

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Holly Knee
Tom Mayhew
Robert Barker III



City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Planning Coordinator, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

**AGENDA
REGULAR MEETING
THURSDAY, NOVEMBER 17, 2022 - 4:30 P.M.**
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

- 1. CALL TO ORDER**
 - a. INVOCATION
 - b. PLEDGE OF ALLEGIANCE
 - c. ROLL CALL AND CERTIFICATION OF QUORUM

2. OPEN PUBLIC HEARING

NOTICE OF PUBLIC HEARING

On November 17, 2022 at 4:30 pm., City of Magnolia Planning and Zoning Commission will hold a public hearing in the Council Chambers of Magnolia City Hall, 18111 Buddy Riley, Blvd., Magnolia, Texas 77354, giving all interested persons the right to appear and be heard, and to discuss the following text amendment(s) to the City of Magnolia Unified Development Code:

- Chapter 2 - Zoning Districts and Land Uses, Table 2-2-1.02 Land Uses concerning Day Care Centers in Auto-Urban Commercial zoning district.

3. CLOSE PUBLIC HEARING AND CONVENE REGULAR MEETING

4. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held October 20, 2022.

5. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

6. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

7. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE TEXT AMENDMENT TO THE UNIFIED DEVELOPMENT CODE, CHAPTER 2 - ZONING DISTRICTS AND LAND USES, TABLE 2-2-1.02 LAND USES, CONCERNING DAY CARE CENTERS IN AUTO-URBAN COMMERCIAL DISTRICTS

9. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE WATER PLANT #3, PRELIMINARY PLAT, +/- 2.281 ACRES

10. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE WATER PLANT #3, FINAL PLAT, +/- 2.281 ACRES

11. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR CHRISTIAN BROTHERS AUTOMOTIVE

12. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MISTER CAR WASH

13. FUTURE AGENDA ITEMS

14. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Kandice Garrett, City Secretary



Hearst Newspapers, LLC Order Confirmation

Ad Order Number

0034237254

Sales Rep.

0630-HOU

Order Taker

jvega

Order Source

Rep

Customer

CITY OF MAGNOLIA

Customer Account

20017370

Customer Address18111 BUDDY RILEY BLVD
MAGNOLIA TX 773545864 USA**Customer Phone**

2813562266

Payor Customer

CITY OF MAGNOLIA

Payor Account

20017370

Payor Address18111 BUDDY RILEY BLVD
MAGNOLIA TX 773545864 USA**Payor Phone**

2813562266

PO Number**Ordered By**

Christian Gable

Customer Fax**Customer Email****Special Pricing****Tear Sheets**

1

Proofs

0

Affidavits

1

Blind Box**Promo Type****Materials****Invoice Text**

Chapter 2 - Zoning Districts and Land Uses

Ad Order Notes**Gross Amount**

76.25

Net Amount

\$76.25

Tax Amount

\$0.00

Total Amount

\$76.25

Payment Method

Credit Card Pymt

Payment Amount

\$0.00

Amount Due

\$76.25

Ad Number

0034237254-01

Ad Type

Legal

Production Method

AdBooker

Production Notes**External Ad Number****Ad Attributes****Ad Released**

No

Pick Up**Ad Size**

2 X 10 li

Color**NOTICE OF PUBLIC HEARING**

On November 17, 2022 at 4:30 pm., City of Magnolia Planning and Zoning Commission will hold a public hearing in the Council Chambers of Magnolia City Hall, 18111 Buddy Riley, Blvd., Magnolia, Texas 77354, giving all interested persons the right to appear and be heard, and to discuss the following text amendment(s) to the City of Magnolia Unified Development Code:
Chapter 2 - Zoning Districts and Land Uses, Table 2-2-1.02 Land Uses concerning Day Care Centers in the Auto-Urban Commercial zoning district

ProductHCN Cypress Creek Champions
HCN Cypress Creek Cypress
HCN Tomball Potpourri
HOU Online**Placement**Legals
Legals
Legals
Legals**Position**Legal Notices
Legal Notices
Legal Notices
Legal Notices**First Run Date**Wednesday, November 2, 202
Wednesday, November 2, 202
Wednesday, November 2, 202
Wednesday, November 2, 202**Last Run Date**Wednesday, November 2, 202
Wednesday, November 2, 202
Wednesday, November 2, 202
Thursday, December 1, 2022

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Robert Franklin
Holly Knee
Tom Mayhew



City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, AEI, Mike Kurzy
Planning Consultant, Tana Ross

MINUTES OF THE PLANNING & ZONING COMMISSION PUBLIC HEARING AND SPECIAL MEETING OCTOBER 20, 2022

A meeting of the Planning & Zoning Commission was held on October 20, 2022, beginning at 4:30 p.m. in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Scott Shelburne called the regular meeting to order at 4:30 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Scott Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Scott Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Anne Sundquist, Josh Jakubik, Robert Barker III, Trevor Brown, Holly Knee, and Tom Mayhew.

Absent: None

Staff present: City Administrator Don Doering, and Finance Administrator Beverly Standley

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held September 29, 2022.

MOTION: Upon a motion to approve Consent Agenda made by Anne Sundquist and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 5-0.

3. REQUESTS / PETITIONS FROM THE PUBLIC

None

4. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda). Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

None

5. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

Chairman Scott Shelburne welcomed the newly appointed Commissioner, Robert Barker III and discussed his background.

6. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

City Administrator Don Doering reported that work on the new water well began yesterday.

Chairman Shelburne provided an update regarding the HEB Grand Opening on November 2 and progress of the development at Heritage Green.

7. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MUSTANG RIDGE, SECTION 3, FINAL PLAT, +/-25.522 ACRES

Chairman Shelburne presented this item and noted the City Engineer has issued a letter of no objection and the Planning Coordinator recommends approval.

MOTION: Upon a motion to approve Mustang Ridge, Section 3, Final Plat, +/-25.522 Acres made by Tom Mayhew and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 7-0.

8. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MUSTANG RIDGE, SECTION 3, FINAL PLAT, +/-

Chairman Shelburne presented this item and noted the City Engineer has issued a letter of no objection and the Planning Coordinator recommends approval.

MOTION: Upon a motion to approve Magnolia Ridge Forest, Section 17, Final Plat, +/-50.434 Acres made by Anne Sundquist and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 7-0.

9. FUTURE AGENDA ITEMS

None

10. ADJOURN

MOTION: Upon a motion to adjourn made by Josh Jakubik and seconded by Anne Sundquist, the Commission members present voted, the motion carried unanimously, 7-0 and Chairman Shelburne adjourned the meeting at 4:40 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on October 20, 2022.

ATTEST:

Kandice Garrett, City Secretary

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: November 10, 2022

To: Planning & Zoning Commission

From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 8**

Background/Information:

A request to amend UDC Ch. 2 Land Use Table was received October 12 suggesting Day Care Centers to be conditionally permitable in Auto-Urban Commercial zoning districts.

Comments:

Day Care Centers are not permitable anywhere, unless conditionally approved in Suburban Village or Unity Plaza districts. Similarly to these two, Auto Urban Commercial is intended for office, retail, and commercial services.

Action Requested:

Amend UDC to allow Day Care Centers in Auto-Urban Commercial districts conditionally.

Recommendation:

Amend UDC to allow Day Care Centers in Auto-Urban Commercial districts conditionally.

Attachments:

Letter of Request

October 12, 2022

Don Doering
City Manager
City of Magnolia
18111 Buddy Riley Blvd
Magnolia, TX 77354

Dear Mr. Doering,

Thank you for taking time to discuss the city's land use code recently. The Code currently allows "public assembly" including "preschools" by right in the Auto-Urban Commercial Zoning District, but prohibits "day care centers". As described in Table 2-1-1.03 of the city's Unified Development Code, the Auto-Urban Commercial (AC) Zoning District "is intended for a broad range of commercial uses with on-site, surface parking." Day care centers are complementary to many of the uses permitted in this zoning district, such as grocery stores, shopping centers, libraries, and medical offices. Amending the UDC to allow day care centers as a **conditional** use ensures that the city retains the authority to determine where this use is best located to serve the community.

In accordance with Section 11-3-3.01 of the Unified Development Code, I am requesting that you recommend to the Planning and Zoning Commission that they consider amending the text of the UDC to allow daycare as a Conditional Use in the AC Zoning District. If I understand the process correctly, a proposed amendment to the UDC would require a public hearing and action by P&Z, followed by a public hearing and action by the City Council. Please let me know when these public hearings and meetings are scheduled.

Thank you for your consideration of this request.

Kind regards,

Chessie Zimmerman
Development Manager, Magnolia Place
STRATUS PROPERTIES
212 Lavaca Street, Suite 300 | Austin, Texas 78701
M: 512.708.0739
<http://www.stratusproperties.com/>

UNIFIED DEVELOPMENT CODE

Table 2-1-1.03
Zoning Districts

| District | | Lot or Neighborhood Type or Function | Purpose |
|----------------------------------|--|---|---|
| Name | Type/Use | | |
| Non-Residential Zoning Districts | | | |
| Suburban Village (SV) | Commercial and Professional | Neighborhood Center | This district provides for neighborhood convenience uses, with a <i>building</i> scale and site design that is compatible and cohesive with <i>abutting</i> and <i>adjacent</i> neighborhoods. It may also accommodate upper floor residential and live-work units, as well as multiplexes. |
| Auto-Urban Commercial (AC) | Office, Retail, and Services | General commercial uses arranged on individual sites or in multi-tenant centers. | This district is intended for a broad range of commercial uses with on-site, surface parking. |
| Town Center (TC) | Retail | Pedestrian and tourism-oriented retail uses | This district is for the area along and around The Stroll, which is intended as a walkable retail shopping and entertainment area with a unique character. |
| Unity Plaza (UP) | Office, Retail, and Services | Higher intensity retail, professional, service, civic, and institutional uses in a pedestrian-oriented environment. | This district is intended as a focal point for the community, which would be a mixed use, walkable environment in a traditional downtown setting where buildings are oriented to the <i>street</i> with no or limited <i>setbacks</i> and parking is on-street, off-site, or in <i>structures</i> . |
| Public Use (PU) | Institutional, <i>Utility</i> , and Assembly | Public service, institutional, utility, and assembly uses, e.g., governmental and school buildings and facilities, utility stations, semi-public places of assembly, etc. | This district is for public and semi-public uses that are unique in the nature and scale and thus, not appropriately placed within any other district. |

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: November 10, 2022

To: Planning & Zoning Commission

From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 9**

Background/Information:

A preliminary & final plat was received on August 8, 2022. Revisions were also made after this date and supplied to City Engineer for review.

Comments:

Letter of No Objection was issued by City Engineer on November 8, 2022.

Action Requested:

Approve preliminary plat for Water Plant #3.

Recommendation:

Approve preliminary plat for Water Plant #3.

Attachments:

Preliminary Plat



Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

CONTACT INFORMATION

Applicant

Windrose Land Services -Amber Whiting
Name

11111 Richmond Ave, Suite 150
Street Address

Houston, TX 77082
City, State Zip

713-458-8821
Phone

N/A
Fax

amber.whiting@windroseservices.com
E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

City of Magnolia Texas
Name

18111 Buddy Riley Blvd
Street Address

Magnolia, TX 77354
City, State Zip

281-356-2266
Phone

N/A
Fax

N/A
E-mail

Engineer/Land Surveyor (if different)

AEI - Janice Noeldner
Name

11450 Compaq Center Drive, Suite 660
Street Address

Houston, TX 77070
City, State Zip

281-350-7027
Phone

N/A
Fax

JNoeldner@baxterwoodman.com
E-mail

PROPERTY PROFILE

Property ID # R51127

| | | | |
|-------------------|-----------------------------|--------------|----------------|
| Legal Description | <u>J.B. Richards Survey</u> | <u>1</u> | <u>1</u> |
| | <u>(Subdivision)</u> | <u>(Lot)</u> | <u>(Block)</u> |

Current Zoning Rural Residential (RU)Present Use of Property
Property is currently undeveloped.

Proposed Use of the Property
2.281 Acres, for the intended use of a Water Plant

Total Area of Site
2.281 acres

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

Abstract No. 449, J.B. Richards Survey, Tract 9, 22.33 Acres

2. Description of proposed property change, including lot numbers, name, etc.

Abstract No. 449, J.B. Richards Survey, 2.281 Acres, 1 Block, 1 Restricted Reserve

Z:\57296--CITY OF MAGNOLIA--WATER PLANT SITE\PLAT\PRELIM VERSION\ 20221103--PLAT--CITY OF MAGNOLIA WATER PLANT NO. 3--57296--P116773.DW

STATE OF TEXAS
COUNTY OF MONTGOMERY

We, City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, acting by and through _____, and _____, being officers of City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, hereinafter referred to as the owner of the property subdivided in the above and foregoing map of WATER PLANT NO. 3, do hereby make subdivision of said property for and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, according to the lines, streets, alleys, parks, building lines, and easements therein shown, and designate said subdivision as WATER PLANT NO. 3, in the J.B. RICHARDS SURVEY, ABSTRACT NO. 449, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever, and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, acting by and through _____, and _____, being officers of City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, owners of the property subdivided in the above and foregoing map of WATER PLANT NO. 3 have complied with or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

FURTHER, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, acting by and through _____, and _____, do hereby dedicate forever to the public a strip of land a minimum of fifteen (15) feet wide on each side of the centerline of all gullies, ravines, draws, sloughs or other natural drainage courses located in said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easement at any and all times for the purpose of construction and/or maintaining drainage work and/or structure.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

1. The drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
2. Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

IN TESTIMONY WHEREOF, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas has caused these presents to be signed by _____, and _____, thereunto authorized, and its common seal hereunto affixed this the _____ day of _____, 20____.

By: City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas

By: _____
Name _____
Title _____

By: _____
Name _____
Title _____

STATE OF TEXAS
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared _____, and _____, of City of Magnolia Texas, a Type A municipal corporation in Montgomery, County, the State of Texas, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____.

Notary Public in and for the
State of Texas

My Commission Expires:



ROBERT KNESS
Registered Professional Land Surveyor
Texas Registration No. 6486

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 20____, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Scott A. Shelburne
Planning and Zoning Chairperson

Kandice Garrett
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 20____, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana
Mayor

Kandice Garrett
City Secretary

I, Mark Turnbull, Clerk of the County Court of Montgomery County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 20____, at o'clock, ____M., and duly recorded on _____, 20____, at o'clock, ____M., in Cabinet _____, Sheet _____, of record of _____ for said County.

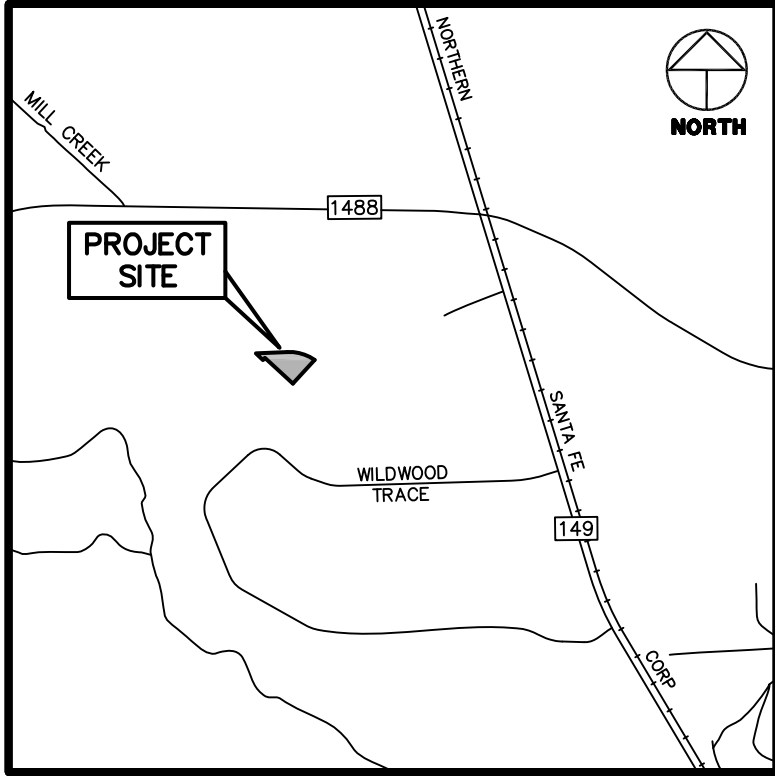
WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk, County Clerk
Montgomery County, Texas

By: _____
Deputy

GENERAL NOTES

1. BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
2. ALL COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES (NAD 83), AND MAY BROUGHT TO SURFACE BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999966245.
3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR MONTGOMERY COUNTY, TEXAS, MAP NO. 4839C0480G REVISED/DATED AUGUST 18, 2014, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
4. PLAT BENCHMARK IS A 3" BRASS DISK STAMPED "W93 7=211.16" SET IN A CONCRETE BASE AT GROUND LEVEL LOCATED +/- 65' SOUTHEAST OF THE INTERSECTION OF GUILLEMONT LANE AND FUTURE MILL CREEK ROAD, AND +/- 8' EAST OF A CONCRETE STORM INLET ON THE EASTERLY RIGHT-OF-WAY OF GUILLEMONT LANE.
5. THE CITY OF MAGNOLIA HAS ADOPTED ZONING. THIS PROPERTY FALLS UNDER A RESIDENTIAL ZONING DISTRICT: RURAL RESIDENTIAL (RU). THIS DISTRICT IS FOR THE PURPOSE OF PRESERVING THE AGRICULTURAL USE OF LAND IN THE PERIPHERAL AREAS OF THE CITY. GENERALLY, IT IS NOT INTENDED FOR URBAN DEVELOPMENT YET IT MAY ACCOMMODATE INDIVIDUAL HOMESTEADS.
6. PROPERTY IS SUBJECT TO THE ORDINANCES IF ANNEXATION EXECUTED BY THE CITY OF MAGNOLIA RECORDED UNDER COUNTY CLERK'S FILE NUMBERS 2014065510 AND 2014065511.
7. ACCORDING TO THE UNIFIED DEVELOPMENT CODE, THE MINIMUM OPEN SPACE RATIO FOR THIS ZONING IS 0%.



CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

VICINITY MAP
SCALE: 1" = 2,000'

ABBREVIATIONS

FND - FOUND
M.C.C.F. - MONTGOMERY COUNTY CLERK FILE
M.C.D.R. - MONTGOMERY COUNTY DEED RECORDS
M.C.M.R. - MONTGOMERY COUNTY MAP RECORDS
IP - IRON PIPE
IR - IRON ROD
NO. - NUMBER
PG. - PAGE
R.O.W. - RIGHT-OF-WAY
SQ. FT. - SQUARE FEET
VOL. - VOLUME
B.L. - BUILDING LINE
W.L.E. - WATER LINE EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
U.E. - UTILITY EASEMENT

PRELIMINARY PLAT OF WATER PLANT NO. 3

A SUBDIVISION OF
2.281 AC. / 99,358 SQ. FT.
SITUATED IN THE J.B. RICHARDS SURVEY,
ABSTRACT NO. 449, CITY OF MAGNOLIA,
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE

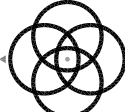
NOVEMBER 2022

Owner

City of Magnolia Texas
a Type A municipal corporation
in Montgomery, County, the State of Texas

18111 Buddy Riley Blvd
Magnolia, TX 77354

Surveyor

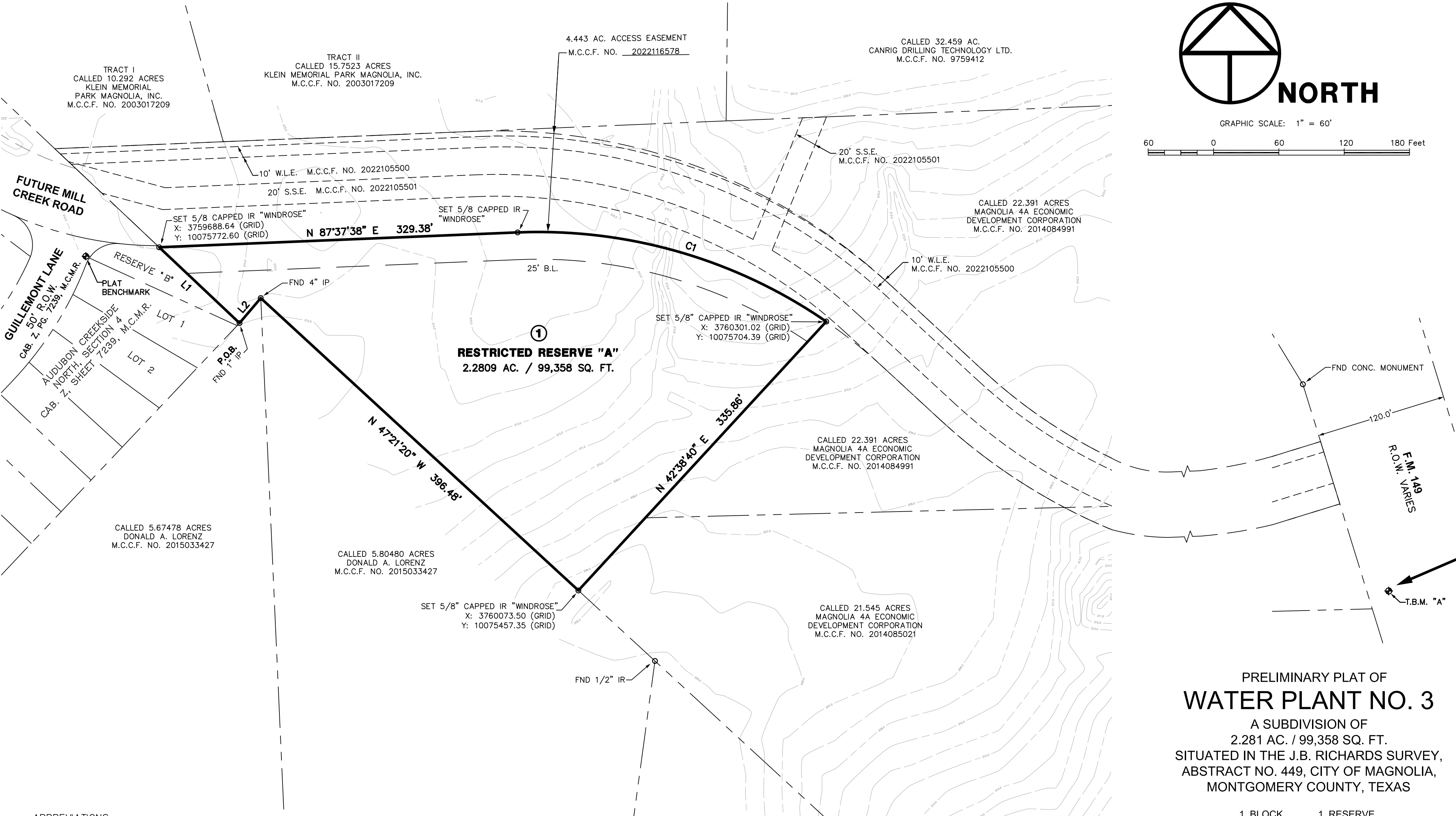


WINDROSE
LAND SURVEYING | PLATTING

11111 RICHMOND AVE, SUITE 150 | HOUSTON, TX 77062 | 713.458.2281
FIRM REGISTRATION NO. 10108892 | WINDROSESERVICES.COM

Sheet 1 of 2

Z:\57296--CITY OF MAGNOLIA--WATER PLANT SITE\PLAT\PRELIM VERSION\ 20221103--PLAT--CITY OF MAGNOLIA WATER PLANT NO. 3--57296--P116773.DW



ABBREVIATIONS

FND - FOUND
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W.L.E. - WATER LINE EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
U.E. - UTILITY EASEMENT

| CURVE TABLE | | | | | |
|-------------|-----------|---------|---------|---------------|---------|
| CURVE | DELTA | RADIUS | LENGTH | BEARING | CHORD |
| C1 | 36°58'24" | 465.00' | 300.07' | S 73°53'10" E | 294.89' |

| LINE TABLE | | |
|------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | N 46°38'11" W | 101.40' |
| L2 | S 40°21'23" W | 30.13' |

PRELIMINARY PLAT OF WATER PLANT NO. 3

A SUBDIVISION OF
2.281 AC. / 99,358 SQ. FT.
SITUATED IN THE J.B. RICHARDS SURVEY,
ABSTRACT NO. 449, CITY OF MAGNOLIA,
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE

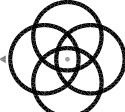
NOVEMBER 2022

Owner

City of Magnolia Texas
a Type A municipal corporation
in Montgomery, County, the State of Texas

18111 Buddy Riley Blvd
Magnolia, TX 77354

Surveyor



WINDROSE
LAND SURVEYING | PLATTING

11111 RICHMOND AVE, SUITE 150 | HOUSTON, TX 77062 | 713.458.2281
FIRM REGISTRATION NO. 10108892 | WINDROSESERVICES.COM

Sheet 2 of 2



November 4, 2022

**City of Magnolia
18111 Buddy Riley Blvd
Magnolia, Texas 77354**

Re: City of Magnolia Water Plant No. 3 – Preliminary Plat Comment Response Letter

The following revisions have been made based on the review letter from AEI Engineering:

1. The elevation has been updated to the set Subdivision Benchmark: Elevation 211.16'.
2. FEMA Map panel number has been updated: 48339C0480G, revision date August, 18, 2014.
3. Point of Beginning (P.O.B.) has been indicated on the plat.
4. A City Planning Letter has been included: Dated September 7, 2022.
5. Front Setback of 25' has been added to the plat. According to the Unified Development Code, the open space ratio for Rural Residential zoning is 0%.
6. Two newly recorded easements have been added to the plat within the proposed access easement: 10' WLE, M.C.C.F. No. 2022105500 & 20' SSE, M.C.C.F. No. 2022105501.
7. The access easement has been approved by City Council. The access easement has been recorded under Montgomery County Clerk File No. 2022116578.

If you have any questions regarding this property, or the platting of this property, please contact Amber Whiting at amber.whiting@windroseservices.com or 346-998-4044.

Thank you,

AMBER WHITING
PLATTING PROJECT MANAGER

WINDROSE LAND SURVEYING
11111 RICHMOND AVE, STE 150 | HOUSTON, TX 77082
O: [713 458-2281](tel:7134582281) D: [346 998-4044](tel:3469984044) WINDROSESERVICES.COM

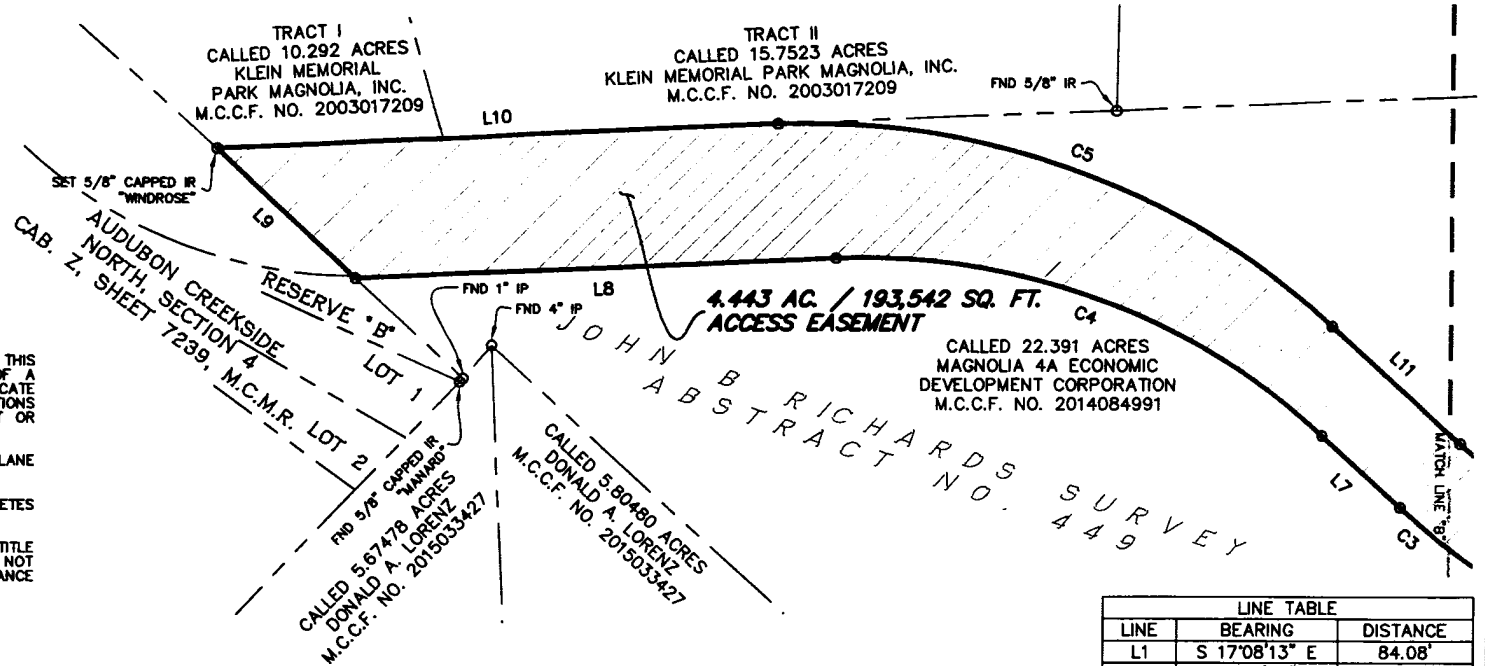


NORTH

SCALE: 1" = 100'

GENERAL NOTES

1. SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE AND WOULD BE SUBJECT TO ANY AND ALL CONDITIONS OR RESTRICTIONS THAT A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE MAY DISCLOSE.
2. BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. (NAD83)
3. THIS EXHIBIT IS ACCOMPANIED BY A SEPARATE METES AND BOUNDS DESCRIPTION.
4. THIS EXHIBIT DOES NOT IMPLY TO BE A LAND TITLE SURVEY OF THE SUBJECT PROPERTY AND IS NOT INTENDED TO BE USED FOR TITLE CONVEYANCE PURPOSES.

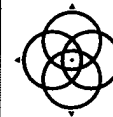


| CURVE CHART | | | | | |
|-------------|---------|-----------|---------|---------------|---------|
| CURVE | RADIUS | DELTA | LENGTH | BEARING | CHORD |
| C1 | 470.00' | 7°09'54" | 58.78' | S 69°15'23" W | 58.74' |
| C2 | 530.00' | 21°57'22" | 203.10' | S 76°39'07" W | 201.86' |
| C3 | 535.00' | 45°04'02" | 420.82' | N 69°50'11" W | 410.05' |
| C4 | 465.00' | 45°04'12" | 365.78' | N 69°50'16" W | 356.42' |
| C5 | 530.00' | 45°04'12" | 416.91' | S 69°50'16" E | 406.24' |
| C6 | 475.00' | 45°04'02" | 373.62' | S 69°50'11" E | 364.06' |
| C7 | 470.00' | 21°57'22" | 180.11' | N 76°39'07" E | 179.01' |
| C8 | 530.00' | 7°09'54" | 66.28' | N 69°15'23" E | 66.24' |

| LINE TABLE | | |
|------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | S 17°08'13" E | 84.08' |
| L2 | S 31°22'38" E | 123.21' |
| L3 | S 17°09'40" E | 55.01' |
| L4 | S 17°09'40" E | 60.00' |
| L5 | S 72°50'20" W | 137.05' |
| L6 | S 65°40'26" W | 121.08' |
| L7 | N 47°18'10" W | 72.97' |
| L8 | S 87°37'38" W | 329.38' |
| L9 | N 46°38'11" W | 131.91' |
| L10 | N 87°37'38" E | 384.99' |
| L11 | S 47°18'10" E | 119.57' |
| L12 | N 65°40'26" E | 121.08' |
| L13 | N 72°50'20" E | 137.05' |

EXHIBIT OF
ACCESS EASEMENT
4.443 AC. / 193,542 SQ. FT.
SITUATED IN THE
JOHN B RICHARDS SURVEY, A-449
MONTGOMERY COUNTY, TEXAS

| | | | |
|--------------|-------------|-------|------------|
| FIELD BY: | - | DATE: | 04/04/2022 |
| DRAWN BY: | RO | REV: | |
| CHECKED BY: | MC | REV: | |
| JOB NO. | 57296-AXS-1 | REV: | |
| SHEET 3 OF 5 | | REV: | |



WINDROSE
LAND SURVEYING | PLATTING

11111 RICHMOND AVE, STE 150 | HOUSTON, TX 77082 | 713.458.2281
FIRM REGISTRATION NO. 10108800 | WINDROSESERVICES.COM



November 8, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Water Plant No. 3 – Preliminary Plat Review Letter*
City of Magnolia
AEI Job No. 221697.80-001

Dear Mr. Doering:

We received the revised preliminary plat for the proposed Water Plant No. 3 on November 8, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
 Mr. Burt Smith – City of Magnolia – Director of Public Works
 Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
 Mr. Robel E. Giackero, PE. – AEI Engineering, a Baxter & Woodman Company
 Ms. Amber Whiting, Windrose Services, Inc.

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: November 10, 2022

To: Planning & Zoning Commission

From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 10**

Background/Information:

A preliminary & final plat was received on August 8, 2022. Revisions were also made after this date and supplied to City Engineer for review.

Comments:

Letter of No Objection was issued by City Engineer on November 8, 2022.

Action Requested:

Approve final plat for Water Plant #3.

Recommendation:

Approve final plat for Water Plant #3.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

PROPERTY PROFILE

Property ID # _____

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

_____Proposed Use of the Property

Total Area of Site _____

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

2. Description of proposed property change, including lot numbers, name, etc.

Z:\57296--CITY OF MAGNOLIA--WATER PLANT SITE\PLAT\PLAT--CITY OF MAGNOLIA WATER PLANT NO. 3--57296--P116773.DWG

STATE OF TEXAS
COUNTY OF MONTGOMERY

We, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through Todd Kana, Mayor, being officer of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, hereinafter referred to as the owner of the property subdivided in the above and foregoing map of WATER PLANT NO. 3, do hereby make subdivision of said property for and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, according to the lines, streets, alleys, parks, building lines, and easements therein shown, and designate said subdivision as WATER PLANT NO. 3, in the J.B. RICHARDS SURVEY, ABSTRACT NO. 449, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through Todd Kana, Mayor, being officer of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, owners of the property subdivided in the above and foregoing map of WATER PLANT NO. 3 have complied with or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

FURTHER, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through Todd Kana, Mayor, do hereby dedicate forever to the public a strip of land a minimum of fifteen (15) feet wide on each side of the centerline of all gullies, ravines, draws, sloughs or other natural drainage courses located in said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easement at any and all times for the purpose of construction and/or maintaining drainage work and/or structure.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

- The drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
- Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

IN TESTIMONY WHEREOF, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas has caused these presents to be signed by Todd Kana, Mayor, therunto authorized, and its common seal hereunto affixed this the ____ of _____, 20____.

By: City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas

By: _____
Todd Kana
Mayor

STATE OF TEXAS
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared Todd Kana, Mayor, of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 20____.

Notary Public in and for the
State of Texas

My Commission Expires:



ROBERT KNESS
Registered Professional Land Surveyor
Texas Registration No. 6486

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the ____ day of _____, 20____, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Scott A. Shelburne
Planning and Zoning Chairperson

Kandice Garrett
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the ____ day of _____, 20____, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana
Mayor

Kandice Garrett
City Secretary

I, Mark Turnbull, Clerk of the County Court of Montgomery County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 20____, at o'clock, ____M., and duly recorded on _____, 20____, at o'clock, ____M., in Cabinet _____, Sheet _____, of record of _____ for said County.

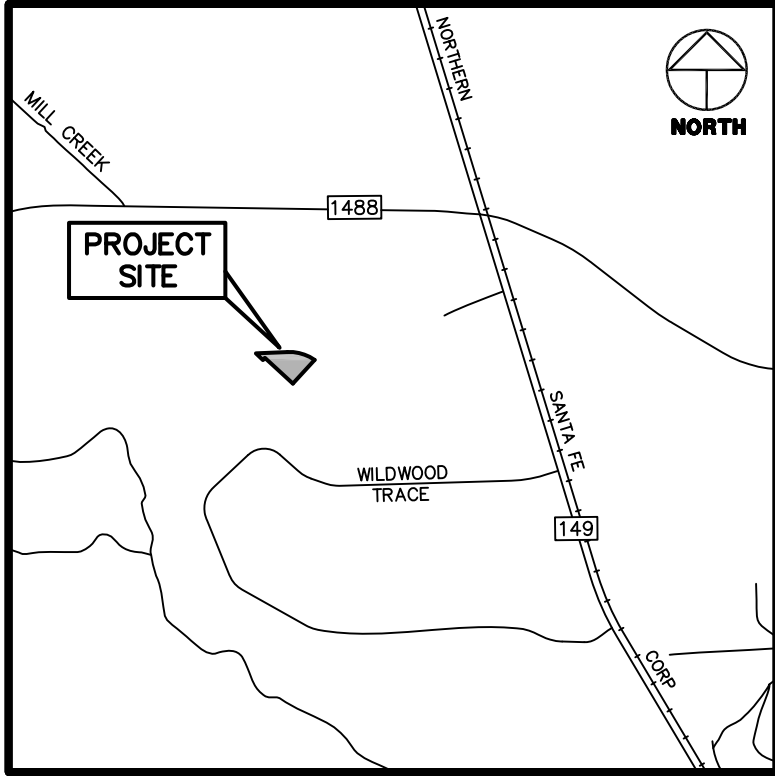
WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk, County Clerk
Montgomery County, Texas

By: _____
Deputy

GENERAL NOTES

- BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
- ALL COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES (NAD 83), AND MAY BROUGHT TO SURFACE BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999966245.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR MONTGOMERY COUNTY, TEXAS, MAP NO. 4839C0480G REVISED/DATED AUGUST 18, 2014, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
- PLAT BENCHMARK IS A 3" BRASS DISK STAMPED "WP3 7=211.16" SET IN A CONCRETE BASE AT GROUND LEVEL LOCATED +/- 55' SOUTHEAST OF THE INTERSECTION OF GUILLEMONT LANE AND FUTURE MILL CREEK ROAD, AND +/- 8' EAST OF A CONCRETE STORM INLET ON THE EASTERLY RIGHT-OF-WAY OF GUILLEMONT LANE. ELEVATION = 211.16' (NAVD88, GEOID18)
- THE CITY OF MAGNOLIA HAS ADOPTED ZONING. THIS PROPERTY FALLS UNDER A RESIDENTIAL ZONING DISTRICT: RURAL RESIDENTIAL (RU). THIS DISTRICT IS FOR THE PURPOSE OF PRESERVING THE AGRICULTURAL USE OF LAND IN THE PERIPHERAL AREAS OF THE CITY. GENERALLY, IT IS NOT INTENDED FOR URBAN DEVELOPMENT YET IT MAY ACCOMMODATE INDIVIDUAL HOMESTEADS.
- PROPERTY IS SUBJECT TO THE ORDINANCES IF ANNEXATION EXECUTED BY THE CITY OF MAGNOLIA RECORDED UNDER COUNTY CLERK'S FILE NUMBERS 2014065510 AND 2014065511.
- ACCORDING TO THE UNIFIED DEVELOPMENT CODE, THE MINIMUM OPEN SPACE RATIO FOR THIS ZONING IS 0%.



CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

VICINITY MAP
SCALE: 1" = 2,000'

ABBREVIATIONS

- FND - FOUND
M.C.C.F. - MONTGOMERY COUNTY CLERK FILE
M.C.D.R. - MONTGOMERY COUNTY DEED RECORDS
M.C.M.R. - MONTGOMERY COUNTY MAP RECORDS
IP - IRON PIPE
IR - IRON ROD
NO. - NUMBER
PG. - PAGE
R.O.W. - RIGHT-OF-WAY
SQ. FT. - SQUARE FEET
VOL. - VOLUME
B.L. - BUILDING LINE
W.L.E. - WATER LINE EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
U.E. - UTILITY EASEMENT

FINAL PLAT OF WATER PLANT NO. 3

A SUBDIVISION OF
2.281 AC. / 99,358 SQ. FT.
SITUATED IN THE J.B. RICHARDS SURVEY,
ABSTRACT NO. 449, CITY OF MAGNOLIA,
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE

NOVEMBER 2022

Owner

City of Magnolia Texas
a Type A municipal corporation
in Montgomery County, the State of Texas

18111 Buddy Riley Blvd
Magnolia, TX 77354

Surveyor

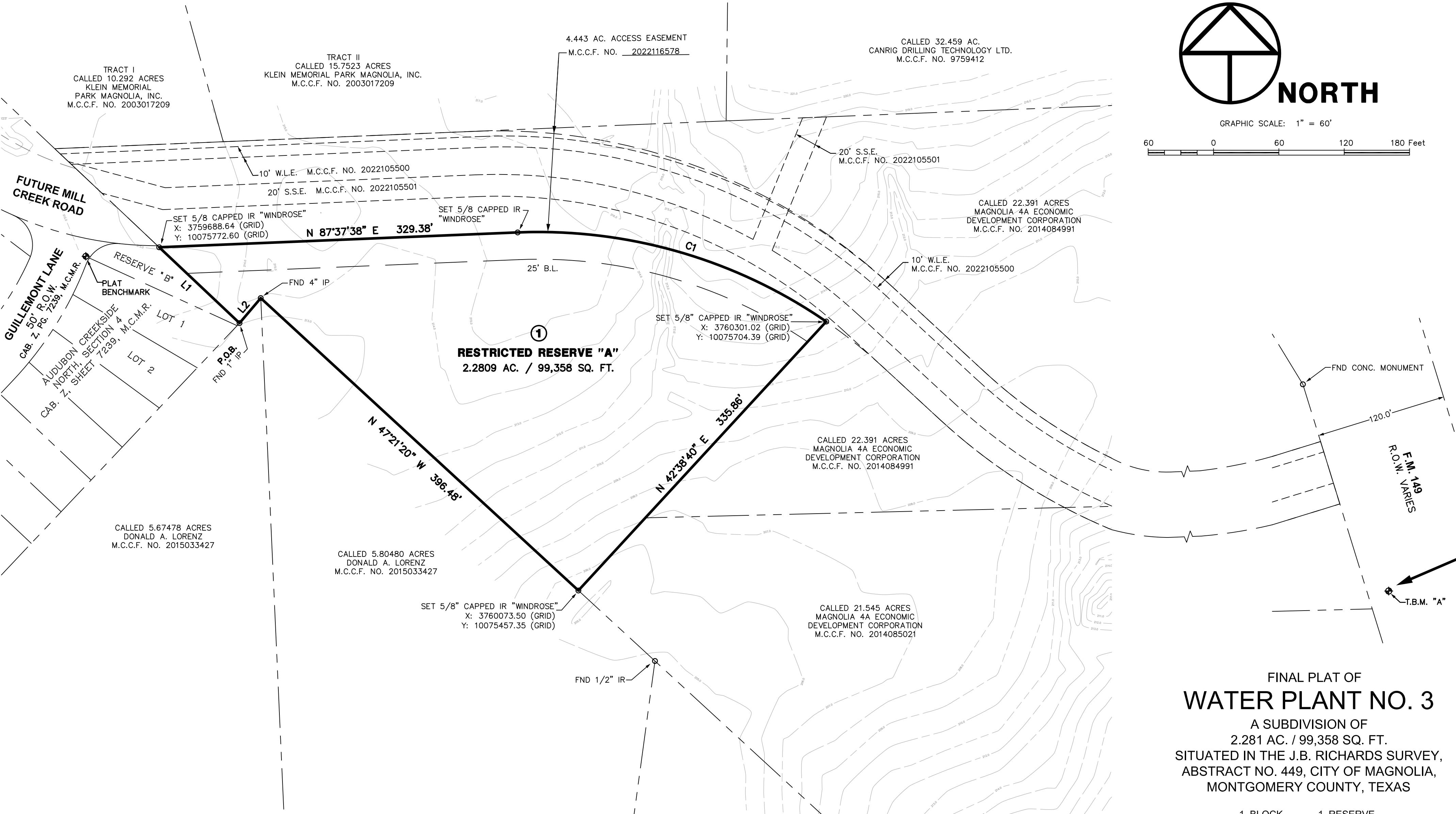


WINDROSE
LAND SURVEYING & PLATTING

11111 RICHMOND AVE., SUITE 150 | HOUSTON, TX 77062 | 713.458.2281
FIRM REGISTRATION NO. 10108892 | WINDROSESERVICES.COM

Sheet 1 of 2

Z:\57296--CITY OF MAGNOLIA--WATER PLANT SITE\PLAT\PLAT--CITY OF MAGNOLIA WATER PLANT NO. 3--57296--P116773.DWG



ABBREVIATIONS

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S.S.E. - SANITARY SEWER EASEMENT
U.E. - UTILITY EASEMENT

| CURVE TABLE | | | | | |
|-------------|-----------|---------|---------|---------------|---------|
| CURVE | DELTA | RADIUS | LENGTH | BEARING | CHORD |
| C1 | 36°58'24" | 465.00' | 300.07' | S 73°53'10" E | 294.89' |

| LINE TABLE | | |
|------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | N 46°38'11" W | 101.40' |
| L2 | S 40°21'23" W | 30.13' |

FINAL PLAT OF WATER PLANT NO. 3

A SUBDIVISION OF
2.281 AC. / 99,358 SQ. FT.
SITUATED IN THE J.B. RICHARDS SURVEY,
ABSTRACT NO. 449, CITY OF MAGNOLIA,
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1 BLOCK 1 RESERVE

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LAND SURVEYING & PLATTING

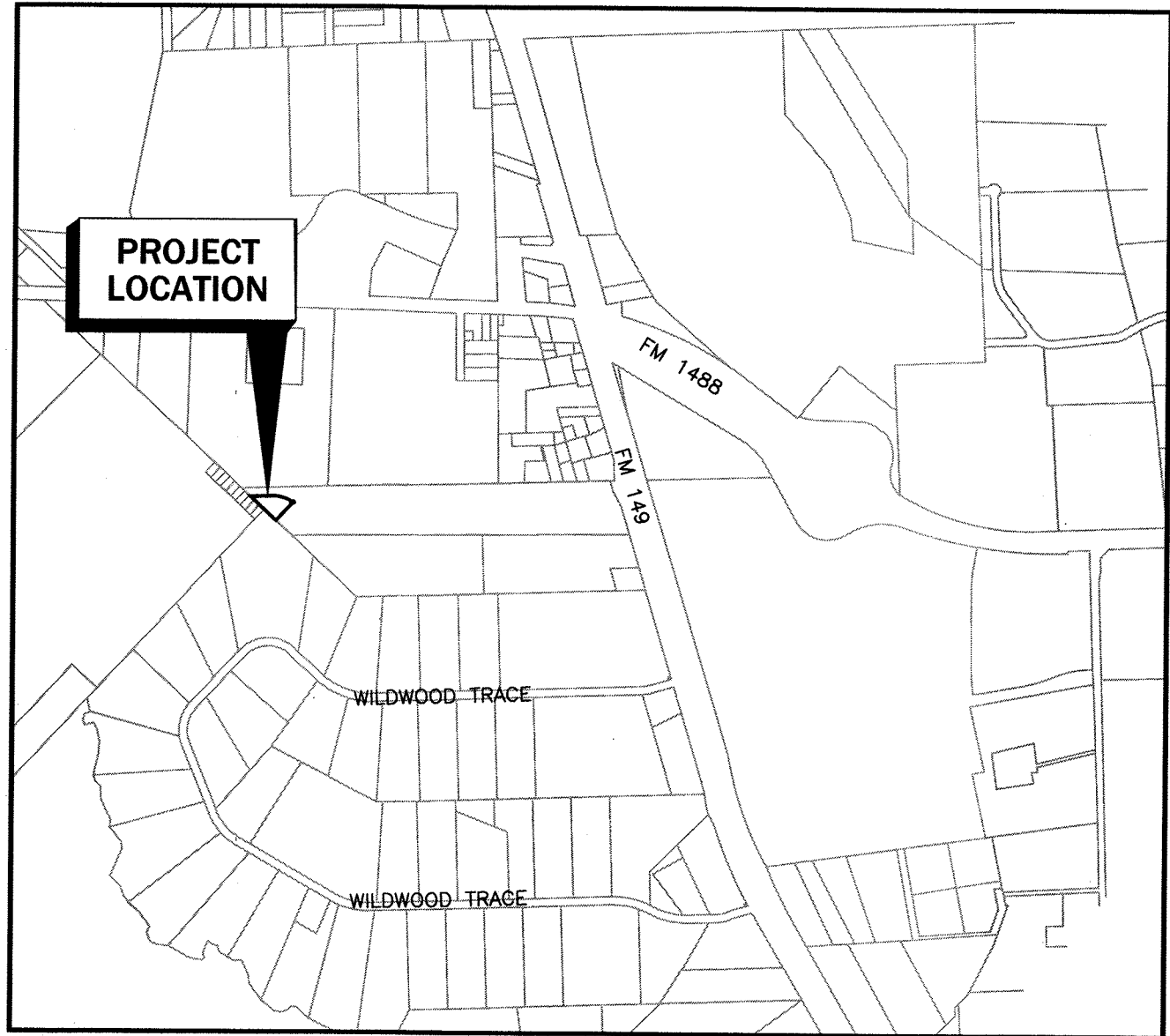
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Sheet 2 of 2

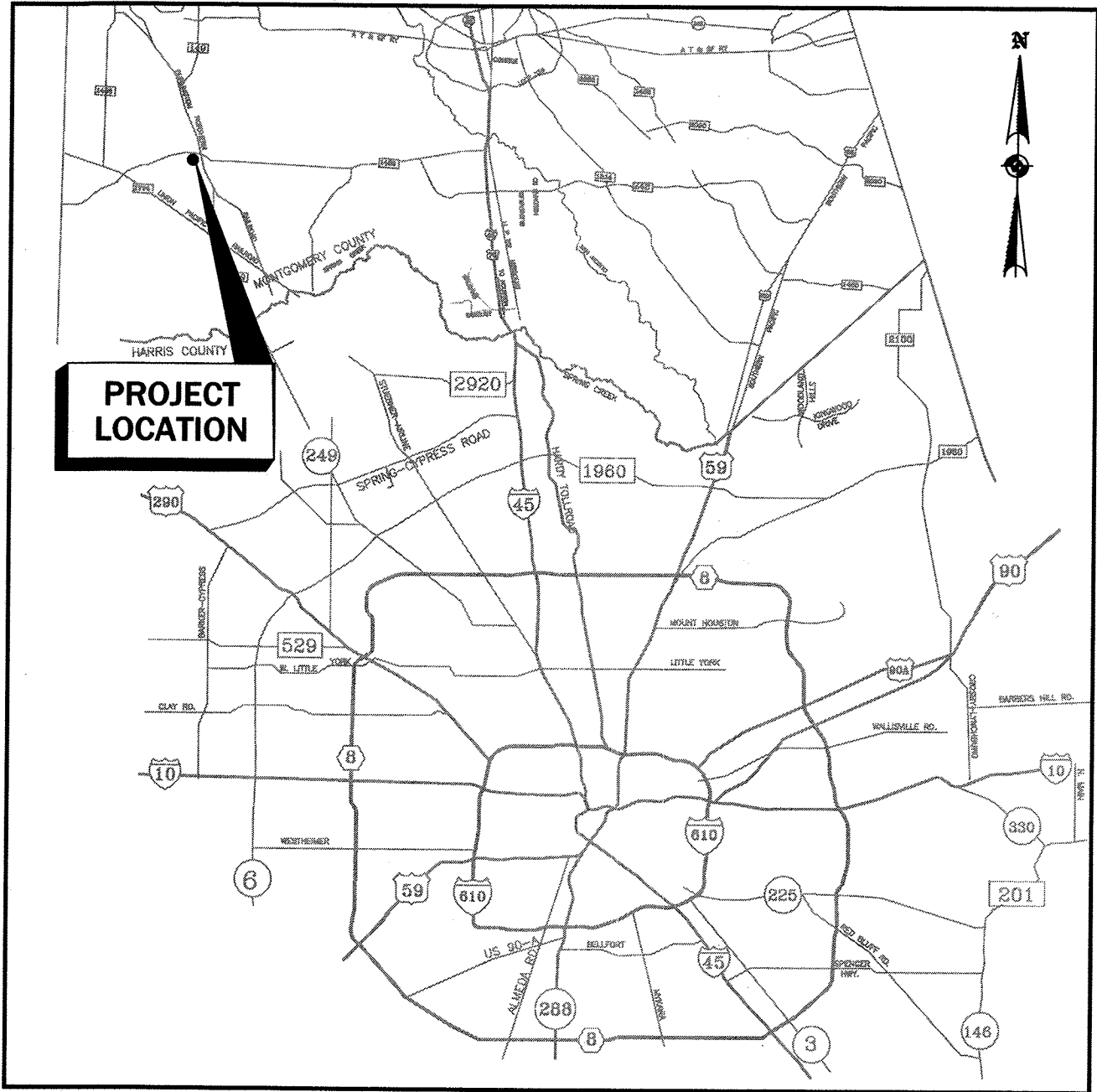
CITY OF MAGNOLIA
MONTGOMERY COUNTY, TEXAS

PLANS OF PROPOSED
WATER PLANT NO. 3 PHASE I

FOR
CONSTRUCTION



VICINITY MAP
NTS



KEY MAP No. 223 Y
AEI JOB No. 211009.40
AUGUST 2022

| NO. | SHEET |
|------------|---|
| GENERAL | |
| 1 | COVER SHEET |
| 2 | GENERAL NOTES |
| CIVIL | |
| 3 | OVERALL SITE PLAN, ACCESS, AND SWPPP |
| 4 | PROPOSED SITE PLAN |
| 5 | WATER WELL NO 7 AND PIPING PROFILE |
| 6 | HYDROPNEUMATIC TANK DETAILS |
| 7 | CHEMICAL FACILITY DETAILS |
| 8 | MISCELLANEOUS DETAIL SHEET 1 OF 2 |
| 9 | MISCELLANEOUS DETAIL SHEET 2 OF 2 |
| 10 | STORM WATER POLLUTION PREVENTION PLAN |
| ELECTRICAL | |
| 11 | ELECTRICAL SYMBOLS & LEGENDS |
| 12 | ELECTRICAL SITE PLAN |
| 13 | ENLARGED ELECTRICAL SITE PLAN |
| 14 | ELECTRICAL CONDUIT AND PANEL SCHEDULES |
| 15 | ELECTRICAL DUCT BANK SCHEDULE |
| 16 | ELECTRICAL ONE LINE DIAGRAM |
| 17 | ELECTRICAL WIRING DIAGRAM |
| 18 | ELECTRICAL MOUNTING DETAILS |
| 19 | PROCESS INSTRUMENTATION DIAGRAM SYMBOLS & LEGENDS |
| 20 | PROCESS AND INSTRUMENTATION DIAGRAM |
| STRUCTURAL | |
| 21 | STRUCTURAL GENERAL NOTES & DETAILS |

CITY OF MAGNOLIA

TODD KANA.....MAYOR
DON DOERING.....CITY ADMINISTRATOR

COUNCIL MEMBERS

DANIEL MILLER.....POSITION #1
MATTHEW "DOC" DANTZER.....POSITION #2
RICHARD CARBY (MAYOR PRO-TEM).....POSITION #3
BRENDA HOPPE.....POSITION #4
JACK L. HUITT JR.....POSITION #5

PROPOSED WATER PLANT NO. 3
0 FM 149
MAGNOLIA, TEXAS 77354

PREPARED BY

AEI
ENGINEERING
BAXTER & WOODMAN company
11450 COMPAQ CENTER DRIVE
SUITE 660
HOUSTON, TEXAS 77070
(281)350-7027
www.baxterwoodman.com
TBEELS FIRM No. F-21783

JANICE C. NOELDNER
131967
PROFESSIONAL ENGINEER
STATE OF TEXAS
DATE 8/16/22

P:\MGN\211009-Water Plant No. 3\40--Design\CAD\WP3-Phase 1\01_Plans\01_Sheets\02_GEN_NOTES.dwg, 8/16/2022 8:46:38 AM, Holly Stauffer

TCEQ WATER DISTRIBUTION SYSTEM
GENERAL CONSTRUCTION NOTES

- THIS WATER DISTRIBUTION SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D. WHEN CONFLICTS ARE NOTED WITH LOCAL STANDARDS, THE MORE STRINGENT REQUIREMENT SHALL BE APPLIED. AT A MINIMUM, CONSTRUCTION FOR PUBLIC WATER SYSTEMS MUST ALWAYS MEET TCEQ'S "RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS."
- ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/NSF INTERNATIONAL STANDARD 61 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI [§290.44(A)(1)].
- PLASTIC PIPE FOR USE IN PUBLIC WATER SYSTEMS MUST BEAR THE NSF INTERNATIONAL SEAL OF APPROVAL (NSF-PW) AND HAVE AN ASTM DESIGN PRESSURE RATING OF AT LEAST 150 PSI OR A STANDARD DIMENSION RATIO OF 26 OR LESS [§290.44(A)(2)].
- NO PIPE WHICH HAS BEEN USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF DRINKING WATER SHALL BE ACCEPTED OR RELOCATED FOR USE IN ANY PUBLIC DRINKING WATER SUPPLY [§290.44(A)(3)].
- ALL WATER LINE CROSSINGS OF WASTEWATER MAINS SHALL BE PERPENDICULAR [§290.44(E)(4)(B)].
- WATER TRANSMISSION AND DISTRIBUTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. HOWEVER, THE TOP OF THE WATER LINE MUST BE LOCATED BELOW THE FROST LINE AND IN NO CASE SHALL THE TOP OF THE WATER LINE BE LESS THAN 24 INCHES BELOW GROUND SURFACE [§290.44(A)(4)].
- THE MAXIMUM ALLOWABLE LEAD CONTENT OF PIPES, PIPE FITTINGS, PLUMBING FITTINGS, AND FIXTURES IS 0.25 PERCENT [§290.44(B)].
- THE CONTRACTOR SHALL INSTALL APPROPRIATE AIR RELEASE DEVICES WITH VENT OPENINGS TO THE ATMOSPHERE COVERED WITH 16-MESH OR FINER, CORROSION RESISTANT SCREENING MATERIAL OR AN ACCEPTABLE EQUIVALENT [§290.44(D)(1)].
- THE CONTRACTOR SHALL NOT PLACE THE PIPE IN WATER OR WHERE IT CAN BE FLOODED WITH WATER OR SEWAGE DURING ITS STORAGE OR INSTALLATION [§290.44(F)(1)].
- WHEN WATERLINES ARE LAID UNDER ANY FLOWING OR INTERMITTENT STREAM OR SEMI-PERMANENT BODY OF WATER THE WATERLINE SHALL BE INSTALLED IN A SEPARATE WATERTIGHT PIPE ENCASEMENT. VALVES MUST BE PROVIDED ON EACH SIDE OF THE CROSSING WITH FACILITIES TO ALLOW THE UNDERWATER PORTION OF THE SYSTEM TO BE ISOLATED AND TESTED [§290.44(F)(2)].
- PURSUANT TO 30 TAC §290.44(A)(5), THE HYDROSTATIC LEAKAGE RATE SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY THE MOST CURRENT AWWA FORMULAS FOR PVC PIPE, CAST IRON AND DUCTILE IRON PIPE. INCLUDE THE FORMULAS IN THE NOTES ON THE PLANS.
 - THE HYDROSTATIC LEAKAGE RATE FOR POLYVINYL CHLORIDE (PVC) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-605 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE;

WHERE:

$$Q = \frac{LD\sqrt{P}}{148,000}$$

- Q = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR,
- L = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET,
- D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND
- P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).

- THE HYDROSTATIC LEAKAGE RATE FOR DUCTILE IRON (DI) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-600 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE;

WHERE:

$$Q = \frac{SD\sqrt{P}}{148,000}$$

- L = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR,
- S = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET,
- D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND
- P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).

- THE CONTRACTOR SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE IN ALL DIRECTIONS OF NINE FEET BETWEEN THE PROPOSED WATERLINE AND WASTEWATER COLLECTION FACILITIES INCLUDING MANHOLES. IF THIS DISTANCE CANNOT BE MAINTAINED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER FOR FURTHER DIRECTION. SEPARATION DISTANCES, INSTALLATION METHODS, AND MATERIALS UTILIZED MUST MEET §290.44(E)(1)-(4).
- THE SEPARATION DISTANCE FROM A POTABLE WATERLINE TO A WASTEWATER MAIN OR LATERAL MANHOLE OR CLEANOUT SHALL BE A MINIMUM OF NINE FEET. WHERE THE NINE-FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE POTABLE WATERLINE SHALL BE ENCASED IN A JOINT OF AT LEAST 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE-FOOT INTERVALS WITH SPACERS OR BE FILLED TO THE SPRINGLINE WITH WASHED SAND. THE ENCASEMENT PIPE SHALL BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEALANT [§290.44(E)(5)].
- FIRE HYDRANTS SHALL NOT BE INSTALLED WITHIN NINE FEET VERTICALLY OR HORIZONTALLY OF ANY WASTEWATER LINE, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE REGARDLESS OF CONSTRUCTION [§290.44(E)(6)].
- SUCTION MAINS TO PUMPING EQUIPMENT SHALL NOT CROSS WASTEWATER MAINS, WASTEWATER LATERALS, OR WASTEWATER SERVICE LINES. RAW WATER SUPPLY LINES SHALL NOT BE INSTALLED WITHIN FIVE FEET OF ANY TILE OR CONCRETE WASTEWATER MAIN, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE [§290.44(E)(7)].
- WATERLINES SHALL NOT BE INSTALLED CLOSER THAN TEN FEET TO SEPTIC TANK DRAINFIELDS [§290.44(F)(8)].
- THE CONTRACTOR SHALL DISINFECT THE NEW WATERLINES IN ACCORDANCE WITH AWWA STANDARD C- 651-14 OR MOST RECENT, THEN FLUSH AND SAMPLE THE LINES BEFORE BEING PLACED INTO SERVICE. SAMPLES SHALL BE COLLECTED FOR MICROBIOLOGICAL ANALYSIS TO CHECK THE EFFECTIVENESS OF THE DISINFECTION PROCEDURE WHICH SHALL BE REPEATED IF CONTAMINATION PERSISTS. A MINIMUM OF ONE SAMPLE FOR EACH 1,000 FEET OF COMPLETED WATERLINE WILL BE REQUIRED OR AT THE NEXT AVAILABLE SAMPLING POINT BEYOND 1,000 FEET AS DESIGNATED BY THE DESIGN ENGINEER [§290.44(F)(3)].
- DECHLORINATION OF DISINFECTING WATER SHALL BE IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARD C655-09 OR MOST RECENT.

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
WATER WELL GENERAL CONSTRUCTION NOTES

- THESE WATER WELL FACILITIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D.
- THE PREMISES, MATERIALS, TOOLS, AND DRILLING EQUIPMENT SHALL BE MAINTAINED SO AS TO MINIMIZE CONTAMINATION OF THE GROUNDWATER DURING DRILLING OPERATION.
- WATER USED IN ANY DRILLING OPERATION SHALL BE OF SAFE SANITARY QUALITY. WATER USED IN THE MIXING OF DRILLING FLUIDS OR MUD SHALL CONTAIN A CHLORINE RESIDUAL OF AT LEAST 0.5 MILLIGRAMS PER LITER (mg/L).
- THE SLUSH PIT SHALL BE CONSTRUCTED AND MAINTAINED SO AS TO MINIMIZE CONTAMINATION OF THE DRILLING MUD.
- NO TEMPORARY TOILET FACILITIES SHALL BE MAINTAINED WITHIN 150 FEET OF THE WELL BEING CONSTRUCTED UNLESS THEY ARE OF A SEALED, LEAKPROOF TYPE.
- THE CONSTRUCTION, DISINFECTION, PROTECTION, AND TESTING OF A WELL TO BE USED AS A PUBLIC WATER SUPPLY SOURCE MUST MEET THE FOLLOWING CONDITIONS.
 - THE CASING MATERIAL USED IN THE CONSTRUCTION OF WELLS FOR PUBLIC USE SHALL BE NEW CARBON STEEL, HIGH STRENGTH LOW ALLOY STEEL, STAINLESS STEEL OR PLASTIC. THE MATERIAL SHALL CONFORM TO AWWA STANDARDS. THE CASING SHALL EXTEND A MINIMUM OF 18 INCHES ABOVE THE ELEVATION OF THE FINISHED FLOOR OF THE PUMP ROOM OR NATURAL GROUND SURFACE AND A MINIMUM OF ONE INCH ABOVE THE SEALING BLOCK OR PUMP MOTOR FOUNDATION BLOCK WHEN PROVIDED. THE CASING SHALL EXTEND AT LEAST TO THE DEPTH OF THE SHALLOWEST WATER FORMATION TO BE DEVELOPED AND DEEPER, IF NECESSARY, IN ORDER TO ELIMINATE ALL UNDESIRABLE WATER BEARING STRATA. WELL CONSTRUCTION MATERIALS CONTAINING MORE THAN 0.25% LEAD ARE PROHIBITED.
 - THE SPACE BETWEEN THE CASING AND DRILL HOLE SHALL BE SEALED BY USING ENOUGH CEMENT UNDER PRESSURE TO COMPLETELY FILL AND SEAL THE ANNULAR SPACE BETWEEN THE CASINO AND THE DRILL HOLE. THE WELL CASING SHALL BE CEMENTED IN THIS MANNER FROM THE TOP OF THE SHALLOWEST FORMATION TO BE DEVELOPED TO THE EARTH'S SURFACE. THE DRILLER SHALL UTILIZE A PRESSURE CEMENTATION METHOD IN ACCORDANCE WITH THE MOST CURRENT AWWA STANDARD FOR WATER WELLS (A100), APPENDIX C: SECTION C.2 (POSITIVE DISPLACEMENT EXTERIOR METHOD); SECTION C.3 (INTERIOR METHOD WITHOUT PLUG); SECTION C.4 (POSITIVE PLACEMENT, INTERIOR METHOD, DRILLABLE PLUG); AND SECTION C.5 (PLACEMENT THROUGH FLOAT SHOE ATTACHED TO BOTTOM OF CASING). THE GROUTING MIXTURE USED TO PRESSURE CEMENT THE ANNULAR SPACE SHALL BE NEAT CEMENT AS SPECIFIED IN THE MOST CURRENT AWWA STANDARD FOR WATER WELLS AND TO WHICH A MAXIMUM OF 6% BY DRY WEIGHT, BENTONITE AND 2% BY DRY WEIGHT, CALCIUM CHLORIDE MAY BE ADDED. THE MINIMUM ANNULAR SPACE BETWEEN THE OUTSIDE DIAMETER OF THE CASING PIPE AND THE BOREHOLE SHALL BE NO LESS THAN 1½ INCHES IN RADIAL THICKNESS OR THREE INCHES IN NET DIAMETRICAL DIFFERENCE AND THE PRESSURE GROUTING SHALL BE FROM THE BOTTOM UPWARD UTILIZING ONE OF THE METHODS LISTED IN THIS SUBPARAGRAPH FOR ALL PUBLIC WATER SYSTEM GROUNDWATER WELL CONSTRUCTION (SPECIFICATION SECTION 02530). WATER WELLS TAKES PRECEDENCE OVER THIS NOTE FOR CEMENTING METHOD AND CEMENT THICKNESS).
 - ALL GRAVEL SHALL BE OF SELECTED AND GRADED QUALITY AND SHALL BE THOROUGHLY DISINFECTED WITH A 50 MG/L CHLORINE SOLUTION AS IT IS ADDED TO THE WELL CAVITY.
 - SAFEGUARDS SHALL BE TAKEN TO PREVENT POSSIBLE CONTAMINATION OF THE WATER OR DAMAGE BY TRESPASSERS FOLLOWING THE COMPLETION OF THE WELL AND PRIOR TO INSTALLATION OF PERMANENT PUMPING EQUIPMENT.
 - UPON WELL COMPLETION, OR AFTER AN EXISTING WELL HAS BEEN RE-WORKED, THE WELL SHALL BE DISINFECTED IN ACCORDANCE WITH CURRENT AWWA STANDARDS FOR WELL DISINFECTION EXCEPT THAT THE DISINFECTANT SHALL REMAIN IN THE WELL FOR AT LEAST SIX HOURS.
 - THE WELL SITE SHALL BE FINE GRADED SO THAT THE SITE IS FREE FROM DEPRESSIONS, REVERSE GRADES, OR AREAS TOO ROUGH FOR PROPER GROUND MAINTENANCE SO AS TO ENSURE THAT SURFACE WATER WILL DRAIN AWAY FROM THE WELL IN ALL CASES. ARRANGEMENTS SHALL BE MADE TO CONVEY WELL PUMP DRAINAGE, PACKING GLAND LEAKAGE, AND FLOOR DRAINAGE AWAY FROM THE WELLHEAD. SUITABLE DRAIN PIPES LOCATED AT THE OUTER EDGE OF THE CONCRETE FLOOR SHALL BE PROVIDED TO COLLECT THIS WATER AND PREVENT ITS PONDING OR COLLECTING AROUND THE WELLHEAD. THIS WASTEWATER SHALL BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ANY NUISANCE FROM MOSQUITO BREEDING OR STAGNATION. DRAINS SHALL NOT BE DIRECTLY CONNECTED TO STORM OR SANITARY SEWERS.
 - A CONCRETE SEALING BLOCK EXTENDING AT LEAST THREE FEET FROM THE WELL CASING IN ALL DIRECTIONS, WITH A MINIMUM THICKNESS OF SIX INCHES AND SLOPED TO DRAIN AWAY AT NOT LESS THAN 0.25 INCHES PER FOOT SHALL BE PROVIDED AROUND THE WELLHEAD.
 - WELLHEADS AND PUMP BASES SHALL BE SEALED BY A GASKET OR SEALING COMPOUND AND PROPERLY VENTED TO PREVENT THE POSSIBILITY OF CONTAMINATING THE WELL WATER. A WELL CASING VENT SHALL BE PROVIDED WITH AN OPENING THAT IS COVERED WITH 16-MESH OR FINER CORROSION- RESISTANT SCREEN, FACING DOWNWARD, ELEVATED AND LOCATED SO AS TO MINIMIZE THE DRAWING OF CONTAMINANTS INTO THE WELL. WELLHEADS AND WELL VENTS SHALL BE AT LEAST TWO FEET ABOVE THE HIGHEST KNOWN WATERMARK OR 100-YEAR FLOOD ELEVATION, IF AVAILABLE, OR ADEQUATELY PROTECTED FROM POSSIBLE FLOOD DAMAGE BY LEVEES.
 - IF A WELL BLOW-OFF LINE IS PROVIDED, ITS DISCHARGE SHALL TERMINATE IN A DOWNWARD DIRECTION AND AT A POINT WHICH WILL NOT BE SUBMERGED BY FLOOD WATERS.
 - A SUITABLE SAMPLING COCK SHALL BE PROVIDED ON THE DISCHARGE PIPE OF EACH WELL PUMP PRIOR TO ANY TREATMENT.
 - FLOW MEASURING DEVICES SHALL BE PROVIDED FOR EACH WELL TO MEASURE PRODUCTION YIELDS AND PROVIDE FOR THE ACCUMULATION OF WATER PRODUCTION DATA. THESE DEVICES SHALL BE LOCATED TO FACILITATE DAILY READING.
 - ALL COMPLETED WELL UNITS SHALL BE PROTECTED BY INTRUDER-RESISTANT FENCES, THE GATES OF WHICH ARE PROVIDED WITH LOCKS OR SHALL BE ENCLOSED IN LOCKED, VENTILATED WELL HOUSES TO EXCLUDE POSSIBLE CONTAMINATION OR DAMAGE TO THE FACILITIES BY TRESPASSERS. THE GATES OR WELLHOUSES SHALL BE LOCKED DURING PERIODS OF DARKNESS AND WHEN THE PLANT IS UNATTENDED.
 - AN ALL-WEATHER ACCESS SHALL BE PROVIDED TO EACH WELL SITE.
 - AN AIR RELEASE DEVICE SHALL BE INSTALLED IN SUCH A MANNER AS TO PRECLUDE THE POSSIBILITY OF SUBMERGENCE OR POSSIBLE OF CONTAMINANTS. IN THIS RESPECT, ALL OPENINGS TO THE ATMOSPHERE SHALL BE COVERED WITH 16-MESH OR FINER, CORROSION-RESISTANT SCREENING MATERIAL OR AN ACCEPTABLE EQUIVALENT.

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
HYDROPNEUMATIC PRESSURE TANK GENERAL CONSTRUCTION NOTES

- THESE WATER WELL FACILITIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D.
- ALL HYDROPNEUMATIC TANKS MUST BE LOCATED WHOLLY ABOVE GRADE AND MUST BE OF STEEL CONSTRUCTION WITH WELDED SEAMS EXCEPT AS PROVIDED IN NOTE No. 10 OF THESE CONSTRUCTION NOTES.
- METAL THICKNESS FOR PRESSURE TANKS SHALL BE SUFFICIENT TO WITHSTAND THE HIGHEST EXPECTED WORKING PRESSURES WITH A FOUR TO ONE FACTOR OF SAFETY. TANKS FOR 1000 GALLON CAPACITY OR LARGER MUST MEET THE STANDARDS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) SECTION VIII, DIVISION 1 CODES AND CONSTRUCTION REGULATIONS AND MUST HAVE AN ACCESS PORT OF PERIODIC INSPECTIONS. AN ASME NAME PLATE MUST BE PERMANENTLY ATTACHED TO THOSE TANKS. TANKS INSTALLED BEFORE JULY 1, 1988, ARE EXEMPT FROM THE ASME CODING REQUIREMENT, BUT ALL NEW INSTALLATIONS MUST MEET THIS REGULATION. EXEMPT TANKS CAN BE RELOCATED WITHIN A SYSTEM, BUT CANNOT BE RELOCATED TO ANOTHER SYSTEM.
- ALL PRESSURE TANKS SHALL BE PROVIDED WITH A PRESSURE RELEASE DEVICE AND AN EASILY READABLE PRESSURE GAUGE.
- FACILITIES SHALL BE PROVIDED FOR MAINTAINING THE AIR-WATER-VOLUME AT THE DESIGN WATER LEVEL AND WORKING PRESSURE. AIR INJECTION LINES MUST BE EQUIPPED WITH FILTERS OR OTHER DEVICES TO PREVENT COMPRESSOR LUBRICANT AND OTHER CONTAMINANTS FROM ENTERING THE PRESSURE TANK. A DEVICE TO READILY DETERMINE AIR-WATER-VOLUME MUST BE PROVIDED FOR ALL TANKS GREATER THAN 1000 GALLON CAPACITY. GALVANIZED TANKS WHICH ARE NOT PROVIDED WITH THE NECESSARY FITTINGS AND WERE INSTALLED BEFORE JULY 1, 1988, SHALL BE EXEMPT FROM THIS REQUIREMENT.
- HYDROPNEUMATIC PRESSURE TANKS SHALL BE PAINTED, DISINFECTED AND MAINTAINED IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARDS. PROTECTIVE PAINT OR COATING SHALL BE APPLIED TO THE INSIDE PORTION OF ANY PRESSURE TANK. HOWEVER, NO TEMPORARY COATING, WAX, GREASE COATING OR COATING MATERIALS CONTAINING LEAD WILL BE ALLOWED. NO OTHER COATING WILL BE ALLOWED WHICH ARE NOT APPROVED FOR USE (AS A CONTACT SURFACE WITH POTABLE WATER BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA), NATIONAL SANITATION FOUNDATION (NSF), THE UNITED STATES FOOD AND DRUG ADMINISTRATION (FDA). ALL NEWLY INSTALLED COATINGS MUST CONFORM TO ANSI/NSF STANDARD 61 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI.
- NO PRESSURE TANK THAT HAS BEEN USED TO STORE ANY MATERIAL OTHER THAN POTABLE WATER MAY BE USED IN A PUBLIC WATER SYSTEM. A LETTER FROM THE PREVIOUS OWNER OR OWNERS MUST BE PROVIDED.
- PRESSURE TANK INSTALLATIONS SHOULD BE EQUIPPED WITH SLOW CLOSING VALVES AND TIME DELAY PUMP CONTROLS TO ELIMINATE WATER HAMMER TO REDUCE THE CHANCE OF TANK FAILURE.
- ASSOCIATED APPURTENANCES INCLUDING VALVES PIPES AND FITTINGS CONNECTED TO PRESSURE TANKS SHALL BE THOROUGHLY TIGHT AGAINST LEAKAGE.
- WHERE SEAMLESS FIBERGLASS TANKS ARE UTILIZED, THEY SHALL NOT EXCEED 300 GALLONS IN CAPACITY.
- NO MORE THAN THREE PRESSURE TANKS SHALL BE INSTALLED AT ANY ONE SITE WITHOUT PRIOR APPROVAL OF THE EXECUTIVE DIRECTOR.
- ALL POTABLE WATER STORAGE TANKS AND PRESSURE MAINTENANCE FACILITIES MUST BE ENCLOSED BY AN INTRUDER RESISTANT FENCE WITH LOCKABLE GATES. PEDESTAL TYPE ELEVATED STORAGE TANKS WITH LOCKABLE DOORS AND WITHOUT EXTERNAL LADDERS ARE EXEMPT FROM THIS REQUIREMENT. THE GATES AND DOORS MUST BE KEPT LOCKED WHENEVER THE FACILITY IS UNATTENDED.

GENERAL CONSTRUCTION NOTES

- ALL UNSATISFACTORY AND/OR WASTE MATERIALS INCLUDING VEGETATION, ROOTS, CONCRETE AND DEBRIS SHALL BE HAULED OFFSITE BY THE CONTRACTOR. INCLUDE COST OF THIS WORK, INCLUDING HAUL, IN OTHER ITEMS OF THIS PROJECT.
- CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES DURING CONSTRUCTION OF PROPOSED FACILITIES.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION OF PROPOSED FACILITIES. CONTRACTOR SHALL NOTIFY UTILITIES 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTACT TEXAS ONE CALL (713)223-4567/811 OR 800-344-8377 AND LONE STAR NOTIFICATION CENTER AT 800-669-8344 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ENGINEER.
- CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY REGULATION OF MONTGOMERY COUNTY, TEXAS FOR DEVELOPMENT, FIRE CODE, STORM WATER MANAGEMENT AND ANY OTHER APPLICABLE PERMITS PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING. OWNER TO PROVIDE CENTERLINE CONTROL AND ONE (1) SITE BENCHMARK.
- CONTRACTOR SHALL RESTORE FENCES, LANDSCAPING AND ANY OTHER SURFACE FEATURES IMPACTED BY THE CONSTRUCTION OF PROPOSED IMPROVEMENTS ON EXISTING UTILITIES. THIS WORK SHALL BE INCIDENTAL TO THE BID PRICE FOR EACH ITEM OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL FIRE HYDRANTS, WATER VALVES AND BLOWOFF BOXES TO FINAL GRADE AFTER COMPLETION OF PAVING IMPROVEMENTS.
- CONTRACTOR SHALL GIVE MS. PAT GUNTER WITH AEI ENGINEERING, A BAXTER & WOODMAN COMPANY (PHONE: 281-350-7027) AND MR. BURT SMITH WITH CITY OF MAGNOLIA (PHONE: 281-356-2266) TWO (2) WORKING DAYS NOTICE OF BEGINNING OF CONSTRUCTION.

STANDARD CONSTRUCTION NOTES – WATER PLANTS

- INTERNAL PLANT PIPING SHALL BE DUCTILE IRON PIPE OR WELDED STEEL PIPE, RATED FOR AN INTERNAL WORKING PRESSURE OF 150 PSI. PIPE USED WITH THREADED OR FLANGED CONNECTIONS SHALL BE THICKNESS CLASS 53 (MINIMUM). ALL PIPING SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C151-09.
- DUCTILE IRON AND WELDED STEEL PIPE WILL BE CEMENT MORTAR LINED IN ACCORDANCE WITH ANSI/AWWA C104/A21.4-08 (AND NSF STANDARD 61). ALL OTHER PIPE SHALL HAVE INTERNAL COATING WHICH MEETS NSF STANDARD 61.
- FLANGED FITTINGS AND/OR COMPRESSION-TYPE PUSH ON FITTINGS SHALL BE RATED FOR AN INTERNAL WORKING PRESSURE OF 150 PSI. ALL FITTINGS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C110/A21.10-08.
- ALL THREADED FLANGES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C115/A21.15-05.
- CONCRETE THRUST BLOCKS SHALL BE PROVIDED AT ALL UNDERGROUND TEES, BENDS AND LATERALS. THEY SHALL BE BUILT IN ACCORDANCE WITH DETAILS PROVIDED.
- ALL ABOVE GROUND DUCTILE IRON PIPE CONNECTIONS SHALL BE FLANGED. UNDERGROUND DUCTILE IRON PIPING CONNECTIONS ARE TO BE BOLTLESS AND PUSH-ON AFTER THE FIRST JOINT BELOW GRADE.
- INTERNAL WATER PLANT VALVES SHALL OPEN COUNTER-CLOCKWISE. VALVES WITHIN PUBLIC STREET RIGHTS OF WAY SHALL OPEN CLOCKWISE. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C509-09 (GATE VALVES) AND ANSI/AWWA C504-06 (BUTTERFLY VALVES).
- ALL ABOVE-GRADE VALVES 12 INCHES AND SMALLER SHALL BE FLANGED AND OS&Y GATE VALVES WITH RESILIENT SEATS.
- ALL BELOW-GRADE VALVES 12 INCHES AND SMALLER SHALL BE N.R.S GATE VALVES WITH RESILIENT SEATS, GASKETED AND HUB-ENDS, EXCEPT WHERE FLANGED ENDS ARE CALLED OUT ON THE DRAWINGS.
- ALL VALVES LARGER THAN 16-INCH SHALL BE GASKETED, FLANGED RUBBER SEATED BUTTERFLY VALVES. ABOVE-GROUND BUTTERFLY VALVES SHALL HAVE POST INDICATOR AND HANDWHEEL.
- ALL BURIED VALVES SHALL BE EQUIPPED WITH VALVE BOXES.
- SIX-INCH TO 12-INCH WATER LINES SHALL HAVE A MINIMUM COVER OF FOUR FEET. 16-INCH AND LARGER WATER LINES SHALL HAVE A MINIMUM COVER OF FIVE FEET.
- ALL EXCAVATIONS OVER FIVE FEET DEEP SHALL HAVE TRENCH SAFETY SYSTEM.
- ALL WATERLINE CONSTRUCTION IS TO BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF MAGNOLIA STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- ALL PIPE SHALL BE SUPPLIED IN ACCORDANCE WITH SECTION 02610. ALL BURIED DUCTILE IRON PIPE SHALL BE COVERED WITH 8 MILS MINIMUM OF COAL TAR EPOXY AND WRAPPED WITH POLYETHYLENE ENCASEMENT IN ACCORDANCE WITH ANSI/AWWA C105/A21.5-05.
- ALL PRESSURE OR ALTITUDE GAUGES SHALL HAVE A 4-1/2" FACE DIAMETER, LIQUID FILLED STAINLESS STEEL CASE WITH 1/2" BOTTOM CONNECTION.
- PROVIDE PROTECTIVE COATINGS FOR TANKS, PIPING, VALVES, CONTROL BUILDING AND OTHER APPURTENANCES IN ACCORDANCE WITH SECTION 09916.
- CONTRACTOR SHALL FOLLOW CONSTRUCTION DETAILS IF DRAWINGS DIFFER FROM REFERENCE STANDARDS.
- STORM SEWERS TO BE BUILT IN ACCORDANCE WITH CITY OF MAGNOLIA STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- ALL STORM SEWER PIPE WITHIN 50 FEET OF THE WATER WELL SHALL BE PVC OR DUCTILE IRON PIPE HAVING A MINIMUM PRESSURE RATING OF 150 PSI AND SHALL BE EQUIPPED WITH PRESSURE-TYPE JOINTS. USE CLASS "AA" CEMENT STABILIZED SAND BEDDING FOR ALL STORM SEWERS.
- STORM SEWER INLETS SHALL BE STANDARD CITY OF MAGNOLIA TYPE "A" INLETS.
- MANHOLES AND INLETS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND (NO SEPARATE PAY.)
- SITE FENCING SHALL CONSIST OF A SIX FOOT HIGH CHAIN LINK FENCE WITH THREE STRANDS OF BARBED WIRE, OR AN EIGHT FOOT HIGH INTRUDER RESISTANT FENCE AS SHOWN ON DRAWINGS AND AS SPECIFIED.
- ALL KNOWN EXISTING OR FUTURE SANITARY SEWER LINES WITHIN 200 FEET OF THE WATER PLANT ARE SHOWN.
- HYDRO-MULCH SEED THE DISTURBED AREAS OF THE PLANT IN ACCORDANCE WITH SPECIFICATIONS.
- UNLESS STATED OTHERWISE ELSEWHERE IN THESE NOTES, CONTRACTOR SHALL OBTAIN ALL CITY, COUNTY, STATE AND FEDERAL PERMITS. ENGINEER WILL ASSIST WHERE NECESSARY.
- CONTRACTOR SHALL PROTECT, MAINTAIN, AND RESTORE TO ORIGINAL CONDITION OR BETTER ANY ON-SITE OR OFF-SITE AREAS THAT ARE AFFECTED BY CONSTRUCTION.
- REINFORCED WELDED WIRE FABRIC WILL BE PROVIDED IN SHEETS. ROLLED WELDED WIRE FABRIC IS NOT ALLOWED.

WATER LINE NOTES

- WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA INFRASTRUCTURE DESIGN MANUAL, STANDARD SPECIFICATION, AND CONSTRUCTION DETAILS.
- ALL 4" THROUGH 12" WATER LINE TO BE AWWA C-900 PVC DR-18 BLUE PRESSURE RATED WATER MAIN WITH 2" AND SMALLER WATER SERVICE LINE TO BE CONTINUOUS TYPE K COPPER TUBING PER CITY STANDARD SPECIFICATION SECTION 02503. ALL 4" THRU 54" DI PIPE WATER LINES SHALL BE AWWA C151 WITH INSIDE LINING WITH AWWA C104 AND DOUBLE WRAPPED WITH 8-MIL POLYETHYLENE SHEETS.
- CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. USE RESTRAINED JOINTS WHERE PREVENTING MOVEMENT OF 16" OR GREATER PIPE IS NECESSARY DUE TO THRUST.
- ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT OF ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE PAVING SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
- ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER CITY OF MAGNOLIA AND TCEQ REGULATIONS.
- ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.
- ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EVERY 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
- ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.
- 4" THRU 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG.
- HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA STANDARD CONSTRUCTION SPECIFICATIONS. TESTS ARE TO BE PERFORMED ON THE ENTIRE FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.
- ALL WATER LINES TO HAVE 4' MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEARANCE TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8' DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
- CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAPPED (OR OTHERWISE EFFECTIVELY COVERED) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.

CAUTION: UNDERGROUND GAS FACILITIES

THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT 1-800-545-6005 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.

- WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (713)207-5463 OR (713)945-8037 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.
- WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
- WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.
- FOR EMERGENCIES REGARDING GAS LINES CALL (713)659-3552 OR (713)207-4200.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

WARNING: OVERHEAD ELECTRICAL LINES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. THE LOCATION OF OVERHEAD LINES HAS NOT BEEN SHOWN ON THESE DRAWINGS AS THE LINES ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE FORBIDS ACTIVITIES THAT OCCUR IN CLOSE PROXIMITY TO HIGH VOLTAGE LINES, SPECIFICALLY:

- ANY ACTIVITY WHERE PERSON OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES; AND
- OPERATING A CRANE, DERRICK, POWER SHOVEL, DRILLING RIG, PILE DRIVER, HOISTING EQUIPMENT, OR SIMILAR APPARATUS WITHIN 10 FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES.

PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED, CALL CENTERPOINT ENERGY AT (713)207-2222.

ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY

NO APPROVAL OR USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713)207-6348 OR (713)207-5769.

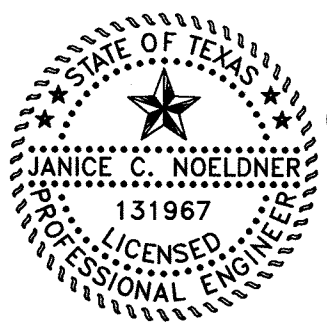
NOTICE:
FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES CAN BE MARKED. THIS SIGNATURE DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.

VERIFICATION OF PRIVATE UTILITY LINES

Mike Brower Date: 08-31-22
CENTERPOINT ENERGY NATURAL GAS UTILITIES SHOWN. (GAS SERVICE LINES ARE NOT SHOWN).
THIS SIGNATURE NOT TO BE USED FOR CONFLICT VERIFICATION.
SIGNATURE VALID FOR SIX MONTHS.

Mike Brower Date: 08-31-22
CENTERPOINT ENERGY/UNDERGROUND ELECTRICAL FACILITIES VERIFICATION ONLY.
(This signature verifies existing underground facilities-not to be used for conflict verification.)
SIGNATURE VALID FOR SIX MONTHS.

AT&T TEXAS/SWBT UTILITY LINES SHOWN
Approved for AT&T Texas/SWBT underground conduit facilities only.
Signature valid for one year.



Jamie C. Noeldner
NAME
08/16/22
DATE



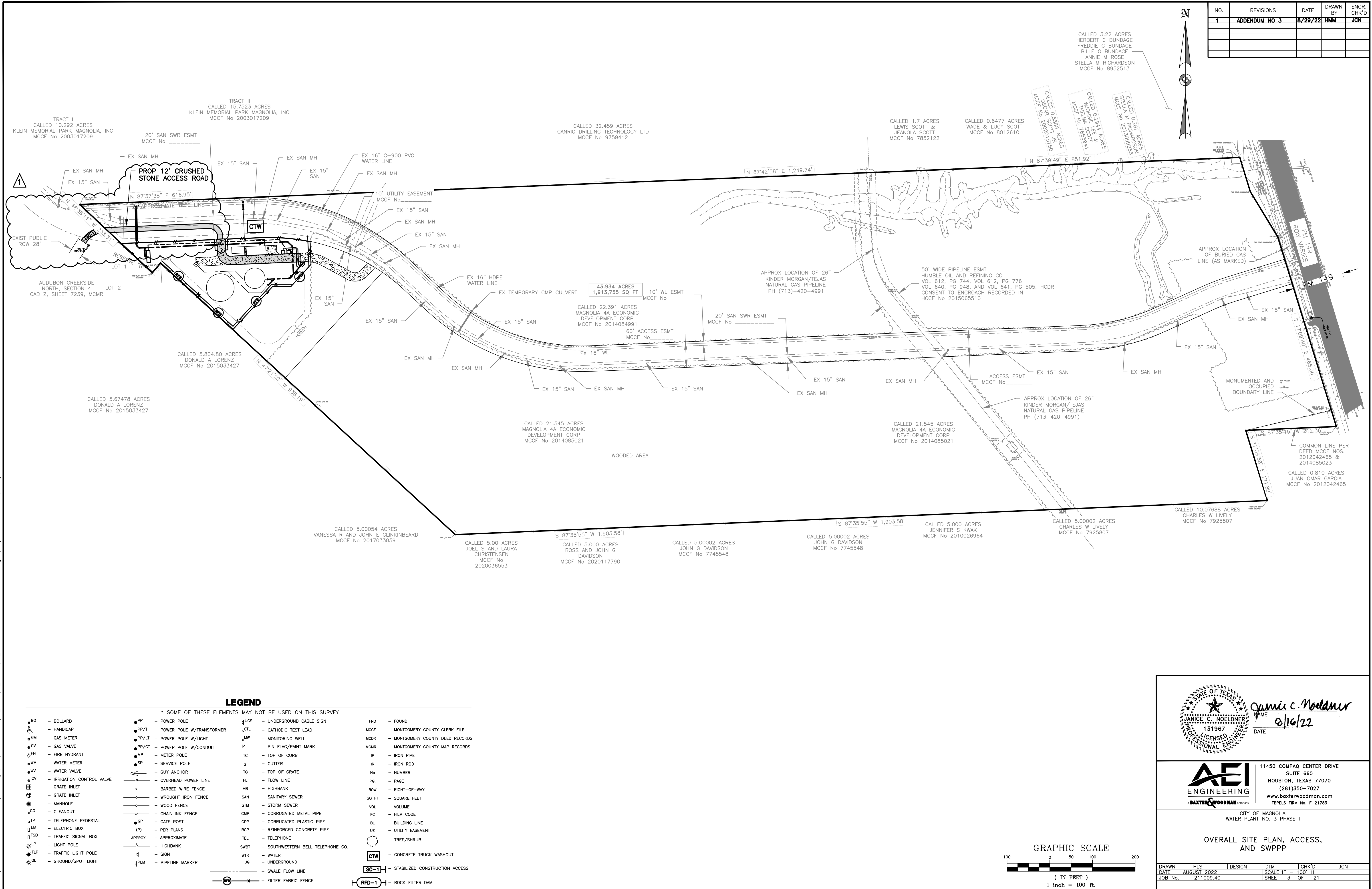
11450 COMPAQ CENTER DRIVE
SUITE 660
HOUSTON, TEXAS 77070
(281)350-7027
www.baxterwoodman.com
TBEPLS FIRM No. F-21783

CITY OF MAGNOLIA
WATER PLANT NO. 3 PHASE I

GENERAL NOTES

| | | | | | |
|---------|-------------|--------|-----|-------|-----|
| DRAWN | HLS | DESIGN | DTM | CHK'D | JCN |
| DATE | AUGUST 2022 | SCALE | NTS | | |
| JOB No. | 211009.40 | SHEET | 2 | OF | 21 |

| NO. | REVISIONS | DATE | DRAWN BY | ENGR. CHK'D |
|-----|---------------|---------|-------------|----------------|
| 1 | ADDENDUM NO 3 | 8/29/22 | HMM | JCN |
| | | | | |
| | | | | |
| | | | | |
| | | | | |



F:\MAGN\211009-Water Plant No. 3\40-Design\CAD\WP3-Phase 1\01_Plans\01_Sheets\04_PROPOSED SITE PLAN.dwg, 8/29/2022 1:53:21 PM, Haley Miller










NOTES:

- UNDERGROUND WATER LINE SHALL BE D.I.P. INSIDE THE WATER PLANT AND C-900 PVC OUTSIDE THE WATER PLANT UNLESS OTHERWISE INDICATED.
- MINIMUM 2-FOOT VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINES.
- WET CONNECTS TO BE PERFORMED IMMEDIATELY UPON NOTICE TO PROCEED AND SUBMITTAL REVIEW. WET CONNECTS TO BE COMPLETED NO LATER THAN NOVEMBER 4, 2022.
- CONTRACTOR TO REGRADE PROJECT WORK AREA AS NEEDED TO PROVIDE POSITIVE DRAINAGE.
- PROPOSED PERMEABLE PAVERS ACCESS ROAD AND DRIVEWAY FINISHED ELEVATIONS SHALL MATCH EXISTING NATURAL GROUND ELEVATION.

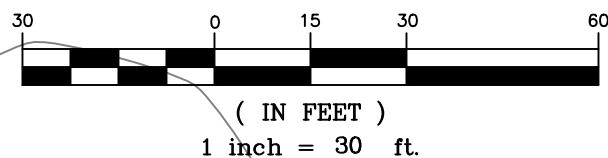
| PROPOSED IMPROVEMENTS | |
|-----------------------|---|
| (A) | 1,000 GPM WATER WELL |
| (B) | 10,000-GALLON HYDROPNEUMATIC TANK |
| (C) | 8' X 10' FIBERGLASS PHOSPHATE BUILDING |
| (D) | 8' X 8' FIBERGLASS BLEACH BUILDING |
| (E) | 10" WATER LINE |
| (F) | 10" X 10" WYE |
| (G) | 10" PLUG AND CLAMP |
| (H) | 10" X 12" REDUCER |
| (I) | 12" WATER LINE |
| (J) | 12" X 12" TEE |
| (K) | 12" PLUG AND CLAMP |
| (L) | 8" WATER LINE |
| (M) | 12" X 8" TEE |
| (N) | 16" X 12" TEE |
| (O) | 20-FOOT WIDE DOUBLE SWING GATE (SEE DETAIL, SHT 9) |
| (P) | REMOVABLE BOLLARD (SEE DETAIL, SHT 9) |
| (Q) | DRENCH SAFETY SHOWER AND EYE WASH STATION (SEE DETAIL, SHT 7) |
| (R) | WELL BLOW OFF SPLASH BOX (SEE DETAIL, SHT 5) |

| WELL DISCHARGE PIPING (SEE DETAIL, SHT 5) | |
|---|----------------|
| (S) | 1" WATER LINE |
| (T) | 8" GATE VALVE |
| (U) | 8" X 90° BEND |
| (V) | 10" X 45° BEND |
| (W) | 10" GATE VALVE |
| (X) | 12" X 45° BEND |
| (Y) | 12" GATE VALVE |
| (Z) | 16" GATE VALVE |

LEGEND

| | | |
|--|-----------------------------|-----------------------|
|  | PROP CHAIN LINK FENCE | |
|  | PROP AIR LINE | |
|  | PROP CHLORINE LINE | |
|  | PROP PHOSPHATE LINE | CALLED OUT MCCF |
|  | PROP WATER LINE | |
|  | PROP GATE VALVE | |
|  | FUTURE CONCRETE DRIVEWAY | |
|  | FUTURE 4" CONCRETE SIDEWALK | |
|  | PROP CRUSHED STONE DRIVEWAY | |

GRAPHIC SCALE



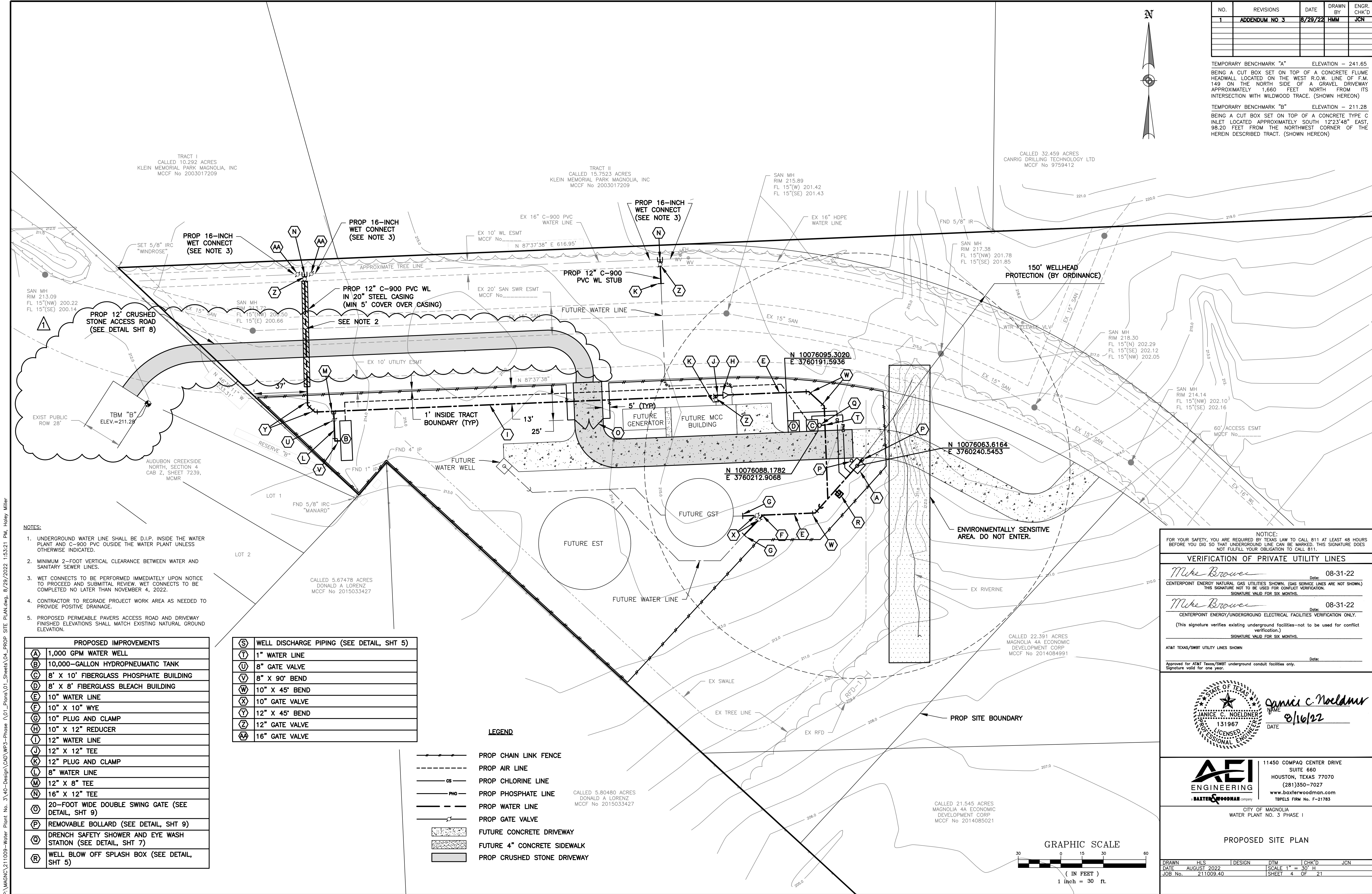
| NO. | REVISIONS | DATE | DRAWN BY | ENGR. CHK'D |
|-----|---------------|---------|----------|-------------|
| 1 | ADDENDUM NO 3 | 8/29/22 | HMM | JCN |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

TEMPORARY BENCHMARK "A" ELEVATION - 241.65

BEING A CUT BOX SET ON TOP OF A CONCRETE FLUME HEADWALL LOCATED ON THE WEST R.O.W. LINE OF F.M. 149 ON THE NORTH SIDE OF A GRAVEL DRIVEWAY APPROXIMATELY 1,660 FEET NORTH FROM ITS INTERSECTION WITH WILDWOOD TRACE. (SHOWN HEREON)

TEMPORARY BENCHMARK "B" ELEVATION - 211.28

BEING A CUT BOX SET ON TOP OF A CONCRETE TYPE C INLET LOCATED APPROXIMATELY SOUTH 12°23'48" EAST, 98.20 FEET FROM THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT. (SHOWN HEREON)



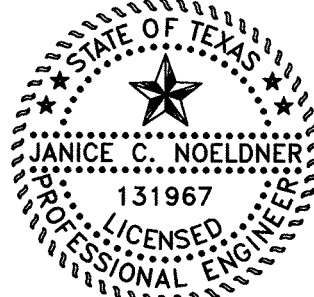
NOTICE:
FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DID SO THAT UNDERGROUND LINE CAN BE MARKED. THIS SIGNATURE DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.

VERIFICATION OF PRIVATE UTILITY LINES

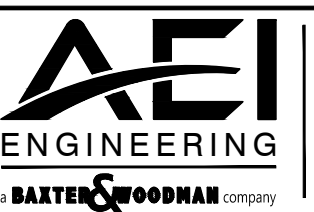
Mike Browne Date: 08-31-22
CENTERPOINT ENERGY NATURAL GAS UTILITIES SHOWN. (GAS SERVICE LINES ARE NOT SHOWN.)
THIS SIGNATURE NOT TO BE USED FOR CONFLICT VERIFICATION.
SIGNATURE VALID FOR SIX MONTHS.

Mike Browne Date: 08-31-22
CENTERPOINT ENERGY/UNDERGROUND ELECTRICAL FACILITIES VERIFICATION ONLY.
(This signature verifies existing underground facilities--not to be used for conflict verification.)
SIGNATURE VALID FOR SIX MONTHS.

AT&T TEXAS/SWBT UTILITY LINES SHOWN
Approved for AT&T Texas/SWBT underground conduit facilities only.
Signature valid for one year.



Janice C. Noeldner
NAME
DATE 8/16/22



11450 COMPAQ CENTER DRIVE
SUITE 660
HOUSTON, TEXAS 77070
(281)350-7027
www.baxterwoodman.com
TPELS FIRM No. F-21783

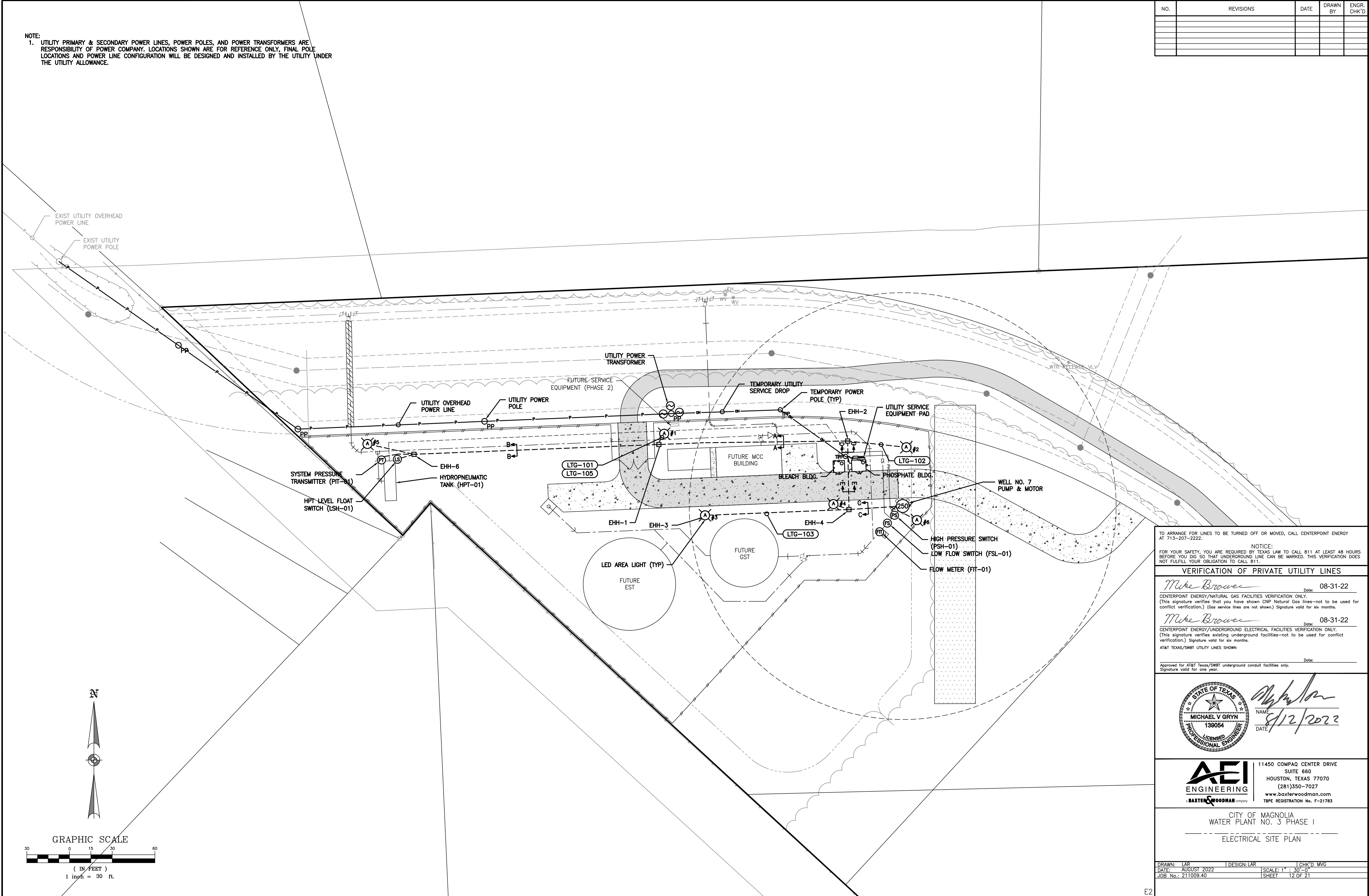
CITY OF MAGNOLIA
WATER PLANT NO. 3 PHASE I

PROPOSED SITE PLAN

| | | | | | |
|---------|-------------|--------|------------|-------|-----|
| DRAWN | HLS | DESIGN | DTM | CHK'D | JCN |
| DATE | AUGUST 2022 | SCALE | 1" = 30' H | | |
| JOB No. | 211009.40 | SHEET | 4 OF 21 | | |

NOTE:
1. UTILITY PRIMARY & SECONDARY POWER LINES, POWER POLES, AND POWER TRANSFORMERS ARE RESPONSIBILITY OF POWER COMPANY. LOCATIONS SHOWN ARE FOR REFERENCE ONLY, FINAL POLE LOCATIONS AND POWER LINE CONFIGURATION WILL BE DESIGNED AND INSTALLED BY THE UTILITY UNDER THE UTILITY ALLOWANCE.

| NO. | REVISIONS | DATE | DRAWN BY | ENGR. CHK'D |
|-----|-----------|------|----------|-------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |



TO ARRANGE FOR LINES TO BE TURNED OFF OR MOVED, CALL CENTERPOINT ENERGY AT 713-207-2222.
NOTICE:
FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES CAN BE MARKED. THIS VERIFICATION DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.

VERIFICATION OF PRIVATE UTILITY LINES

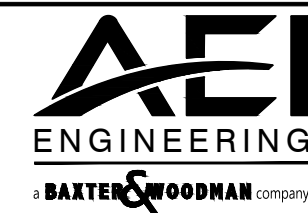
Mike Brower Date: 08-31-22
CENTERPOINT ENERGY/NATURAL GAS FACILITIES VERIFICATION ONLY.
(This signature verifies that you have shown CNP Natural Gas lines—not to be used for conflict verification.) (Gas service lines are not shown.) Signature valid for six months.

Mike Brower Date: 08-31-22
CENTERPOINT ENERGY/UNDERGROUND ELECTRICAL FACILITIES VERIFICATION ONLY.
(This signature verifies existing underground facilities—not to be used for conflict verification.) Signature valid for six months.
AT&T TEXAS/SWBT UTILITY LINES SHOWN

Approved for AT&T Texas/SWBT underground conduit facilities only.
Signature valid for one year.



Michael V. Gryn
NAME: MICHAEL V. GRYN
DATE: 8/12/2022



11450 COMPAQ CENTER DRIVE
SUITE 660
HOUSTON, TEXAS 77070
(281)350-7027
www.baxterwoodman.com
TBPE REGISTRATION No. F-21783

CITY OF MAGNOLIA
WATER PLANT NO. 3 PHASE 1
ELECTRICAL SITE PLAN

DRAWN: LAR | DESIGN: LAR | CHK'D: MWG
DATE: AUGUST 2022 | SCALE: 1" = 30'-0"
JOB No.: 211009.40 | SHEET: 12 OF 21



November 8, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Water Plant No. 3 - Final Plat Review Letter*
City of Magnolia
AEI Job No. 221697.80-001

Dear Mr. Doering:

We received the revised final plat for the proposed Water Plant No. 3 on November 8, 2022. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Final plat shall be signed and sealed by a Professional Surveyor licensed in Texas.
2. If that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.
3. Provide an electronic copy of the final recorded plat to the City Engineer when it becomes available.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
 Mr. Burt Smith – City of Magnolia – Director of Public Works
 Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
 Mr. Robel E. Giackero, PE. – AEI Engineering, a Baxter & Woodman Company
 Ms. Amber Whiting, Windrose Services, Inc.

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: November 10, 2022

To: Planning & Zoning Commission

From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 11**

Background/Information:

A site plan was received on October 26, 2022. Revisions were also made after this date and supplied to City Engineer for review.

Comments:

Letter of No Objection was issued by City Engineer on November 9, 2022.

Action Requested:

Approve site plan for Christian Brothers Automotive.

Recommendation:

Approve site plan for Christian Brothers Automotive.

Attachments:

Site Plan



Site Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION

Applicant

Christian Brothers Automotive

Name

Billy Green Jr.

Street Address

17725 Katy Freeway, Suite 200

City, State Zip

Houston, TX 77094

Phone

281-675-6192

Fax

billy.green@cbac.com

E-mail

Architect (if different)

Icon Architects

Name

Dana King

Street Address

703 San Ysidro Trail

City, State Zip

Mansfield, TX 76063

Phone

979-255-6927

Fax

dlk-architect@outlook.com

E-mail

Property Owner (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

PEA Group

Name

Jacques Gilbert

Street Address

16060 Dillard Dr., Ste 250

City, State Zip

Houston, TX 77040

Phone

713-688-3530

Fax

jgilbert@peagroup.com

E-mail

Project Name: Christian Brothers Automotive _____ Lot#: _____ Reviewer: _____

PROPERTY PROFILE

Site Address 14546 Red Creek Circle, Magnolia, TX 77354Legal Description MAGNOLIA PLACE SECTION 1 LOT 0 BLOCK 1 RESERVE "A-1"

(Subdivision)

(Lot)

(Block)

Current Zoning AC**Present Use of Property**UNDEVELOPED

Proposed Use of the PropertyLIGHT CAR MAINTENANCE AND REPAIR FACILITY

Total Area of Site 1.184Project Name: Christian Brothers Automotive Lot#: _____ Reviewer: _____

National Flood Hazard Layer FIRMette



95°41'33"W 30°13'38"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

95°40'56"W 30°13'6"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

| | | |
|-----------------------------|--|---|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE) Zone A, V, A99 |
| | | With BFE or Depth Zone AE, AO, AH, VE, AR |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
| | | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | | Area with Reduced Flood Risk due to Levee. See Notes. Zone X |
| | | Area with Flood Risk due to Levee Zone D |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard Zone D |
| | | Channel, Culvert, or Storm Sewer |
| OTHER FEATURES | | Levee, Dike, or Floodwall |
| | | Cross Sections with 1% Annual Chance Water Surface Elevation |
| OTHER FEATURES | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| OTHER FEATURES | | Limit of Study |
| | | Jurisdiction Boundary |
| OTHER FEATURES | | Coastal Transect Baseline |
| | | Profile Baseline |
| OTHER FEATURES | | Hydrographic Feature |
| | | Digital Data Available |
| MAP PANELS | | No Digital Data Available |
| | | Unmapped |

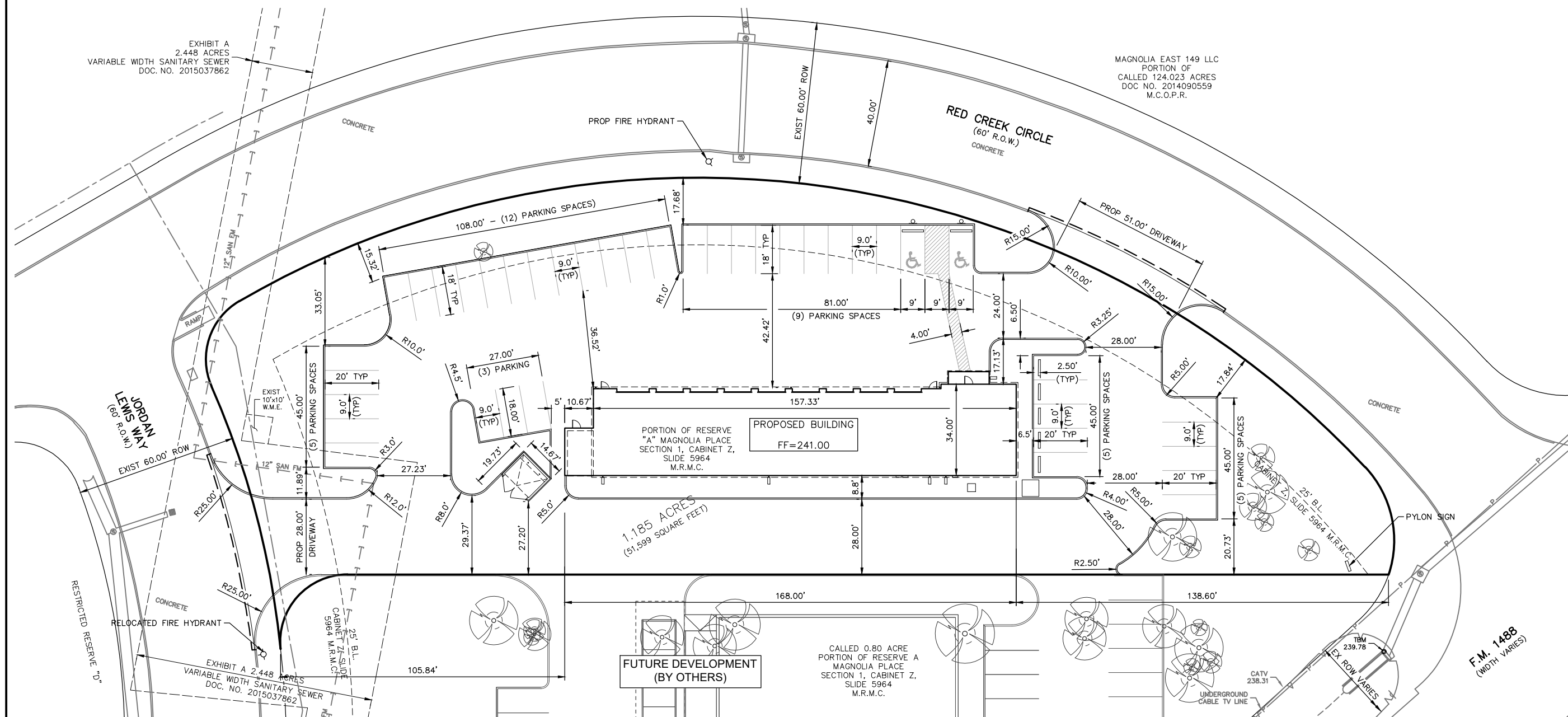


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/9/2022 at 7:50 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



PEA
GROUP

CLIENT

PROJECT TITLE

NOT FOR CONSTRUCTION

EXHIBIT A
2.448 ACRES
VARIABLE WIDTH SANITARY SEWER
DOC. NO. 2015037862

RED CREEK CIRCLE
(60' R.O.W.)
CONCRETE

PORTION OF RE
"A" MAGNOLIA P
SECTION 1, CABIN
SLIDE 5964
M.R.M.C.

1.185 ACRES
(51,599 SQUARE FEET)

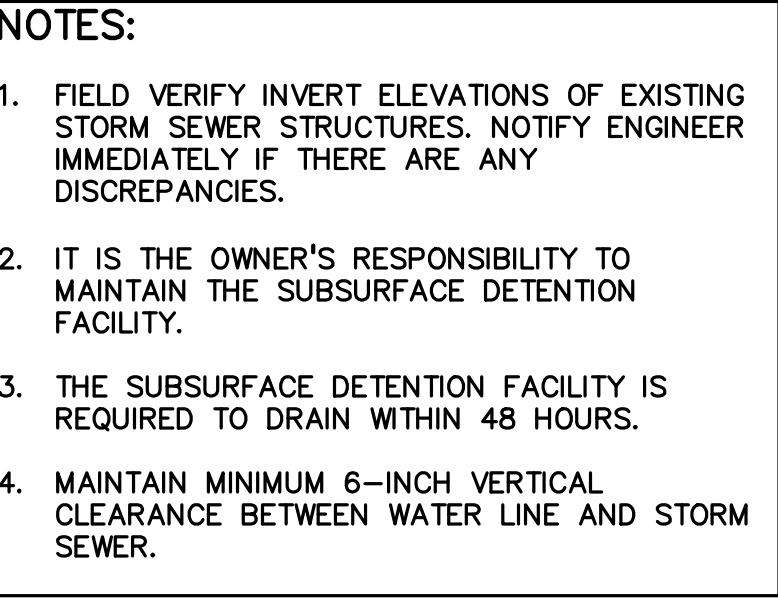
| FUTURE DEVELOPMENT (BY OTHERS) | |
|-----------------------------------|-----|
| 1 | 2 |
| 3 | 4 |
| 5 | 6 |
| 7 | 8 |
| 9 | 10 |
| 11 | 12 |
| 13 | 14 |
| 15 | 16 |
| 17 | 18 |
| 19 | 20 |
| 21 | 22 |
| 23 | 24 |
| 25 | 26 |
| 27 | 28 |
| 29 | 30 |
| 31 | 32 |
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| 73 | 74 |
| 75 | 76 |
| 77 | 78 |
| 79 | 80 |
| 81 | 82 |
| 83 | 84 |
| 85 | 86 |
| 87 | 88 |
| 89 | 90 |
| 91 | 92 |
| 93 | 94 |
| 95 | 96 |
| 97 | 98 |
| 99 | 100 |

CALLED 0.80 ACRE
 PORTION OF RESERVE A
 MAGNOLIA PLACE
 SECTION 1, CABINET Z,
 SLIDE 5964
 M.R.M.C.

AUTO URBAN COMMERCIAL ZONING DISTRICT

UTILITY PROVIDERS

CALCULATIONS



STATE OF TEXAS
JACQUES M. GILBERT
135156
LICENSED
PROFESSIONAL ENGINEER
09-20-22



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77094

14546 RED CREEK
MAGNOLIA, TEXAS 77354

[illegible]

C-3.0

FLOODPLAIN NOTE:
ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL
EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE
MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED
AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED
WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN
AREA OF MINIMAL FLOOD HAZARD.



① ROOF DRAIN TO DAYLIGHT ONTO PAVEMENT (SEE ARCHITECTURAL PLANS)
 ② ROOF DRAIN AND CONCRETE SPLASH BLOCK. EMBED TO MATCH GRADE
 AT END (SEE ARCHITECTURAL PLANS FOR ROOF DRAIN)

DRAINAGE AREA NAME

DRAINAGE AREA (ACRES)

INVERT ELEVATION

FLOWLINE

DRAINAGE AREA

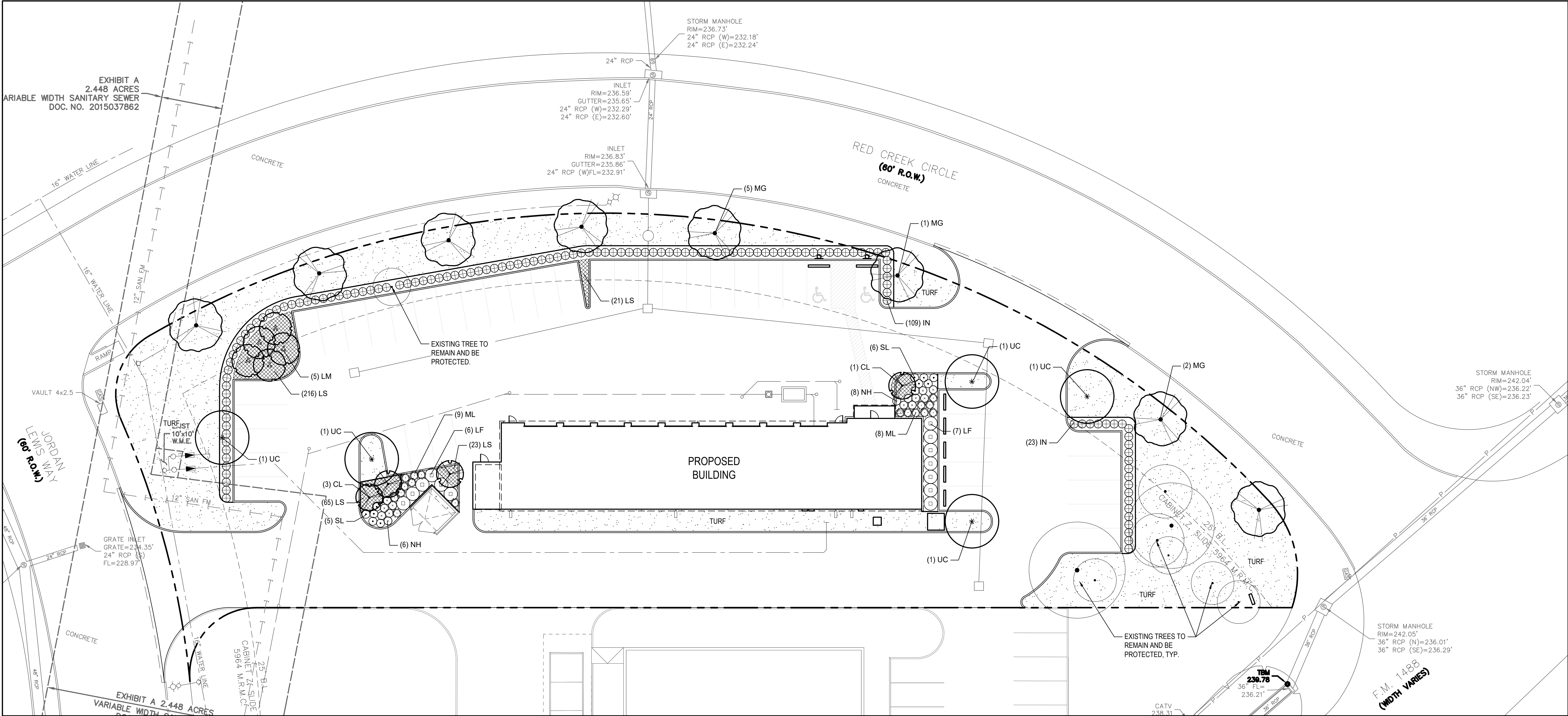
100-YEAR SHEET FLOW

AREA X
0.00 Ac.

IE=155.15

FL=155.15

| | EXISTING | PROPOSED |
|---------------------|----------|----------|
| CONTOUR LINE | | |
| STORM SEWER LINE | | |
| STORM SEWER MANHOLE | | |
| STORM SEWER INLETS | | |
| CULVERT PIPE | | |
| ROW LINE | | |
| PROPERTY LINE | | |
| LOT LINES | | |
| EASEMENT LINE | | |
| TOP OF BANK | | |
| CENTER LINE DITCH | | |



PEA GROUP

16060 DILLARD DR., SUITE 250
HOUSTON, TEXAS 77040
713-688-3530
T.B.P.E.L.S. FIRM # F-21237

EVERGREEN
DESIGN GROUP

(800) 680-6630
10777 Westheimer Rd., Ste 1100
Houston, TX 77042
www.EvergreenDesignGroup.com

NORTH

0102040

SCALE: 1" = 20'

Know what's below.
Call before you dig.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

REGISTERED LANDSCAPE ARCHITECT
SHARON M. STACHOWICZ
STATE OF TEXAS
3682

09/16/2022

CLIENT

CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77084

PROJECT TITLE

CHRISTIAN BROTHERS AUTOMOTIVE
FM 1488 & 149 SPUR RD.
MAGNOLIA, TEXAS 77354

PLANTING SCHEDULE

TREES

| | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE |
|--|------|-----|-----------------------------|-------------------|-----------------------|
| | CL | 4 | CHILOPSIS LINEARIS | DESERT WILLOW | 2" CAL MIN |
| | LM | 5 | LAGERSTROEMIA I. 'MUSKOGEE' | CRAPE MYRTLE | 3-5 CANES, 3" OVERALL |
| | MG | 8 | MAGNOLIA GRANDIFLORA | SOUTHERN MAGNOLIA | 2" CAL MIN |
| | UC | 5 | ULMUS CRASSIFOLIA | CEDAR ELM | 2" CAL MIN |

SHRUBS/PERRENIALS/GROUNDCOVER

| | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | SPACING | SIZE |
|-------------------|------|-----|----------------------------|-------------------------|--------|---------|------------------|
| | IN | 132 | ILEX VOMITORIA 'NANA' | DWARF YAUPON HOLLY | 5 GAL | 36" OC | 12" HT X 18" SPR |
| | LF | 13 | LEUCOPHYLLUM FRUTESCENS | TEXAS SAGE | 5 GAL. | 60" OC | |
| | LS | 325 | LIRIOPE S. 'SILVER DRAGON' | SILVER DRAGON LILY TURF | 1 GAL | 18" OC | |
| | ML | 17 | MUHLENBERGIA LINDHEIMERI | BIG MUHLY | 3 GAL | 36" OC | |
| | NH | 14 | NANDINA D. 'HARBOUR DWARF' | HARBOUR DWARF BAMBOO | 5 GAL | 36" OC | 24" HT MIN |
| | SL | 11 | SALVIA LEUCANTHA | MEXICAN BUSH SAGE | 3 GAL | 30" OC | |
| SOD / SEED | | | | | | | |
| | | | CYNODON DACTYLON 'TIF 419' | BERMUDA GRASS SOD | SOD | | |

LANDSCAPE CALCULATIONS

| | |
|--|---|
| TOTAL SITE AREA: ZONING: CITY OF MAGNOLIA, TX | 1.18 AC (51,400 SF) AC (AUTO-URBAN COMMERCIAL) |
| LANDSCAPING PROVISIONS | |
| LANDSCAPE AREA: 15% OF DEVELOPED AREA REQUIRED: 7,710 SF OF LANDSCAPE AREA | 16,529 SF PROVIDED |
| TREES: 50% OF LANDSCAPE AREA TO BE PLANTED WITH TREES (50% OF WHICH ARE TO BE CANOPY OR SOUTHERN MAGNOLIA TREES) | |
| REQUIRED: 3,855 SF OF TREE CANOPY *@600 SFCANOPY TREE & 250 SFNONCANOPY TREE | 4,875 SF OF PROPOSED TREE CANOPY PROVIDED* |
| PRESERVED TREES = 30 TREE CREDITS | |
| PARKING LOTS TREES: 1 CANOPY TREE PER ISLAND + 2 PER PARKING LOT CORNER OR 2 NONCANOPY TREES PER ISLAND+ 5 NONCANOPY TREES PER PKG LOT CORNER | |
| REQ'D: 9 CANOPY TREES | 6 CANOPY TREES, 5 NONCANOPY TREES AND 2 EXISTING TREES* **PRESERVED TREES = 7 TREE CREDITS |
| SCREEN PLANTINGS: 3' HT. CONTINUOUS HEDGE REQ'D: MIN. 3' HT CONTINUOUS HEDGE | PROVIDED |

REVISIONS

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ORIGINAL ISSUE DATE:
07/08/22

DRAWING TITLE

LANDSCAPE PLAN

PEA JOB NO. 2022-0058

P.M. _____

DN. _____

DES. _____

DRAWING NUMBER:

LP-1



November 9, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: ***Christian Brothers Automotive – Site Plan Review***
 City of Magnolia Planning Department
 AEI Job No. 221654.80

Dear Mr. Doering:

We received the revised site plan and signage plan sheets for Christian Brothers Automotive on November 8, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Final plat shall be signed and sealed by a Professional Surveyor licensed in Texas.
2. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.
3. Provide an electronic copy of the final recorded plat to the City Engineer when it becomes available.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia – Planning Coordinator
 Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
 Mr. Robel Giackero, PE, AEI Engineering, a Baxter & Woodman Company
 Mr. Tommy Cormier, AEI Engineering, a Baxter & Woodman Company
 Mr. Jacques M. Gilbert, P.E. – PEA Group
 Ms. Tiffany Staten – PEA Group

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: November 10, 2022

To: Planning & Zoning Commission

From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 12**

Background/Information:

A site plan was received on October 6, 2022. Revisions were also made after this date and supplied to City Engineer for review. Only minor comments from engineer review remain as of today 11/10.

Comments:

Letter of No Objection is expected to be issued upon receipt of minor adjustments from applicant the week of 11/14.

Action Requested:

Approve site plan for Mister Car Wash.

Recommendation:

Approve site plan for Mister Car Wash under the condition that City Engineer issues Letter of No Objection before P&Z meeting 11/17.

Attachments:

Site Plan



Site Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION

Applicant

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Project Name: _____ Lot#: _____ Reviewer: _____

PROPERTY PROFILE

Site Address _____

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

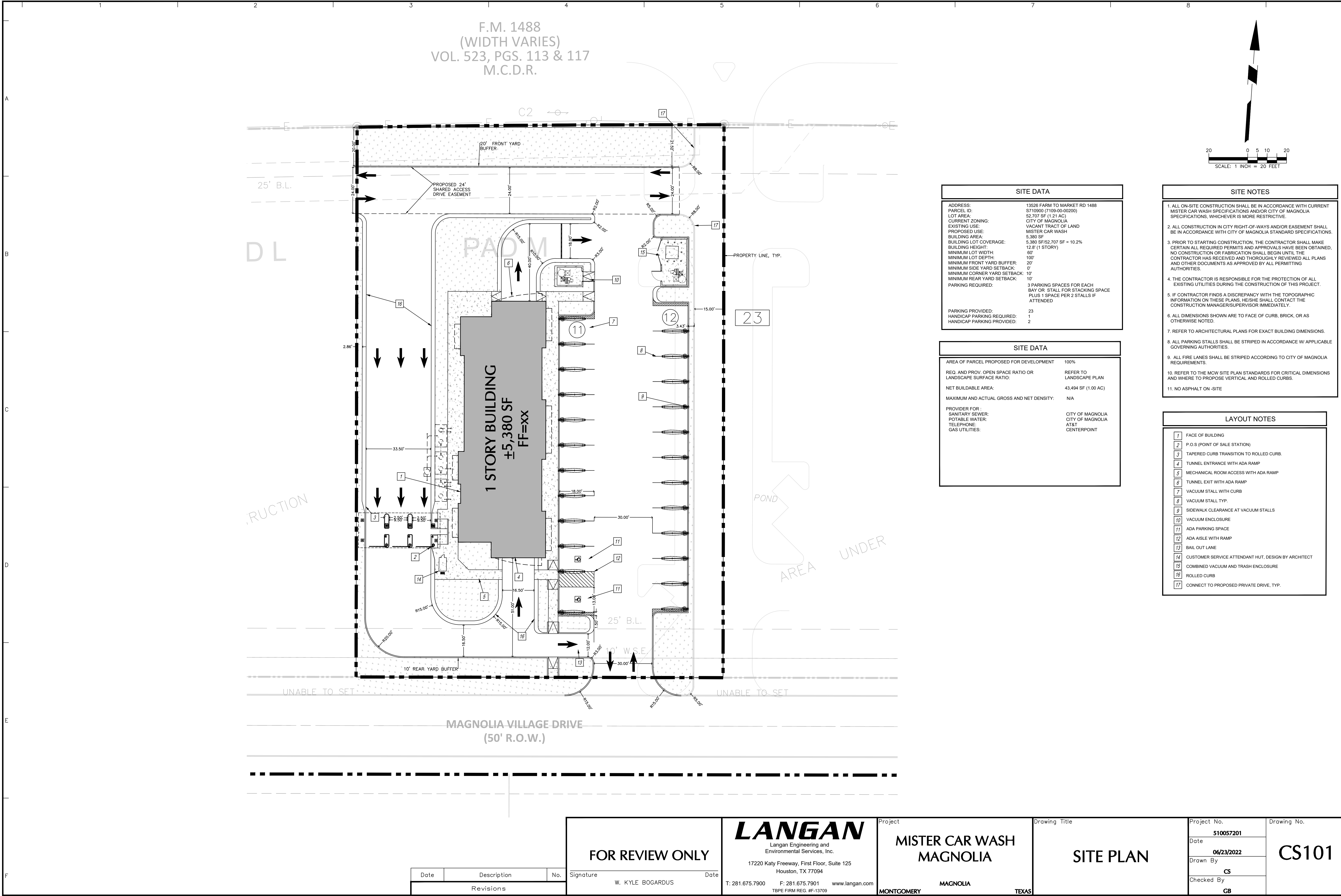
_____Proposed Use of the Property

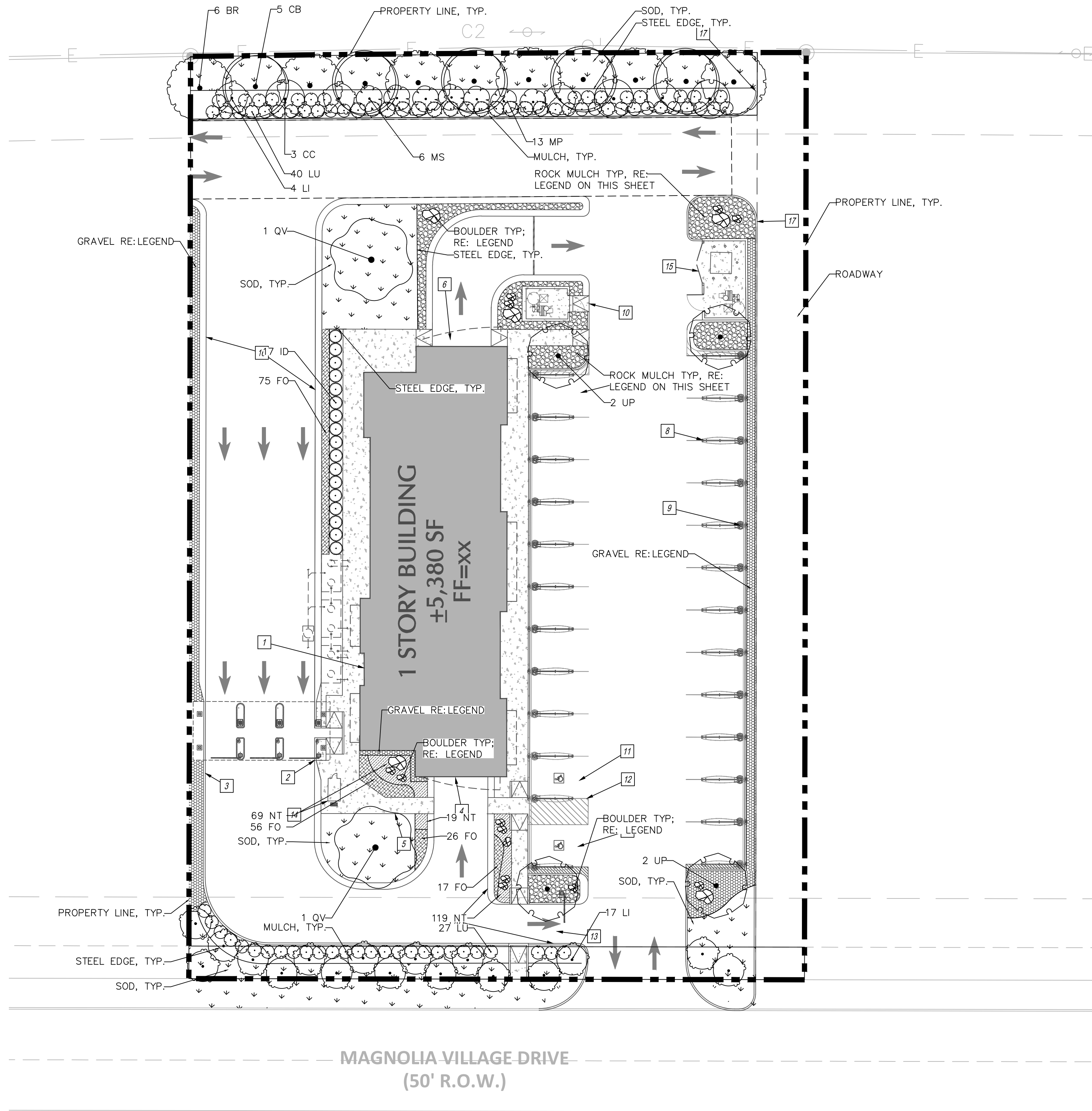
Total Area of Site _____

Project Name: _____ Lot#: _____ Reviewer: _____



- GENERAL NOTES:**
1. PARKING SHARED ACROSS PAD A, PAD R, & TRACT A FOR A RATIO OF: **3.7 PS / 1k**
 2. PARKING SHARED ACROSS PAD B, C & D.
 3. PRELIMINARY CIVIL REVIEW & COORDINATION RECOMMENDED FOR PROPOSED DRAINAGE/DETENTION SYSTEMS.
 4. NEW PD REQUIREMENTS / REVIEW NOT YET IMPLEMENTED.
 5. DEVELOPMENT NO LONGER WITHIN CITY OF MAGNOLIA ETJ. MAGNOLIA PLANNED DEVELOPMENT ZONING TO BE VERIFIED. NEW PD INFORMATION NOT YET REFLECTED IN PLAN.
 6. TYPICAL DRIVE-CUT SPACING ON A 50MPH STATE HIGHWAY DESIGNATED AS 425' PER TxDOT ROADWAY DESIGN MANUAL.
 7. PRELIMINARY SIGNAGE LOCATIONS. (PENDING APPROVAL)
 - SIGNAGE A : MONUMENT SIGN FOR THREE TENANT PAD MONUMENT SIGNS.
 - SIGNAGE B : MONUMENT SIGN FOR MULTI-TENANT BUILDINGS.



Project No. 510057201
I ANGAN

PLANT SCHEDULE

BOULDER AND MULCH TYPES

- INTERIM REVIEW ONLY**

DOCUMENT IS NOT FINAL;
NOT INTENDED FOR
CONSTRUCTION OR PERMIT
RLA: Jayne Spector
LIC. No. 3031
Date: 8/27/2022
Langan Engineering and
Environmental Services, Inc.
TBPE Firm Registration No.: F-13709

Langan Engineering and
Environmental Services, Inc.

17220 Katy Freeway, First Floor, Suite 125
Houston, TX 77094

T: 281.675.7900 F: 281.675.7901 www.langan.com
TBPE FIRM REG. #F-13709

MAGNOLIA

TEXAS

Project No.

510057201

Date **06/23/2022**

Drawn By
DH

Checked By **TT/JS**

Drawing No.

P101

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Date: 10/5/2022 Time: 11:54 User: csimmons Style Table: Langan.stb Layout: LP101 Document Code: 510057201-0501-LP101-0101