 FEET, TO A CAPPED 5/8 INCH IRON ROD FOUND (TX DOT ALUMINUM CAP) AT THE END OF SAID CURVE;

THENCE, NORTH 73 DEG. 22 MIN. 21 SEC. WEST, CONTINUING WITH THE NORTH R.O.W. LINE OF SAID FM 1488, A DISTANCE OF 81.54 FEET, TO A CAPPED 5/8 INCH IRON ROD STAMPED "WINDROSE" SET FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, OVER AND ACROSS SAID UNRESTRICTED RESERVE 'A' THE FOLLOWING COURSES AND DISTANCES:

NORTH 04 DEG. 01 MIN. 08 SEC. EAST, A DISTANCE OF 302.72 TO A CUT "X" IN CONCRETE SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

SOUTH 71 DEG. 27 MIN. 58 SEC. EAST, A DISTANCE OF 49.93 TO A CUT "X" IN CONCRETE SET FOR THE BEGINNING OF A CURVE TO THE LEFT;

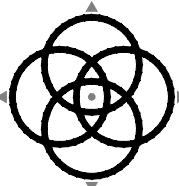
WITH SAID CURVE TO THE LEFT, HAVING A RADIUS OF 900.00 FEET, A CENTRAL ANGLE OF 05 DEG. 45 MIN. 30 SEC., AN ARC LENGTH OF 90.45 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 74 DEG. 20 MIN. 43 SEC. EAST - 90.41 FEET, TO A CUT "X" IN CONCRETE SET ON THE WEST ROW LINE OF SAID HERITAGE GREEN CIRCLE, MARKING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, SOUTH 02 DEG. 20 MIN. 47 SEC. EAST, WITH THE WEST R.O.W. LINE OF SAID HERITAGE GREEN CIRCLE, A DISTANCE OF 245.07 FEET, TO A CAPPED 5/8 INCH IRON ROD STAMPED "WINDROSE" SET FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE, CONTINUING WITH THE WEST R.O.W. LINE OF SAID HERITAGE GREEN CIRCLE AND SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 320.00 FEET, A CENTRAL ANGLE OF 09 DEG. 54 MIN. 17 SEC., AN ARC LENGTH OF 55.32 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 03 DEG. 36 MIN. 21 SEC. WEST - 55.25 FEET, TO THE POINT OF BEGINNING AND CONTAINING 1.0542 ACRES OR 45,921 SQUARE FEET OF LAND.

GENERAL NOTES

1. SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITH INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 220031078 OF STEWART TITLE GUARANTY COMPANY, EFFECTIVE DATE OF AUGUST 1, 2022, ISSUED DATE OF AUGUST 22, 2022, AND IS SUBJECT TO THE LIMITATIONS OF THAT COMMITMENT.
2. BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD 83). ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES AND MAY BE BROUGHT TO GRID BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999975018.
3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR MONTGOMERY COUNTY, TEXAS, MAP NO. 4839C0485G REVISED/DATED AUGUST 18, 2014, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
4. READILY VISIBLE IMPROVEMENTS AND UTILITIES WERE LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED BY WINDROSE LAND SERVICES.
5. ENVIRONMENTAL AND DRAINAGE ISSUES ARE BEYOND THE SCOPE OF THIS SURVEY.
6. THE SQUARE FOOTAGE TOTALS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THE SURVEY. IT DOES NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
7. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EXPRESSED OR IMPLIED.
8. WITH REGARD TO ITEM 2 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ACCORDING TO THE MONTGOMERY COUNTY APPRAISAL DISTRICT, THE ADDRESS OF THE SUBJECT TRACT (TAX ID NO. R523804) HAS NOT BEEN ASSIGNED AT THE TIME OF SURVEY. THERE IS NO PHYSICAL ADDRESS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
9. WITH REGARD TO ITEM 6A OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WERE 0 REGULAR STRIPED PARKING SPACES ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
10. WITH REGARD TO ITEM 9 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
11. WITH REGARD TO ITEM 16 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET, SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
12. WITH REGARD TO ITEM 17 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET, SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
13. THERE WERE NO EXISTING BUILDINGS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.



WINDROSE
LAND SURVEYING | PLATTING

11111 RICHMOND AVE. STE 150 | HOUSTON, TX 77082 | 713.458.2281
FIRM REGISTRATION NO. 10108800 | WINDROSESERVICES.COM

ALTA/NSPS LAND TITLE SURVEY OF
1.0542 AC / 45,921 SQ. FT.
OUT OF UNRESTRICTED RESERVE "A", BLOCK 1,
HERITAGE GREEN, CABINET Z, SHEET 7541, M.C.M.R.
SITUATED IN THE JOHN B. RICHARDS SURVEY, A-449
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

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FIELD BY: NK CHECKED BY: DG JOB NO. 58136
DRAWN BY: CR DATE: SEPTEMBER 2022 SHEET NO. 1 OF 1



WINDROSE
LAND SURVEYING | PLATTING

DESCRIPTION OF 1.0542 ACRES OR 45,921 SQ. FT.

A TRACT OR PARCEL CONTAINING 1.0542 ACRES, OR 45,921 SQUARE FEET OF LAND SITUATED IN THE JOHN RICHARDS SURVEY, ABSTRACT NO. 449, HARRIS COUNTY, TEXAS, BEING OUT OF AND A PART OF UNRESTRICTED RESERVE "A", BLOCK 1, HERITAGE GREEN, MAP OR PLAT THEREOF RECORDED UNDER CABINET Z, SHEET 7541, MONTGOMERY COUNTY MAP RECORDS (M.C.M.R.), ALSO BEING OUT OF AND PART OF A CALLED 31.8283 ACRE TRACT CONVEYED TO SHADYSIDE LAND COMPANY, LLC RECORDED UNDER MONTGOMERY COUNTY CLERK'S FILE (M.C.C.F.) NO. 2014109990, WITH SAID 1.0542 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83):

BEGINNING AT A 5/8 INCH IRON ROD STAMPED "WINDROSE" SET AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY (R.O.W.) LINE OF FM 1488, (ORIGINAL 100 FOOT R.O.W.), RECORDED UNDER VOL. 523, PG. 113, VOL. 523, PG. 117 AND VOL. 561, PG. 83 MONTGOMERY COUNTY DEED RECORDS (M.C.D.R.), WIDENED BY CLERKS FILE NOS. 2013092323, 201318269, 2014083946, 2014096812 AND 201500279, MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY (M.C.O.P.R.R.P.) AND THE WEST R.O.W. LINE OF HERITAGE GREEN CIRCLE (60 FOOT R.O.W.), FOR THE SOUTHEAST CORNER OF SAID UNRESTRICTED RESERVE "A" AND OF THE HEREIN DESCRIBED TRACT, AND THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE, WITH THE NORTH R.O.W. LINE OF SAID FM 1488 AND SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 2,789.79, A CENTRAL ANGLE OF 01 DEG. 46 MIN. 22 SEC., AN ARC LENGTH OF 86.32 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 79 DEG. 58 MIN. 59 SEC. WEST - 86.32 FEET, TO A CAPPED 5/8 INCH IRON ROD FOUND (TX DOT ALUMINUM CAP) AT THE END OF SAID CURVE;

THENCE, NORTH 73 DEG. 22 MIN. 21 SEC. WEST, CONTINUING WITH THE NORTH R.O.W. LINE OF SAID FM 1488, A DISTANCE OF 81.54 FEET, TO A CAPPED 5/8 INCH IRON ROD STAMPED "WINDROSE" SET FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, OVER AND ACROSS SAID UNRESTRICTED RESERVE "A" THE FOLLOWING COURSES AND DISTANCES:

NORTH 04 DEG. 01 MIN. 08 SEC. EAST, A DISTANCE OF 302.72 TO A CUT "X" IN CONCRETE SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

SOUTH 71 DEG. 27 MIN. 58 SEC. EAST, A DISTANCE OF 49.93 TO A CUT "X" IN CONCRETE SET FOR THE BEGINNING OF A CURVE TO THE LEFT;

WITH SAID CURVE TO THE LEFT, HAVING A RADIUS OF 900.00 FEET, A CENTRAL ANGLE OF 05 DEG. 45 MIN. 30 SEC., AN ARC LENGTH OF 90.45 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 74 DEG. 20 MIN. 43 SEC EAST - 90.41 FEET, TO A CUT "X" IN CONCRETE SET ON THE WEST ROW LINE OF SAID HERITAGE GREEN CIRCLE, MARKING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

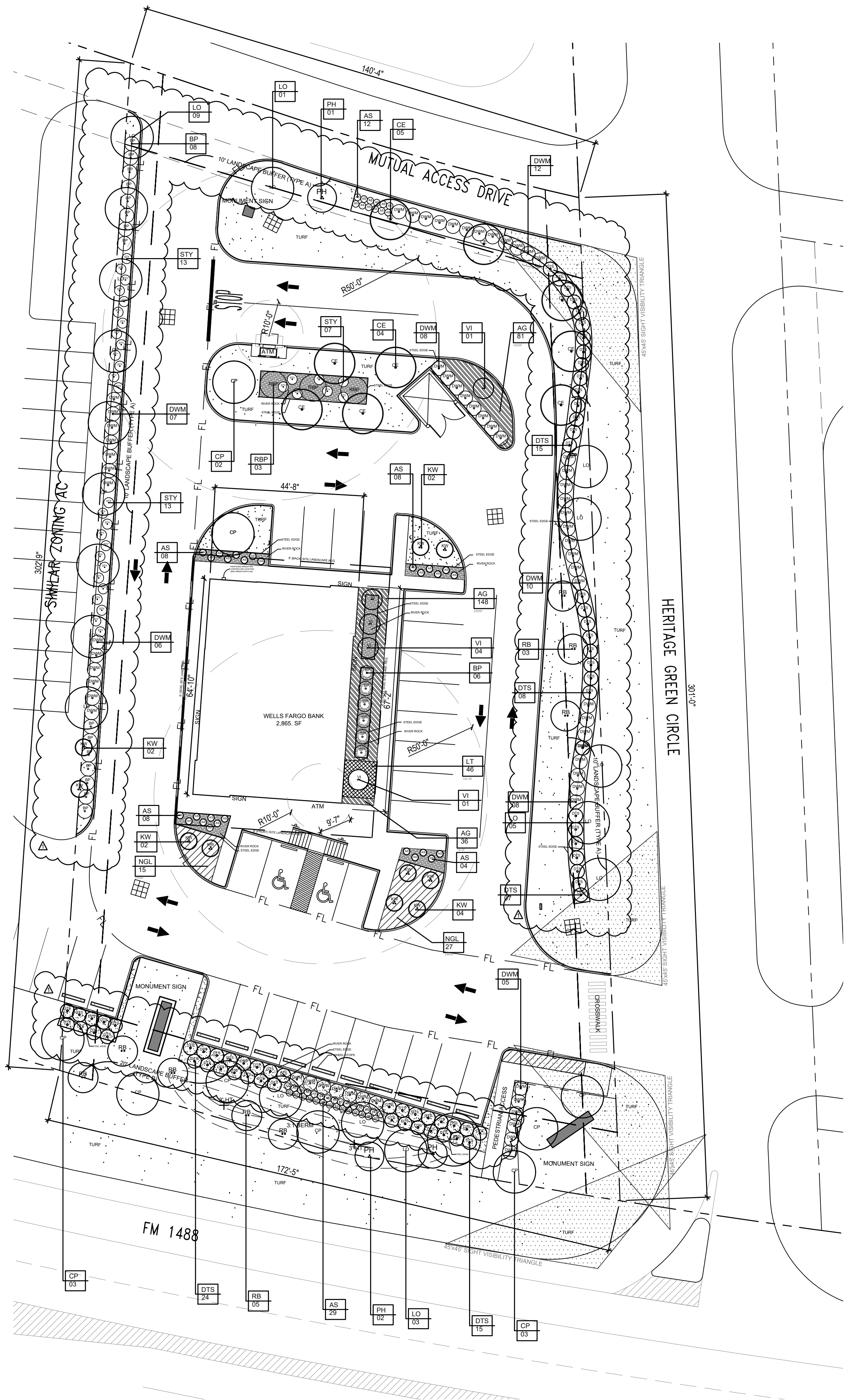
THENCE, SOUTH 02 DEG. 20 MIN. 47 SEC. EAST, WITH THE WEST R.O.W. LINE OF SAID HERITAGE GREEN CIRCLE, A DISTANCE OF 245.07 FEET, TO A CAPPED 5/8 INCH IRON ROD STAMPED "WINDROSE" SET FOR THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE, CONTINUING WITH THE WEST R.O.W. LINE OF SAID HERITAGE GREEN CIRCLE AND SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 320.00 FEET, A CENTRAL ANGLE OF 09 DEG. 54 MIN. 17 SEC., AN ARC LENGTH OF 55.32 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 02 DEG. 36 MIN. 21 SEC. WEST - 55.25 FEET, TO THE **POINT OF BEGINNING** AND CONTAINING 1.0542 ACRES OR 45,921 SQUARE FEET OF LAND, AS SHOWN ON JOB NO. 58136, PREPARED BY WINDROSE LAND SERVICES.

PRELIMINARY
THIS DOCUMENTS SHALL NOT BE RECORDED FOR ANY
PURPOSE AND SHALL NOT BE USED OR VIEWED OR
RELIED UPON AS A FINAL SURVEY DOCUMENT.

JAMES MICHAEL DENNEY
R.P.L.S. NO. 5414
STATE OF TEXAS
FIRM REGISTRATION NO. 10108800

09/28/2022
DATE:



LANDSCAPE DEVELOPMENT TABULATION
CITY OF MAGNOLIA, TEXAS
UNIFIED DEVELOPMENT CODE
CHAPTER 8-LANDSCAPING AND BUFFERING

SITE:
ZONED: AC
SITE: 46,004.47SF (1.05 AC)
BUILDING: 2,865 SF

GENERAL LANDSCAPING REQUIREMENTS

LANDSCAPE RATIO
SITE:
BASE SITE AREA = 46,004.47SF (1.05 AC)
TOTAL FLOOR AREA = 2,865 SF
NET BUILDABLE AREA = 12,355 SF
PARKING / DRIVE SURFACE
BUILDING
SIDEWALKS/CURBS
ATM PAD
LANDSCAPE RATIO = 30,784.47SF

SITE LANDSCAPING
SOUTH
FRONT & STREET SIDE, 8' = 44'-10".
1 NON-CANOPY TREE / 30 LF
01-CANOPY TREE PROVIDED
EAST
SIDE & STREET SIDE, 8' = 67'-2" LF
1 NON-CANOPY TREE / 30 LF REQUIRED
02-NON-CANOPY TREES PROVIDED

NORTH
REAR 6' = 44'-10"
1 CANOPY TREE / 30 LF REQUIRED
01-CANOPY TREE PROVIDED
WEST
SIDE 6' = 67'-2" LF
1 CANOPY TREE / 30 LF REQUIRED
02-CANOPY TREES PROVIDED

PARKING LOT LANDSCAPING
PLANTING REQUIREMENTS

1-CANOPY OR 2 NON-CANOPY TREES @ END CAPS REQUIRED.
1-CANOPY OR 2 NON CANOPY TREES @ END CAPS PROV

PROTECTION OF PLANTING AREAS
ALL PLANTING AREAS SHALL BE PROTECTED BY WHEEL STOPS AND SIX INCH CONCRETE CURBS.

EXISTING TREES
THERE ARE NO EXISTING TREES ON SITE

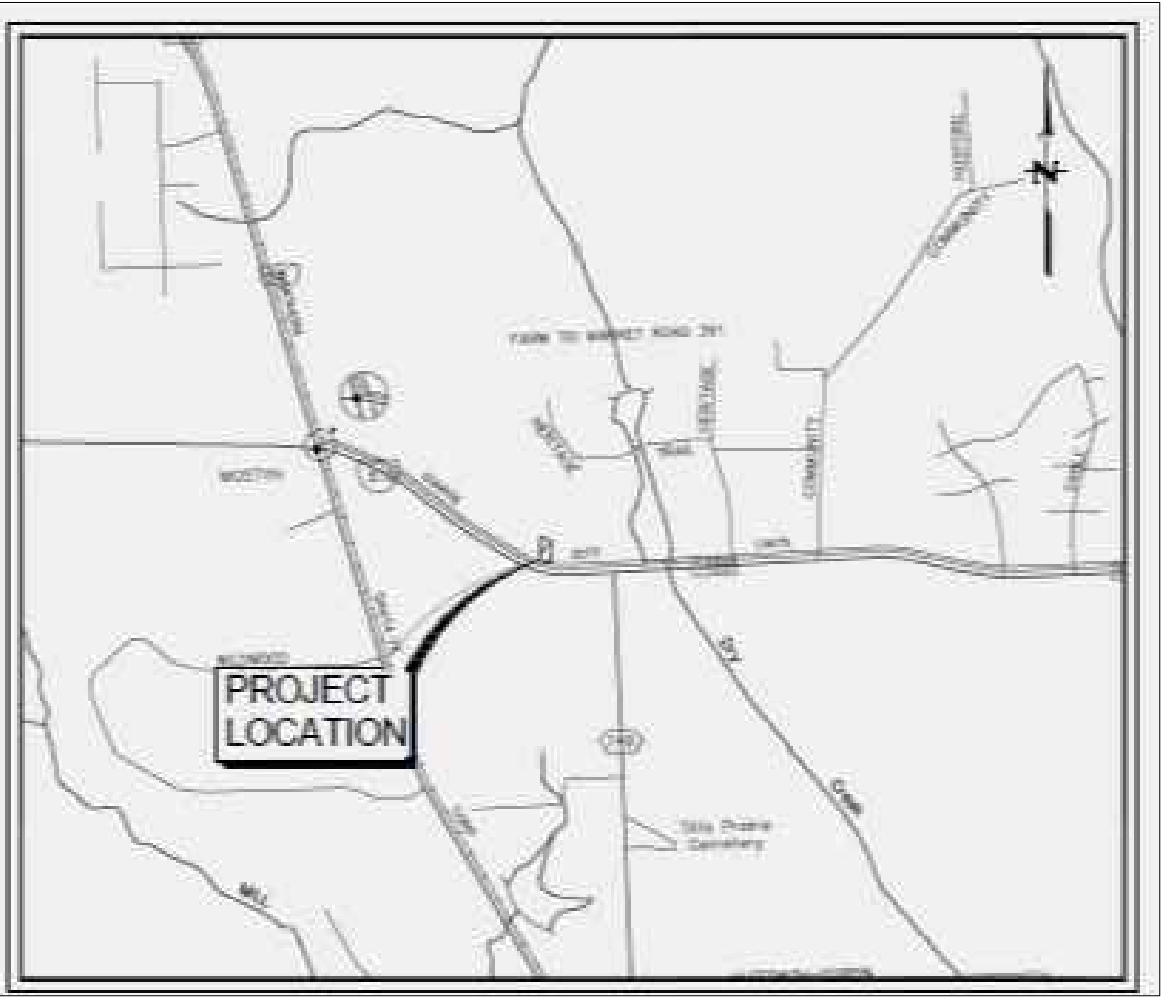
BUFFERYARD LANDSCAPING / 100 LF
SOUTH (FRONT)- TYPE B
20' WIDTH
FM 1488 = 172.5 LF
6 CANOPY TREES / 100 LF REQUIRED
10 CANOPY TREES REQUIRED & PROVIDED
3 EVERGREEN TREES / 100 LF REQUIRED
5 EVERGREEN TREES REQUIRED & PROVIDED
7 NON-CANOPY TREES / 100 LF REQUIRED
7 NON-CANOPY TREES REQUIRED & PROVIDED
30 SHRUBS / 100 LF REQUIRED
51 SHRUBS REQUIRED & PROVIDED

EAST (SIDE) -TYPE A
10' WIDTH
HERITAGE GREEN CIRCLE = 301 LF
3 CANOPY TREES / 100 LF REQUIRED
9 CANOPY TREES REQUIRED & PROVIDED
2 EVERGREEN TREES / 100 LF REQUIRED
6 EVERGREEN TREES REQUIRED & PROVIDED
1 NON-CANOPY TREES / 100 LF REQUIRED
3 NON-CANOPY TREES REQUIRED & PROVIDED
20 SHRUBS / 100 LF REQUIRED
60 SHRUBS REQUIRED & PROVIDED

NORTH (REAR) -TYPE A
10' WIDTH
MUTUAL USE DRIVE = 140 LF
3 CANOPY TREES / 100 LF REQUIRED
4 CANOPY TREES REQUIRED & PROVIDED
2 EVERGREEN TREES / 100 LF REQUIRED
3 EVERGREEN TREES REQUIRED & PROVIDED
1 NON-CANOPY TREES / 100 LF REQUIRED
1 NON-CANOPY TREES REQUIRED & PROVIDED
20 SHRUBS / 100 LF REQUIRED
23 SHRUBS REQUIRED & PROVIDED

WEST (SIDE)- TYPE A
10' WIDTH
SIMILAR ZONING - A/A = 303 LF
3 CANOPY TREES / 100 LF REQUIRED
9 CANOPY TREES REQUIRED & PROVIDED
2 EVERGREEN TREES / 100 LF REQUIRED
6 EVERGREEN TREES REQUIRED & PROVIDED
1 NON-CANOPY TREES / 100 LF REQUIRED
3 NON-CANOPY TREES REQUIRED & PROVIDED
20 SHRUBS / 100 LF REQUIRED
60 SHRUBS REQUIRED
55 SHRUBS PROVIDED

PLANT KEY	
CP	CHINESE PISTACHE
CE	CEDAR ELM
LO	LIVE OAK
PH	REDBUD
RBP	POSSUMHAW
W	VITEX
RB	RED BIRD OF PARADISE
KW	KIDNEY WOOD
DTS	DWARF TEXAS SAGE
AS	DWARF WAX MYRTLE
BP	BLUE PLUMBAGO
STY	AUTUMN SAGE
NGL	SOFT TIP YUCCA
AG	LANCELEAF TICKSEED
VI	AZTEC GRASS
BP	NEW GOLD LANTANA
TURF	BUFFALO GRASS
DG	DECOMPOSED GRANITE 1/4" MINUS
RR	RIVER ROCK +/- 1"-1.5" AGGREGATE



LOCATION MAP
N.T.S.

INERT MATERIALS KEY	
DG	DECOMPOSED GRANITE 1/4" MINUS
RR	RIVER ROCK +/- 1"-1.5" AGGREGATE

Table 8-2-1.03 Site Landscaping Requirements			
Use	Minimum Radius Around Building		
	Front and Street Side	Side	Rear
SV, AC, TC, UR, PU, BP, TS	6' ¹	6' ¹	6' ¹
IN	6' ¹	6' ¹	6' ¹

TABLE NOTE:
Where planting areas are required, they may be crossed with sidewalks to provide access to the building or buildings.
¹ This applies to public, institutional, and nonresidential buildings.

PLANT SCHEDULE					
NOTE: ALL TREES SHALL BE A MINIMUM 3" CALIPER AS MEASURED AT 48" ABOVE FINISH GRADE.					
KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES					
CP	08	CHINESE PISTACHE	Pistacia chinensis	3-3.5" CAL.	10' HT. MIN. PLANT WHERE INDICATED. MUST HAVE BRANCH CLEARANCE 6' ABOVE F.G.
CE	09	CEDAR ELM	Ulmus crassifolia	3-3.5" CAL.	10' HT. MIN. PLANT WHERE INDICATED. MUST HAVE BRANCH CLEARANCE 6' ABOVE F.G.
LO	18	LIVE OAK	Quercus virginiana	3-3.5" CAL.	10' HT. MIN. PLANT WHERE INDICATED. MUST HAVE BRANCH CLEARANCE 6' ABOVE F.G.
VI	06	VITEX	Vitex agnus-castus	2.5-3" CAL.	SINGLE TRUNK STANDARD, PLANT WHERE INDICATED
PH	03	POSSUMHAW	Ilex decidua	2.5-3" CAL.	PLANT CENTERED, WHERE INDICATED
RB	11	REDBUD	Cercis canadensis	2.5-3" CAL.	PLANT CENTERED, WHERE INDICATED
KW	10	KIDNEY WOOD	Eysenhardtia texana	2.5-3" CAL.	PLANT UNIFORMLY SPACED WHERE INDICATED
SHRUBS					
DWM	56	DWARF WAX MYRTLE	Myrica pusilla	7 GAL	PLANT 48" O.C. MUST BE 24" HT AT PLANTING
DTS	45	DWARF TEXAS SAGE	Leucophyllum frutescens 'Compacta'	7 GAL	PLANT 48" O.C. MUST BE 24" HT AT PLANTING
AS	69	AUTUMN SAGE	Salvia greggii	5 GAL	PLANT 30" O.C. FULL AND UNIFORM CANOPY TO GROUND
BP	14	BLUE PLUMBAGO	Plumbago auriculata	7 GAL	PLANT 48" O.C. MUST BE 24" HT AT PLANTING
STY	33	SOFT TIP YUCCA	Yucca recurvifolia	7 GAL	PLANT WHERE INDICATED
GRND CVR					
LT	46	LANCELEAF TICKSEED	Coreopsis lanceolata (lanceoleaf tickseed)	1 GAL	PLANT 18" O.C. UNIFORM SIZE. PLANT IN GRID, SEE DETAIL
NGL	42	NEW GOLD LANTANA	Lantana 'New Gold'	1 GAL	PLANT 36" O.C. MIN. W/WHIPS, UNIFORM SIZE. PLANT IN GRID, SEE DETAIL
AG	192	AZTEC BGRASS	Liriope muscari 'Aztec Grass'	1 GAL	PLANT 18" O.C. UNIFORM SIZE. PLANT IN GRID, SEE DETAIL
TURF GRASS					
TURF	---	ST. AUGUSTINE	Stenotaphrum secundatum	SOD	STAGGER PLACEMENT OVER FINE GRADE SOIL, FREE OF DEPRESSIONS AND DEBRIS.

PROJECT:
WELLS FARGO
MAGNOLIA
FM 1488 RD. & SPUR 149 RD.
MAGNOLIA, TX

ARCHITECT



3311 Elm Street, Suite 105
Dallas, Texas 75226
214-742-6044
214-742-6041 Fax

ARCHITECT'S SEAL:



Steve Ryba
04/06/23

CONSULTANT:



ISSUE HISTORY:

100% Review	03/17/2023
REV PER CITY COMMENTS	04/06/2023

DRAWING INFO:

FILE:

LANDSCAPE PLAN

DRAWN BY: JJG
CHECKED BY: SR

SHEET NUMBER:

L1.01

SITE LANDSCAPE — PLAN

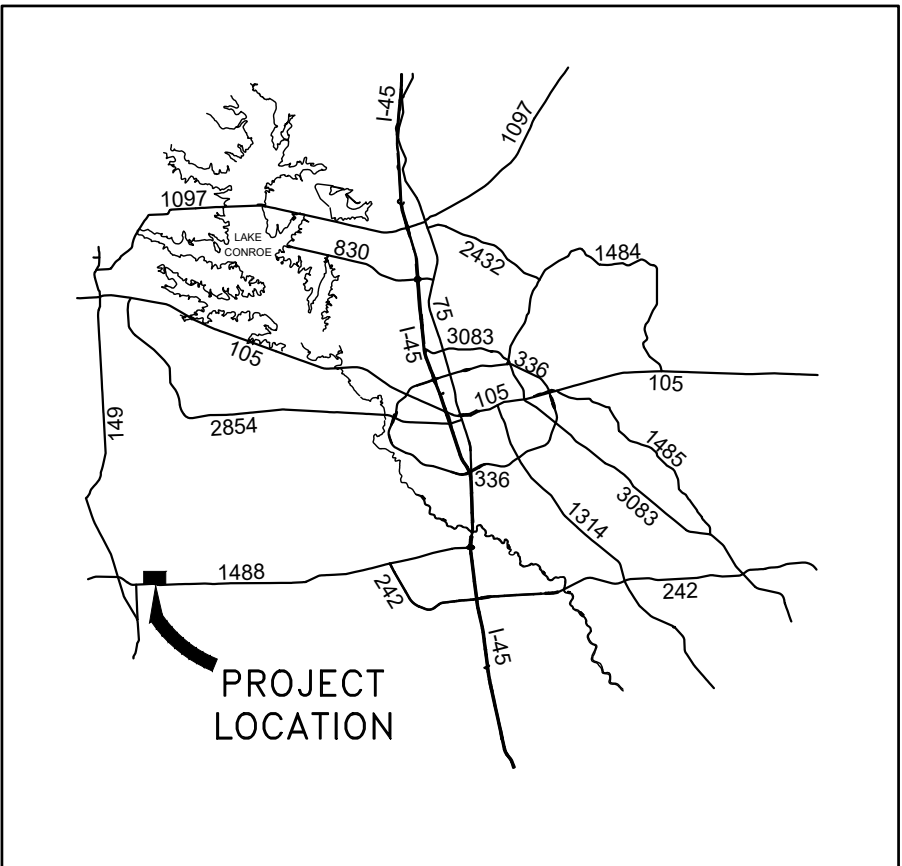
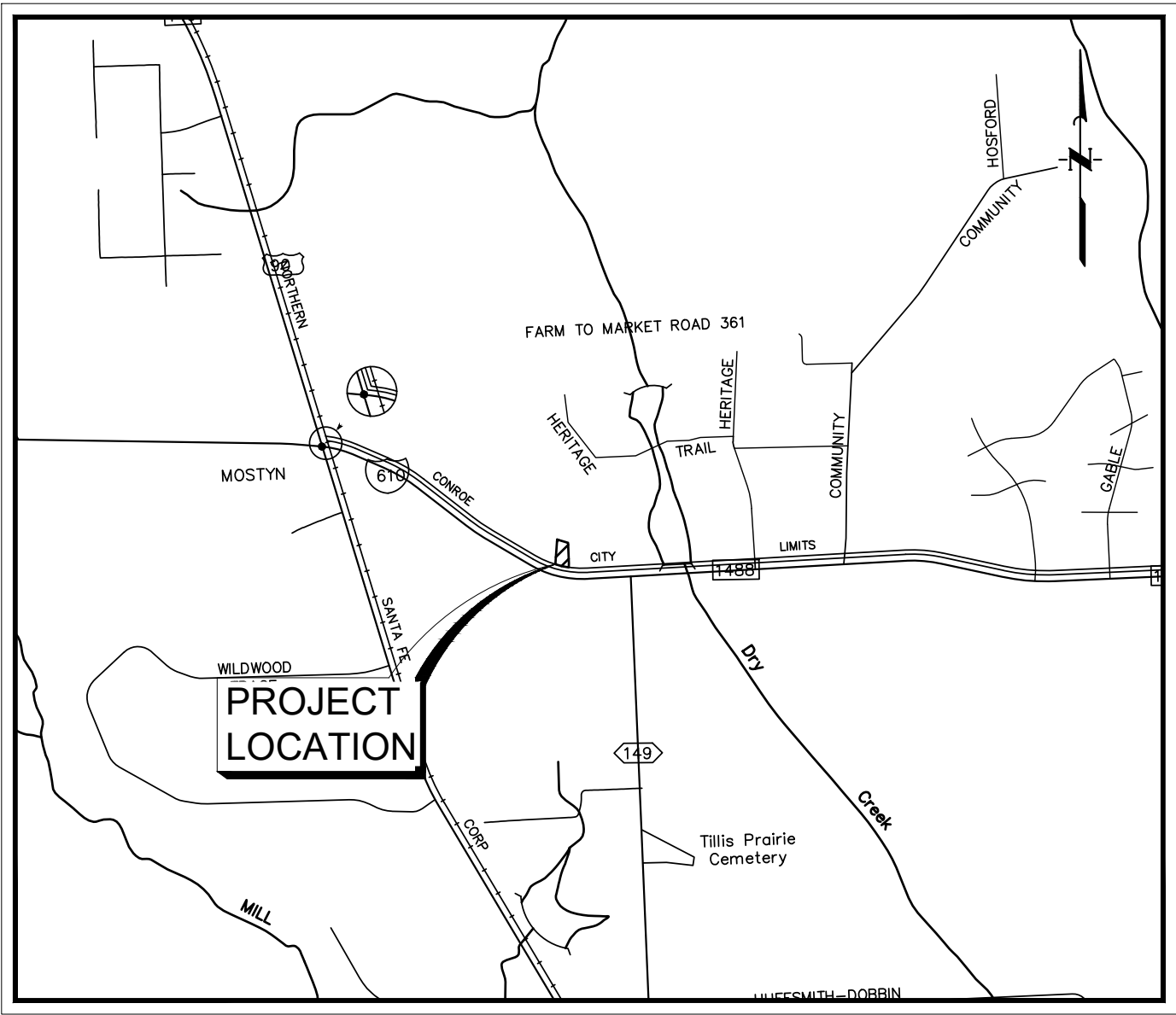


SCALE: 1" = 20'-0"

CONSTRUCTION PLANS
FOR
WATER, SANITARY, PAVING,
AND DRAINAGE IMPROVEMENTS
FOR
WELLS FARGO MAGNOLIA
CITY OF MAGNOLIA, MONTGOMERY COUNTY

INDEX OF DRAWINGS

Sheet Number	Sheet Title
C.0	COVER SHEET & INDEX
C.0.1	GENERAL NOTES
C.0.2	TOPOGRAPHIC SURVEY
C.1.0	SITE DIMENSIONED PLAN
C.2.0	PAVING PLAN
C.3.0	WATER & SANITARY SEWER PLAN
C.3.1	UTILITY CONNECTIONS
C.4.0	STORM SEWER PLAN
C.4.1	DRAINAGE CALCULATIONS
C.5.0	GRADING PLAN
C.6.0	CONSTRUCTION DETAILS I
C.6.1	CONSTRUCTION DETAILS II
C.7.0	STORM WATER POLLUTION PREVENTION PLAN
C.7.1	STORM WATER POLLUTION PREVENTION PLAN DETAILS



MONTGOMERY COUNTY AREA MAP

VICINITY MAP

1" = 2000'

KEY MAP: 213-F

DECEMBER 2022

PREPARED BY:
QUIDDITY ENGINEERING
TBPE FIRM NO. F-23290
2322 WEST GRAND PARKWAY NORTH
SUITE 150
832.913.4000

SURVEYOR

WINDROSE SERVICES
1111 RICHMOND AVE., STE. 150
HOUSTON, TX 77082
713.458.2281

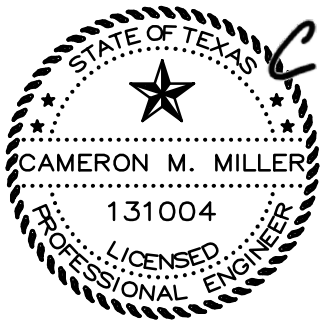
ARCHITECT

SG DESIGN, INC.
3311 ELM ST., STE. 105
DALLAS, TEXAS 75226
214.683.2769

ACCORDING TO MAP NO. 48338C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR FORT BEND COUNTY, TEXAS, WITH A DATE OF AUGUST 18, 2014 THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X". UNSHADED ZONE "X" IS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN, OR THE 0.2% ANNUAL CHANCE FLOODPLAIN.

No.	Date	DRAWING ISSUE	App.

TEXAS811 NOTIFICATION SYSTEM
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Texas811 or 1-800-344-8377

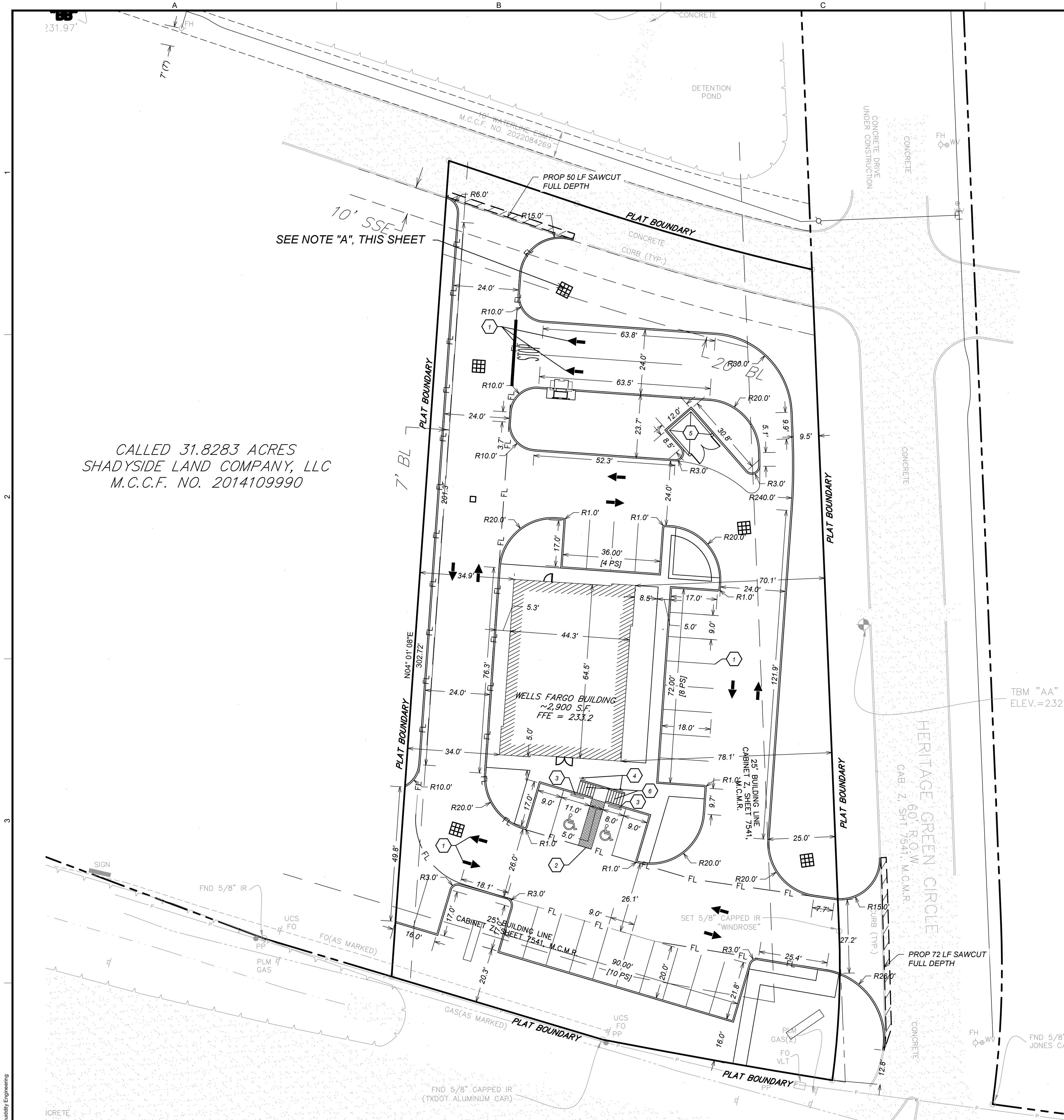


4/10/23

SHEET NO.
C.0

WATER, SANITARY, PAVING, AND DRAINAGE - WELLS FARGO MAGNOLIA

QUIDDITY
Professional Engineer and Land Surveyor, No. F-23290
2322 West Grand Parkway North, Suite 150, Fort Worth, Texas 76164-8313



CALLED 31.8283 ACRES
SHADYSIDE LAND COMPANY, LLC
M.C.C.F. NO. 2014109990

- DIMENSION PLAN NOTES**
1. ALL DIMENSIONS SHOWS ARE FROM FACE OF CURB, UNLESS OTHERWISE NOTED.
 2. ALL RADII ARE SHOWN FROM FACE OF CURB, UNLESS OTHERWISE NOTED.
 3. ALL PARKING STALLS ARE 9' X 19', UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH OF A FOOT.

LEGEND

PROPOSED	SIGN
ADA PARKING	
XX.X' [X PS]	[PARKING COUNT]
FULL DEPTH SAW CUT, MATCH PAVEMENT	
FL	FIRE LANE MARKER

- KEY NOTES**
1. PROPOSED STRIPING (SEE DETAIL SHEET C.6.1)
 2. PROPOSED ADA RAMP (SEE DETAIL SHEET C.6.1)
 3. PROPOSED WHEEL STOP (SEE DETAIL SHEET C.6.1)
 4. PROPOSED HANDICAP SIGN (SEE DETAIL SHEET C.6.1)
 5. PROPOSED DUMPSTER (SEE PLANS BY OTHERS)
 6. PROPOSED RAMP (SEE ARCHITECTURAL PLANS FOR DETAILS)

PARKING TABLE

PROPOSED CLASSIFICATION: OFFICE	BUILDING SQUARE FOOTAGE	PARKING REQUIRED/PROVIDED SPACES
BUILDING 1	2,889	
TOTAL BLDG. 1 PARKING PROVIDED		26
TOTAL BLDG. 1 HANDICAP PROVIDED		2

NOTE "A"
CONTRACTOR SHALL LOCATE EXIST 24" STM SWR STUB-OUT & NOTIFY ENGINEER IF FLOW LINE IS DIFFERENT FROM SHOWN ON THESE PLANS, PRIOR TO MAKING THE PROP STORM SEWER CONNECTION

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Texas811 or 1-800-344-8377

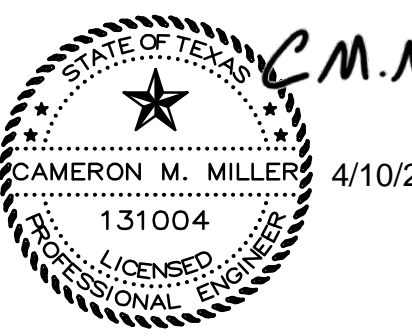
ISSUE

No.	Date	App.

QUIDDITY
Professional Engineers and Land Surveyors, Reg. No. 6-52380
2832 W. Grand Parkway North, Suite 100, Houston, Texas 77057, Phone 713-953-2133, 4000

SCALE: 1" = 20'
DATE: DECEMBER 2022
JOB NO.: 17963-0001-00

DESIGNED BY: JBT
CHECKED BY: ABP
DRAWN BY: ABP



WELLS FARGO MAGNOLIA
HERITAGE CIRCLE, MAGNOLIA, TEXAS 77354

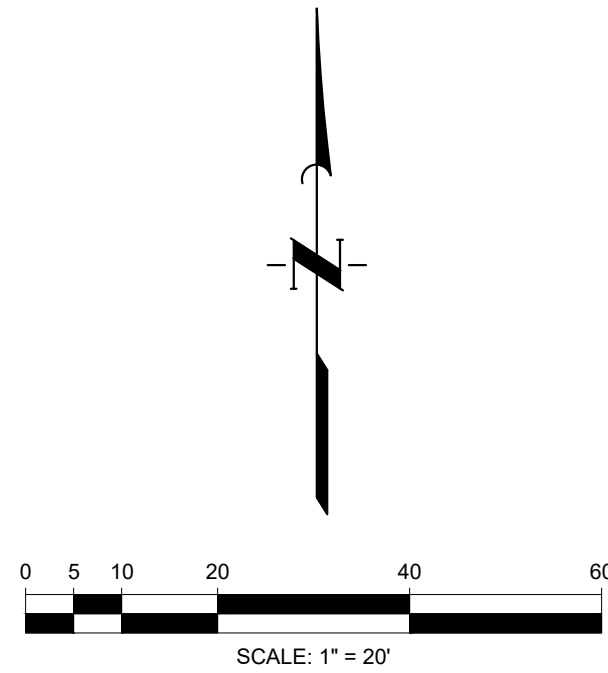
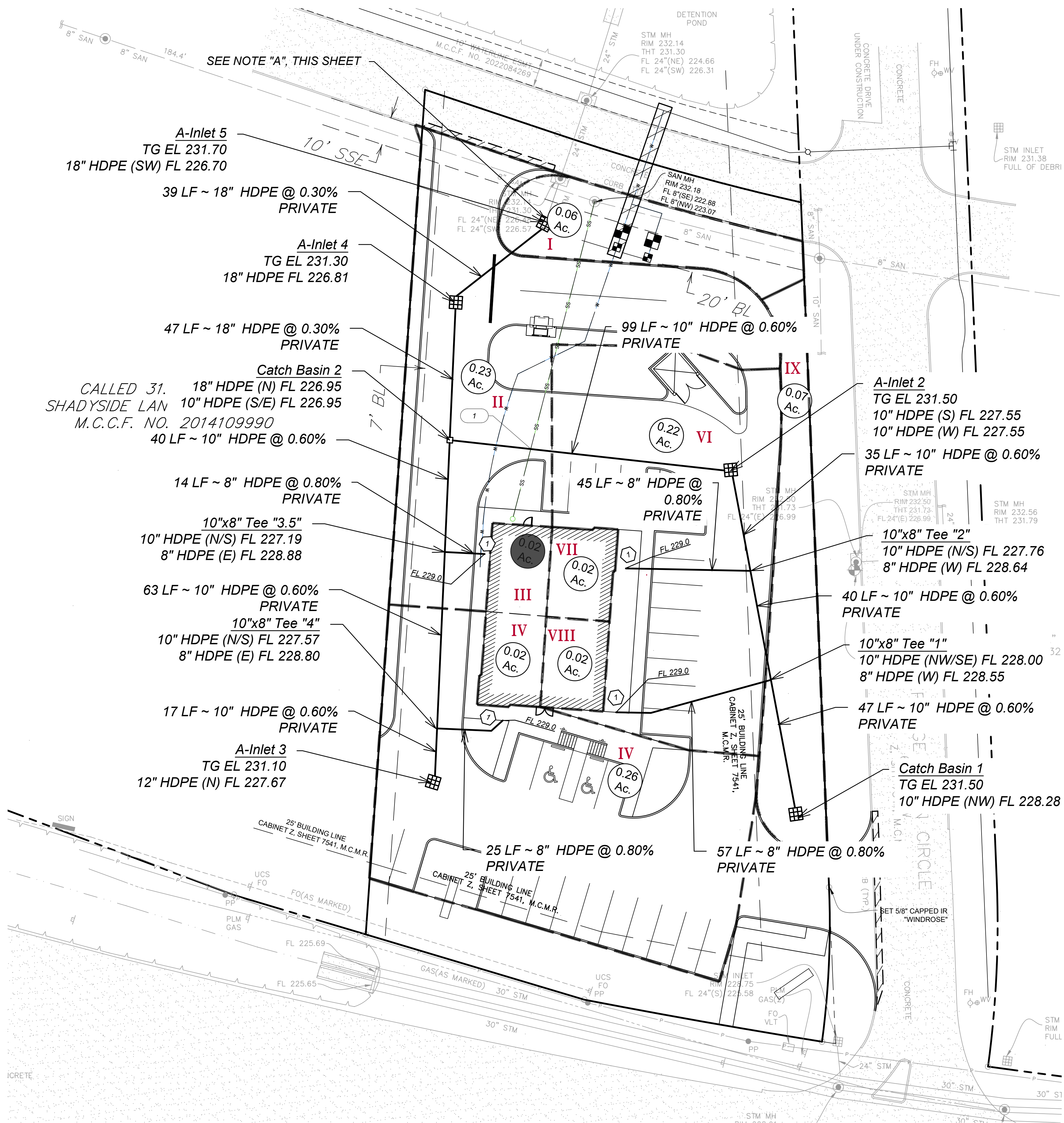
SITE DIMENSIONED PLAN

SHEET NO.
C.1.0



C.3.0

© 2023 Quidity Engineering
K11796317963-0001-00 Wells Fargo - Magnolia2 Design Phase/CAD/Plan Set/C.4.0 Storm Sewer Plan.dwg jbl: April 10, 2023



BENCHMARK
ELEVATIONS HEREON ARE BASED UPON A NGS OPUS SOLUTION DERIVED FROM ON-SITE STATIC GPS OBSERVATIONS CONDUCTED AT THE TIME OF SURVEY. ACCORDING TO THE NGS OPUS REPORT, THE FOLLOWING CORS STATIONS WERE USED: PID DE999 DESIGNATION ADKS, PID DH3604 DESIGNATION TXCN AND PID DJ8995 DESIGNATION ROD1. THE NEAREST NGS PUBLISHED CONTROL POINT IS PID BL2246 DESIGNATION SUPERIOR. (NAVD88, COMPUTED USING GEOID18)

TBM AA ELEVATION - 232.54'
BOX CUT ON THE SOUTH END OF A STORM INLET. LOCATED ON THE WEST LINE OF HERITAGE GREEN CIRCLE WEST, APPROXIMATELY 257.0' NORTH FROM THE INTERSECTION OF HERITAGE GREEN CIRCLE WEST AND FM 1488

TBM BB ELEVATION - 231.97'
BOX CUT ON A STORM INLET. LOCATED ON THE NORTHEAST LINE OF A NORTHWEST SOUTHEAST PRIVATE DRIVE, APPROXIMATELY 375.0' NORTH FROM THE INTERSECTION OF HERITAGE GREEN CIRCLE WEST AND FM 1488 TO SAID PRIVATE DRIVE. THENCE APPROXIMATELY 322.0' NORTHWEST FROM THE INTERSECTION OF HERITAGE GREEN CIRCLE AND OF SAID PRIVATE DRIVE.

FLOODPLAIN NOTE
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR MONTGOMERY COUNTY, TEXAS, MAP NO. 4838C0485G, REVISED/DATED AUGUST 18, 2014, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.

- UTILITY NOTES**
- FOR ALL GRAVITY STORM SEWER LINES, CONTRACTOR TO REMOVE EXISTING PLUG, VERIFY FLOWLINE ELEVATIONS AND START AT DOWNSTREAM FLOWLINE OF PIPES BEING LAID & WORK UPSTREAM. IF FLOWLINE IS DIFFERENT FROM WHAT IS SHOWN, CONTRACTOR TO CONTACT ENGINEER.
 - CONTRACTOR TO STAKE ALL STORM SEWER LINES BEFORE CONSTRUCTION OF THE LINES AND CONTACT THE ENGINEER IF ANY CONFLICT APPEARS OR IF THERE APPEARS TO BE A MORE APPROPRIATE ROUTE.
 - MATERIAL TYPE SHALL BE PER PIPING SCHEDULE ON THIS SHEET UNLESS OTHERWISE SPECIFIED IN PLANS.
 - MINIMUM INLET CB SIZE OF 24" X 24" UNLESS OTHERWISE NOTED.

LEGEND

PROPOSED	
W	WATER LINE
	GATE VALVE
	FLUSH VALVE
SS	SANITARY SEWER
	SANITARY SEWER MANHOLE
	STORM SEWER
	STORM SEWER MANHOLE
	GRATE INLET
FL XX.XX 1	FLOW LINE W/KEY NOTE
	DRAINAGE AREA BOUNDARY
VII	DRAINAGE AREA NUMBER

STORM KEY NOTES
SEE MEP FOR CONTINUATION

PIPING MATERIAL SCHEDULE	
STORM SEWER LINES	
PIPE SIZE	MATERIAL
8" TO 54"	DUAL WALL HDPE (AASHTO M294)

CROSSING TABLE								
CROSSING NUMBER	TOP PIPE	BOTTOM PIPE	TOP FL (FT)	BOTTOM FL (FT)	TOP DIAM (FT)	BOTTOM DIAM (FT)	TOP THICKNESS (FT)	BOTTOM THICKNESS (FT)
1	STORM	SAN	227.04	225.46	1.50	.67	.52	.02
								CLEARANCE (FT)
								1.04

CAUTION!!!
GAS PIPELINES PRESENT

CAUTION!!!
OVERHEAD ELECTRIC

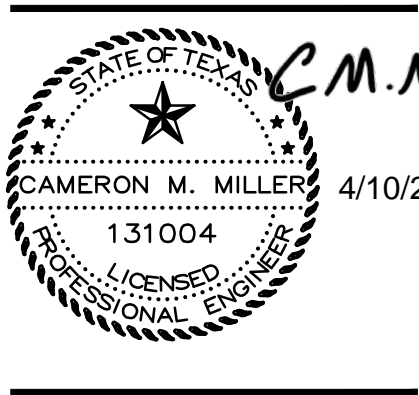
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Texas811 or 1-800-344-8377

No.	Date	ISSUE	App.

QUIDDITY
Texas Board of Professional Engineers and Land Surveyors, Reg. No. 6-52780
2325 W. Grand Parkway North, Suite 100, Baytown, Texas 77520-1134

DESIGNED BY: JBT
CHECKED BY: ABP
DRAWN BY: ABP

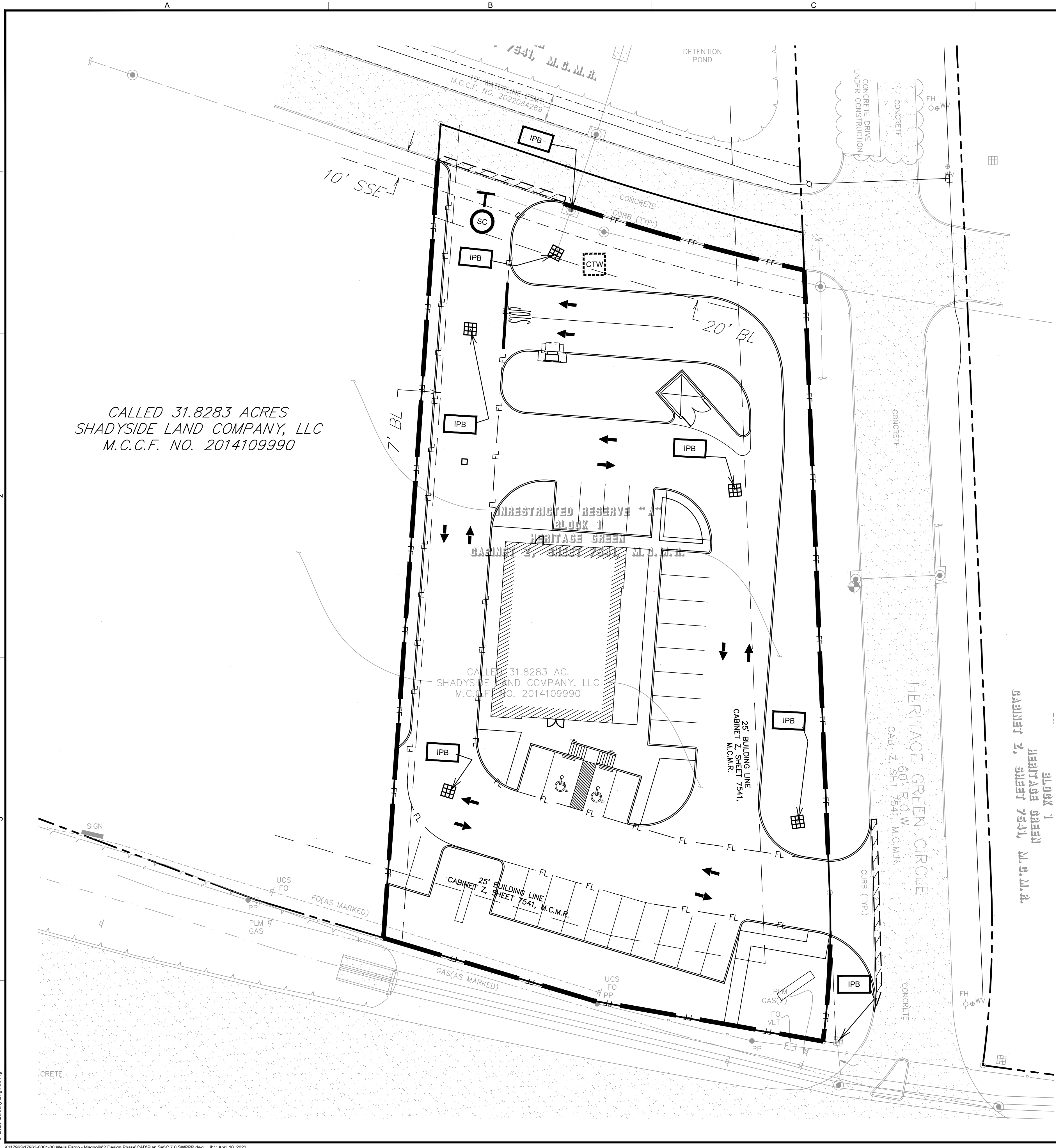
SCALE: 1" = 20'
DATE: DECEMBER 2022
JOB NO.: 17963-0001-00



WELLS FARGO MAGNOLIA
HERITAGE CIRCLE, MAGNOLIA, TEXAS 77354

STORM SEWER PLAN

SHEET NO. **C.4.0**



LEGEND

IPB

INLET PROTECTION BARRIER FOR STAGE II INLETS

SC

STABILIZED CONSTRUCTION ENTRANCE

FF

REINFORCED FILTER FABRIC BARRIER

CTW

CONCRETE TRUCK WASHOUT

INSTALLATION SEQUENCE

1. INSTALL

SC

 AT START OF CONSTRUCTION

2. INSTALL

IPB

 FOR STAGE I INLETS

3. INSTALL

SC

 AND

FF

 AT DESIGNATED LOCATIONS

4. MAINTAIN EXISTING FACILITIES

5. INSTALL

IPB

 FOR STAGE II INLETS UPON COMPLETION OF PAVING

6. INSTALL PAVING

FF

 ALONG ALL BACK OF CURB UPON COMPLETION OF PAVING

7. HYDRO-MULCH SEEDING

051020

SCALE: 1" = 10'

MANHOLE/INLET PROTECTION NOTES

- INLETS AND MANHOLES THAT ARE NOT COMPLETE AND/OR ARE SUBJECT TO CONVEYING STORM WATER FLOWS ARE TO BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING THE PROPOSED OR EXISTING STORM SEWER SYSTEM.
- PROTECTION SHALL CONSIST OF ONE LAYER OF 3x12-INCH OAK TIMBERS, ONE (1) INCH APART, COVERED WITH ONE LAYER OF WOVEN POLYPROPYLENE OR POLYESTER FILTER FABRIC (EXXON GTF 100s, PHILLIPS SUPAC 4WS(U) OR APPROVED EQUAL) HELD IN PLACE WITH 1/2" STAPLES. TIMBERS SHALL BE HELD IN PLACE WITH TWO (2) 2x4's NAILED SECURELY TO EACH TIMBER OVER THE FILTER FABRIC. THE FILTER FABRIC SHALL EXTEND BEYOND THE PERIMETER OF THE OAK TIMBERS AS TO ENSURE ONE (1) FOOT OF BURY BETWEEN THE MANHOLE OR INLET AND THE SURROUNDING SOIL AS SHOWN.
- FILTER FABRIC TO BE CLEANED OR REPLACED WHEN IT CEASES TO FUNCTION PROPERLY OR AS DIRECTED BY THE ENGINEER.
- CONTRACTOR MAY SUBMIT PLANS FOR ALTERNATE METHODS OF PROTECTION. THESE ALTERNATE METHODS MUST BE APPROVED PRIOR TO USE IN THE FIELD.

EROSION AND SEDIMENTATION CONTROL NOTES

- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATION SHOWN ON PLANS.
- CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS SPECIFIED HEREIN, AT A MINIMUM OF ONCE EVERY CALENDAR DAY.
- CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEM THROUGHOUT THE DURATION OF THE CONTRACT. (NO SEPARATE PAY).
- CONTRACTOR SHALL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER POTENTIALLY TOXIC MATERIALS.
- CONTRACTOR SHALL LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. CONTRACTOR SHALL USE SILT FENCING, HAY BALES, OR BERMS AROUND FUEL STORAGE AREAS. (NO SEPARATE PAY).
- CONTRACTOR SHALL ADVISE OWNER IMMEDIATELY, VERBALLY, AND IN WRITING, OF ANY FUEL OR TOXIC MATERIAL SPILLS ONTO THE PROJECT/CONSTRUCTION AREA AND THE ACTION TAKEN TO REMEDY THE PROBLEM.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF HIS FUELS, MATERIALS, AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER. (NO SEPARATE PAY).
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATELY MAINTAINED SANITARY FACILITIES.
- AT COMPLETION OF THE CONTRACT, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE EROSION AND SEDIMENTATION CONTROL SYSTEM BEFORE RELIEVING CONTRACTOR OF HIS MAINTENANCE RESPONSIBILITIES.
- IF EROSION AND SEDIMENTATION CONTROL SYSTEM IS EXISTING FROM PRIOR CONTRACTS, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE THE EXISTING EROSION AND SEDIMENTATION CONTROL SYSTEM FOR DAMAGE PRIOR TO CONTRACTOR STARTING CONSTRUCTION OF THE CONTRACT. ANY DAMAGE NOTED AT THIS TIME SHALL BE REPAIRED AT OWNER'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STREET CLEANING, ON A DAILY BASIS, ALL MUD AND DIRT DEPOSITED ON THE EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY.
- IF PAVING CONTRACTOR REMOVES OR PUNCTURES TIMBER GRATE TO ESTABLISH DRAINAGE, INLET MUST BE SURROUNDED BY FILTER FABRIC FENCE AS SHOWN IN DETAIL ON THIS SHEET.

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-344-8377

ISSUE

App.

Date

No.

QUIDDITY

Professional Engineers and Land Surveyors, Reg. No. 6-27280
2022-10 State Board (North) Sub 103 (S&L) Regs 7749-6222-13-4000

DESIGNED BY: JB1

CHECKED BY: ABP

DRAWN BY: ABP

DATE: DECEMBER 2022

SCALE: 1" = 20'

JOB NO.: 17963-001-00

STATE OF TEXAS

CAMERON M. MILLER

131004

PROFESSIONAL ENGINEER

4/10/23

WELLS FARGO MAGNOLIA

HERITAGE CIRCLE, MAGNOLIA, TEXAS 77354

STORM WATER POLLUTION PREVENTION PLAN

SHEET NO.

C.7.0

K:\17963\17963-0001-00 Wells Fargo - Magnolia2 Design Phase\CAD\Plan Set\C.7.0 SWPPP.dwg jbl: April 10, 2023

April 10, 2023

City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

RE: AEI Job No. 230351.80-001
Construction of Water, Sanitary, Paving, and Drainage Improvements for Wells Fargo-Magnolia

To Whom it May Concern:

In response to your review the items below explain how your review comments were addressed. Please note your comments are shown in bold and our responses are shown below in standard text.

Wells Fargo – Second Site Plan Review Comments

1. **Per Section 2-3-4.05, E of the Unified Development Code, please provide an elevation view of the garbage collection location with the method of the enclosure.**
Comment addressed. Shown on Architecture Plan Sheet A2.00A.
2. **Provide tables and calculations showing the landscape ratio, base site area, net buildable area, net and gross densities and total flow area.**
Tables and calculations are shown on Landscape Plan Sheet L1.01.
3. **Send evidence that the property taxes for the city, school, and MUD have been paid**
Developer has provided information to City of Magnolia.
4. **Provide the setbacks as provided in Table 3-1-1.04-1 in the Unified Development Code for the Auto Commercial zoning district**
Comment addressed. Shown on Site Plan Sheets C1.0
5. **Provide site landscaping as shown in Table 8-2-1.03 of the Unified Development Code.**
Comment addressed. Shown on Landscaping Plan Sheet L1.01.
6. **Provide plants as mention in Section 8-2-1.01, A, Approved Landscape Plans and Allowed Landscape Plans in the Unified Development Code.**
Comment addressed. Shown on Landscaping Plan Sheet L1.01.
7. **Provide the buffer yards as specified in Table 8-3-1.01, Table 8-3-1.02, and Table 8-3-1.04 of the Unified Development Code.**
Comment addressed. Shown on Landscaping Plan Sheet L1.01.
8. **The quantity column should be filled out or removed from the landscaping plan sheets.**
Comment addressed. Removed from Landscaping Plan Sheet L1.01
9. **Provide the fire lane dimensions and location**
Fire lane dimensions and location shown on Site Plan Sheet C1.0.
10. **Provide building height**
Building height shown on Architecture Plan Sheet A4.00 and A4.01.
11. **Per the 380-development agreement, a final plat is optional for this site. Send the metes and bounds for the property.**
Alta Survey and Preliminary Metes and Bounds provided.
12. **Per the 380-development agreement, non—standard signage and lighting are allowed. Send the documentation and plans for review.**

Signage Package Documents included with submittal. Lighting plans shown on MEP Plan Sheet E0.01

13. Provide the location of easements for utilities.

Comments addressed, located on Site Plan Sheet C1.0.

14. Provide shared access easement and dimensions of shared access drive.

Developer in process to complete with City of Magnolia.

15. With the next round of review, send a letter detailing how the comments were addressed.

Letter provided.

16. The developer is to provide the following:

- a. **The recorded park dedication and easement for our records.**

Comment addressed

- b. **The five-foot sidewalks on each side of the streets should be approved and accepted to switch ownership to the City of Magnolia to maintain the Heritage Green roadway network.**

Developer in process to complete with City of Magnolia.

If you have any questions, please contact me at 281-363-4039 or jbruce@quiddity.com

Sincerely,

Jacob Bruce, E.I.T.
Design Engineer

JBB\CMM

April 14, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: *Magnolia Place Section 2 – Final Plat Review*
 City of Magnolia
 *Job No. 222551.80-001***

Dear Mr. Doering:

We received the final plats for Magnolia Place Section 2 on April 12, 2023. On behalf of City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to approval of this project, subject to the following comments:

1. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

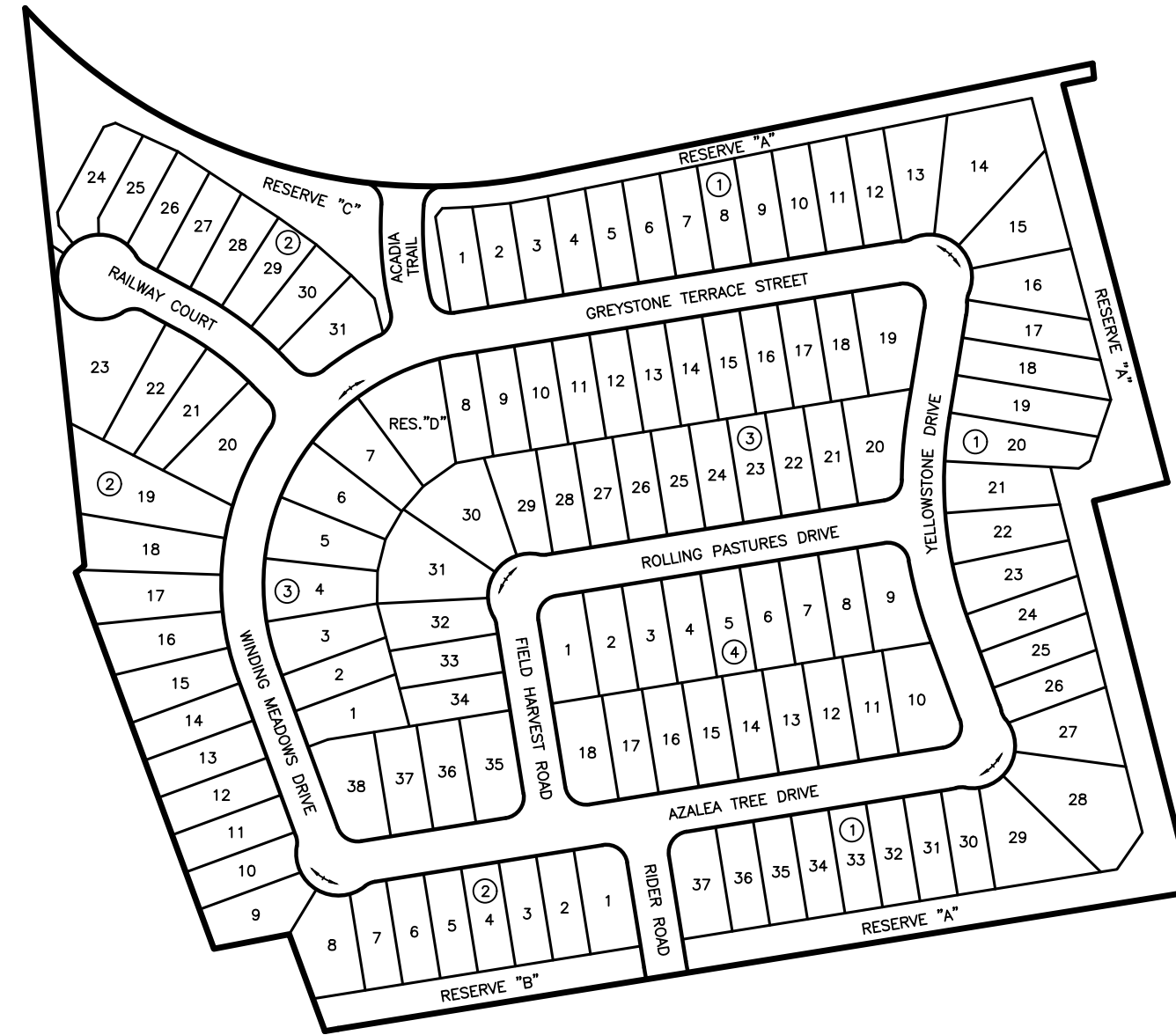
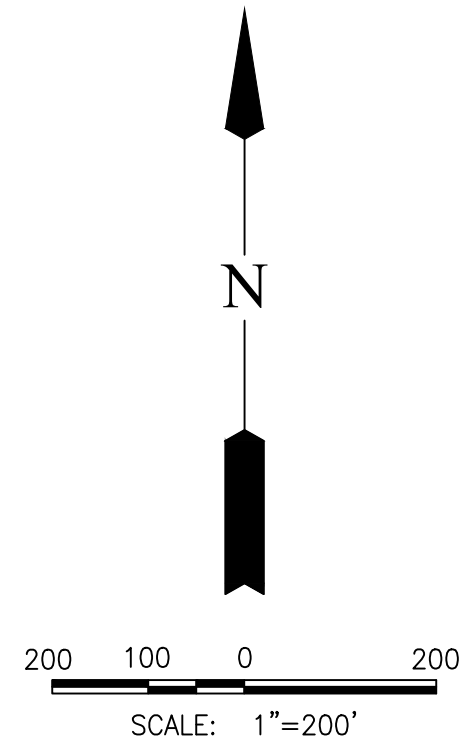
Sincerely,



Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter and Woodman, Inc.
Consulting Engineers
TBPELS Registration No. F-21783

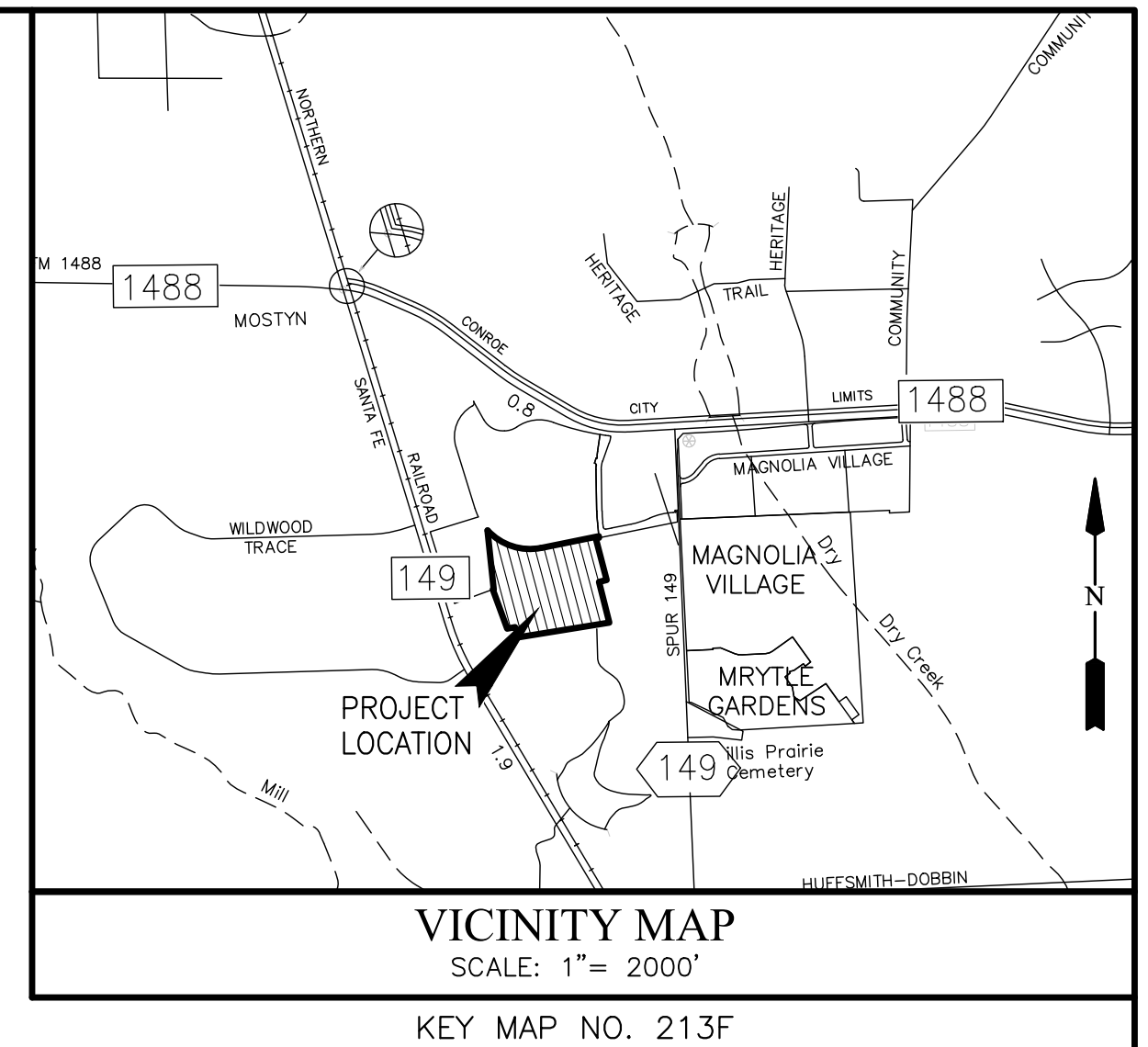
XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
 Ms. Karleigh Brown – Baxter & Woodman, Inc. Consulting Engineers
 Mr. Tommy Cormier Jr, PE. – Baxter & Woodman, Inc. Consulting Engineers
 Mr. Michael A. Kurzy, P.E. – Baxter & Woodman, Inc. Consulting Engineers
 Mr. Zach Zarse – LJA Engineering- Platting Coordinator



MAGNOLIA PLACE SECTION 2

A SUBDIVISION OF 27.592 ACRES OF LAND SITUATED IN
THE JOHN B. RICHARDS SURVEY, ABSTRACT 449,
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS.

OWNER: MERITAGE HOMES OF TEXAS, LLC
AN ARIZONA LIMITED LIABILITY COMPANY
3250 BRIARPARK, SUITE 100
HOUSTON, TEXAS 77042



DATE: APRIL 12, 2023

124 LOTS
4 BLOCKS
4 RESERVES
3.433 ACRES IN RESERVES

SURVEYOR:
LJA Surveying, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 175 Fax 713.953.5026
Houston, Texas 77042 T.B.P.L.S. Firm No. 10194382

ENGINEER:
LJA Engineering, Inc.
3600 Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

SHEET 1 OF 4

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, KYLE DAVISON, DIVISION PRESIDENT, OF MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MAGNOLIA PLACE SECTION 2, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREON SHOWN, AND DESIGNATE SAID SUBDIVISION AS MAGNOLIA PLACE SECTION 2, LOCATED IN THE JOHN B. RICHARDS SURVEY, ABSTRACT 449, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS (EXCEPT THOSE INDICATED AS BEING PRIVATE OR CREATED PURSUANT TO SEPARATE INSTRUMENT) SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

FURTHER, MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, DOES HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP OF LAND A MINIMUM OF FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE, WHICH RESTRICTIONS SHALL RUN WITH THE TITLE OF THE PROPERTY, AND SHALL BE ENFORCEABLE, AT THE OPTION OF MONTGOMERY COUNTY, BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION, AS FOLLOWS:

1. THE DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY, OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY, IS STRICTLY PROHIBITED.
2. DRAINAGE STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18" DIAMETER PIPE CULVERT).

FURTHER, OWNER DOES HEREBY CERTIFY THAT IT IS THE OWNER OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF MAGNOLIA PLACE SECTION 2 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY KYLE DAVISON, ITS DIVISION PRESIDENT, THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2023.

MERITAGE HOMES OF TEXAS, LLC
AN ARIZONA LIMITED LIABILITY COMPANY

BY: _____
KYLE DAVISON, DIVISION PRESIDENT

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYLE DAVISON, DIVISION PRESIDENT OF MERITAGE HOMES OF TEXAS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

THIS IS TO CERTIFY THAT I, GARY D. NUTTER, A LICENSED SURVEYOR OF THE STATE OF TEXAS, HAVE PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND; AND THAT ALL BLOCKS, LOT CORNERS, ANGLE POINTS AND POINTS OF CURVATURE ARE PROPERLY MARKED WITH FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "GBI PARTNERS" AND THREE (3) FEET IN LENGTH, UNLESS OTHERWISE NOTED.

GARY D. NUTTER, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6652

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA PLACE SECTION 2 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

CHAIRMAN

CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS ACCEPTED THIS PLAT AND SUBDIVISION OF MAGNOLIA PLACE SECTION 2 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

MAYOR

CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2023, AT _____ O'CLOCK _____.M., AND DULY RECORDED ON _____, 2023, AT _____ O'CLOCK _____.M., IN CABINET _____ SHEET _____, OF RECORD OF _____ FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

OWNER: MERITAGE HOMES OF TEXAS, LLC
AN ARIZONA LIMITED LIABILITY COMPANY
3250 BRIARPARK, SUITE 100
HOUSTON, TEXAS 77042

MAGNOLIA PLACE
SECTION 2

SHEET 2 OF 4

REMAINDER OF
CALLED 124.023 ACRES
MAGNOLIA EAST 149 LLC
DOC. NO. 2014090559
M.C.O.P.R.

MAGNOLIA PLACE
SECTION 1
CAB. Z, SHTS 5964-5967
M.C.M.R.

RESERVE "A"
MAGNOLIA EAST RESERVE 1
REPLAT NO. 1
CAB. Z, SHTS. 4092-4093
M.C.M.R.



100 50 0 100
SCALE: 1"=100'

RESERVE "E"
MAGNOLIA PLACE
SECTION 1
CAB. Z, SHTS. 5964-5967
M.C.M.R.

CALLED 20.1959 ACRES
CASTLEFORD PROPERTIES, LLC
DOC. NO. 2012089840
M.C.O.P.R.

P.O.B.
NAD83 GRID COORDINATES
X= 3,765,166.76
Y= 10,073,639.09

LIFEPPOINT CHURCH
DOC NO. 2014071435
M.C.O.P.R.

CALLED 2.445 ACRES
NATHAN SMITH & SHARON SMITH
VOL. 385, PG. 1266
M.C.D.R.

CALLED 2.445 ACRES
ANGELA K. SPILLER
VOL. 385, PG. 1276
M.C.D.R.

CALLED 5.030 ACRES
LINDA B. LOVE
DOC. NO. 2017035227
M.C.O.P.R.

CALLED 11.8041 ACRES
SHUGART AND SHIRLEY SHUGART
60' ROADWAY EASEMENT
CALLED 2.0224 ACRES
DOC. NO. 8210552
M.C.O.P.R.

CALLED 2.848 ACRES
BLAZE COMMANDER LLC
DOC. NO. 2015120795
M.C.O.P.R.

CALLED 2.000 ACRES
CHRISTINA L'YNN LUNDY
DOC. NO. 2016076233
M.C.O.P.R.

LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- R.O.W. INDICATES RIGHT-OF-WAY
- RES. INDICATES RESERVE
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- VOL. INDICATES VOLUME
- PG. INDICATES PAGE
- P.O.B. INDICATES POINT OF BEGINNING
- FND. INDICATES FOUND
- I.R. INDICATES IRON ROD
- INDICATES STREET NAME CHANGE

RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	2.064	89,915	RESTRICTED TO LANDSCAPE/OPEN SPACE
B	0.357	15,556	RESTRICTED TO OPEN SPACE
C	0.785	34,177	RESTRICTED TO LANDSCAPE/OPEN SPACE
D	0.227	9,877	RESTRICTED TO LANDSCAPE/OPEN SPACE/PARK
TOTAL	3.433	149,525	

OWNER: MERITAGE HOMES OF TEXAS, LLC
AN ARIZONA LIMITED LIABILITY COMPANY
3250 BRIARPARK, SUITE 100
HOUSTON, TEXAS 77042

MAGNOLIA PLACE
SECTION 2

SHEET 3 OF 4

3011-1001.310

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 80°26'33" W	15.93'
L2	N 20°09'40" W	122.10'
L3	S 79°08'22" W	90.83'
L4	N 49°41'15" E	13.54'
L5	S 06°13'53" E	17.84'
L6	S 78°33'52" W	37.41'
L7	S 75°52'27" W	89.92'
L8	S 03°41'47" W	24.18'
L9	S 17°07'17" E	18.15'
L10	N 20°09'40" W	105.58'
L11	N 43°15'14" E	4.92'
L12	S 59°38'10" E	4.98'
L13	S 30°14'55" W	4.94'
L14	N 28°28'14" E	14.12'
L15	S 44°51'12" E	69.96'
L16	N 54°14'10" W	7.60'
L17	N 09°08'17" W	176.02'
L18	S 11°35'35" E	1.13'
L19	S 20°09'40" E	105.58'
L20	S 09°08'17" E	126.08'
L21	S 11°35'35" E	2.14'
L22	N 09°08'17" W	126.08'
L23	N 44°51'12" W	25.37'
L24	N 61°31'46" W	47.03'
L25	S 61°31'46" E	73.98'
L26	S 44°51'12" E	21.53'
L27	S 20°09'40" E	105.58'
L28	S 09°08'17" E	115.31'
L29	S 39°05'23" W	12.92'
L30	S 87°20'25" W	35.59'
L31	S 84°10'45" W	45.08'
L32	S 79°42'09" W	45.01'
L33	S 78°15'33" W	45.05'
L34	N 18°52'28" E	76.72'
L35	N 55°59'09" E	15.95'
L36	N 34°39'15" E	52.96'
L37	N 13°45'18" W	42.14'
L38	N 44°59'49" W	39.16'
L39	N 48°48'04" W	54.95'
L40	N 54°31'39" W	54.95'
L41	N 65°27'35" W	80.96'
L42	S 71°30'19" W	14.62'
L43	N 06°05'09" W	16.16'
L44	N 38°26'38" W	27.37'
L45	N 56°27'02" W	20.00'
L46	S 54°31'11" W	47.36'
L47	S 31°09'25" W	62.15'
L48	S 01°08'28" E	20.00'
L49	S 69°50'20" W	25.00'
L50	S 00°30'42" W	38.69'
L51	S 14°14'37" W	38.48'
L52	S 29°55'51" W	38.48'
L53	S 40°53'56" W	39.06'
L54	S 79°41'03" W	45.01'

CURVE TABLE						
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD	
C1	650.00'	58°55'51"	668.55'	S 71°58'30" E	639.47'	
C2	400.00'	20°49'04"	145.34'	S 06°42'45" E	144.54'	
C3	50.00'	108°25'14"	94.61'	N 44°55'41" W	81.12'	
C4	500.00'	29°26'36"	256.94'	S 05°26'22" E	254.12'	
C5	50.00'	101°01'25"	88.16'	N 30°21'01" E	77.18'	
C6	50.00'	78°58'37"	68.92'	S 59°38'58" E	63.59'	
C7	300.00'	101°01'23"	528.96'	S 30°21'02" W	463.05'	
C8	400.00'	16°40'34"	116.42'	N 53°11'29" W	116.01'	
C9	300.00'	2°27'18"	12.85'	S 10°21'56" E	12.85'	
C10	50.00'	90°00'00"	78.54'	S 35°51'43" W	70.71'	
C11	25.00'	84°31'46"	36.88'	S 46°15'42" W	33.63'	
C12	375.00'	16°29'54"	107.98'	S 04°15'08" E	107.61'	
C13	25.00'	86°38'12"	37.80'	S 55°49'11" E	34.30'	
C14	75.00'	7°40'47"	10.05'	N 84°42'07" E	10.05'	
C15	25.00'	25°00'58"	10.92'	N 76°02'01" E	10.83'	
C16	50.00'	139°27'23"	121.70'	S 46°44'46" E	93.81'	
C17	25.00'	25°00'58"	10.92'	S 10°28'26" W	10.83'	
C18	75.00'	11°18'59"	14.81'	S 03°37'26" W	14.79'	
C19	475.00'	29°26'36"	244.09'	S 05°26'22" E	241.42'	
C20	75.00'	5°50'34"	7.65'	S 17°14'23" E	7.64'	
C21	25.00'	24°57'51"	10.89'	S 26°48'01" E	10.81'	
C22	50.00'	139°17'34"	121.56'	S 30°21'50" W	93.76'	
C23	25.00'	24°57'51"	10.89'	S 87°31'41" W	10.81'	
C24	75.00'	5°48'57"	7.61'	S 77°57'14" W	7.61'	
C25	25.00'	90°00'00"	39.27'	S 35°51'43" W	35.36'	
C26	275.00'	2°27'18"	11.78'	S 10°21'56" E	11.78'	
C27	325.00'	2°27'18"	13.93'	N 10°21'56" W	13.92'	
C28	25.00'	90°00'00"	39.27'	N 54°08'17" W	35.36'	
C29	25.00'	29°39'49"	12.94'	S 66°01'49" W	12.80'	
C30	50.00'	138°08'48"	120.56'	N 59°43'42" W	93.40'	
C31	25.00'	29°30'22"	12.87'	N 05°24'29" W	12.73'	
C32	325.00'	54°53'17"	311.34'	N 07°16'59" E	299.57'	
C33	25.00'	79°34'51"	34.72'	N 05°03'47" W	32.00'	
C34	375.00'	16°40'34"	109.15'	N 53°11'29" W	108.76'	
C35	25.00'	61°25'04"	26.80'	S 87°45'42" W	25.53'	
C36	50.00'	272°40'03"	237.95'	N 13°23'12" E	69.05'	
C37	25.00'	31°14'59"	13.64'	S 45°54'16" E	13.47'	
C38	425.00'	16°40'34"	123.70'	S 53°11'29" E	123.26'	
C39	25.00'	83°58'52"	36.64'	S 86°50'38" E	33.45'	
C40	325.00'	13°38'19"	77.36'	N 57°59'06" E	77.18'	
C41	25.00'	78°17'59"	34.16'	N 25°39'17" E	31.57'	
C42	425.00'	17°13'15"	127.74'	N 04°53'06" W	127.26'	
C43	25.00'	86°42'05"	37.83'	N 39°37'31" W	34.32'	
C44	275.00'	101°01'23"	484.88'	N 30°21'02" E	424.46'	
C45	25.00'	108°25'13"	47.31'	S 44°55'41" E	40.56'	
C46	525.00'	8°52'29"	81.32'	S 04°50'41" W	81.24'	
C47	25.00'	80°27'16"	35.10'	S 40°38'05" W	32.29'	
C48	25.00'	20°53'15"	9.11'	N 88°41'39" W	9.06'	
C49	50.00'	131°59'37"	115.19'	S 35°45'09" W	91.35'	
C50	25.00'	21°06'23"	9.21'	S 19°41'28" E	9.16'	
C51	25.00'	90°00'00"	39.27'	S 35°51'43" W	35.36'	
C52	25.00'	78°58'37"	34.46'	N 59°38'58" W	31.80'	
C53	25.00'	90°00'00"	39.27'	N 35°51'43" E	35.36'	
C54	25.00'	89°05'02"	38.87'	S 54°35'46" E	35.07'	
C55	525.00'	10°06'25"	92.61'	S 15°06'27" E	92.49'	
C56	25.00'	101°01'23"	44.08'	S 30°21'02" W	38.59'	
C57	25.00'	90°00'00"	39.27'	N 54°08'17" W	35.36'	

BLOCK 1	
LOT NO.	SQ.FT.
1	5,479
2	5,353
3	5,314
4	5,381
5	5,468
6	5,549
7	5,631
8	5,712
9	5,793
10	5,875
11	5,956
12	6,039
13	7,876
14	14,002
15	9,469
16	7,952
17	7,015
18	7,903
19	8,157
20	8,375
21	6,960
22	7,295
23	7,374
24	6,357
25	5,973
26	5,753
27	8,062
28	13,600
29	10,084
30	5,585
31	5,625
32	5,625
33	5,625
34	5,625
35	5,625
36	5,625
37	7,366

BLOCK 2	
LOT NO.	SQ.FT.
1	7,366
2	5,625
3	5,625
4	5,625
5	5,625
6	5,625
7	5,476
8	8,046
9	7,099
10	6,183
11	6,439
12	6,439
13	6,439
14	6,439
15	7,190
16	7,752
17	8,810
18	9,205
19	13,234
20	8,994
21	7,686
22	7,550
23	12,920
24	6,548
25	5,576
26	5,888
27	5,844
28	6,021
29	6,065
30	6,065
31	7,455

BLOCK 3	
LOT NO.	SQ.FT.
1	6,526
2	5,810
3	7,128
4	7,640
5	7,665
6	7,665
7	7,603
8	5,637
9	5,625
10	5,625
11	5,625
12	5,625
13	5,625
14	5,625
15	5,625
16	5,625
17	5,625
18	5,625
19	8,678
20	8,122
21	5,719
22	5,719
23	5,719
24	5,719
25	5,719
26	5,719
27	5,719
28	5,719
29	6,387
30	9,570
31	9,963
32	6,531
33	5,861
34	5,657
35	7,495
36	6,375
37	6,375
38	8,432

BLOCK 4	
LOT NO.	SQ.FT.
1	6,991
2	5,875
3	5,875
4	5,875
5	5,875
6	5,875
7	5,875
8	5,875
9	7,487
10	8,688
11	6,000
12	6,000
13	6,000
14	6,000
15	6,000
16	6,000
17	6,000
18	7,366

NOTES:

- ALL BEARINGS REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE NAD83, (EPOCH 2010.00).
- COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE FACTOR: 0.99997643124.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 20220726, DATED NOVEMBER 1, 2022. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "GBI PARTNERS" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- BY GRAPHICAL PLOTTING, THE SUBJECT TRACT LIES WITHIN ZONE "X" UN-SHADED, (DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.") AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NO. 48339C0485G, MAP REVISED AUGUST 18, 2014. LJA DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS
- ALL INTERNAL LOTS SHALL HAVE A MINIMUM 5-FOOT SIDE BUILDING LINE SETBACK.

OWNER: MERITAGE HOMES OF TEXAS, LLC
AN ARIZONA LIMITED LIABILITY COMPANY
3250 BRIARPARK, SUITE 100
HOUSTON, TEXAS 77042

MAGNOLIA PLACE
SECTION 2

SHEET 4 OF 4