

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III

City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Interim City Secretary, Christian Gable



NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, MARCH 23, 2023 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held February 16, 2023.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. *Statements of specific factual information given in response to an inquiry;*
- b. *A recitation of existing policy in response to an inquiry;*
- c. *A proposal to place the subject on a future agenda.*

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE PARKSIDE MAGNOLIA WEST, PRELIMINARY PLAT, +/- 14.246 ACRES.

7. FUTURE AGENDA ITEMS

8. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Christian Gable, Interim City Secretary



Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III

City Administrator/Interim City Secretary, Don Doering
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Planning Coordinator, Christian Gable



MINUTES OF PLANNING & ZONING COMMISSION FEBRUARY 16, 2023

A meeting of the Planning & Zoning Commission was held on February 16, 2023, beginning at 4:30 p.m. in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Shelburne called the regular meeting to order at 4:30 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Anne Sundquist, Josh Jakubik, Robert Barker III, Holly Knee, and Tom Mayhew.

Absent: none

Staff present: City Administrator Don Doering, Planning Coordinator Christian Gable.

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held January 19, 2023.

MOTION: Upon a motion to approve Consent Agenda made by Josh Jakubik and seconded by Anne Sundquist, the Commission members voted, and the motion carried unanimously, 5-0.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:
a. Statements of specific factual information given in response to an inquiry;
b. A recitation of existing policy in response to an inquiry;
c. A proposal to place the subject on a future agenda.

None

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

City Administrator Don Doering provided updates on water plant developments:

Well #7 - Screens are in, drilling rig is gone, new rig has been delivered and is set up to begin operating soon.

Well #8 - Had preconstruction meeting and construction will begin the first week of March.

Audubon well is being drilled.

City Council agreed to work with Stratus Properties to construct an additional well.

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

Chairman Shelburne informed that Clearwater Express is planning to open February 20th.

6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE WINDMILL ESTATES PARTIAL REPLAT, FINAL PLAT, +/- 8.164 ACRES.

Adam France, Land Planner with BGE, and Rick Van den Bosch, Davidson Homes representative, presented the item and answered engineering questions from Commission members to confirm adequate drainage.

MOTION: Upon a motion to approve made by Holly Knee and seconded by Robert Barker III, the Commission members voted, and the motion carried unanimously, 5-0.

7. FUTURE AGENDA ITEMS

None

8. ADJOURN

MOTION: Upon a motion to adjourn made by Robert Barker III and seconded by Anne Sundquist, the Commission members voted and the motion carried unanimously, 5-0 and Chairman Shelburne adjourned the meeting at 4:43 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on January 16, 2023.

ATTEST:

Christian Gable, Asst. Interim City Secretary





March 3, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: Parkside Magnolia West – Preliminary Plat Review
City of Magnolia
AEI Job No. 230348.80-001**

Dear Mr. Doering:

We received the preliminary plat for the proposed Parkside Magnolia West on February 22, 2023. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. With the final plat submittal,
 - a. Provide evidence that the water, sanitary, drainage and pavement plans have been approved and provide easements on plat.
 - b. Per Sec. 1-1-2.02 and Table 11-2-1.03 in the Unified Development Code, provide a site plan for City review and approval for chapters four, five and six of the Unified Development Code for nonresidential development.
 - c. Provide street right of way dedications to the responsible owner.
 - d. Update the owner of the property to President.
2. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Please make all the revisions as requested and the applicable paperwork for this office for final approval. If you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Ms. Carla Padilla – IDS Engineering
Ms. Karleigh Brown – AEI Engineering, a Baxter & Woodman Company
Mr. Tommy Cormier Jr, PE. – AEI Engineering, a Baxter & Woodman Company
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company

11450 Compaq Center Drive, Suite 660 Houston, Texas 77070 • (281) 350-7027



February 22, 2023

City of Magnolia
Permit Office
18111 Buddy Riley Blvd.
Magnolia, Texas 77354

Reference: Parkside Magnolia West – Preliminary Plat Review
City of Magnolia, Texas
IDS Project No. 2024-014-07

Transmitted herewith please find:

- ✓ One (1) copy of Preliminary Plat Application
- ✓ One (1) copy of Parkside Magnolia West Preliminary Plat
- ✓ One (1) copy of the Meets and Bounds
- ✓ One (1) copy of FM 1774 & FM 1486 construction plans for reference
- ✓ One (1) copy of the City Planning Letter

To whom it may concern,

The above items are transmitted to you for plat review in response to your comment letter sent on February 9, 2023. Please contact me with any questions or comments at cstory@idseg.com.

Sincerely,

A handwritten signature in cursive script that reads "C. Story".

Carla A. Story, E.I.T.
Design Engineer

Enclosures

\\idseg.com\fs\Projects\2000\202401407 FM1774-FM1486 Plat\Eng-PM\Corres\2023-02-22 CoM 2nd Submittal\Transmittal to CoM.docx



Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

CONTACT INFORMATION

Applicant

Carla Padilla, IDS Engineering Group
Name

13430 Northwest Fwy., Suite 700
Street Address

Houston, Texas 77040
City, State Zip

832-590-7238
Phone

N/A
Fax

cpadilla@idseg.com
E-mail

Architect (if different)

N/A
Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Parkside 1774, LLC
Name

3003 W. Alabama St.
Street Address

Houston, Texas 77098
City, State Zip

N/A
Phone

N/A
Fax

N/A
E-mail

Engineer/Land Surveyor (if different)

Same as applicant
Name

Street Address

City, State Zip

Phone

Fax

E-mail

PROPERTY PROFILE

Property ID # R40284

Legal Description 1 BLOCK & 2 RESERVE (14.246 AC)
(Subdivision) (Lot) (Block)

Current Zoning N/A

Present Use of Property
VACANT, UNDEVELOPED PASTURED LAND

Proposed Use of the Property
PROPOSED MIXED-USE COMMERCIAL AND MULTI-FAMILY

Total Area of Site 14.246 AC

I, Carla Padilla (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.

Padilla

Signature of Applicant

1/26/2023

Date

STATE OF TEXAS COUNTY
OF MONTGOMERY

I, BRETT F. WALKER, PRESIDENT of PARKSIDE CAPITAL, LLC, a Texas limited liability company, being manager of PARKSIDE 1774, LLC, a Texas limited liability company, hereinafter referred to as "Owner" of the property subdivided in the above and foregoing map of PARKSIDE MAGNOLIA WEST, do hereby make subdivision of said property for and on behalf of said PARKSIDE 1774, LLC, according to the lines, streets, lots, alleys, parks, building lines, and easements thereon shown and designate said subdivision as PARKSIDE MAGNOLIA WEST. Located in the WILLIAM T. DUNLAVY, A-168, in Montgomery County, Texas and on behalf of said PARKSIDE 1774, LLC; and dedicate to public use, as such, the streets, alleys, parks and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

THIS is to certify that I, BRETT F. WALKER, PRESIDENT of PARKSIDE 1774, LLC, Owner of the property subdivided in the above foregoing map of PARKSIDE MAGNOLIA WEST, have complied or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioner's Court of Montgomery County, Texas.

FURTHER, Owner has dedicated and by these presents does dedicate to the use of the public for public utility purposes forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11'-6") for ten feet (10'-0") perimeter ground easements, seven feet, six inches (7'-6") for fourteen feet (14'-0") perimeter ground easements, or five feet six inches (5'-6") for sixteen feet (16'-0") perimeter ground easements, from a plane sixteen feet (16'-0") above ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. & A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21'-6") in width.

FURTHER, Owner has dedicated and by these presents does dedicate to the use of the public for public utility purposes forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10'-0") for ten feet (10'-0") back-to-back ground easements, eight feet (8'-0") for fourteen feet (14'-0") back-to-back ground easements, or seven feet (7'-0") for sixteen feet (16'-0") back-to-back ground easements, from a plane sixteen feet (16'-0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. & A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30'-0") in width.

FURTHER, Owner hereby dedicates forever to the public a strip of land, a minimum fifteen feet (15'-0") wide on each side of the centerline of any and all gullies, ravines, draws, sloughs, or other natural drainage courses located in the said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easements at any and all times for the purpose of constructing and/or maintaining drainage work and/or structures.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction as follows:

- 1) That drainage of septic tanks into any road, street, alley or other public ditches, either directly or indirectly, is strictly prohibited.
- 2) Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

We have also complied with applicable regulations hereto before adopted by the city council of the city of Magnolia, located in Montgomery County, Texas.

IN TESTIMONY WHEREOF, PARKSIDE 1774, LLC, a Texas limited liability company, has caused these presents to be signed by BRETT F. WALKER, PRESIDENT, thereunto authorized, this the _____ day of _____, 2023.

PARKSIDE 1774, LLC,
a Texas limited liability company

BY: PARKSIDE CAPITAL, LLC,
a Texas limited liability company,
Its Manager

BY: _____
BRETT F. WALKER, PRESIDENT

STATE OF TEXAS COUNTY
OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared BRETT F. WALKER, PRESIDENT of PARKSIDE 1774, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out and as the act and deed of said entity.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2023.

Notary Public in and for the State of Texas.

My Commission expires: _____

I, Michael L. Swan, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron pipe or rods having a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner and NAD83 state plane projections.

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT."

MICHAEL L. SWAN
Registered Professional Land Surveyor
Texas Registration No. 5551

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of PARKSIDE MAGNOLIA WEST as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 2023, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Scott A. Shelburne
Chairperson

Don Doering
Interim City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of PARKSIDE MAGNOLIA WEST as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 2023, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana
Mayor

Don Doering
Interim City Secretary

I, Jeff Johnson, P.E., County Engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Montgomery County Commissioners' Court.

I further certify that the plat of this subdivision complies with requirements for internal subdivision drainage as adopted by the Commissioners' Court; however, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other area of subdivision within the watershed.

Jeff Johnson, P.E.
Montgomery County Engineer

APPROVED by the Commissioners Court of Montgomery County, Texas, this _____ day of _____, 2023.

Robert C. Walker
Commissioner, Precinct 1

Charlie Riley
Commissioner, Precinct 2

Mark J. Keough
County Judge

James Noack
Commissioner, Precinct 3

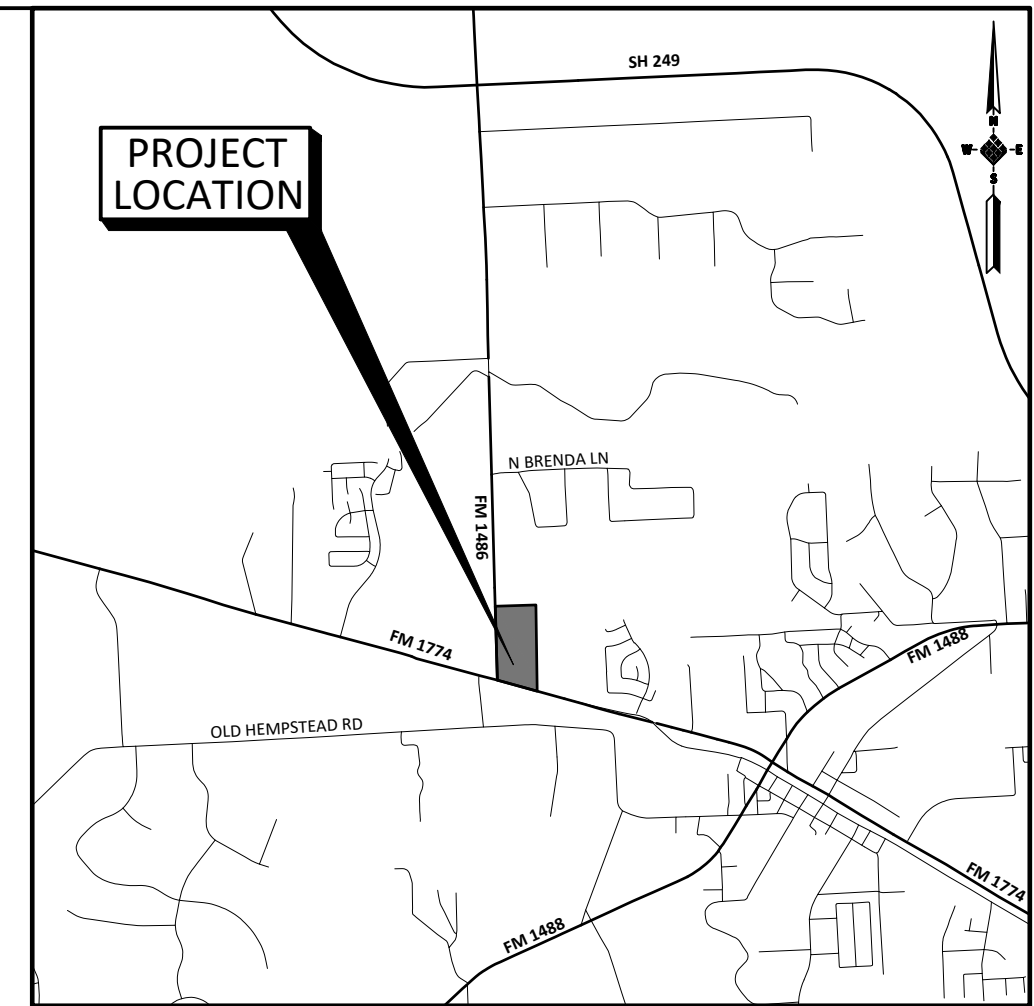
Matt Gray
Commissioner, Precinct 4

I, L. Brandon Steinmann, Clerk of the County Court of Montgomery County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 2023, at _____ o'clock __.M., and duly recorded on _____, 2023, at _____ o'clock __.M., in Cabinet _____, Sheet _____, of record of _____ for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

L. Brandon Steinmann, Clerk of the County Court
Montgomery County, Texas.

Issued _____ By: _____
Deputy



LOCATION MAP

N.T.S.
(KEY MAP # 211 G, H, L & M)

NOTES:

1. M.R.M.C.T. indicates Map Records Montgomery County Texas
B.L. indicates a building line
U.E. indicates a utility easement
A.E. indicates an aerial easement
STM. S.E. indicates a storm sewer easement
W.L.E. indicates a water line easement
S.S.E. indicates a sanitary sewer easement
VOL, PG indicates Volume, Page
M.C.M.R. indicates Montgomery County Map Records
M.C.R.P.R. indicates Montgomery County Real Property Records
M.C.O.P.R.R.P. indicates Montgomery County Official Public Records of Real Property
ESMT. indicates easement
F.H.E. indicates a fire hydrant easement
R.O.S.R. indicates a Restricted Open Space Reserve
R.C.O.S.R. indicates a Restricted Compensating Open Space Reserve
D.E. indicates a drainage easement
ETJ indicates Extraterritorial jurisdiction
IR indicates Iron Rod
FND IR indicates Found Iron Rod
PAE indicates Permanent Access Easement
PUE indicates Public Utility Easement
(PVT) indicates Private Street
D.R.M.C.T. indicates Deed Records Montgomery County Texas.
R.P.R.M.C. indicates Real Property Records Montgomery County
● indicates found 5/8" iron rod (unless otherwise noted)
○ indicates set 5/8" iron rod with plastic cap stamped "IDS" (unless otherwise noted)
2. The coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Surface Coordinates (NAD83) and may be brought to grid by applying the combined scale factor of 0.99997000.
3. All bearings based on the the Texas Coordinate System of 1983, Central Zone.

PARKSIDE MAGNOLIA WEST

A SUBDIVISION OF
14.246 ACRES

OUT OF
WILLIAM T. DUNLAVY SURVEY, A-168
MONTGOMERY COUNTY, TEXAS

**1 BLOCK &
2 RESERVES (14.246 AC.)**

OWNER: PARKSIDE 1774, LLC

A TEXAS LIMITED LIABILITY COMPANY
3003 W. ALABAMA ST.
HOUSTON, TEXAS 77098

ENGINEER:



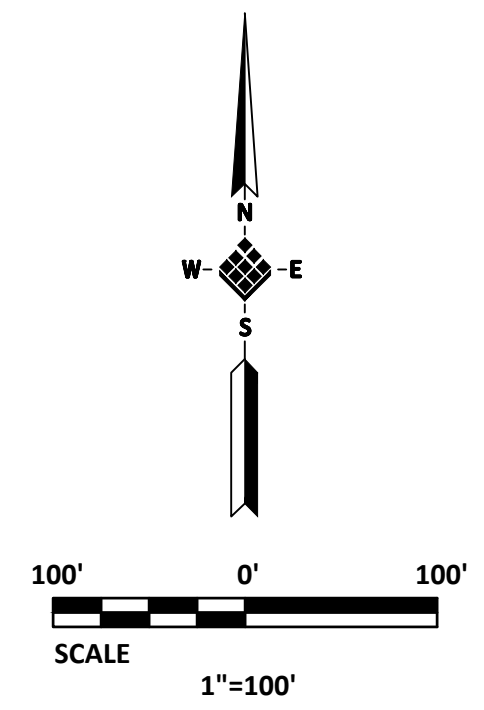
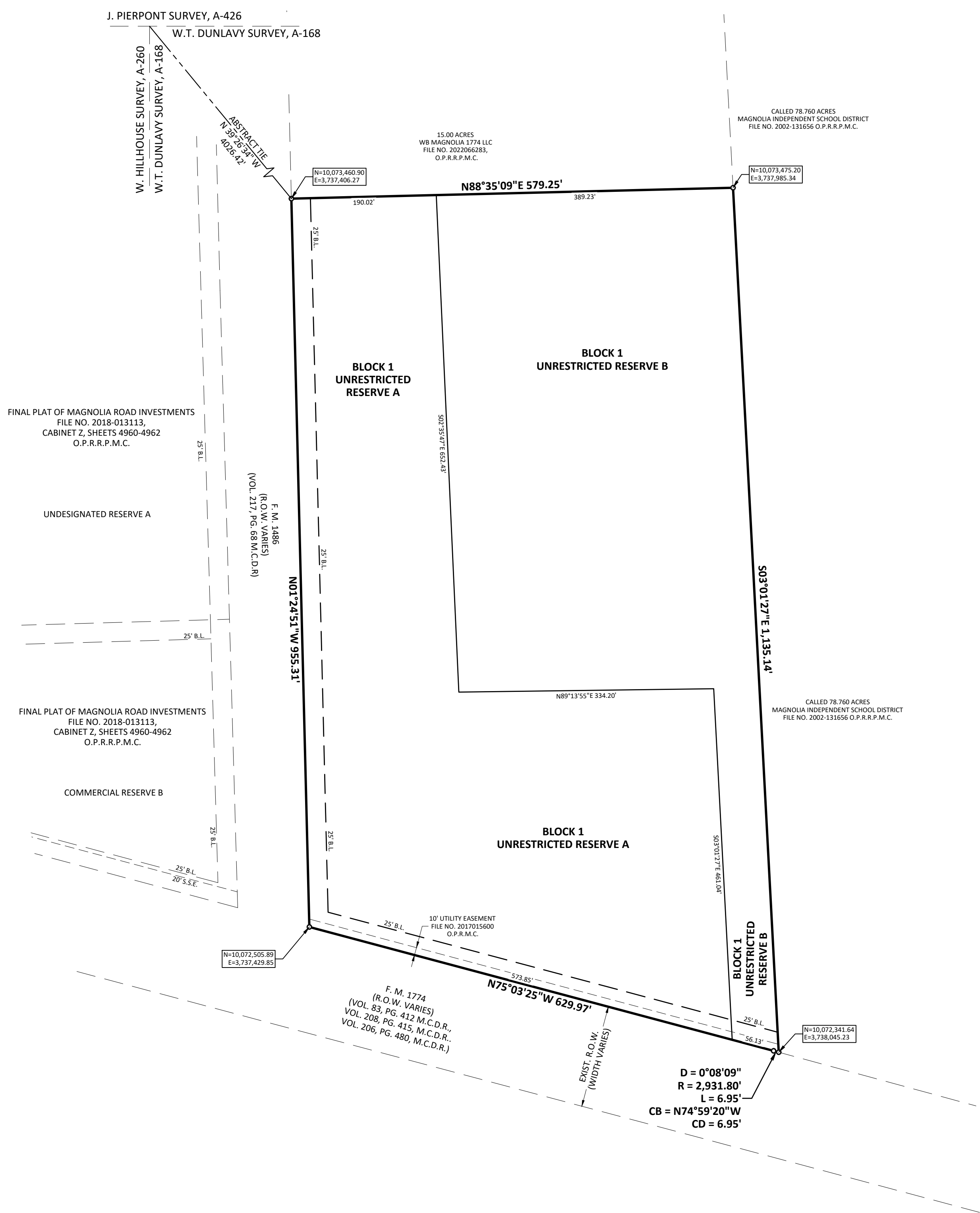
13430 NW. Freeway
Suite 700
Houston, Tx. 77040
713.462.3178
TxEng Firm 2726
TxSurv Firm 10110700

January 26, 2023 PROJECT No. 2024-014-07

SHEET 1 OF 2

\\s3\projects\2000\202401407 FM1774-FM1488 Plat\CAD\DWG\1774-1488 C-PLAT.dwg [1] Plotted Jan 26, 2023 at 11:14am by ahhman (last saved by: ahhman)

\\s3\projects\2000\202401407 FM1774-FM1486 Plat\CAD\DWG\1774-1486 C-PLAT.dwg [2] Plotted Jan 26, 2023 at 11:14am by altman (Last Saved by: altman)



RESERVE TABLE				
	RESERVE NAME	RESTRICTION	SQ. FT.	ACRES
(A)	RESERVE A	UNRESTRICTED	336,016	7.714
(B)	RESERVE B	UNRESTRICTED	284,531	6.532

OWNER:
PARKSIDE 1774, LLC
 3003 W. ALABAMA ST., HOUSTON, TEXAS 77098

PARKSIDE MAGNOLIA WEST
SHEET 2 OF 2

PARKSIDE MAGNOLIA WEST

**METES AND BOUNDS DESCRIPTION
OF 14.246 ACRES (620,547 SQUARE FEET) OF LAND
IN THE WILLIAM T. DUNLAVY SURVEY, A-168
MONTGOMERY COUNTY, TEXAS**

Being 14.246 acres (620,547 square feet) of land in the William T. Dunlavy Survey, Abstract 168, Montgomery County, Texas, and being a portion of the 29.246 acre tract described in the deed from TODD MISSION CORNER, LLC to PARKSIDE 1774, LLC recorded in File Number 2021043746 of the Official Public Records of Real Property of Montgomery County, Texas, and more particularly described by metes and bounds as follows with bearings based on the Texas Coordinate System of 1983, Central Zone:

BEGINNING at a 5/8-inch iron rod with cap stamped "IDS" found for the southwest corner of said 29.246 acre tract and the southwest corner of the herein described tract and being on the east right-of-way line of F. M. 1486 (width varies) as described in Volume 217, Page 68 of the Montgomery County Deed Records;

THENCE North 01° 24' 51" West - 955.31 feet, with the east right-of-way line of F. M. 1486 and the west line of the herein described tract, to a 5/8-inch iron rod with cap stamped "IDS" found for the northwest corner of the herein described tract;

THENCE North 88° 35' 09" East – 579.25 feet to a 5/8-inch iron rod with cap stamped "IDS" set for the northeast corner of the herein described tract and being on the westerly line of the called 78.760 acre tract of the deed from JAMES EDWARD WARE & JUANITA VIRGINIA WARE, to MAGNOLIA INDEPENDENT SCHOOL DISTRICT, recorded in File Number 2002-131656 of the Official Public Records of Real Property of Montgomery County, Texas;

THENCE South 03° 01' 27" East – 1135.14 feet to a 5/8-inch iron rod with cap stamped "IDS" found for the southeast corner of the herein described tract and being on the northeasterly line of the called 0.8833 acre tract of land described in the Agreed Judgment to THE STATE OF TEXAS recorded in Document Number 2012030757 of the Official Public Records of Real Property of Montgomery County, Texas and being at the beginning of a non-tangent curve to the left;

THENCE in a northwesterly direction, with said curve to the left and with the northeasterly line of said 0.8833 acre tract, having a radius of 2931.80 feet, a central angle of 00° 08' 09", a chord bearing and distance of North 74° 59' 20" West - 6.95 feet, and an arc distance of 6.95 feet to a 5/8-inch iron rod with cap stamped "IDS" found for the end of said curve;

THENCE North 75° 03' 25" West – 629.97 feet, with the northeasterly line of said 0.8833 acre tract, to the **POINT OF BEGINNING** and containing 14.246 acres (620,547 square feet) of land.

Prepared by:
IDS Engineering Group
Job No. 2024-014-07-550
January 23, 2023



Michael L. Swan
Registered Professional Land Surveyor
Texas Registration Number 5551



Integrity Title

CITY PLANNING LETTER

February 22, 2023

Effective Date: February 13, 2023

Job No. 2341158A

Ref: Parkside Magnolia West

STATE OF TEXAS:

COUNTY OF MONTGOMERY:

THIS IS TO CERTIFY: That after a careful examination of the records in the offices of the Clerk of this County (excluding U. C. C. Records), as to the property described as follows:

Being 14.246 acres (620,547 square feet) of land in the William T. Dunlavy Survey, Abstract 168, Montgomery County, Texas, and being a portion of the 29.246 acre tract described in the deed from TODD MISSION CORNER, LLC to PARKSIDE 1774, LLC recorded in File Number 2021043746 of the Official Public Records of Real Property of Montgomery County, Texas, and more particularly described by metes and bounds as follows with bearings based on the Texas Coordinate System of 1983, Central Zone:

BEGINNING at a 5/8-inch iron rod with cap stamped "IDS" found for the southwest corner of said 29.246 acre tract and the southwest corner of the herein described tract and being on the east right-of-way line of F. M. 1486 (width varies) as described in Volume 217, Page 68 of the Montgomery County Deed Records;

THENCE North $01^{\circ} 24' 51''$ West - 955.31 feet, with the east right-of-way line of F. M. 1486 and the west line of the herein described tract, to a 5/8-inch iron rod with cap stamped "IDS" found for the northwest corner of the herein described tract;

THENCE North $88^{\circ} 35' 09''$ East - 579.25 feet to a 5/8-inch iron rod with cap stamped "IDS" set for the northeast corner of the herein described tract and being on the westerly line of the called 78.760 acre tract of the deed from JAMES EDWARD WARE & JUANITA VIRGINIA WARE, to MAGNOLIA INDEPENDENT SCHOOL DISTRICT, recorded in File Number 2002-131656 of the Official Public Records of Real Property of Montgomery County, Texas;

THENCE South $03^{\circ} 01' 27''$ East - 1135.14 feet to a 5/8-inch iron rod with cap stamped "IDS" found for the southeast corner of the herein described tract and being on the northeasterly line of the called 0.8833 acre tract of land described in the Agreed Judgment to THE STATE OF TEXAS recorded in Document Number 2012030757 of the Official Public Records of Real Property of Montgomery County, Texas and being at the beginning of a non-tangent curve to the left;

THENCE in a northwesterly direction, with said curve to the left and with the northeasterly line of said 0.8833 acre tract, having a radius of 2931.80 feet, a central angle of $00^{\circ} 08' 09''$, a chord bearing and distance of North $74^{\circ} 59' 20''$ West - 6.95 feet, and an arc distance of 6.95 feet to a 5/8-inch iron rod with cap stamped "IDS" found for the end of said curve;



Integrity Title

THENCE North 75° 03' 25" West – 629.97 feet, with the northeasterly line of said 0.8833 acre tract, to the **POINT OF BEGINNING** and containing 14.246 acres (620,547 square feet) of land.

We find the record title to be apparently in:

PARKSIDE 1774, LLC

By virtue of that certain Special Warranty Deed dated April 1,, 2021 from Todd Mission Corner, LLC and recorded under Montgomery County Clerk's File Number 2021043746.

Subject to the following liens:

None found of record.

Subject to the following easements and encumbrances:

Utility Easement dated February 10, 2017 and recorded under Montgomery County Clerk's File Number 2017015600.

Drainage Easement dated May 25, 2022 and recorded under Montgomery County Clerk's File Number 2022066282.

Drainage Easement dated March 16, 1953 and recorded under Volume 348, Page 297 of the Montgomery County Deed Records.

Subject to the following restrictions:

None found of record.

We have made no examination as to special assessments or conflicts.

INTEGRITY TITLE COMPANY LLC

Chris Layne
ABTRACTOR

MONTGOMERY COUNTY MUNICIPAL UTILITY DISTRICT NO. 174

PLANS

FOR CONSTRUCTION OF

WATER DISTRIBUTION, SANITARY SEWER, AND STORMWATER DETENTION FACILITIES

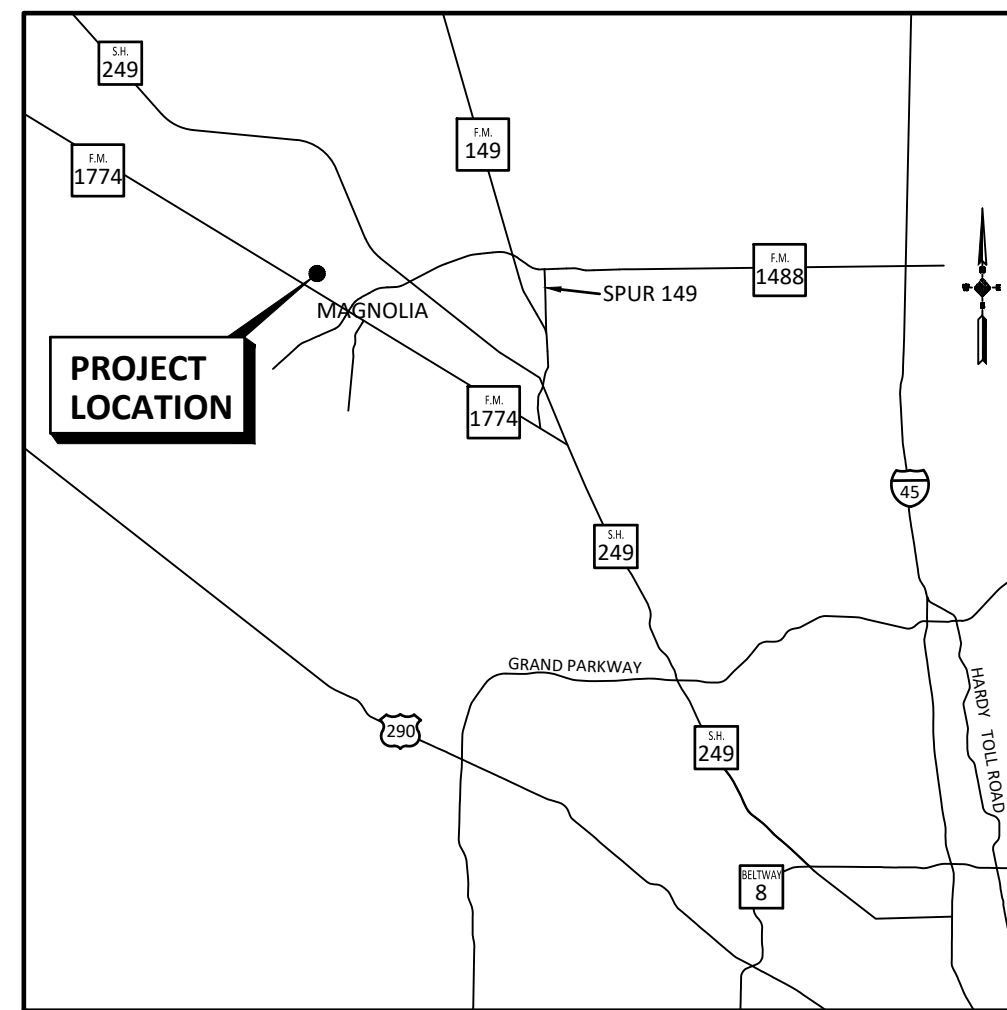
TO SERVE

29 ACRES LOCATED AT NORTHEAST CORNER OF F.M. 1774 AND F.M. 1486

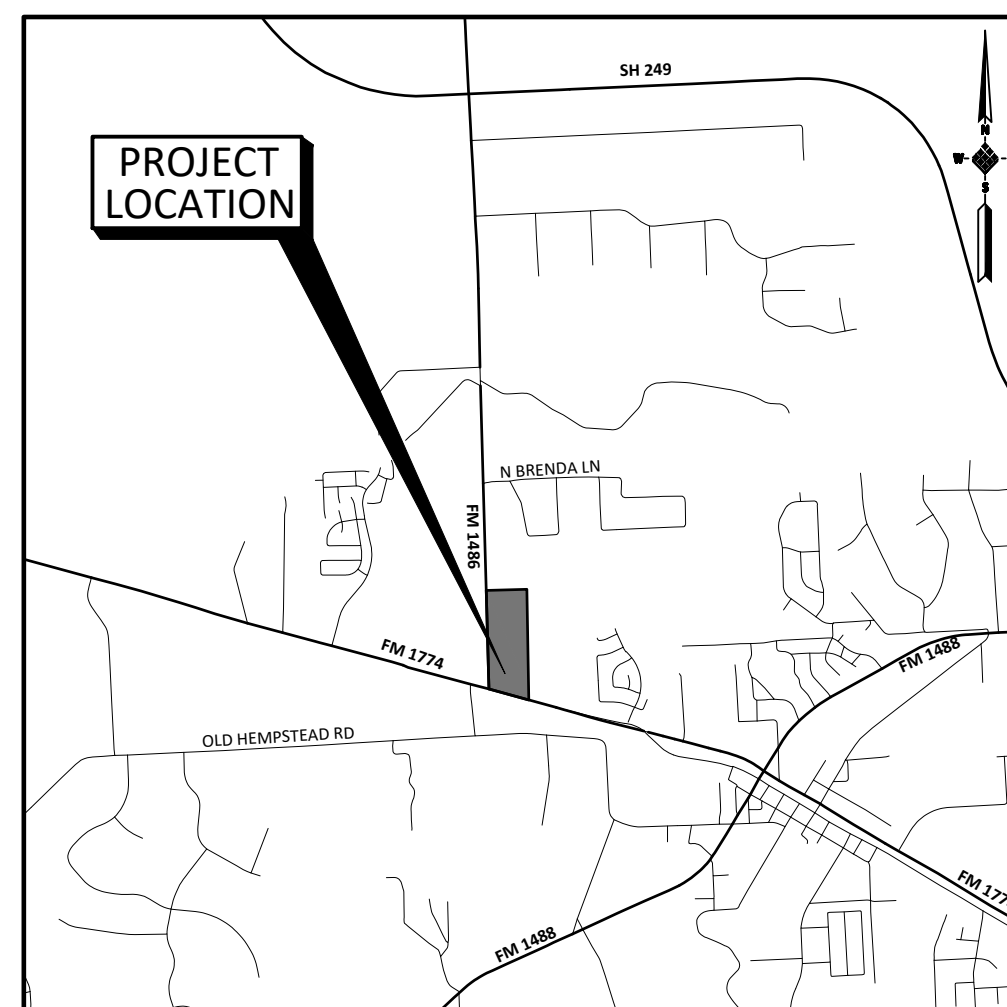
MONTGOMERY COUNTY, TEXAS

PROJECT NO. 2024-014-05

CONTRACT NO. 1



VICINITY MAP
N.T.S.

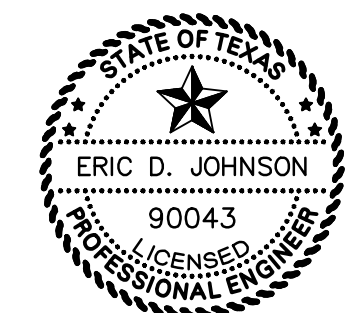


LOCATION MAP
N.T.S.
(KEY MAP # 211 G, H, L & M)

Sheet Number	Sheet Title
1	COVER SHEET
2	CONSTRUCTION NOTES
3	CLEARING AND GRUBBING PLAN
4	UTILITY INDEX
5	DRAINAGE AREA MAP
6	STORMWATER POLLUTION PREVENTION PLAN
7	DRAINAGE CALCULATIONS
8	DETENTION BASIN LAYOUT
9	FILL PLAN
10	PLAN AND PROFILE - OUTFALL I
11	PLAN AND PROFILE - OUTFALL II, OUTFALL III, AND OUTFALL IV
12	PLAN AND PROFILE - BASELINE A
13	PLAN AND PROFILE - BASELINE A
14	STORM SEWER DETAILS
15	STORM SEWER DETAILS
16	WATERLINE DETAILS
17	SANITARY SEWER DETAILS
18	POLLUTION PREVENTION DETAILS AND NOTES

IDS
Engineering Group

13430 NW. Freeway
Suite 700
Houston, Tx. 77040
713.462.3178
Tel: 713.462.3178
TxSurv Firm 10110700



Eric D. Johnson
ERIC D. JOHNSON
02/20/2023

SURVEYED BY: IDS

SHEET NO 1 OF 18 SHEETS

IDS DWG. NO. _____

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO THE EXISTING PUBLIC OR PRIVATE UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATERLINES, WASTEWATER COLLECTION SYSTEMS AND STORM SEWERS, DURING CONSTRUCTION. ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH CITY OF HOUSTON, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING "STANDARD CONSTRUCTION SPECIFICATIONS" WITH LATEST ADDENDA AND AMENDMENTS THERETO, NO SEPARATE PAY.

STORM SEWER CONSTRUCTION NOTES

- 1. STORM SEWERS AND LEADS SHALL BE REINFORCED CONCRETE PIPE, C-76, CLASS III WITH RUBBER GASKETED JOINTS, OR REINFORCED CONCRETE BOX, ASTM C1433, AND SHALL BE INSTALLED, BEDDED, AND BACKFILLED IN ACCORDANCE WITH CITY OF HOUSTON DRAWING NOS. 02317-02, 02317-03, 02317-05, 02317-06, AND 02317-07 AS APPLICABLE UNLESS SHOWN OTHERWISE ON DRAWINGS OR MODIFIED BY THE SPECIFICATIONS.

WATER CONSTRUCTION NOTES

- 1. SEPARATION DISTANCES FOR ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS COMMISSION ON ENVIRONMENTAL QUALITY," SECTION 290.44, LATEST PRINTING.

TCEQ WATER DISTRIBUTION SYSTEM - GENERAL CONSTRUCTION NOTES

- 1. THIS WATER DISTRIBUTION SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D. WHEN CONFLICTS ARE NOTED WITH LOCAL STANDARDS, THE MORE STRINGENT REQUIREMENT SHALL BE APPLIED. AT A MINIMUM, CONSTRUCTION FOR PUBLIC WATER SYSTEMS MUST ALWAYS MEET TCEQ'S "RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS."

CENTERPOINT ENERGY NOTES

- CAUTION: UNDERGROUND GAS FACILITIES
THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT 1-800-545-6005 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.

WASTEWATER CONSTRUCTION NOTES

- 1. SANITARY SEWER PIPE 10-INCH IN DIAMETER AND SMALLER SHALL BE SDR 26 P.V.C. SEWER PIPE MEETING ASTM SPECIFICATION D-3034, UNLESS OTHERWISE NOTED. SANITARY SEWER PIPE 12-INCH TO 15-INCH IN DIAMETER SHALL BE SDR 35 PVC MEETING ASTM SPECIFICATION D-3034.

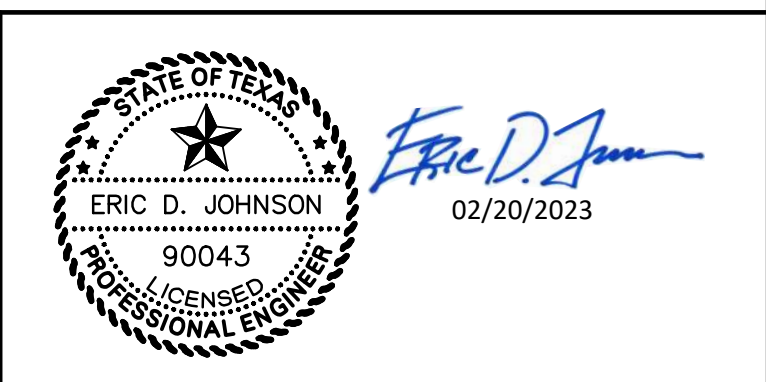
ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Additional Description. Includes terms like A.B. - ALL BELL, B.F. - BLIND FLANGE, B.L.S. - BACKSLOPE INTERCEPTOR STRUCTURE, etc.

CONSTRUCTION NOTES

- FILE NO:
DRAWING SCALE
HORZ : N/A
VERT : N/A
SHEET No: 2 of 18

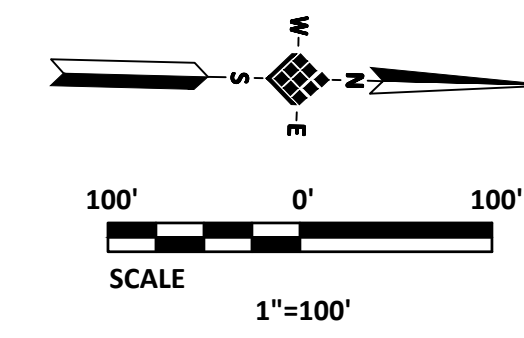
EXISTING SYMBOL LEGEND table with 3 columns: Symbol, Description, and Symbol. Includes symbols for ADVERTISEMENT SIGN, 'B' INLET, BRICK PILLAR, BUSH, 'C' INLET (ALL), CABLE TV JUNCTION BOX, CABLE TV MARKER, CATCH BASIN, CENTER LINE OF STREET, CORE BORE, ELECTRICAL JUNCTION BOX, EXISTING SANITARY MH, FENCE CORNER, FENCE LINE(CHAIN LINK), FENCE LINE (WOOD), FIRE HYDRANT, GAS LAMP, GAS METER, GAS SERVICE LINE MARKER, GAS VALVE, GATE, GREASE TRAP, GUY WIRE, CENTERPOINT MH, CENTERPOINT TOWER LEG, CENTERPOINT UGD CABLE MARKER, LIGHT, MAIL BOX, METAL POST (BOLLARD), OVERHEAD POWER LINES, PIPELINE MARKER, POWER POLE, PUBLIC PHONE, RADIO RELAY MAST, SANITARY CLEAN OUT, SERVICE POLE, SIGN STANDARD, SWBT MH, STORM MH, STREET BARRICADE, STREET LIGHT STANDARD, TELEPHONE POLE, TELEPHONE JUNCTION BOX, TRAFFIC SIGN, TRAFFIC SIGNAL CONTROL BOX, TRAFFIC LIGHT STANDARD, TRANSFORMER BOX, TREE, UGD TEL CABLE MARKER, VENT PIPE, WATER METER, WATER VALVE, WATER WELL, WELLHEAD.



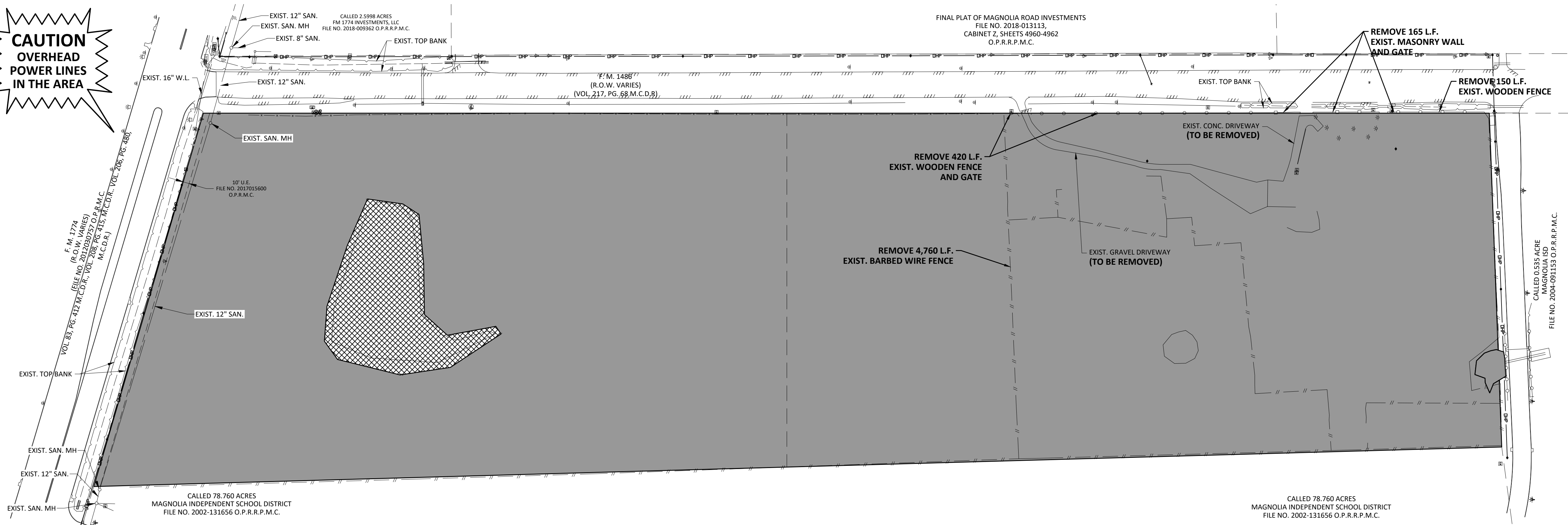
IDS Engineering Group logo and contact information: 13430 NW. Freeway Suite 700 Houston, Tx. 77040 713.462.3178 TxEng Firm 2726 TdSurv Firm 10110700

Approval table with columns: APPROVED (E.D.J.), DESIGNED BY (C.A.P.), DRAWN BY (P.T.A.), DATE (FEBRUARY 2023), JOB NO. (2024-014-05). Includes a BENCHMARK description: NGS Benchmark PID BL1869, 1.0 MILE SOUTH FROM MAGNOLIA, 0.1 MILE SOUTHWEST ALONG FIFTH STREET FROM THE CROSSING OF MAGNOLIA CONROE ROAD AND THE MISSOURI PACIFIC RAILROAD IN MAGNOLIA, THENCE 0.15 MILE SOUTHEAST ALONG COMMERCE STREET, AND THENCE 0.75 MILE SOUTH ALONG NICHOLS SAW MILL ROAD, SET AT THE SECOND POLE SOUTH OF A LINE CROSSING THE ROAD, 322.5 FEET NORTH OF A PRIVATE DRIVE LEADING WEST TO A SMALL ONE STORY WHITE HOUSE, 226 FEET SOUTH OF A PRIVATE DRIVE LEADING EAST TO A ONE STORY HOUSE, 46.5 FEET WEST OF THE CENTERLINE OF NICHOLS SAW MILL ROAD, 2 FEET NORTH OF THE POWER POLE, AND 1.0 FOOT EAST OF THE WESTERN RIGHT OF WAY FENCE. DISK IS SET LEVEL WITH THE GROUND, ACCESS TO WHICH IS HAD THROUGH A 4 INCH PLASTIC SREW PLUS NAVD88, 2011 ADJ. ELEVATION = 231.30'

WATER DISTRIBUTION, SANITARY SEWER, AND STORMWATER DETENTION FACILITIES TO SERVE 29 ACRES LOCATED AT NORTHEAST CORNER OF FM 1774 AND FM 1486





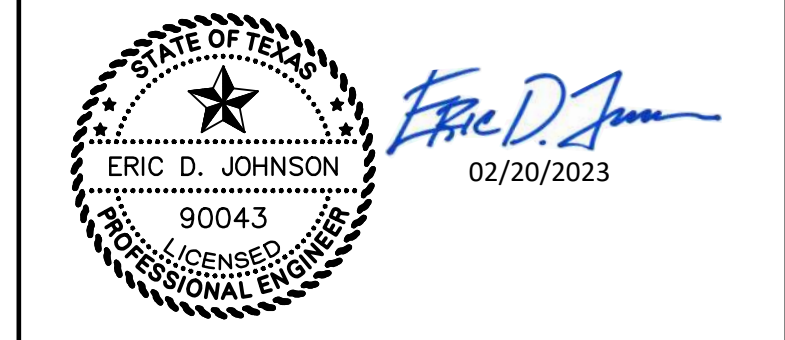
**CAUTION
OVERHEAD
POWER LINES
IN THE AREA**



CLEARING NOTES

- CONTRACTOR MUST LIMIT HIS OPERATION TO ONLY THOSE AREAS SHOWN TO BE CLEARED.
- CONTRACTOR TO TAKE ALL DUE PRECAUTIONS TO WORK WITHIN THE CLEARING LIMITS SHOWN. UNDER NO CIRCUMSTANCES IS THE CONTRACTOR ALLOWED IN AREAS NOT DESIGNATED AS CLEAR ZONES WITHOUT FIRST OBTAINING OWNER PERMISSION. CONTRACTOR SHALL PAY \$200.00 PER INCH DIAMETER PER TREE FOR ANY TREES DAMAGED OR DESTROYED OUTSIDE CLEAR ZONES.
- LOCATION OF STABILIZED CONSTRUCTION ACCESS TO BE APPROVED BY OWNER IF IN LOCATION OTHER THAN SHOWN ON PLANS.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES, PUBLIC AND PRIVATE. ANY DAMAGE INCURRED TO EXISTING FACILITIES, AS A RESULT OF CLEARING OPERATION WILL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DRAINAGE FOR AREAS THAT RETAIN WATER OR AREAS THAT LIMIT CLEARING OPERATIONS DUE TO SITE CONDITIONS, IN A MANNER APPROVED BY THE OWNER AT NO SEPARATE PAY. CONTRACTOR TO REMOVE TEMPORARY DRAINAGE FACILITIES OR RESTORE TEMPORARY DRAINAGE FACILITIES TO ORIGINAL SITE CONDITIONS, NO SEPARATE PAY.
- CONTRACTOR TO LEVEL AND RESTORE TO ORIGINAL GROUND ELEVATION ANY HOLES, RUTS AND DEPRESSIONS CAUSED AS A RESULT OF CLEARING AND GRUBBING OPERATION. ALL CLEARING LIMITS TO BE VOID OF LOW AREAS THAT RETAIN WATER AS A RESULT OF CONSTRUCTION OPERATIONS. NO SEPARATE PAY.
- OWNER RESERVES THE RIGHT TO SAVE ANY TREE LOCATED WITHIN THE CLEARING LIMITS.

 APPROXIMATE LIMITS OF CLEARING AND GRUBBING (INCLUDING CHIP AND HAUL) (29.1 ACRES)
 APPROXIMATE LIMITS OF POND DRAINING AND DEMUCKING (1.0 ACRES)



IDS Engineering Group
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 713.462.3178
 TxEng Firm 2726
 TxSurv Firm 10110700

APPROVED: E.D.J. DATE: FEBRUARY 2023
 DESIGNED BY: C.A.P. DRAWN BY: P.T.A. JOB NO: 2024-014-05
 BENCHMARK:
 NGS Benchmark PID BL1869
 1.0 MILE SOUTH FROM MAGNOLIA, 0.1 MILE SOUTHWEST ALONG FIFTH STREET FROM THE CROSSING OF MAGNOLIA CONROE ROAD AND THE MISSOURI PACIFIC RAILROAD IN MAGNOLIA, THENCE 0.15 MILE SOUTHEAST ALONG COMMERCE STREET, AND THENCE 0.75 MILE SOUTH ALONG NICHOLS SAW MILL ROAD. SET AT THE SECOND POLE SOUTH OF A LINE CROSSING THE ROAD, 322.5 FEET NORTH OF A PRIVATE DRIVE LEADING WEST TO A SMALL ONE STORY WHITE HOUSE, 226 FEET SOUTH OF A PRIVATE DRIVE LEADING EAST TO A ONE STORY HOUSE, 46.5 FEET WEST OF THE CENTERLINE OF NICHOLS SAW MILL ROAD, 2 FEET NORTH OF THE POWER POLE, AND 1.0 FOOT EAST OF THE WESTERLY RIGHT OF WAY FENCE. DISK IS SET LEVEL WITH THE GROUND, ACCESS TO WHICH IS HAD THROUGH A 4 INCH PLASTIC SCREW PLUS.
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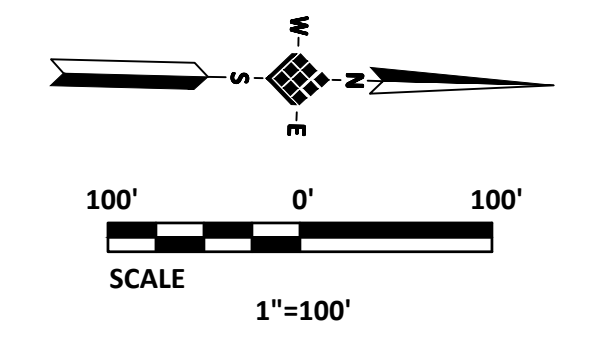
CLEARING AND GRUBBING PLAN

FILE NO:
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 HORZ: 1" = 100'
 VERT: N/A
 SHEET No: **3 OF 18**

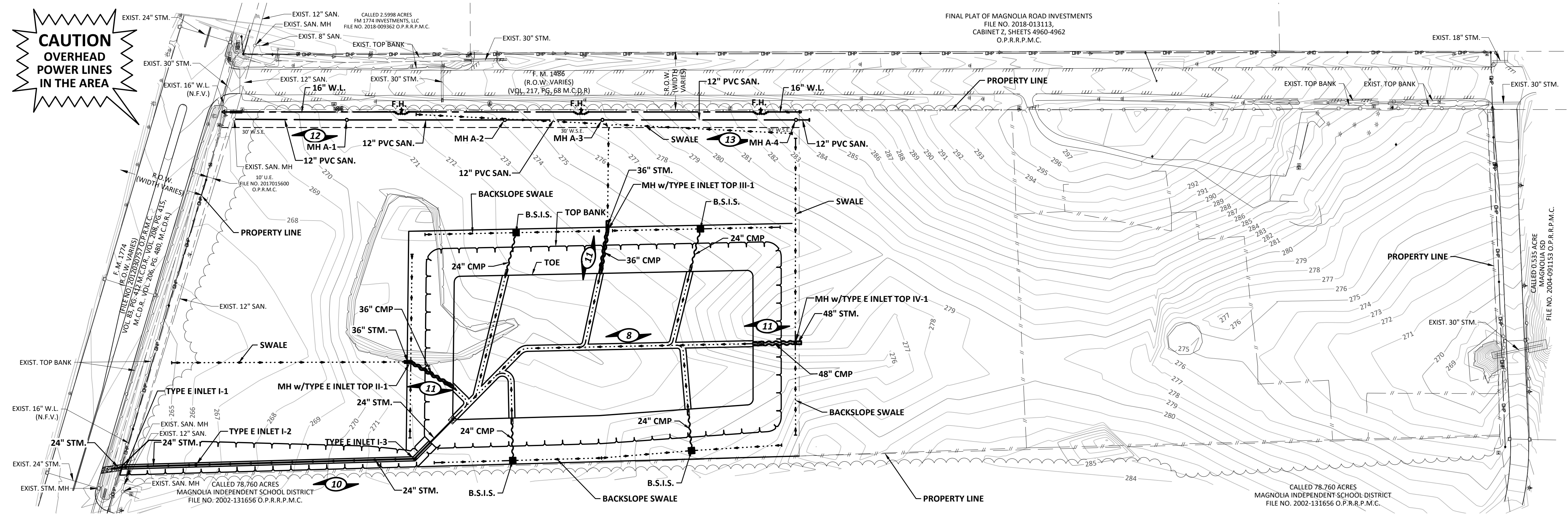
\\idsegg.com\fs1\Projects\2024\202401405-FM1774-FM1486-WSD-CAD\DWG\C-CLEAR.dwg (CLEAR) Plotted Feb 20, 2023 at 2:42pm by taltman (Last Saved by: Taltman)

App.	
Revisions	
No.	Date

App.	
Revisions	
Date	
No.	



**CAUTION
OVERHEAD
POWER LINES
IN THE AREA**



LEGEND

- EXIST SANITARY SEWER
- EXIST SANITARY MANHOLE
- EXIST WATERLINE
- SHEET INDEX
- EXIST CONTOUR
- PROP SANITARY SEWER
- PROP SANITARY MANHOLE
- PROP WATERLINE
- PROP FLUSHING VALVE w/GATE VALVE
- PROP REDUCER
- PROP 2" BLOW OFF VALVE w/PLUG
- CENTER ONE FULL JOINT OF WATER LINE OVER OR UNDER SANITARY SEWER
- PROP STORM SEWER AND MANHOLE

STATE OF TEXAS

ERIC D. JOHNSON
 LICENSED PROFESSIONAL ENGINEER
Eric D. Johnson
 02/20/2023

IDS Engineering Group
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 713.462.3178
 TxEng Firm 2726
 TxSurv Firm 10110700

APPROVED	E.D.J.	DATE	FEBRUARY 2023
DESIGNED BY	C.A.P.	DRAWN BY	P.T.A.
		JOB NO.	2024-014-05
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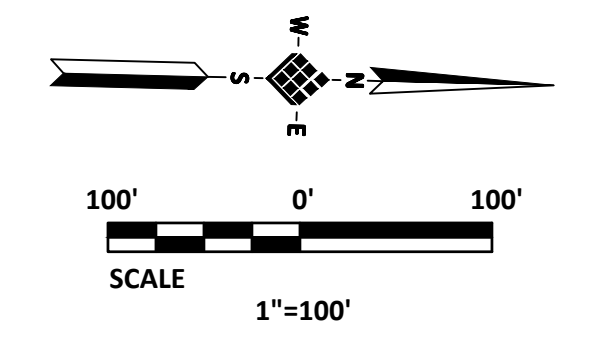
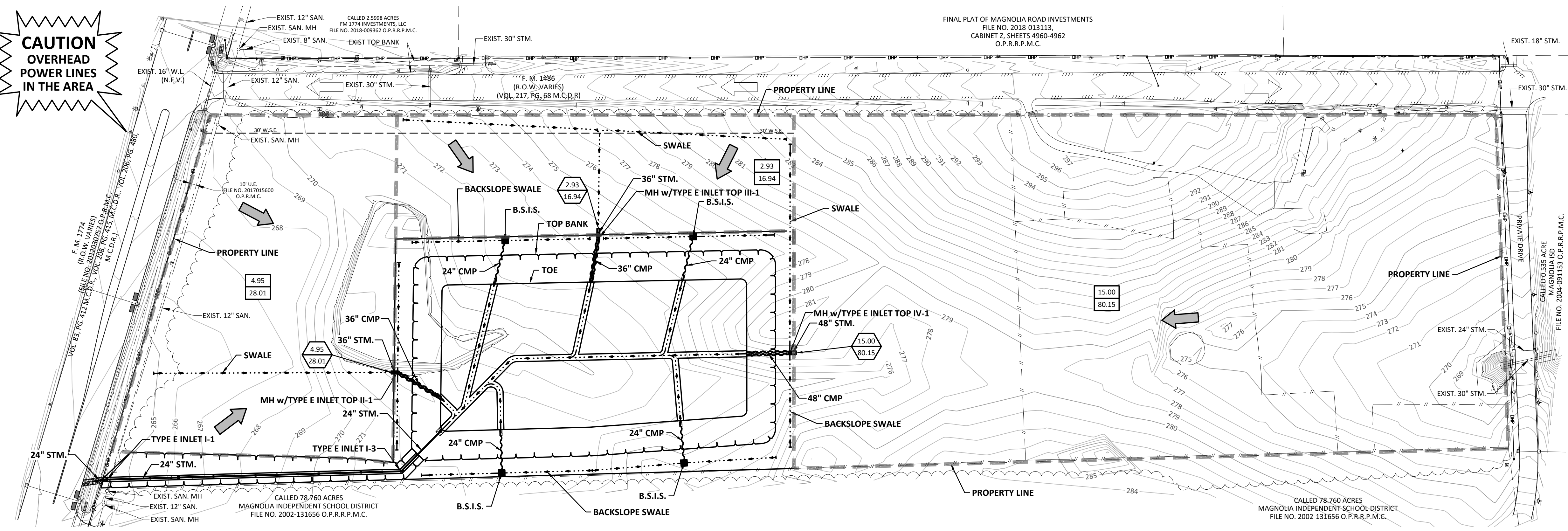
WATER DISTRIBUTION, SANITARY SEWER, AND STORMWATER DETENTION FACILITIES TO SERVE 29 ACRES LOCATED AT NORTHEAST CORNER OF FM 1774 AND FM 1486

UTILITY INDEX

FILE NO:	
DRAWING SCALE	
HORZ :	1" = 100'
VERT :	N/A
SHEET No:	4 OF 18

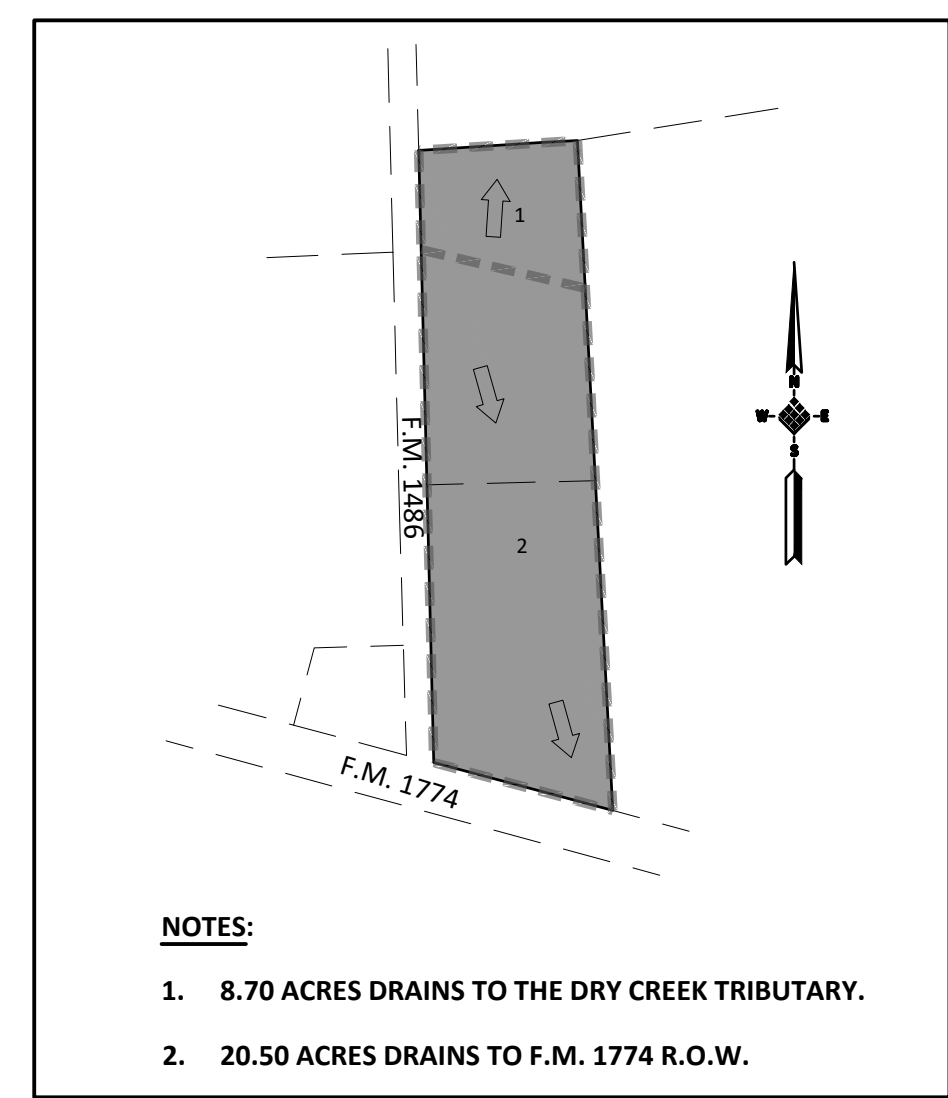
\\idsegg.com\fs\Projects\2000\202401405 FM1774-FM1486 WSD\CAD\DWG\C-SHINDX.dwg [INDX] Plotted Feb 20, 2023 at 2:52pm by tallman (Last Saved by: tallman)

**CAUTION
OVERHEAD
POWER LINES
IN THE AREA**



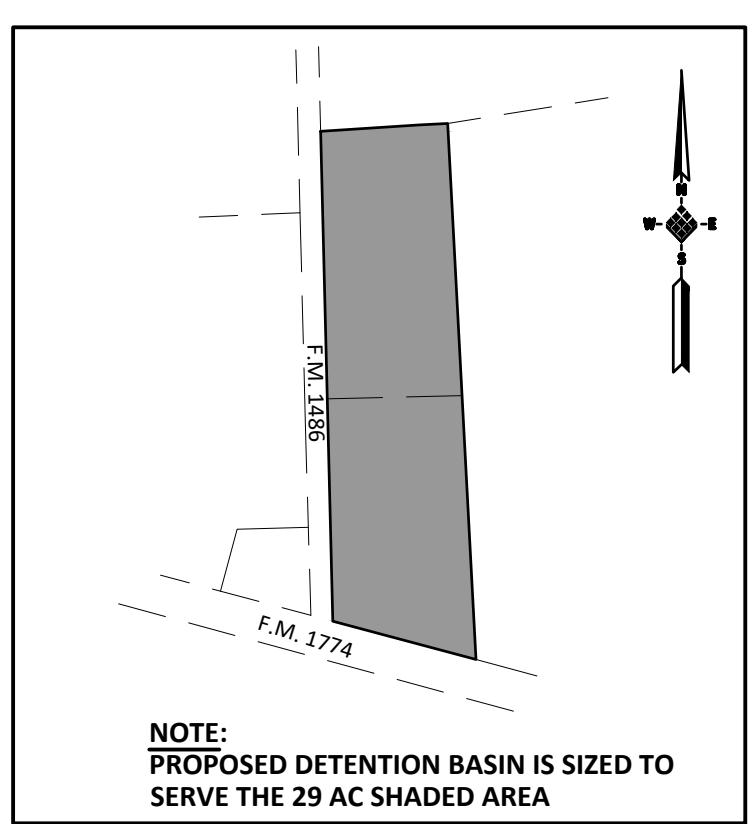
LEGEND

- PROP STORM SEWER AND MANHOLE
- INDICATES APPROXIMATE DRAINAGE BOUNDARY
- DRAINAGE AT INLET
- DRAINAGE AT STORM SEWER
- EXISTING CONTOUR
- PROPOSED SHEET FLOW DIRECTION
- EXISTING OFF SITE SHEET FLOW DIRECTION



- NOTES:**
- 8.70 ACRES DRAINS TO THE DRY CREEK TRIBUTARY.
 - 20.50 ACRES DRAINS TO F.M. 1774 R.O.W.

**EXISTING CONDITION
DRAINAGE AREA MAP**
N.T.S.



NOTE:
PROPOSED DETENTION BASIN IS SIZED TO SERVE THE 29 AC SHADED AREA

SERVICE AREA MAP
N.T.S.

TxDOT Tracking number (TR#)	TR22050138
Highway	N/A
TxDOT frontage	630 FT
TxDOT Area (the strip of site within 150-ft frontage)	N/A AC
Total tract area based on submitted survey map	29.2 AC
Proposed disturbed area	29.2 AC
Project contributing drainage area to TxDOT	0.4 AC
Off-site contributing drainage area (if applicable)	N/A AC
Increased impervious area	29.2 AC
10-yr required detention volume	N/A AC-FT
10-yr proposed detention volume	12.7 AC-FT
10-yr design W.S.E.	268.1 FT
10-yr Pre-developed peak flow	48.7 (to FM 1774) CFS
10-yr Post-developed peak flow	31.2 (to north) CFS
(Before detention/restrictor)	209.8
10-yr Proposed discharge to TxDOT R.O.W. (With detention/restrictor)	10.6 CFS
100-yr required detention volume	25.3 AC-FT
100-yr proposed detention volume	25.9 AC-FT
100-yr design W.S.E.	272 FT
100-yr Pre-developed peak flow	80 (to FM 1774) CFS
100-yr Post-developed peak flow	48.8 (to north) CFS
(Before detention/restrictor)	316 CFS
100-yr Proposed discharge to TxDOT R.O.W. (With detention/restrictor)	15.6 CFS
TxDOT as-built or calculated allowable discharge	33.9 CFS
Primary tie-in/outfall structure size	24 Inch
Primary restrictor size	24 in x 7 in Inch
Primary restrictor maximum discharge	33.9 CFS
Secondary outfall device size (If applicable)	N/A CFS
Secondary outfall discharge (If applicable)	N/A CFS
Maximum combined pumped discharge (If applicable)	N/A GPM (CFS)
% Pumped discharge volume (If applicable)	N/A AC-FT
Effective gravity discharge elevation (If applicable)	N/A FT
B.F.E. per effective FIRM (If applicable)	N/A FT
Proposed fill below B.F.E. (If applicable)	N/A AC-FT
Proposed cut below B.F.E. (If applicable)	N/A AC-FT

ERIC D. JOHNSON
02/20/2023
90043
LICENSED PROFESSIONAL ENGINEER

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713.462.3178
TxSurv Firm 2726
TxSurv Firm 10110700

APPROVED	E.D.J.	DATE	FEBRUARY 2023
DESIGNED BY	C.A.P.	DRAWN BY	P.T.A.
		JOB NO.	2024-014-05

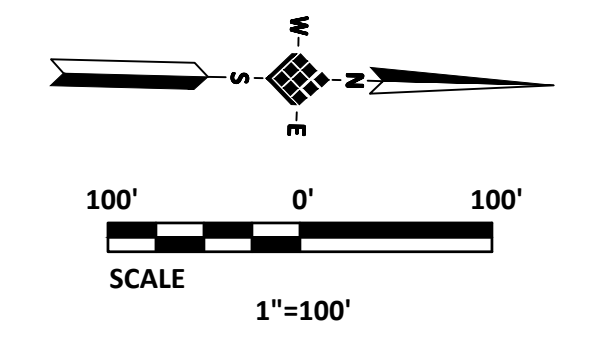
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NAVD88, 2011 ADJ. ELEVATION = 231.30'

WATER DISTRIBUTION, SANITARY SEWER, AND STORMWATER DETENTION FACILITIES TO SERVE 29 ACRES LOCATED AT NORTHEAST CORNER OF FM 1774 AND FM 1486

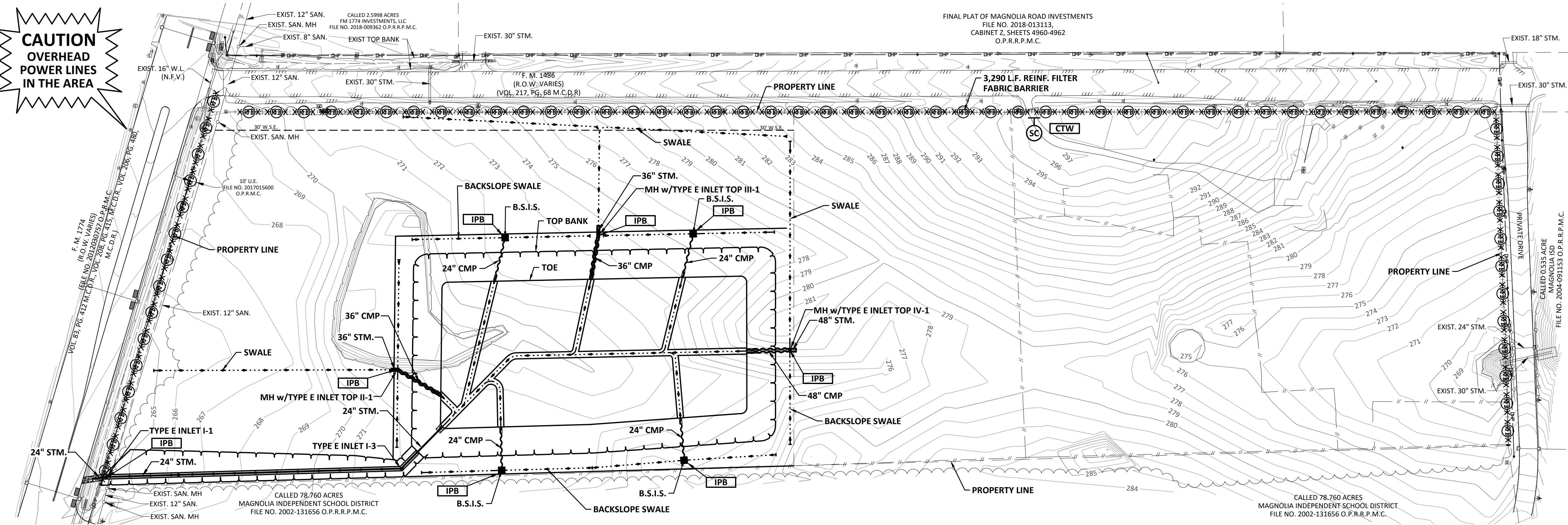
DRAINAGE AREA MAP

FILE NO:	
DRAWING SCALE	
HORZ: 1" = 100'	
VERT: N/A	
SHEET No:	5 OF 18

App.	
Revisions	
No.	Date



**CAUTION
OVERHEAD
POWER LINES
IN THE AREA**



LEGEND

- EXISTING CONTOUR
- GRAVEL BAGS
- INLET PROTECTION BARRIER
- CONCRETE TRUCK WASHOUT AREA
- STABILIZED CONSTRUCTION ACCESS
- REINFORCED FILTER FABRIC BARRIER

STATE OF TEXAS

ERIC D. JOHNSON
 02/20/2023
 90043
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 13430 NW. Freeway
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APPROVED BY:	E.D.J.	DATE:	FEBRUARY 2023
DESIGNED BY:	C.A.P.	DRAWN BY:	P.T.A.
BENCHMARK:		JOB NO. 2024-014-05	
<small>NGS Benchmark PID BL1869 1.0 MILE SOUTH FROM MAGNOLIA, 0.1 MILE SOUTHWEST ALONG FIFTH STREET FROM THE CROSSING OF MAGNOLIA CONROE ROAD AND THE MISSOURI PACIFIC RAILROAD IN MAGNOLIA, THENCE 0.15 MILE SOUTHEAST ALONG COMMERCE STREET, AND THENCE 0.75 MILE SOUTH ALONG NICHOLS SAW MILL ROAD. SET AT THE SECOND POLE SOUTH OF A LINE CROSSING THE ROAD, 322.5 FEET NORTH OF A PRIVATE DRIVE LEADING WEST TO A SMALL ONE STORY WHITE HOUSE, 226 FEET SOUTH OF A PRIVATE DRIVE LEADING EAST TO A ONE STORY HOUSE, 46.5 FEET WEST OF THE CENTERLINE OF NICHOLS SAW MILL ROAD, 2 FEET NORTH OF THE POWER POLE, AND 1.0 FOOT EAST OF THE WESTERLY RIGHT OF WAY FENCE. DISK IS SET LEVEL WITH THE GROUND, ACCESS TO WHICH IS HAD THROUGH A 4 INCH PLASTIC SCREW PLUS. NAVD88, 2011 ADI. ELEVATION = 231.31' 30"</small>			

**WATER DISTRIBUTION, SANITARY SEWER,
AND STORMWATER DETENTION FACILITIES
TO SERVE
29 ACRES LOCATED AT NORTHEAST
CORNER OF FM 1774 AND FM 1486**

**STORMWATER POLLUTION
PREVENTION PLAN**

FILE NO:	
DRAWING SCALE	
HORIZ :	1" = 100'
VERT :	N/A
SHEET No:	6 OF 18

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App.
Revisions
No.
Date

STORM SEWER CALCULATIONS
IDS ENGINEERING GROUP

CLIENT: Parkside 1774, LLC
PROJECT: FM 1774 & FM 1486 WSD
IDS JOB NO: 2024-014-05
DATE ISSUED: 10/4/2022
DATE LAST MODIFIED: 10/4/2022 BY: CAP

STORM EVENT FREQUENCY: 100 YEAR

100-YEAR WSEL: 272.00
25-YEAR WSEL: 269.40

Line	Manhole/Inlet Number		Reach Length (feet)	Pipe Size (inches)	Span (inches)	Pipe Material	Min Pipe Grade (%)	Area (acres)	Total Area (acres)	Runoff Coefficient	Rainfall Intensity (in/hr)	T.C. (minutes)	Q (cfs)	Design		Actual Velocity (fps)	Hydraulic Gradient (%)	Minor Loss Code	Change in Head (feet)	Minor Losses (feet)	Upstream Top of Curb (feet)	Hydraulic Grade		Manhole Drop (D/S) (feet)	Pipe Flowline		Depth from Gutter to HGL (feet)
	Upstream	Downstream												Flow (cfs)	Velocity (fps)							Upstream (feet)	Downstream (feet)		Upstream (feet)	Downstream (feet)	
I	Outflow	3	96	24		RCP	0.18%	2.32	2.32	0.80	7.39	26.6	13.71	9.77	3.11	4.36	0.367%	7	0.35	0.37	274.50	271.98	271.26		262.70	262.52	2.19
I	3	2	365	24		RCP	0.18%	0.00	2.32	0.80	6.49	34.0	13.71	9.60	3.06	4.36	0.367%	0	1.34	0.00	274.00	271.26	269.92		262.52	261.86	2.41
I	2	1	118	24		RCP	0.18%	0.00	2.32	0.80	5.89	40.5	13.71	9.60	3.06	4.36	0.367%	0	0.43	0.00	273.00	269.92	269.48		261.86	261.65	2.75
I	1	Ditch	23	24		RCP	0.18%	0.00	2.32	0.80	5.46	46.4	13.71	9.60	3.06	4.36	0.367%	0	0.08	0.00	273.10	269.48	269.40		261.65	261.61	3.29
II	Stub	1	10	36		RCP	0.11%	4.95	4.95	0.80	7.07	28.3	28.01	22.12	3.13	3.96	0.176%	7	0.02	0.30	273.00	270.22	269.89		263.60	263.59	2.45
II	1	OF-2	82	36		CMP	0.35%	0.00	4.95	0.80	6.30	35.3	28.01	21.37	3.02	3.96	0.601%	0	0.49	0.00	273.00	269.89	269.40		263.59	263.30	2.78
III	Stub	1	10	36		RCP	0.11%	2.93	2.93	0.80	7.23	27.1	16.94	22.12	3.13	2.40	0.065%	7	0.01	0.11	273.30	269.68	269.56		263.96	263.95	3.29
III	1	OF-3	72	36		CMP	0.35%	0.00	2.93	0.80	6.39	34.3	16.94	21.37	3.02	2.40	0.220%	0	0.16	0.00	273.30	269.56	269.40		263.95	263.70	3.41
IV	Stub	1	10	48		RCP	0.07%	15.00	15.00	0.80	6.68	31.1	80.15	38.00	3.02	6.38	0.311%	7	0.03	0.79	273.90	270.97	270.15		263.78	263.77	2.60
IV	1	OF-4	71	48		CMP	0.24%	0.00	15.00	0.80	6.13	37.8	80.15	38.12	3.03	6.38	1.061%	0	0.75	0.00	273.30	270.15	269.40		263.77	263.60	2.82

NOTES:

- This spreadsheet has been developed using the Montgomery County criteria outlined in the Drainage Criteria Manual for Montgomery County Texas. The Rational Method has been used to calculate flows, and Manning's Formula for pipes flowing full has been used to calculate velocities.
- Minimum storm sewer grades and maximum velocities as established in the City of Houston design criteria have been used to establish the grades used in this system.
- Calculations of depth to HGL based on 4-inch curb.
- Starting HGL is the 25 year WSEL in the drainage channel, or the top of pipe, which ever is greater.
- Rainfall intensity is interpolated from the Intensity-Duration data provided by Montgomery County Engineering, which is derived from NOAA Atlas 14.

\\FS3\Projects\2000\202401405 FM1774-FM1486 WSD\Eng-PM\Calcs\Drainage\[[MoCo Storm Calculations 2022-10-04.xlsx]CURVE4_TC15

Minor Loss Codes			
Code	Equation	K-Value	Scenario
0	N/A	N/A	No minor losses
1	$(V_{up}^2 - KV_{down}^2)/2g$	0.25	Inlet on mainline with branched lateral
2	$(V_{up}^2 - KV_{down}^2)/2g$	0.5	Inlet on Main line
3	$(V_{up}^2 - KV_{down}^2)/2g$	0.25	Manhole on mainline with 90° lateral
4	$(V_{up}^2 - KV_{down}^2)/2g$	0.35	Manhole on mainline with 60° lateral
5	$(V_{up}^2 - KV_{down}^2)/2g$	0.5	Manhole on mainline with 45° lateral
6	$(V_{up}^2 - KV_{down}^2)/2g$	0.75	Manhole on mainline with 22.5° lateral
7	$(KV_{up}^2)/2g$	1.25	Inlet or Manhole at the beginning of line



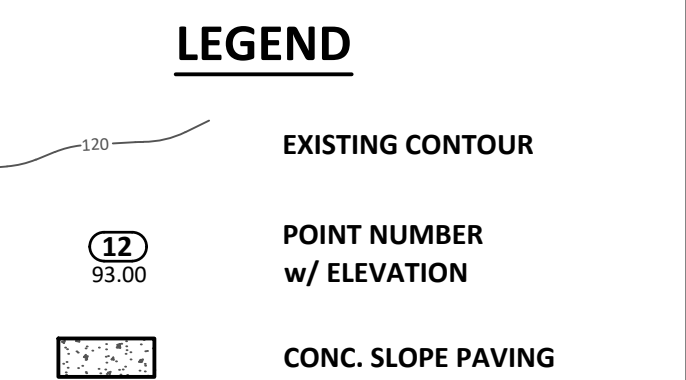
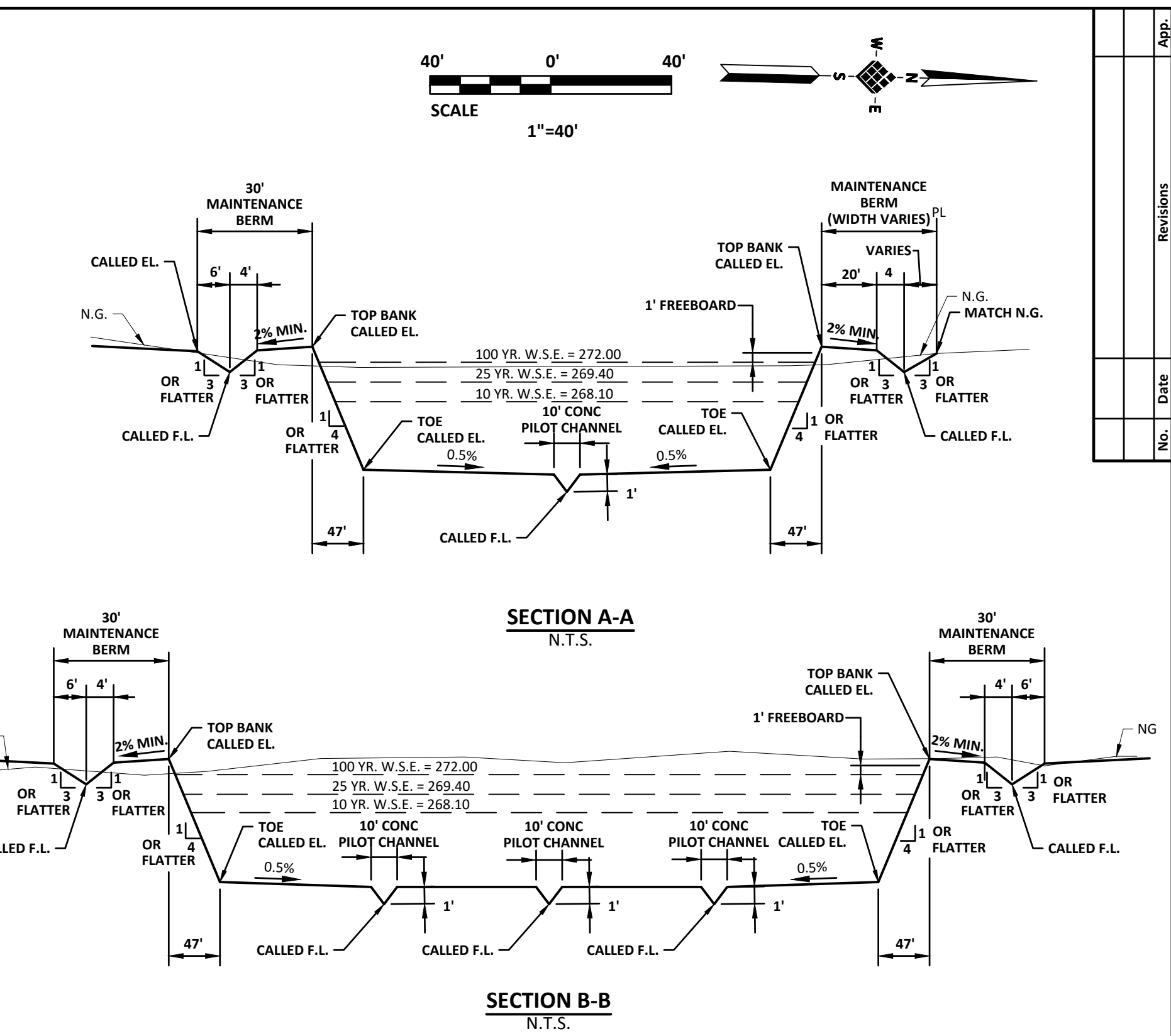
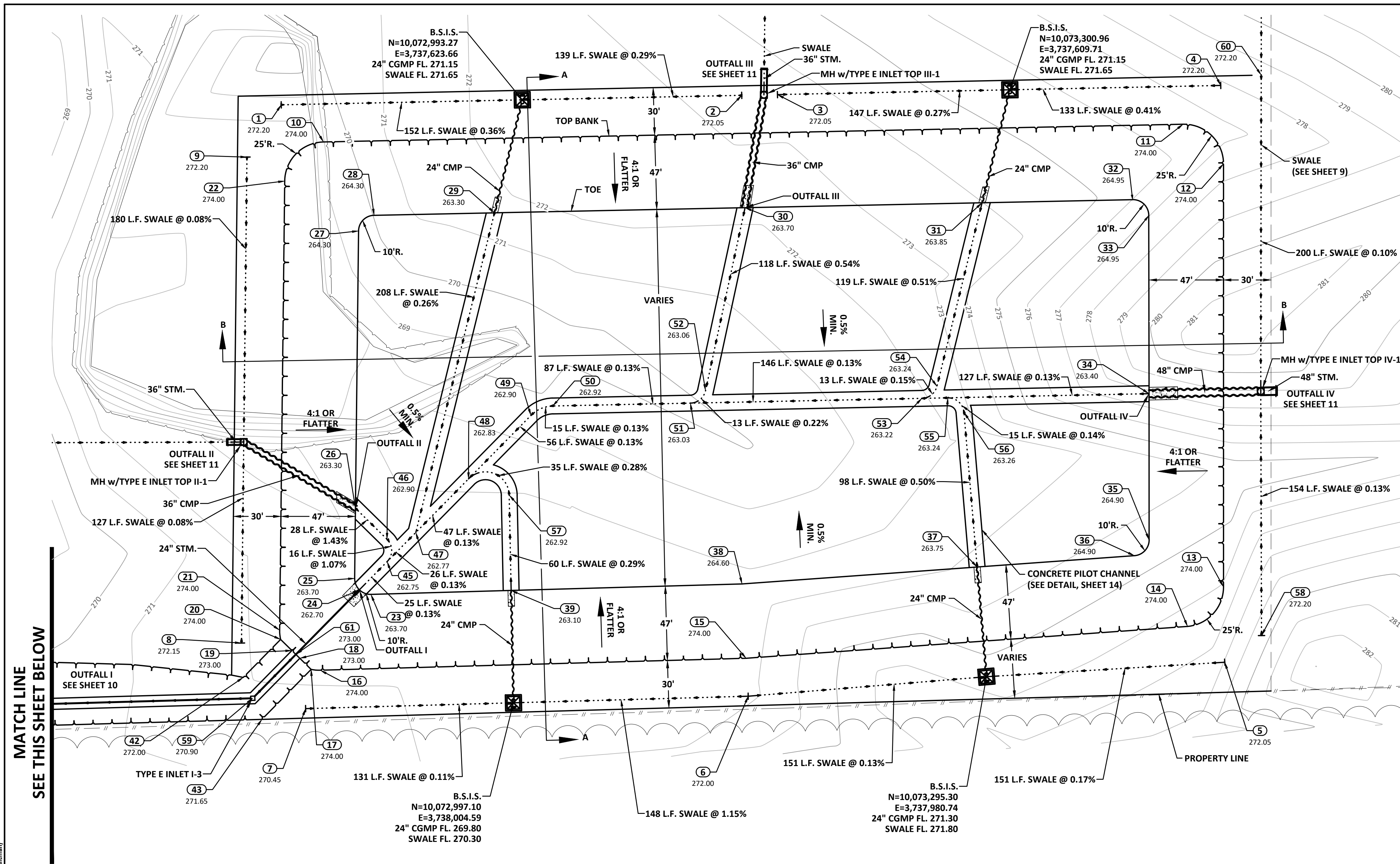
APPROVED: E.D.J.	DATE: FEBRUARY 2023
DESIGNED BY: C.A.P.	DRAWN BY: P.T.A. JOB NO: 2024-014-05

BENCHMARK:
NGS Benchmark PID BL1869
1.0 MILE SOUTH FROM MAGNOLIA, 0.1 MILE SOUTHWEST ALONG FIFTH STREET FROM THE CROSSING OF MAGNOLIA CONROE ROAD AND THE MISSOURI PACIFIC RAILROAD IN MAGNOLIA, THENCE 0.15 MILE SOUTHEAST ALONG COMMERCE STREET, AND THENCE 0.75 MILE SOUTH ALONG NICHOLS SAW MILL ROAD. SET AT THE SECOND POLE SOUTH OF A LINE CROSSING THE ROAD, 322.5 FEET NORTH OF A PRIVATE DRIVE LEADING WEST TO A SMALL ONE STORY WHITE HOUSE, 226 FEET SOUTH OF A PRIVATE DRIVE LEADING EAST TO A ONE STORY HOUSE, 46.5 FEET WEST OF THE CENTERLINE OF NICHOLS SAW MILL ROAD, 2 FEET NORTH OF THE POWER POLE, AND 1.0 FOOT EAST OF THE WESTERLY RIGHT OF WAY FENCE. DISK IS SET LEVEL WITH THE GROUND, ACCESS TO WHICH IS HAD THROUGH A 4 INCH PLASTIC SCREW PLUG.
NAVD88, 2011 ADJ. ELEVATION = 231.30'

WATER DISTRIBUTION, SANITARY SEWER, AND STORMWATER DETENTION FACILITIES TO SERVE 29 ACRES LOCATED AT NORTHEAST CORNER OF FM 1774 AND FM 1486

DRAINAGE CALCULATIONS

FILE NO:	
DRAWING SCALE:	
HORZ : N/A	
VERT : N/A	
SHEET No: 7 OF 18	



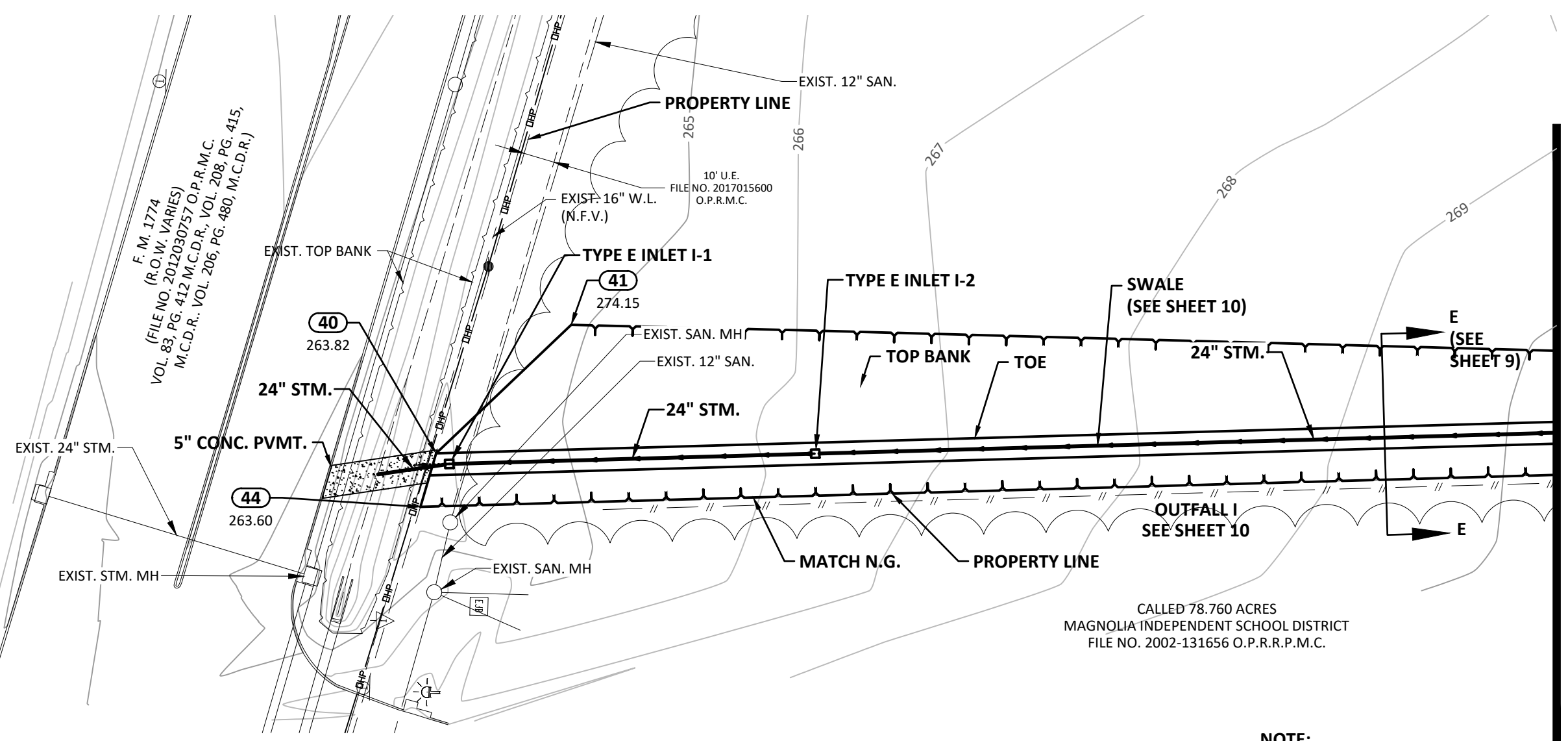
MATCH LINE SEE THIS SHEET BELOW

MATCH LINE SEE THIS SHEET ABOVE

Point #	Elevation	Northing	Easting	Description
1	272.20	10,072,841.18	3,737,630.56	SWALE HIGH
2	272.05	10,073,131.75	3,737,617.38	SWALE HIGH
3	272.05	10,073,154.30	3,737,616.36	SWALE HIGH
4	272.20	10,073,434.01	3,737,603.67	SWALE HIGH
5	272.05	10,073,445.58	3,737,967.88	SWALE HIGH
6	272.00	10,073,145.19	3,737,996.77	SWALE HIGH
7	270.45	10,072,865.99	3,738,011.52	SWALE HIGH
8	272.15	10,072,824.46	3,737,971.09	SWALE HIGH
9	272.20	10,072,820.34	3,737,664.12	SWALE HIGH
10	274.00	10,072,868.41	3,737,653.35	TOP BANK
11	274.00	10,073,410.86	3,737,628.75	TOP BANK
12	274.00	10,073,436.99	3,737,653.11	TOP BANK
13	274.00	10,073,443.59	3,737,920.40	TOP BANK
14	274.00	10,073,421.47	3,737,945.86	TOP BANK
15	274.00	10,073,143.28	3,737,972.84	TOP BANK
16	274.00	10,072,874.66	3,737,987.03	TOP BANK
17	274.00	10,072,868.82	3,737,986.65	TOP BANK
18	273.00	10,072,861.52	3,737,979.82	TOP BANK
19	273.00	10,072,856.41	3,737,975.03	TOP BANK
20	274.00	10,072,849.11	3,737,968.20	TOP BANK
21	274.00	10,072,848.35	3,737,962.40	TOP BANK

Point #	Elevation	Northing	Easting	Description
22	274.00	10,072,844.54	3,737,678.66	TOP BANK
23	263.70	10,072,905.42	3,737,938.34	TOE
24	262.70	10,072,898.06	3,737,935.65	PILOT CHANNEL
25	263.70	10,072,894.90	3,737,928.49	TOE
26	263.30	10,072,894.30	3,737,884.14	PILOT CHANNEL
27	264.30	10,072,891.95	3,737,709.02	TOE
28	264.30	10,072,901.50	3,737,698.89	TOE
29	263.30	10,072,977.48	3,737,695.45	PILOT CHANNEL
30	263.70	10,073,135.60	3,737,688.28	PILOT CHANNEL
31	263.85	10,073,285.17	3,737,681.50	PILOT CHANNEL
32	264.95	10,073,380.13	3,737,677.19	TOE
33	264.95	10,073,390.58	3,737,686.92	TOE
34	263.40	10,073,393.55	3,737,799.46	PILOT CHANNEL
35	264.90	10,073,395.87	3,737,891.79	TOE
36	264.90	10,073,386.84	3,737,902.00	TOE
37	263.75	10,073,287.70	3,737,911.61	PILOT CHANNEL
38	264.60	10,073,139.55	3,737,925.97	TOE
39	263.10	10,072,993.89	3,737,933.67	PILOT CHANNEL
40	263.82	10,072,346.25	3,738,027.96	TOP BANK
41	274.15	10,072,388.59	3,737,985.68	TOP BANK
42	272.00	10,072,826.10	3,737,992.79	TOP BANK

Point #	Elevation	Northing	Easting	Description
43	271.65	10,072,838.57	3,738,018.98	TOP BANK/MATCH N.G.
44	263.60	10,072,341.64	3,738,045.23	TOP BANK/MATCH N.G.
45	262.75	10,072,915.17	3,737,917.37	PILOT CHANNEL
46	262.90	10,072,914.71	3,737,903.24	PILOT CHANNEL
47	262.77	10,072,932.81	3,737,898.52	PILOT CHANNEL
48	262.83	10,072,965.22	3,737,863.89	PILOT CHANNEL
49	262.90	10,073,003.65	3,737,822.83	PILOT CHANNEL
50	262.92	10,073,017.35	3,737,816.52	PILOT CHANNEL
51	263.03	10,073,104.14	3,737,812.58	PILOT CHANNEL
52	263.06	10,073,113.51	3,737,804.46	PILOT CHANNEL
53	263.22	10,073,250.21	3,737,805.96	PILOT CHANNEL
54	263.24	10,073,259.52	3,737,798.12	PILOT CHANNEL
55	263.24	10,073,266.60	3,737,805.21	PILOT CHANNEL
56	263.26	10,073,276.99	3,737,814.11	PILOT CHANNEL
57	262.92	10,072,991.16	3,737,873.46	PILOT CHANNEL
58	272.20	10,073,468.34	3,737,950.47	SWALE
59	270.90	10,072,832.43	3,738,005.78	SWALE
60	272.20	10,073,459.40	3,737,596.52	SWALE
61	273.00	10,072,858.97	3,737,977.43	SWALE



ERIC D. JOHNSON
02/20/2023

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TxDiag Firm 10110700

APPROVED: E.D.J. DATE: FEBRUARY 2023

DESIGNED BY: C.A.P. DRAWN BY: P.T.A. JOB NO. 2024-014-05

BENCHMARK: NGS Benchmark PID BL1869 1.0 MILE SOUTH FROM MAGNOLIA, 0.1 MILE SOUTHWEST ALONG FIFTH STREET FROM THE CROSSING OF MAGNOLIA CONCRETE ROAD AND THE MISSOURI PACIFIC RAILROAD IN MAGNOLIA, THENCE 0.15 MILE SOUTHEAST ALONG COMMERCE STREET, AND THENCE 0.75 MILE SOUTH ALONG NICHOLS SAW MILL ROAD. SET AT THE SECOND POLE SOUTH OF A LINE CROSSING THE ROAD, 322.5 FEET NORTH OF A PRIVATE DRIVE LEADING WEST TO A SMALL ONE STORY WHITE HOUSE, 226 FEET SOUTH OF A PRIVATE DRIVE LEADING EAST TO A ONE STORY HOUSE, 46.5 FEET WEST OF THE CENTERLINE OF NICHOLS SAW MILL ROAD, 2 FEET NORTH OF THE POWER POLE, AND 1.0 FOOT EAST OF THE WESTERLY RIGHT OF WAY FENCE. DISK IS SET LEVEL WITH THE GROUND, ACCESS TO WHICH IS HAD THROUGH A 4 INCH PLASTIC SCREW PLUS. NAVD83, 2011 ADJ. ELEVATION = 231.30'

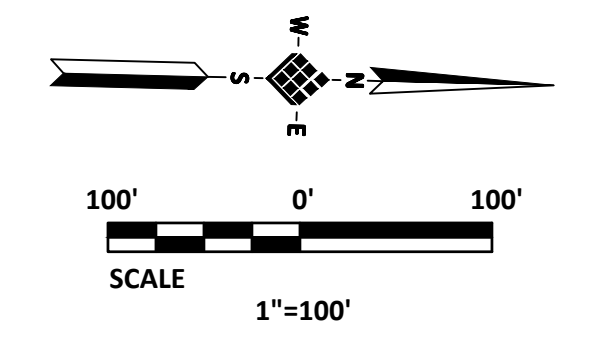
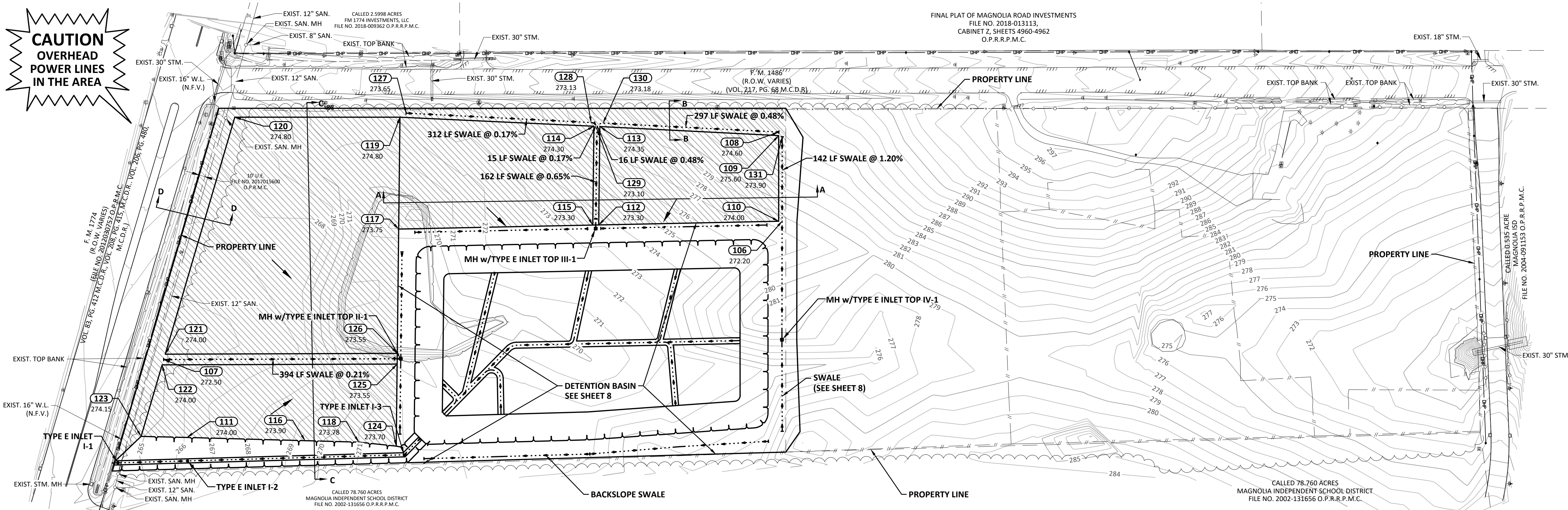
WATER DISTRIBUTION, SANITARY SEWER, AND STORMWATER DETENTION FACILITIES TO SERVE 29 ACRES LOCATED AT NORTHEAST CORNER OF FM 1774 AND FM 1486

DETENTION BASIN LAYOUT

FILE NO:	
DRAWING SCALE:	
HORIZ: N/A	
VERT: N/A	
SHEET No:	8 OF 18

NOTE:
1. THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE No. 4203 STATE PLANE SURFACE COORDINATES (NAD83) AND MAY BE BROUGHT TO GRID BY APPLYING THE FOLLOWING COMBINED SCALE FACTOR 0.99997.

**CAUTION
OVERHEAD
POWER LINES
IN THE AREA**



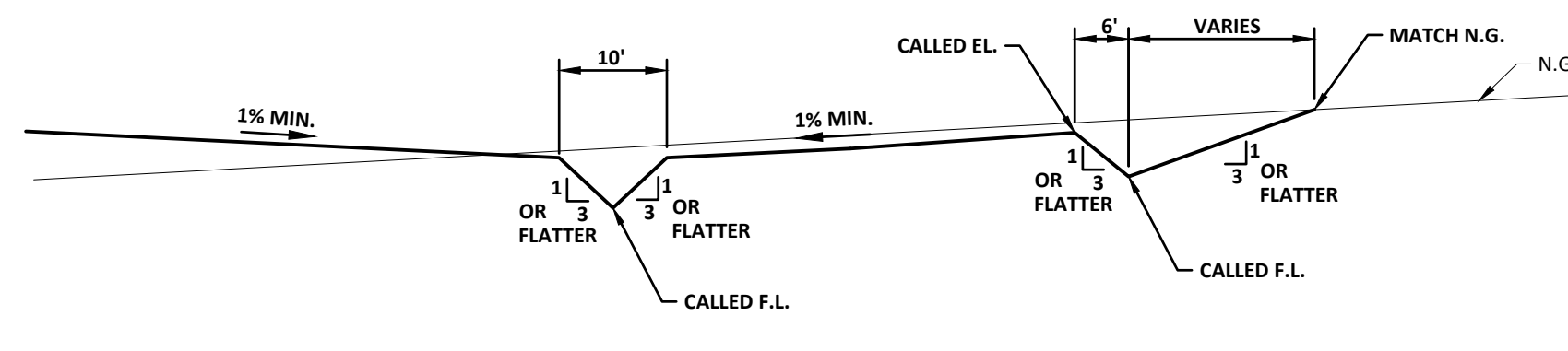
LEGEND

- EXISTING CONTOUR
- PROPOSED FILL
- POINT NUMBER
w/ ELEVATION

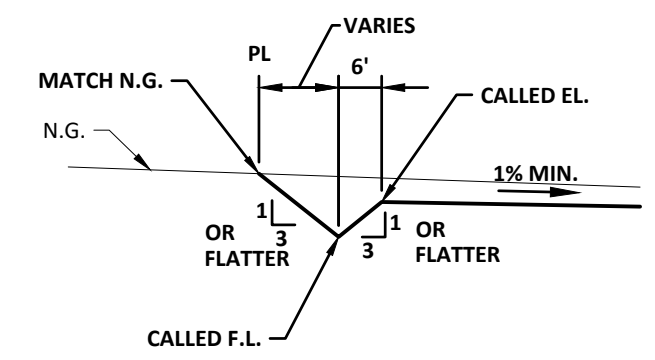
NOTE:

1. THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE No. 4203 STATE PLANE SURFACE COORDINATES (NAD83) AND MAY BE BROUGHT TO GRID BY APPLYING THE FOLLOWING COMBINED SCALE FACTOR 0.99997.
2. PROPOSED DRAINAGE SWALES TO BE LINED WITH HYDROMULCH SEEDING. REFER TO CONSTRUCTION CONTRACT DOCUMENTS FOR HYDROMULCH SEEDING SPECIFICATIONS.

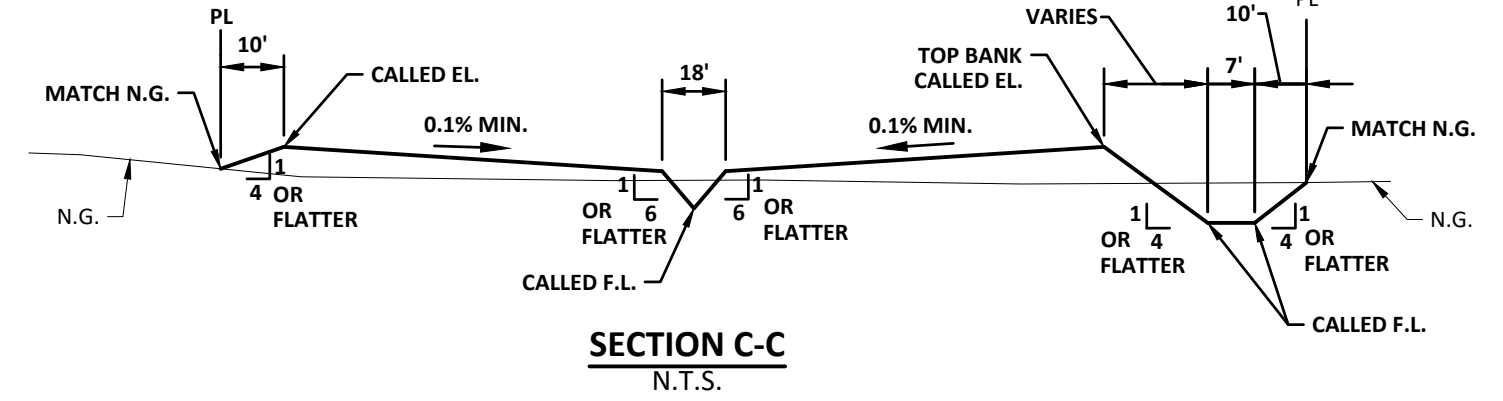
Point #	Elevation	Northing	Easting	Description
106	272.20	10,073,459.40	3,737,596.52	SWALE
107	272.50	10,072,423.39	3,737,855.28	SWALE HIGH
108	274.60	10,073,450.20	3,737,446.55	SWALE HIGH
109	275.60	10,073,450.04	3,737,452.55	FILL
110	274.00	10,073,453.60	3,737,596.78	FILL
111	274.00	10,072,465.85	3,737,985.60	TOP BANK
112	273.30	10,073,150.66	3,737,610.52	FILL
113	274.35	10,073,148.43	3,737,444.70	FILL
114	274.30	10,073,138.43	3,737,444.44	FILL
115	273.30	10,073,140.66	3,737,610.97	FILL
116	273.90	10,072,664.91	3,737,986.09	TOP BANK
117	273.75	10,072,813.83	3,737,625.79	FILL
118	273.78	10,072,755.42	3,737,986.35	TOP BANK
119	274.80	10,072,811.30	3,737,437.31	FILL
120	274.80	10,072,533.11	3,737,444.18	FILL
121	274.00	10,072,425.82	3,737,864.21	FILL
122	274.00	10,072,420.97	3,737,864.35	FILL
123	274.15	10,072,388.59	3,737,985.68	FILL
124	273.70	10,072,818.73	3,737,991.49	FILL
125	273.55	10,072,816.88	3,737,853.27	FILL
126	273.55	10,072,816.64	3,737,835.27	FILL
127	273.65	10,072,821.45	3,737,430.18	SWALE HIGH
128	273.13	10,073,133.74	3,737,438.31	SWALE
129	273.10	10,073,143.49	3,737,438.96	SWALE
130	273.18	10,073,153.75	3,737,438.83	SWALE
131	273.90	10,073,456.09	3,737,454.37	SWALE



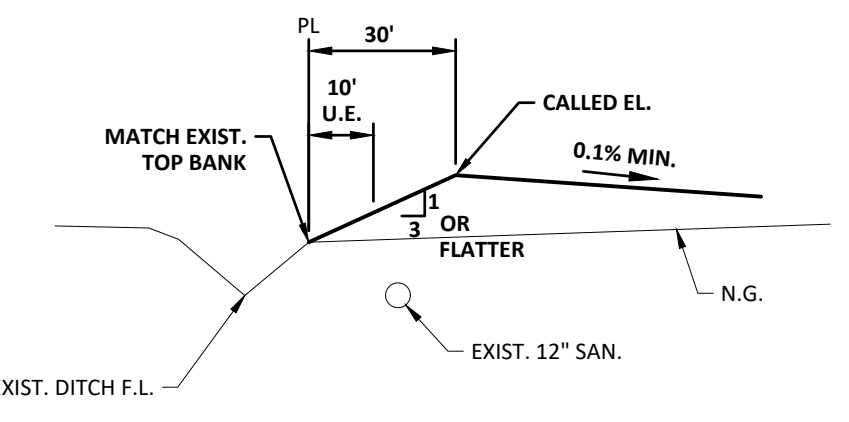
SECTION A-A
N.T.S.



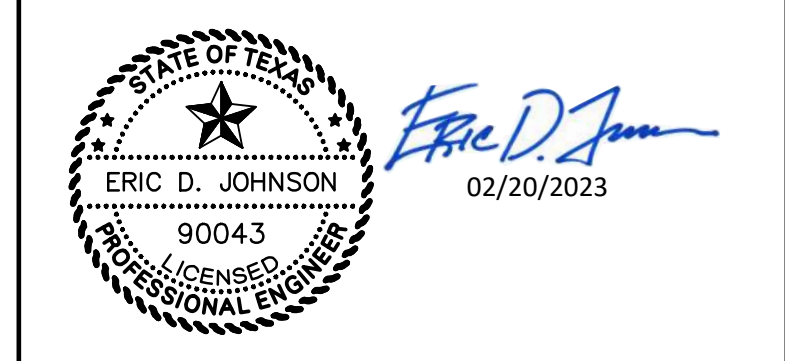
SECTION B-B
N.T.S.



SECTION C-C
N.T.S.



SECTION D-D
N.T.S.



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TxEng Firm 2726
TxSurv Firm 10110700

APPROVED: E.D.J. DATE: FEBRUARY 2023
DESIGNED BY: C.A.P. DRAWN BY: P.T.A. JOB NO: 2024-014-05
BENCHMARK: NGS Benchmark PID BL1869
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NAVD88, 2011 ADJ. ELEVATION = 231.30'

WATER DISTRIBUTION, SANITARY SEWER, AND STORMWATER DETENTION FACILITIES TO SERVE 29 ACRES LOCATED AT NORTHEAST CORNER OF FM 1774 AND FM 1486

FILL PLAN

FILE NO:	
DRAWING SCALE:	
HORZ: 1" = 100'	
VERT: N/A	
SHEET No: 9 OF 18	