

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III



City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Tim Robertson
Baxter & Woodman, Mike Kurzy
Interim City Secretary, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, OCTOBER 19, 2023 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the special meeting held September 21, 2023.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

- 6. **CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO SANDRA DEE LANE SECTION 1, FINAL PLAT, +/- 1.925 ACRES**

- 7. **CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO GIRASOL STREET AND RESERVE, FINAL PLAT, +/- 13.384 ACRES**

- 8. **CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MAGNOLIA VILLAGE PHASE 2**

- 9. **FUTURE AGENDA ITEMS**

- 10. **ADJOURN**

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
 TIME _____
 TAKEN DOWN _____

 Christian Gable, Interim City Secretary



Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III



City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Tim Robertson
Baxter & Woodman, Mike Kurzy
Interim City Secretary, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

MINUTES OF THE PLANNING & ZONING COMMISSION REGULAR MEETING – SEPTEMBER 21, 2023

A meeting of the Planning & Zoning Commission was held on September 21, 2023, beginning at 4:35pm in the Sewall Smith Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Scott Shelburne called the meeting to order at 4:35 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Shelburne led the Pledge of Allegiance.

ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Holly Knee, Josh Jakubik, Tom Mayhew, and Robert Barker III.

Absent: Anne Sundquist

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the special meeting held August 17, 2023.

MOTION: Upon a motion to approve the Consent Agenda made by Josh Jakubik and seconded by Tom Mayhew, the Commission members voted, and the motion carried unanimously, 4-0.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

None

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

None

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

Planning Coordinator Christian Gable provided a spreadsheet of current development. Chairman Shelburne informed of development progress within the Heritage Green development: All permitted tenants are under construction, Starbucks has signed and executed their documents to develop within Heritage Green, and Jersey Mikes is expected to open within 4-6 weeks.

6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MAGNOLIA RIDGE FOREST SECTION 18, FINAL PLAT, +/- 27.570 ACRES.

Robert Barker had questions regarding cul-de-sac dimensions, existence of an HOA, and possible extensions of streets shown on the plat.

City Engineer Tim Robertson answered that the cul-de-sac dimensions are shown on the plat, there is an existing HOA for the development, and the streets shown on the plat will be extended.

MOTION: Upon a motion to approve made by Holly Knee and seconded by Tom Mayhew, the Commission members voted, and the motion carried unanimously, 4-0.

7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MCDONALD'S

MOTION: Upon a motion to approve made by Robert Barker and seconded by Josh Jakubik, the Commission members voted, and the motion carried unanimously, 4-0.

8. FUTURE AGENDA ITEMS

None

Robert Barker mentioned that he recently attended a Texas Floodplain Management conference and the outreach program obtained artwork about flood prevention from elementary schools. He passed out calendars with these drawings to commission members and guests.

9. ADJOURN

MOTION: Upon a motion to adjourn made by Holly Knee and seconded by Robert Barker, the Commission members voted, the motion carried unanimously, and Chairman Shelburne adjourned the meeting at 4:50 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the special meeting of the City of Magnolia Planning and Zoning Commission held on September 21, 2023.

ATTEST:

Christian Gable, Interim City Secretary



September 22, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Escondido Sandra Dee Ln Final Plat*
City of Magnolia
AEI Job No. 2326107.00

Dear Mr. Doering:

We received the Escondido Sandra Dee Ln Final Plat on September 11, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and are providing the following comments for review and consideration:

1. Provide documentation that all Liens on the property have been addressed
2. On the Plat, please address the road name provided for the proposed Sandra Dee Lane. On the plat, it is labeled as Escondido Drive.
3. Please provide the following documents:
 - a. Montgomery County Tax Certificates
 - b. Approval of Water, Sanitary, Drainage, and Pavement plans
 - c. Approval of plans from the Texas Commission on Environmental Quality
4. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter & Woodman Consulting Engineers
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia
Mr. Don Doering – City of Magnolia
Mr. Tim Robertson, P.E. – City of Magnolia
Mr. Michael A. Kurzy, P.E. – Baxter & Woodman Consulting Engineers
Ms. Karleigh Brown – Baxter and Woodman Consulting Engineers



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Zachary Zarse - LJA Engineering Inc.

Name

3600 W Sam Houston Parkway S, Suite 600

Street Address

Houston, Texas 77042

City, State Zip

713-580-4100

Phone

Fax

zzarse@lja.com

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Magnolia Escondido, LLC

Name

6046 FM 2920, Suite 512

Street Address

Spring, Texas 77379

City, State Zip

713-580-4100

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

Jordan Williams, P.E. - LJA Engineering Inc.

Name

1904 W Grand Parkway N, Suite 100

Street Address

Katy, Texas 77449

City, State Zip

713-657-6005

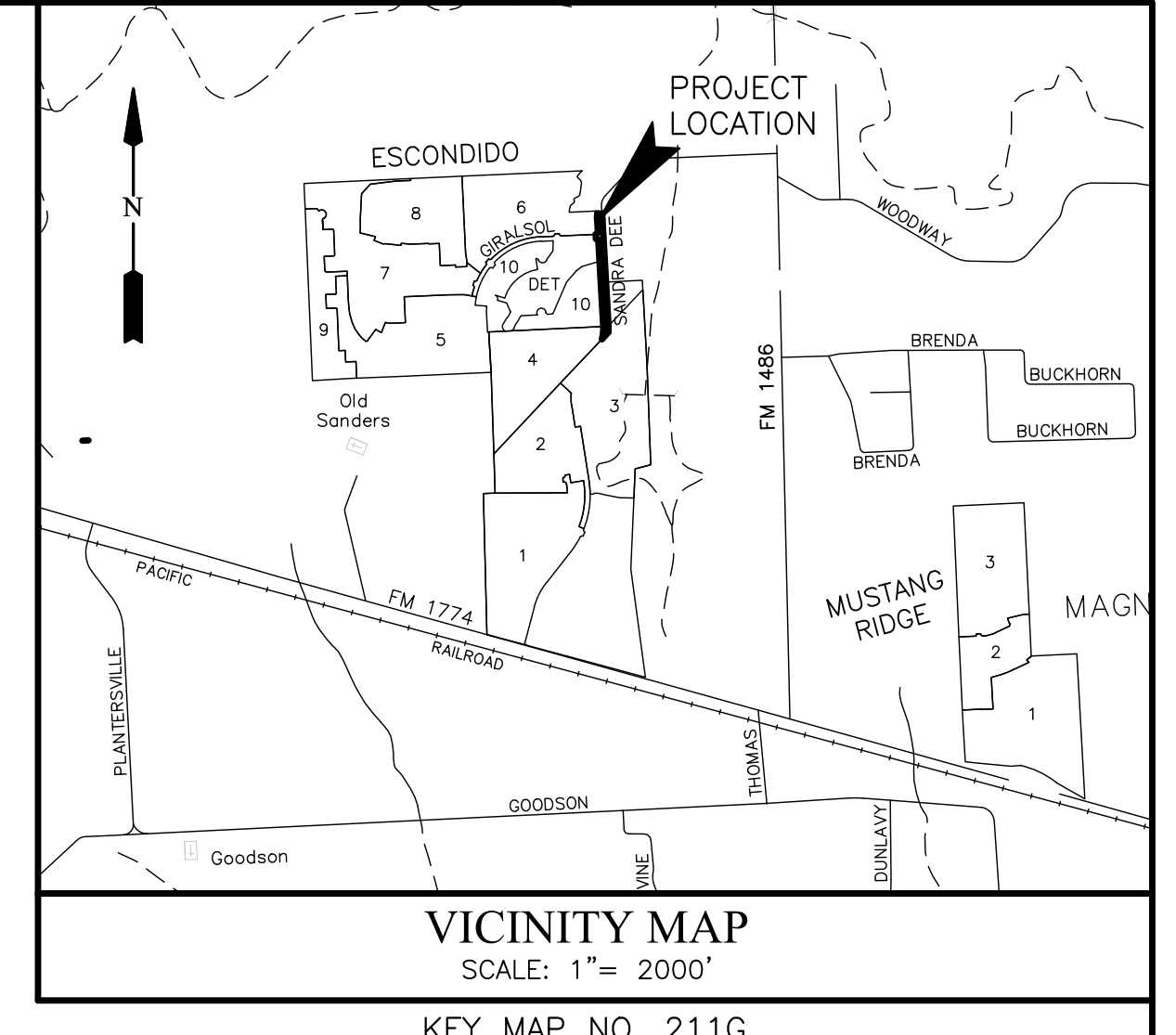
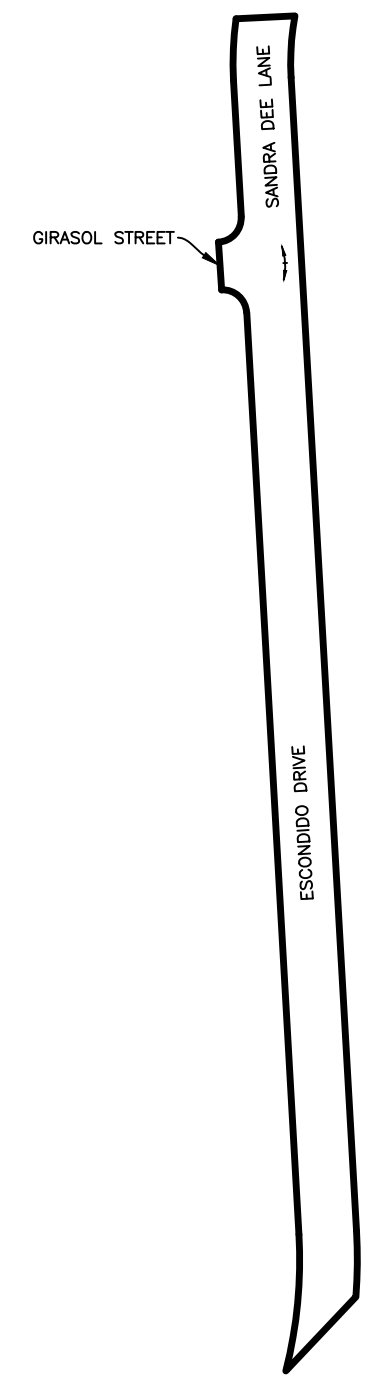
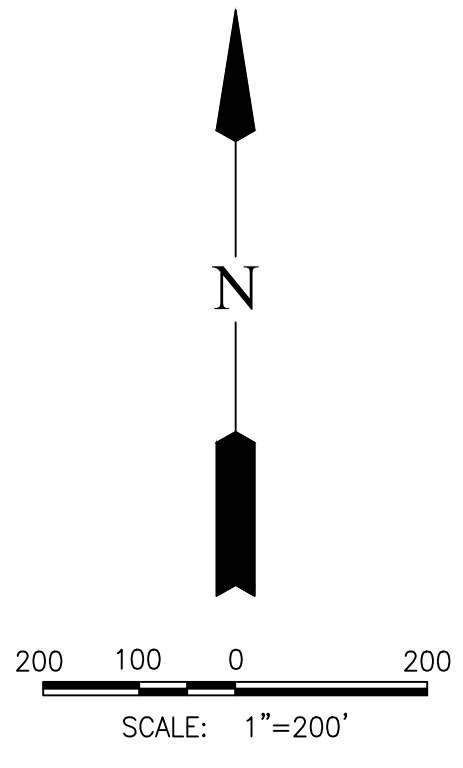
Phone

Fax

jorwilliams@lja.com

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____



FINAL PLAT
ESCONDIDO
SANDRA DEE LANE
STREET DEDICATION
SECTION 1

A SUBDIVISION OF 1.925 ACRES OF LAND SITUATED IN
 THE JAMES PIERPONT SURVEY, ABSTRACT 426,
 MONTGOMERY COUNTY, TEXAS.

OWNERS: MAGNOLIA ESCONDIDO, LLC
 A TEXAS LIMITED LIABILITY COMPANY
 6046 FM 2920, SUITE 512
 SPRING, TEXAS 77379

RANDY GILLIS AND DEBBIE GILLIS
 802 SANDRA DEE LANE
 MAGNOLIA, TEXAS 77355

MAGNOLIA CATSLAND, INC.
 P.O. BOX 1037
 MAGNOLIA, TEXAS 77355

DATE: AUGUST 21, 2023

0 LOTS
 0 BLOCKS
 0 RESERVES
 0.000 ACRES IN RESERVES

SURVEYOR:
GBI PARTNERS
4724 VISTA ROAD TBPELS FIRM #10130300
 PASADENA, TX 77505 GBSurvey@GBISurvey.com
 PHONE: 281-499-4539 www.GBISurvey.com

ENGINEER:
LJA Engineering, Inc.
3600 W. Sam Houston Parkway S. Phone 713.953.5200
 Suite 600 Fax 713.953.5026
 Houston, Texas 77042 FRN - F-1386

Date: Mon, 21 Aug 2023 2:04pm
 Path: I:\Projects\PLATTING\2139\FIN\PLT\Escondido Sandra Dee Lane Street Dedication 1.dwg
 MYLAR CHECK: SUR.
 CAD: ZZ

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1, LOCATED IN THE JAMES PIERPONT SURVEY, ABSTRACT 426, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

THIS IS TO CERTIFY THAT I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1, HAVE COMPLIED WITH OR WILL COMPLY WITH ALL REGULATIONS HERETOFORE ON FILE WITH THE MONTGOMERY COUNTY ENGINEER AND ADOPTED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

FURTHER, WE, MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, DO HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP OF LAND A MINIMUM OF FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE, WHICH RESTRICTIONS SHALL RUN WITH THE TITLE OF THE PROPERTY, AND SHALL BE ENFORCEABLE, AT THE OPTION OF MONTGOMERY COUNTY, BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION, AS FOLLOWS:

1. THE DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY, OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY, IS STRICTLY PROHIBITED.
2. DRAINAGE STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18" DIAMETER PIPE CULVERT).

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE ORIGINALLY INTENDED FOR THE CONSTRUCTION OF RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR THE SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY, UNLESS OTHERWISE NOTED.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF ESCONDIDO SANDRA DEE LANE EXTENSION STREET DEDICATION WHERE BUILDING SETBACK LINES OR PUBLIC EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY J. ALAN KENT, ITS GENERAL MANAGER THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2023.

MAGNOLIA ESCONDIDO LLC
A TEXAS LIMITED LIABILITY COMPANY

BY: _____
J. ALAN KENT, GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J. ALAN KENT, GENERAL MANAGER OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KYLE B. DUCKETT, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT THE ELEVATION BENCHMARK REFLECTED ON THE FACE OF THE PLAT WAS ESTABLISHED AS REQUIRED BY REGULATION; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN FIVE-EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KYLE B. DUCKETT, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6340

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

ROBERT FRANKLIN, CHAIRMAN

CHRISTIAN GABLE, INTERIM CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

CHRISTIAN GABLE, INTERIM CITY SECRETARY

I, JEFF JOHNSON, P.E., COUNTY ENGINEER OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS COURT.

I FURTHER CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH REQUIREMENTS FOR INTERNAL SUBDIVISION DRAINAGE AS ADOPTED BY COMMISSIONERS COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OF SUBDIVISION WITHIN THE WATERSHED.

JEFF JOHNSON, P.E.
COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS COURT OF MONTGOMERY COUNTY, TEXAS, THIS _____ DAY OF _____, 2023.

ROBERT C. WALKER
COMMISSIONER, PRECINCT 1

CHARLIE RILEY
COMMISSIONER, PRECINCT 2

MARK KEOUGH
COUNTY JUDGE

JAMES L. NOACK
COMMISSIONER, PRECINCT 3

MATT GRAY
COMMISSIONER, PRECINCT 4

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2023, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2023, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

OWNERS: MAGNOLIA ESCONDIDO, LLC
A TEXAS LIMITED LIABILITY COMPANY
6046 FM 2920, SUITE 512
SPRING, TEXAS 77379

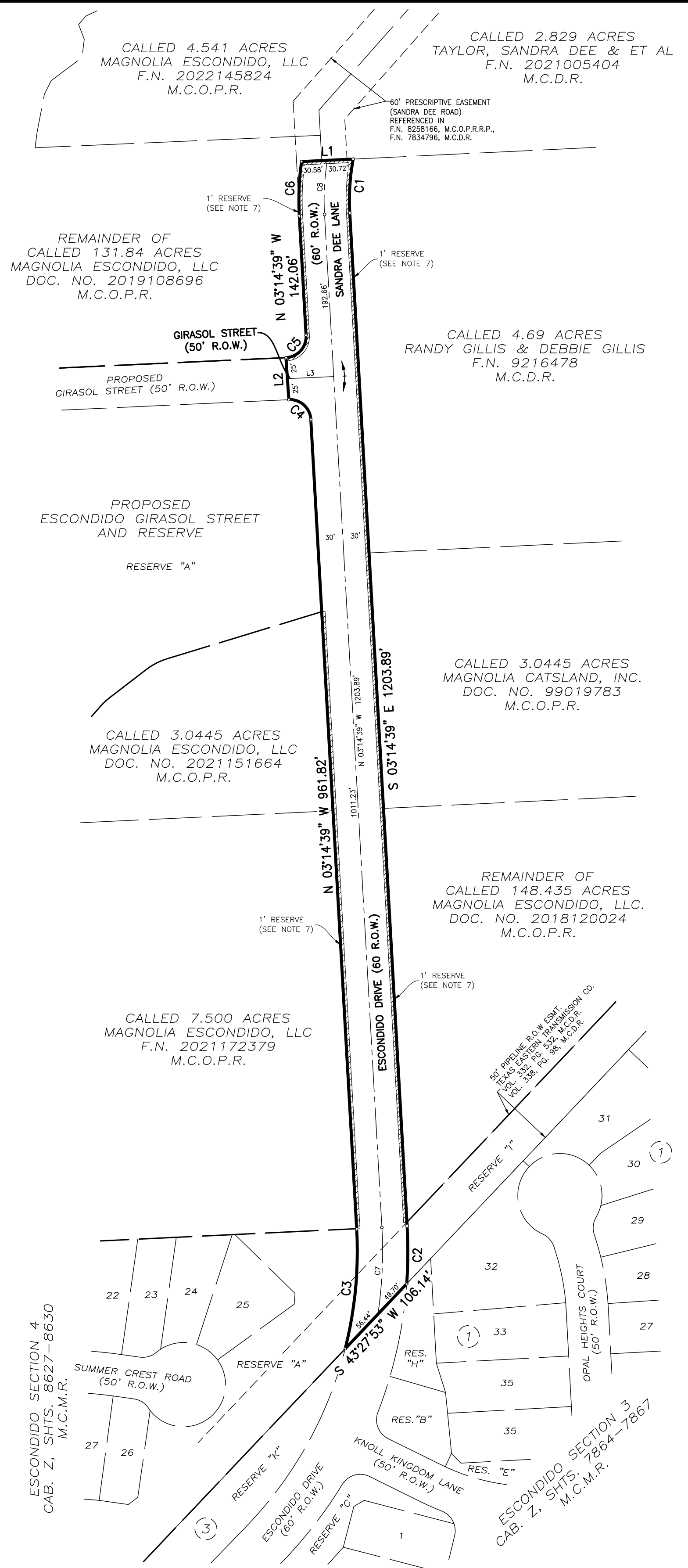
RANDY GILLIS AND DEBBIE GILLIS
802 SANDRA DEE LANE
MAGNOLIA, TEXAS 77355

MAGNOLIA CATSLAND, INC.
P.O. BOX 1037
MAGNOLIA, TEXAS 77355

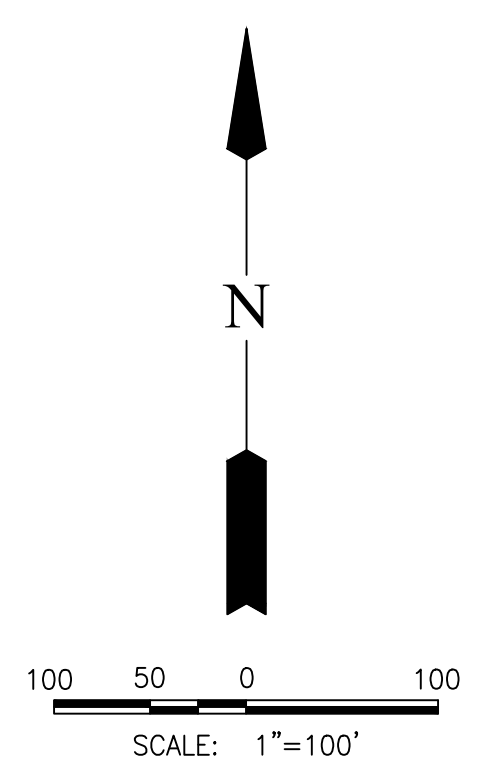
ESCONDIDO
SANDRA DEE LANE
STREET DEDICATION
SECTION 1

SHEET 2 OF 3

Date: 2023 Aug 21 10:21 AM
Time: 10:21 AM
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MYLAR CHECK: SUR
CAD: ZZ



- ### LEGEND
- B.L. INDICATES BUILDING LINE
 - STM.S.E. INDICATES STORM SEWER EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
 - U.E. INDICATES UTILITY EASEMENT
 - M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
 - M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
 - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
 - M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
 - R.O.W. INDICATES RIGHT-OF-WAY
 - VOL. INDICATES VOLUME
 - PG. INDICATES PAGE
 - CAB. INDICATES CABINET
 - SHTS. INDICATES SHEETS
 - DOC. NO. INDICATES DOCUMENT NUMBER
 - F.N. INDICATES FILE NUMBER
 - RES. INDICATES RESERVE
 - ↔ INDICATES STREET NAME CHNGE



NOTES:

1. ALL BEARINGS ARE REFERENCED TO THE STATE PLANE GRID COORDINATES, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
2. THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE FOLLOWING COMBINED ADJUSTMENT FACTOR 0.99996413094.
3. PRIMARY BENCHMARK: A 1281 (NGS PID: BL1869) BRASS DISC STAMPED A 1281 1978 LOCATED ALONG THE WEST SIDE OF NICHOLS SAWMILL ROAD, 26 FEET WEST OF PAVEMENT, AND APPROXIMATELY 550 FEET SOUTH OF UNITY PARK DRIVE. PUBLISHED ELEVATION=231.8' NAVD88
4. FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "GBI PARTNERS" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
5. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0475G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) AND ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "GBI PARTNERS" AND "LJA ENGINEERING" DO NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
6. THE PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
7. ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT PROPERTY, THE CONDITION OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RESUBDIVIDED IN A RECORDED SUBDIVISION PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 87°16'37" E	61.30'
L2	N 03°51'47" W	50.01'
L3	N 87°22'29" E	55.00'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	270.00'	13°37'35"	64.21'	S 03°34'08" W	64.06'
C2	530.00'	7°24'17"	68.50'	S 00°27'29" W	68.45'
C3	470.00'	17°28'06"	143.29'	N 05°29'24" E	142.74'
C4	25.00'	89°22'52"	39.00'	N 47°56'05" W	35.16'
C5	25.00'	90°37'08"	39.54'	N 42°03'55" E	35.55'
C6	330.00'	11°12'44"	64.58'	N 02°21'43" E	64.48'
C7	500.00'	11°48'57"	103.11'	N 02°39'49" E	102.93'
C8	300.00'	12°17'46"	64.38'	S 02°54'14" W	64.26'

OWNERS: MAGNOLIA ESCONDIDO, LLC
 A TEXAS LIMITED LIABILITY COMPANY
 6046 FM 2920, SUITE 512
 SPRING, TEXAS 77379

RANDY GILLIS AND DEBBIE GILLIS
 802 SANDRA DEE LANE
 MAGNOLIA, TEXAS 77355

MAGNOLIA CATSLAND, INC.
 P.O. BOX 1037
 MAGNOLIA, TEXAS 77355

ESCONDIDO
 SANDRA DEE LANE
 STREET DEDICATION
 SECTION 1

Date: Mon, 21 Aug 2023 2:05pm
 Path: I:\Projects\PLATTING\2139\FINPL\Escondido Sandra Dee Lane Street Dedication 1.dwg
 MYLAR CHECK: SUR
 CAD: ZZ

September 22, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: *Escondido Girasol Street and Reserve Final Plat
City of Magnolia
AEI Job No. 2326104.00***

Dear Mr. Doering:

We received the Escondido Girasol Street and Reserve Final Plat on September 11, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and are providing the following comments for review and consideration:

1. Provide documentation that all Liens on the property have been addressed
2. On the Plat for Girasol Street and Reserve please address the road name provided for the proposed Sandra Dee Lane. On the plat, it is labeled as Escondido Drive.
3. Please provide the following documents:
 - a. Montgomery County Tax Certificates
 - b. Approval of Water, Sanitary, Drainage, and Pavement plans
 - c. Approval of plans from the Texas Commission on Environmental Quality
4. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter & Woodman Consulting Engineers
TBPELS Registration No. F-21783



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Zachary Zarse - LJA Engineering Inc.

Name

3600 W Sam Houston Parkway S, Suite 600

Street Address

Houston, Texas 77042

City, State Zip

713-580-4100

Phone

Fax

zzarse@lja.com

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Magnolia Escondido, LLC

Name

6046 FM 2920, Suite 512

Street Address

Spring, Texas 77379

City, State Zip

713-580-4100

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

Jordan Williams, P.E. - LJA Engineering Inc.

Name

1904 W Grand Parkway N, Suite 100

Street Address

Katy, Texas 77449

City, State Zip

713-657-6005

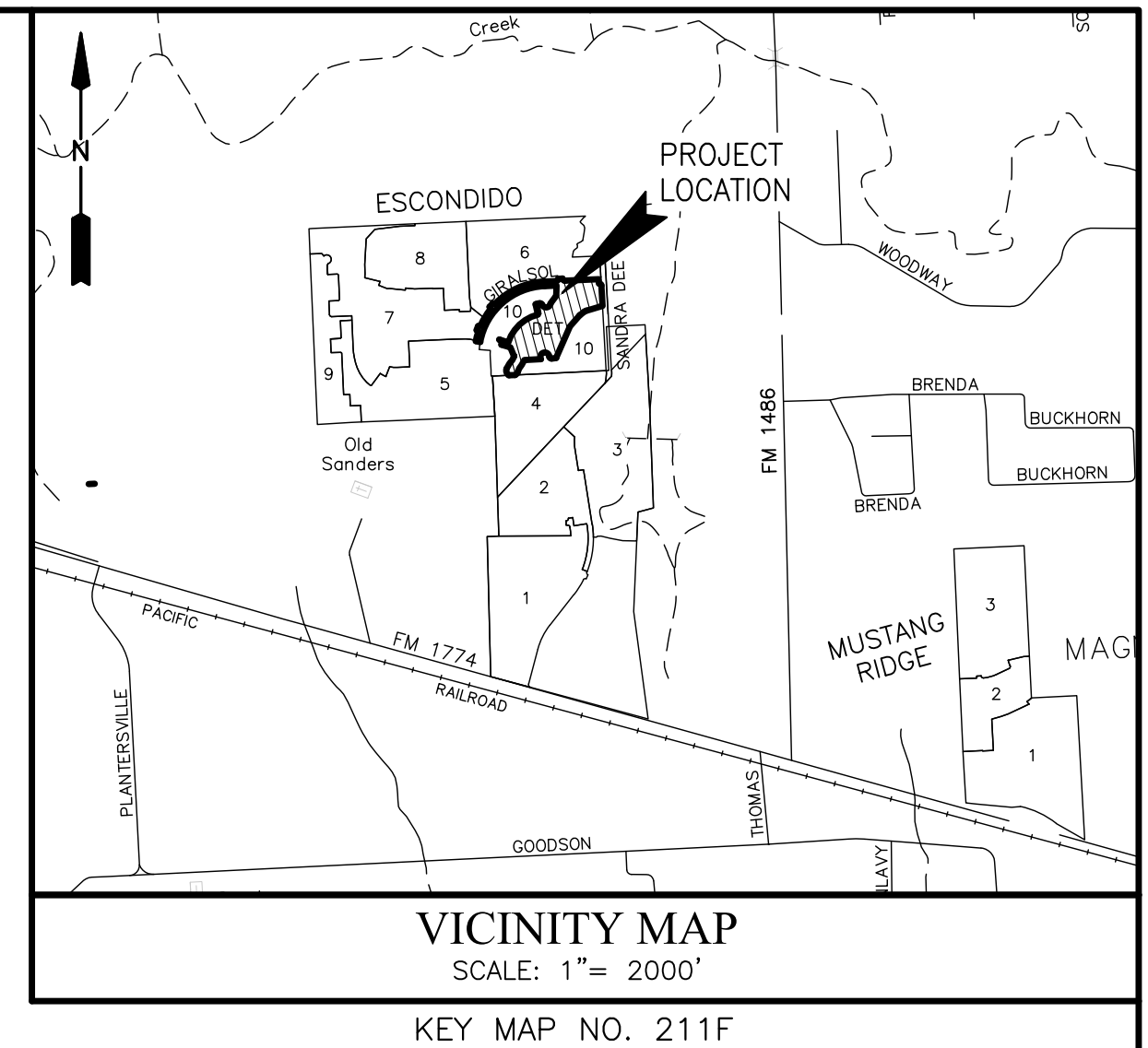
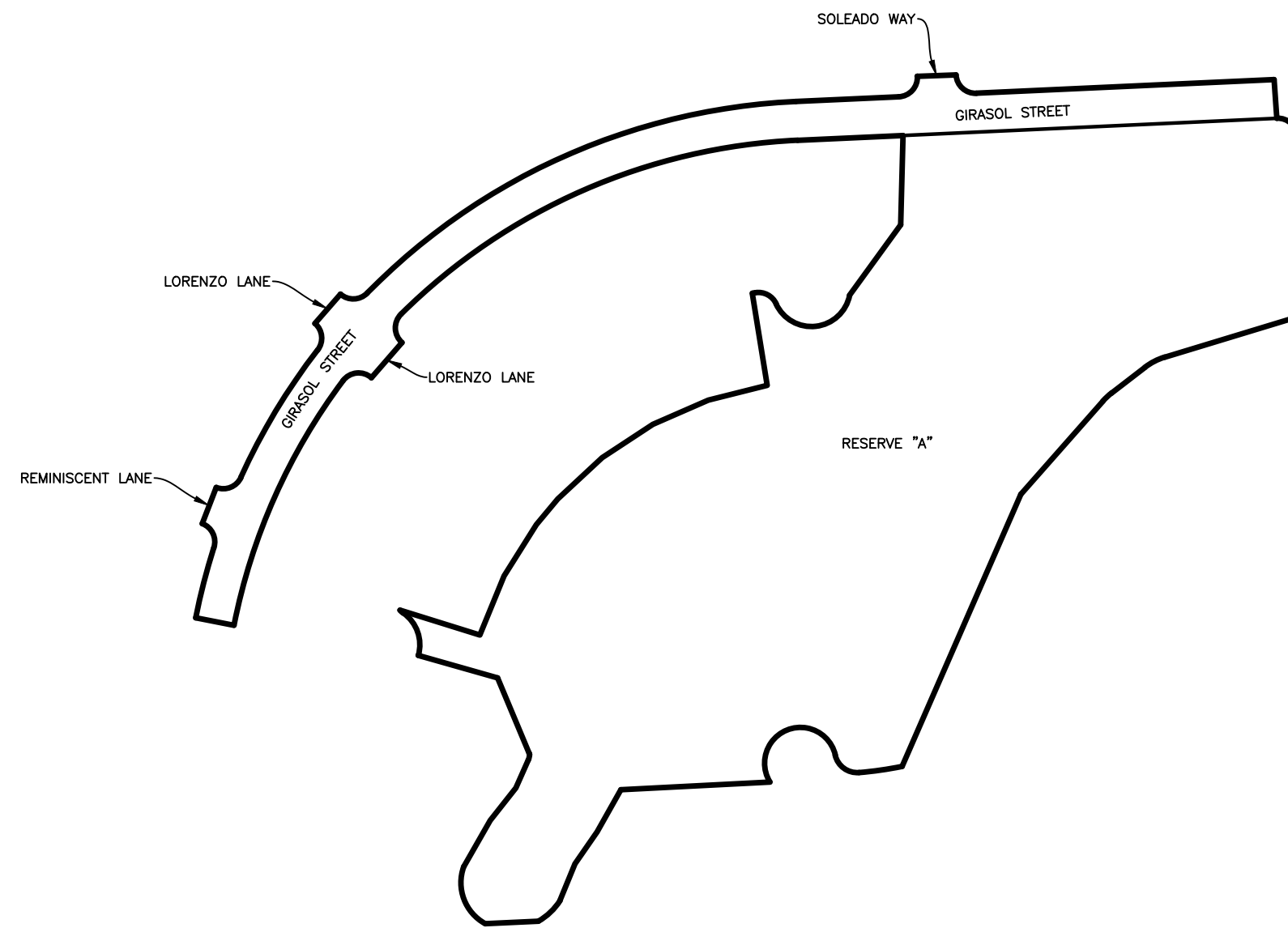
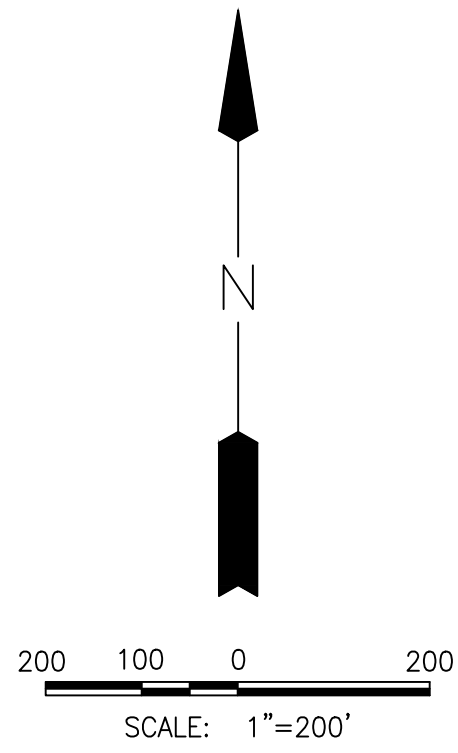
Phone

Fax

jorwilliams@lja.com

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____



FINAL PLAT
ESCONDIDO
GIRASOL STREET AND RESERVE

A SUBDIVISION OF 13.397 ACRES OF LAND SITUATED IN
 THE JAMES PIERPOINT SURVEY, ABSTRACT 426,
 MONTGOMERY COUNTY, TEXAS.

OWNERS: MAGNOLIA ESCONDIDO, LLC
 A TEXAS LIMITED LIABILITY COMPANY
 6046 FM 2920, SUITE 512
 SPRING, TEXAS 77379

DATE: AUGUST 24, 2023

0 LOTS
 0 BLOCKS
 1 RESERVE
 11.324 ACRES IN RESERVES



SURVEYOR:
GBI PARTNERS
4724 VISTA ROAD PASADENA, TX 77505
 PHONE: 281-499-4539

ENGINEER:
LJA Engineering, Inc.
3600 W Sam Houston Parkway S Suite 600 Houston, Texas 77042
Phone 713.953.5200 Fax 713.953.5026 FRN - F-1386

Date: Thu, 24 Aug 2023 10:43:01 AM
 Path: \\projdesk\PLATTING\2139\FINPLT\Escondido Girasol Street and Reserves.dwg
 MYLAR CHECK: COORD DIR:

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO GIRASOL STREET AND RESERVE, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS ESCONDIDO GIRASOL STREET AND RESERVE, LOCATED IN THE JAMES PIERPONT SURVEY, ABSTRACT 426, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

THIS IS TO CERTIFY THAT I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO GIRASOL STREET AND RESERVE, HAVE COMPLIED WITH OR WILL COMPLY WITH ALL REGULATIONS HERETOFORE ON FILE WITH THE MONTGOMERY COUNTY ENGINEER AND ADOPTED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

FURTHER, WE, MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, DO HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP OF LAND A MINIMUM OF FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE, WHICH RESTRICTIONS SHALL RUN WITH THE TITLE OF THE PROPERTY, AND SHALL BE ENFORCEABLE, AT THE OPTION OF MONTGOMERY COUNTY, BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION, AS FOLLOWS:

1. THE DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY, OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY, IS STRICTLY PROHIBITED.
2. DRAINAGE STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18" DIAMETER PIPE CULVERT).

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF ESCONDIDO GIRASOL STREET AND RESERVE WHERE BUILDING SETBACK LINES OR PUBLIC EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY J. ALAN KENT, ITS GENERAL MANAGER THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2023.

MAGNOLIA ESCONDIDO LLC
A TEXAS LIMITED LIABILITY COMPANY

BY: _____
J. ALAN KENT, GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J. ALAN KENT, GENERAL MANAGER OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KYLE B. DUCKETT, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT THE ELEVATION BENCHMARK REFLECTED ON THE FACE OF THE PLAT WAS ESTABLISHED AS REQUIRED BY REGULATION; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN FIVE-EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KYLE B. DUCKETT, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6340

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO GIRASOL STREET AND RESERVE AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

ROBERT FRANKLIN, CHAIRMAN

CHRISTIAN GABLE, INTERIM CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO GIRASOL STREET AND RESERVE AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

CHRISTIAN GABLE, INTERIM CITY SECRETARY

I, JEFF JOHNSON, P.E., COUNTY ENGINEER OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS COURT.

I FURTHER CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH REQUIREMENTS FOR INTERNAL SUBDIVISION DRAINAGE AS ADOPTED BY COMMISSIONERS COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OF SUBDIVISION WITHIN THE WATERSHED.

JEFF JOHNSON, P.E.
COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS COURT OF MONTGOMERY COUNTY, TEXAS, THIS _____ DAY OF _____, 2023.

ROBERT C. WALKER
COMMISSIONER, PRECINCT 1

CHARLIE RILEY
COMMISSIONER, PRECINCT 2

MARK KEOUGH
COUNTY JUDGE

JAMES L. NOACK
COMMISSIONER, PRECINCT 3

MATT GRAY
COMMISSIONER, PRECINCT 4

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2023, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2023, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____ OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

OWNERS: MAGNOLIA ESCONDIDO, LLC
A TEXAS LIMITED LIABILITY COMPANY
6046 FM 2920, SUITE 512
SPRING, TEXAS 77379

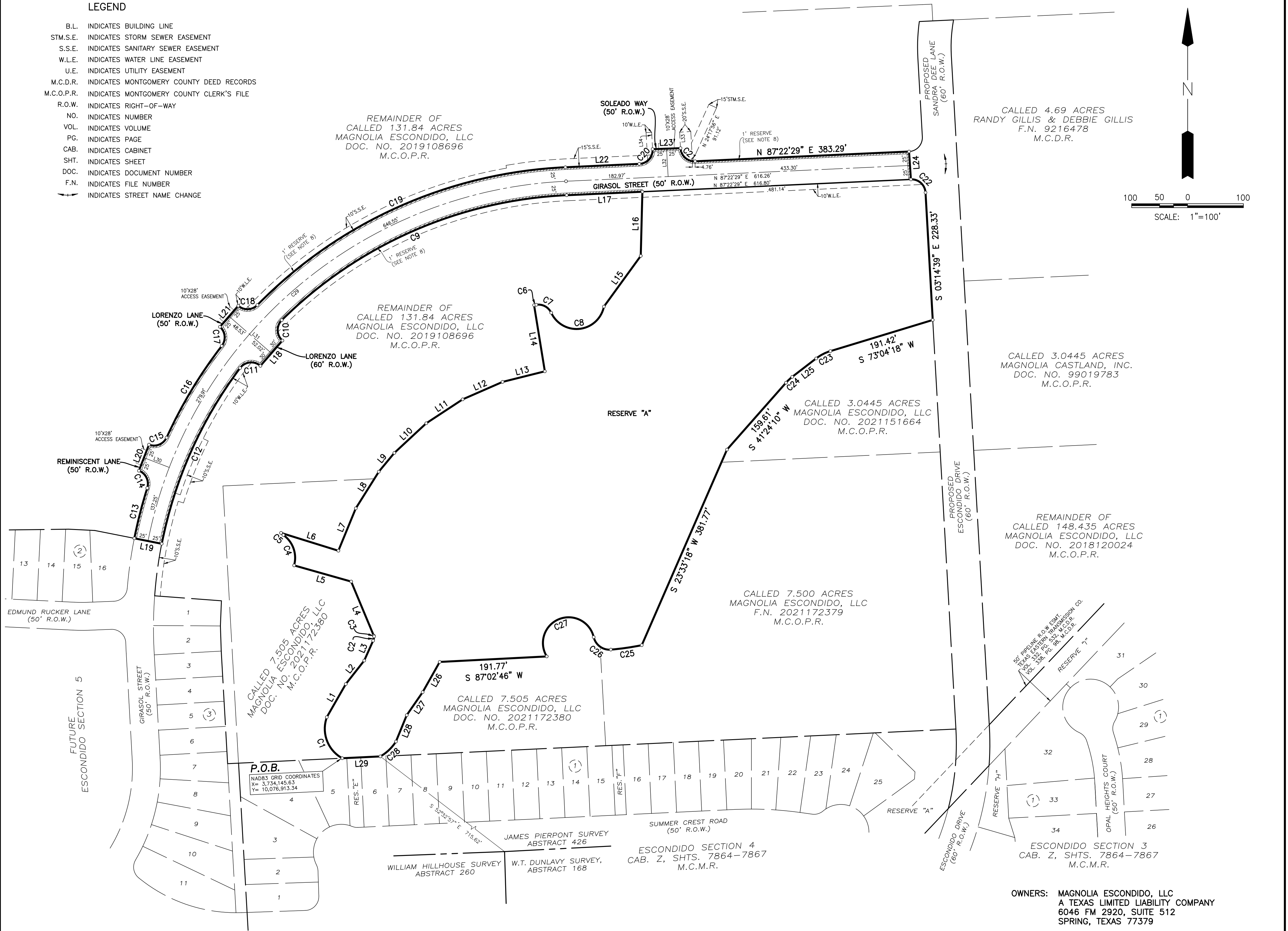
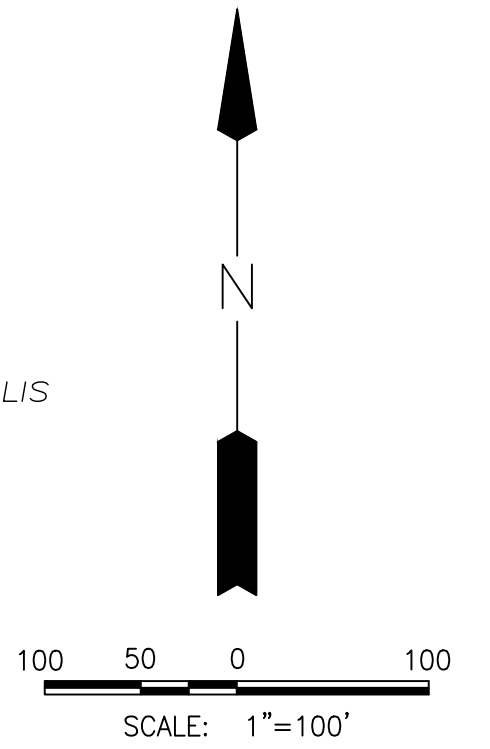
ESCONDIDO
GIRASOL STREET
AND RESERVE

SHEET 2 OF 4

DIR: _____
MYLAR CHECK: COORD _____
Date: Thu, 24 Aug 2023 10:43:41
Path: I:\Projdsk\PLATTING\2139\FINPLT\Escondido Girasol Street and Reserves.dwg

LEGEND

- B.L. INDICATES BUILDING LINE
- STM.S.E. INDICATES STORM SEWER EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- U.E. INDICATES UTILITY EASEMENT
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY CLERK'S FILE
- R.O.W. INDICATES RIGHT-OF-WAY
- NO. INDICATES NUMBER
- VOL. INDICATES VOLUME
- PG. INDICATES PAGE
- CAB. INDICATES CABINET
- SHT. INDICATES SHEET
- DOC. INDICATES DOCUMENT NUMBER
- F.N. INDICATES FILE NUMBER
- INDICATES STREET NAME CHANGE



CALLLED 7.505 ACRES
MAGNOLIA ESCCONDIDO, LLC
DOC. NO. 2021172380
M.C.O.P.R.

P.O.B.
NAD83 GRID COORDINATES
X= 3,734,145.63
Y= 10,076,913.34

RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	11.324	493,273	RESTRICTED TO DETENTION

OWNERS: MAGNOLIA ESCCONDIDO, LLC
A TEXAS LIMITED LIABILITY COMPANY
6046 FM 2920, SUITE 512
SPRING, TEXAS 77379

Date/Time : Thu, 24 Aug 2023 10:43:00 AM
Path/Name : I:\Projects\PLATTING\2139\FINPLT\Escondido Girasol Street and Reserves.dwg
MYLAR CHECK: COORD DIR

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 29°47'48" E	68.39'
L2	N 38°10'09" E	53.39'
L3	N 24°04'48" E	39.02'
L4	N 22°38'54" W	104.96'
L5	N 74°12'55" W	106.16'
L6	S 72°44'30" E	107.51'
L7	N 22°19'02" E	82.01'
L8	N 32°11'08" E	77.97'
L9	N 39°38'53" E	43.05'
L10	N 47°06'38" E	77.97'
L11	N 56°43'47" E	77.97'
L12	N 66°20'55" E	77.97'
L13	N 75°58'04" E	77.97'
L14	N 09°13'22" W	120.00'
L15	N 35°58'44" E	112.15'
L16	N 01°28'05" E	114.89'
L17	S 87°22'29" W	135.67'
L18	S 41°04'08" W	60.00'
L19	N 78°48'29" W	50.00'
L20	N 21°01'19" E	50.00'
L21	N 41°04'08" E	50.00'
L22	N 87°22'29" E	132.42'
L23	N 87°59'36" E	50.01'
L24	S 03°51'47" E	50.01'
L25	S 52°24'21" W	54.02'
L26	S 29°25'37" W	62.11'
L27	S 34°40'58" W	50.07'
L28	S 22°16'25" W	51.02'
L29	S 87°16'27" W	68.30'
L30	N 68°58'41" W	48.53'
L31	N 48°55'52" W	100.55'
L32	N 03°14'39" W	50.00'
L33	S 03°14'39" E	28.72'
L34	N 03°14'39" W	30.14'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	60.00'	81°38'53"	85.50'	N 20°38'19" W	78.45'
C2	20.00'	22°33'01"	7.87'	N 12°48'18" E	7.82'
C3	80.00'	1°03'34"	1.48'	N 23°10'41" W	1.48'
C4	50.00'	70°27'16"	61.48'	N 19°25'59" W	57.68'
C5	25.00'	13°02'20"	5.69'	N 48°08'27" W	5.68'
C6	585.00'	0°23'45"	4.04'	N 80°58'31" E	4.04'
C7	25.00'	74°06'32"	32.34'	S 61°46'21" E	30.13'
C8	50.00'	143°49'33"	125.51'	N 83°22'09" E	95.06'
C9	775.00'	42°06'01"	569.46'	S 66°19'28" W	556.74'
C10	25.00'	94°12'20"	41.10'	S 01°49'42" E	36.63'
C11	25.00'	94°12'20"	41.10'	S 83°57'58" W	36.63'
C12	775.00'	25°40'17"	347.24'	S 24°01'39" W	344.34'
C13	825.00'	6°27'28"	92.98'	N 14°25'15" E	92.94'
C14	25.00'	86°37'40"	37.80'	N 25°39'51" W	34.30'
C15	25.00'	86°37'40"	37.80'	N 67°42'29" E	34.30'
C16	825.00'	13°18'09"	191.54'	N 31°02'43" E	191.11'
C17	25.00'	86°37'40"	37.80'	N 05°37'02" W	34.30'
C18	25.00'	86°37'40"	37.80'	N 87°45'18" E	34.30'
C19	825.00'	42°56'01"	618.20'	N 65°54'28" E	603.84'
C20	25.00'	90°37'06"	39.54'	N 42°03'54" E	35.55'
C21	25.00'	89°22'50"	39.00'	S 47°56'04" E	35.16'
C22	25.00'	89°22'52"	39.00'	S 47°56'05" E	35.16'
C23	80.00'	20°39'57"	28.85'	S 62°44'20" W	28.70'
C24	80.00'	11°00'11"	15.36'	S 46°54'16" W	15.34'
C25	526.59'	6°05'30"	55.99'	S 81°49'50" W	55.96'
C26	29.00'	81°42'17"	41.35'	N 53°58'31" W	37.94'
C27	46.00'	198°24'11"	159.29'	S 67°40'33" W	90.82'
C28	80.00'	27°52'15"	38.91'	S 46°21'29" W	38.53'
C29	800.00'	76°10'58"	1063.71'	N 49°17'00" E	987.07'

NOTES:

- ALL BEARINGS ARE REFERENCED TO THE STATE PLANE GRID COORDINATES, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE FOLLOWING COMBINED ADJUSTMENT FACTOR 0.99996413094.
- PRIMARY BENCHMARK: A 1281 (NGS PID: BL1869) BRASS DISC STAMPED A 1281 1978 LOCATED ALONG THE WEST SIDE OF NICHOLS SAWMILL ROAD, 26 FEET WEST OF PAVEMENT, AND APPROXIMATELY 550 FEET SOUTH OF UNITY PARK DRIVE. PUBLISHED ELEVATION=231.8' NAVD88
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, FILE NO. 2022-0646, DATED MAY 31, 2023. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "GBI PARTNERS" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0475G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) AND ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "GBI PARTNERS" AND "LJA ENGINEERING" DO NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- THE PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
- ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT PROPERTY, THE CONDITION OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RESUBDIVIDED IN A RECORDED SUBDIVISION PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.

OWNERS: MAGNOLIA ESCONDIDO, LLC
A TEXAS LIMITED LIABILITY COMPANY
6046 FM 2920, SUITE 512
SPRING, TEXAS 77379

ESCONDIDO
GIRASOL STREET AND RESERVE

SHEET 4 OF 4

September 26, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Magnolia Village Site Plan Phase 2 Plan Review
City of Magnolia
AEI Job No. 2325710.00*

(Plans have also been submitted as Magnolia Village Phase 2 Site Plan, Site Work 38860 Spur 149 and 38870 Spur 149, as well as Magnolia Village Phase 2 Site Plan- Retail A1 and A2)

Dear Mr. Doering:

We received the Magnolia Village Site Plan Resubmittal on September 21, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and are offering no objection to the following comments for review and consideration:

1. On the drawings, please provide calculation tables to confirm the required and provided open space, maximum and actual gross density, and the landscaped surface ratio.
2. Provide documentation of the 20' Right of Way acquisition along Spur 149
3. Once site tenants are finalized, please provide lighting and signage packages for review.
4. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter & Woodman Consulting Engineers
TBPELS Registration No. F-21783

Magnolia Reserve A Site submittal

38860-38870 Spur 149

Magnolia, TX 77354

City of Magnolia Project # 2325525.00

City Comments Response, September 15, 2023

General Comments	
1.	<p>COMMENT: Provide drawings and plans for site elevation, including building heights and elevation schedule</p> <p>RESPONSE: Elevations have been added to the plans. Refer to A200-A202</p>
2.	<p>COMMENT: Provide tables and calculations showing the required and provided landscape ratio for the development and Magnolia Village, base site area and net buildable area, net and gross densities, and total floor area.</p> <p>RESPONSE: Table has been added to the plans. Refer to L7-02.</p>
3.	<p>COMMENT: Provide a copy of the metes and bounds of the pad sites provided.</p> <p>RESPONSE: A copy of the metes and bounds have been added.</p>
4.	<p>COMMENT: Show the proposed setbacks and bufferyards for the development.</p> <p>RESPONSE: All the easements are shown on C07. They match the recorded plat.</p>
5.	<p>COMMENT: Indicate the land use for each site.</p> <p>RESPONSE: The site will be used for mercantile development. The tenants are to be determined. They will be a mix of business, mercantile or restaurant.</p>
6..	<p>COMMENT: Indicate where the proposed utility easements are located as approved in the water, sanitary, drainage, and pavement plans.</p> <p>RESPONSE: All existing easements are shown on C07. They match the recorded plat. The proposed water meter utility easements are shown C0.8.</p>
7.	<p>COMMENT: The Magnolia Village Planned Development Amendment was approved July 11, 2023. Per the Magnolia Village Planned Development Agreement:</p> <ul style="list-style-type: none"> a. Standard signage and lighting are allowed. Provide the documentation and plans for review. b. Note the location and dimension of fire lane access. c. Draw the sidewalk's location and width along Magnolia Village Drive. d. Revise the application to list current zoning as Auto-Urban Commercial and Mixed Use Residential.

RESPONSE:

- a. Proposed signage is shown on A011. Design of signage will be submitted in separate submittal. The lighting matches adjacent lot and photometric with lights is shown on E001.**
- b. Fire lane is shown on A011.**
- c. Sidewalk is 8 ft and dimension has been added to C07.**
- d. The application has been revised.**



Site Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION

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Architect (if different)

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Property Owner (if different)

GC Magnolia, LP

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Phone

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E-mail

Engineer/Land Surveyor (if different)

LJA Engineering

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City, State Zip

Katy, TX 77449

Phone

713-451-2861

Fax

mfaraj@lja.com

E-mail

Project Name: Magnolia Village Phase 2 Lot#: _____ Reviewer: _____

GENERAL CONSTRUCTION NOTES:

- 1. CONSTRUCT WASTEWATER COLLECTION SYSTEMS, WATER LINES, AND STORM DRAINAGE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MAGNOLIA DESIGN STANDARDS.
2. UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS ONE CALL AT 713-223-4567/800-245-4545 AND LOGE STAR ONE CALL AT 800-669-8344 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING WATER, WASTEWATER AND STORM DRAINAGE LINES. DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE CITY OF MAGNOLIA STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, AND STREET PAVING REFERENCED ABOVE AT NO ADDITIONAL COST.
4. CONTRACTOR SHALL NOTIFY THE CITY OF MAGNOLIA 5 DAYS PRIOR TO COMMENCING CONSTRUCTION.
5. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
6. CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF OSHA REGULATIONS AND THE STATE OF TEXAS LAWS CONCERNING EXCAVATION.
7. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION:
CITY OF MAGNOLIA (CITY PLANNING, OPTION 3) (281) 356-2266
LOGE STAR NOTIFICATION CENTER 1-(800)-669-8344 TEXAS EXCAVATION SAFETY SYSTEM INC. 1-(800)-344-8377
EXPLORER PIPELINE COMPANY 1-877-915-7473
8. ANY DAMAGE TO ANY OF THE EXISTING PAVEMENT AND/OR UTILITIES MUST BE REPAIRED IMMEDIATELY. THE CONTRACTOR MUST NOTIFY THE APPROPRIATE UTILITY OWNER, WHO WILL MAKE THE REPAIRS AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR, ON BEHALF OF THE OWNER, IS TO OBTAIN ALL PERMITS REQUIRED BY THE CITY OF MAGNOLIA PRIOR TO STARTING CONSTRUCTION OF UTILITIES AND/OR CURB/VALVES.
10. GUIDELINES SET FORTH IN THE TEXAS 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES', AS CURRENTLY AMENDED, SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAG MEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING CONSTRUCTION - BOTH DAY AND NIGHT.
11. THE WORK AREAS WITH DIRECT PUBLIC ACCESS SHALL BE BARRICADED AND ILLUMINATED DURING DARKNESS AND PERIODS OF INACTIVITY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFEGUARDING AND PROTECTING ALL MATERIAL AND EQUIPMENT STORED ON THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF MATERIALS IN A SAFE AND WORKMANLIKE MANNER TO PREVENT INJURIES, DURING AND AFTER WORKING HOURS, UNTIL PROJECT COMPLETION AND OWNER ACCEPTANCE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHIPPING OF ALL MATERIALS, THE LOADING AND UNLOADING OF ALL PIPE, VALVES, HYDRANTS, MANHOLES AND OTHER ACCESSORIES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PRACTICES AND SHALL AT ALL TIMES BE PERFORMED WITH CARE TO AVOID ANY DAMAGE TO THE MATERIAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE SUCH MATERIAL AT THE POINT OF DELIVERY AND TO REJECT ALL DEFECTIVE MATERIAL. THE DEFECTIVE MATERIAL MUST BE REPLACED WITH SOUND MATERIAL.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHIPPING AND STORING OF ALL MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE SUCH MATERIAL AT THE POINT OF DELIVERY AND TO REJECT ALL DEFECTIVE MATERIAL. ANY DEFECTIVE MATERIAL INCORPORATED INTO THE WORK SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. THERE SHALL BE NO PAYMENT MADE FOR STORED MATERIAL.
15. ALL PIPE AND REINFORCEMENT STEEL SHALL BE KEPT FREE OF DIRT AND OTHER DEBRIS. ANY DAMAGE TO THE COATING OF THE VARIOUS MATERIALS MUST BE REPAIRED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE AND POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION OF PROPOSED FACILITIES. NATURAL GROUND ADJACENT TO UTILITY TRENCH EXCAVATION TO BE GRUBBED PRIOR TO PLACEMENT OF EXCESS TRENCH MATERIAL. (NO SEPARATE PAYMENT.)
17. ACCESS TO ALL EXISTING STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.
18. UNLESS OTHERWISE NOTED, PLACEMENT OF UTILITIES IN EASEMENTS SHALL BE GOVERNED BY THE STANDARD 10' AND 14' EASEMENTS AS ADOPTED BY THE UTILITY COORDINATING COMMITTEE FOR THE HOUSTON METROPOLITAN AREA, AS CURRENTLY AMENDED OR REVISED.
19. NO CONNECTIONS MADE TO EXISTING WATER LINES OR SANITARY SEWERS SHALL BE PLACED INTO SERVICE UNTIL ALL PROPOSED LINES OR SEWERS HAVE BEEN THOROUGHLY CLEANED, TESTED, AND APPROVED BY THE ENGINEER.
20. ALL STATIONS ARE CENTERLINE OF STREET RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
21. ALL GEOLOGICAL REPORTS FOR THIS PROJECT (IF ANY) ARE AVAILABLE FOR REFERENCE AT THE OFFICE OF THE ENGINEER.
22. SURFACE RESTORATION: AT THE END OF ALL CONSTRUCTION PROJECTS, THE CONTRACTOR SHALL RESTORE THE EXISTING FACILITIES WITHIN THE PROPERTY EQUAL TO OR BETTER THAN EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
23. FINAL ACCEPTANCE OF THE UTILITIES WILL NOT BE GIVEN TO THE CONTRACTOR UNTIL THEY ARE INSPECTED AND APPROVED BY THE CITY OF MAGNOLIA. FINAL ACCEPTANCE OF THE PAVING WILL NOT BE GIVEN TO THE CONTRACTOR UNTIL IT IS INSPECTED AND APPROVED BY THE CITY OF MAGNOLIA.
24. SEE THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR ADDITIONAL ENVIRONMENTAL NOTES AND DETAILS.
25. THESE PLANS WERE PREPARED TO MEET OR EXCEED CITY OF MAGNOLIA AND MONTGOMERY COUNTY SUBDIVISION RULES AND REGULATIONS AS CURRENTLY AMENDED.
26. CONSTRUCTION WILL BE MONITORED BY A REGISTERED PROFESSIONAL ENGINEER TO ENSURE COMPLIANCE WITH THE CONSTRUCTION PLANS AND SPECIFICATIONS.
27. APPROVAL BY CITY OF MAGNOLIA WILL BE DEEMED VOID IF CONSTRUCTION IS NOT BEGUN WITHIN ONE YEAR OF APPROVAL.
28. CONTRACTOR SHALL PREPARE A SET OF "RECORD" DRAWINGS SHOWING ANY FIELD CHANGES MADE TO THE APPROVED ENGINEERING PLANS AND SUBMIT TO THE DESIGN ENGINEER.
29. ALL UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD THE EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS ONE CALL AT 713-223-4567 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.
30. MANHOLES SHALL BE PER CITY OF MAGNOLIA STANDARD DETAILS.
31. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ROOT SYSTEMS OF SHRUBS, PLANTS AND TREES ALONG AREAS OF EXCAVATION.
32. ALL UNSATISFACTORY AND/OR WASTE MATERIALS INCLUDING VEGETATION, ROOTS, CONCRETE AND DEBRIS SHALL BE DISPOSED OFFSITE BY THE CONTRACTOR, NO DIRECT PAYMENT WILL BE MADE, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE VARIOUS BID PROPOSAL ITEMS.
33. ALL MANHOLES ARE TO BE CONSTRUCTED TO ALLOW FOR A MINIMUM OF ONE FOOT (1') OF VERTICAL ADJUSTMENT.
34. ALL SEWER TRENCHES UNDER OR WITHIN ONE FOOT OF PROPOSED AND/OR FUTURE PAVEMENT OR CURB SHALL BE BACKFILLED WITH 2.0 SACKS OF CEMENT PER TON CEMENT-STABILIZED SAND TO A POINT ONE FOOT (1') BELOW PAVEMENT SUBGRADE. THE REMAINING BACKFILL SHALL BE MADE WITH COMPACTED SUITABLE MATERIAL.

GENERAL CONSTRUCTION NOTES (CONT.):

- 35. CONTRACTOR SHALL REMOVE DAILY ALL MUD, DIRT AND DEBRIS DEPOSITED OR DROPPED ON EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY.
36. THE USE OF WELL POINT SYSTEMS, WHEN REQUIRED BY TRENCH CONDITIONS, SHALL BE REQUESTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
37. CONTRACTOR SHALL PROTECT ALL TREES ADJACENT TO WORK AREA. NO TREES SHALL BE REMOVED WITHOUT PERMISSION OF OWNER AND APPROVAL BY ENGINEER.
38. CONTRACTOR SHALL PROVIDE ONE FOOT (1') MINIMUM CLEARANCE AT STORM SEWER, SANITARY SEWER AND WATER LINE CROSSINGS.
39. ALL AREAS UNNECESSARILY DISTURBED ALONG SIDE AND BACK-OF-LOT EASEMENTS OUTSIDE PROJECT LIMITS AS A RESULT OF CONSTRUCTION WORK SHALL BE SEEDED AND FERTILIZED IN ACCORDANCE WITH SEEDING SPECIFICATIONS BY THE CONTRACTOR(NO SEPARATE PAY).
40. RM ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. UTILITY CONTRACTOR SHALL ADJUST RM ELEVATIONS TO FOUR TO SIX INCHES (4.0" - 6.0") ABOVE THE FINISHED GRADE AT EACH MANHOLE LOCATION AFTER PAVEMENT CONTRACTOR HAS COMPLETED FINAL GRADING (NO SEPARATE PAY). SLOPED FILL SHALL BE ADDED FOR STORM WATER DRAINAGE AWAY FROM THE MANHOLE RM.
41. WATER, SANITARY SEWER, AND DRAINAGE CONTRACTOR SHALL AT COMPLETION OF HIS WORK FILL AND GRADE ALL UTILITY EASEMENTS (WET AND DRY) AS WELL AS LOW SPOTS IN LOTS FOR POSITIVE DRAINAGE, AS DIRECTED BY EITHER THE OWNER OR ENGINEER. (NO SEPARATE PAY)
42. UTILITY CONTRACTOR OR SWPPP CONTRACTOR, AS DETERMINED BY OWNER, SHALL PROVIDE TEMPORARY SILT BARRIER FENCE ON ALL NON-CURB INLETS WHICH WILL REMAIN IN PLACE AFTER UNDERGROUND CONTRACT IS COMPLETE.
43. UTILITY CONTRACTOR OR SWPPP CONTRACTOR, AS DETERMINED BY THE OWNER, SHALL PROVIDE SILT BARRIER FENCE ON ALL STAGE 1 CURB INLETS. (NO SEPARATE PAY)
WATER LINE CONSTRUCTION NOTES
1. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA INFRASTRUCTURE DESIGN MANUAL, STANDARD SPECIFICATION, AND CONSTRUCTION DETAILS.
2. ALL 4" THROUGH 12" WATER LINE TO BE AWWA C-600 PVC DR-18 BLUE PRESSURE RATED WATER MAIN WITH 2" AND SMALLER WATER SERVICE LINE TO BE CONTINUOUS TYPE K COPPER TUBING PER COH STANDARD SPECIFICATION SECTION 02503. ALL 4" THRU 54" DI PIPE WATER LINES SHALL BE AWWA C115 WITH INSIDE LINING WITH AWWA C114 AND DOUBLE WRAPPED WITH 6-MIL POLYETHYLENE SHEETS.
3. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. USE RESTRAINED JOINTS (MEGALUGS) WHERE PREVENTING MOVEMENT OF PIPE IS NECESSARY DUE TO THRUST.
4. ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT OF ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
5. ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER CITY OF MAGNOLIA AND TCBO REGULATIONS.
6. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE. ALL GATE VALVES WILL OPEN COUNTERCLOCKWISE.
7. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EVERY 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
8. ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.
9. 4" THRU 12" FIT TINGS SHALL BE CEMENT MORTAR LINER COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSI.
10. HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA AND TCBO STANDARD CONSTRUCTION SPECIFICATIONS. TESTS ARE TO BE PERFORMED ON THE ENTIRE FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.
11. ALL WATER LINES TO HAVE 4" MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEARANCE TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8" DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
12. CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAPPED (OR OTHERWISE EFFECTIVELY COVERED) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
GRADING NOTES
1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. BEFORE STARTING CONSTRUCTION, CONTRACTOR SHALL VERIFY BENCHMARK ELEVATION AND NOTIFY ENGINEER IF ANY DISCREPANCY AND/OR CONFLICT IS FOUND.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS, AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
5. ALL EXISTING CONCRETE PAVING, SIDEWALK, AND CURB DEMOLITION SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. DISPOSAL SHALL BE AT AN APPROVED OFF-SITE LAWFUL LOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER.
PAVING CONSTRUCTION NOTES
1. ALL PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MAGNOLIA AND MONTGOMERY COUNTY REQUIREMENTS AS CURRENTLY AMENDED.
2. ALL TEMPORARY AND PERMANENT SIGNAGE MUST COMPLY WITH THE 'TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' AS CURRENTLY AMENDED. ALL R1-1 STOP SIGNS SHALL BE 30"x36" WITH DIAMOND GRADE SHEETING.
3. ALL ROAD WIDTHS, CURB RADI, AND CURB ALIGNMENT SHOWN INDICATE BACK OF CURB. I.C. INDICATES TOP OF CURB. I.P. INDICATES TOP OF PAVEMENT ELEVATIONS.
4. ALL INTERSECTION CURB RETURN RADI SHALL BE 25 FEET AND ALL CU--DE-SEC RETURN RADI SHALL BE 35 FEET UNLESS NOTED OTHERWISE.
5. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT EACH CURB RETURN AND AT A MAXIMUM SPACING OF 60 FEET.
6. WHEN A 6" THICK CONCRETE ROADWAY INTERSECTS WITH A THICKER CONCRETE ROADWAY, THE THICKER CONCRETE SHALL BE CONSTRUCTED FOR THE ENTIRE INTERSECTION, TO THE ENDS OF ALL CURB RETURNS.
7. THE PAVING CONTRACTOR SHALL PROTECT ALL UTILITIES AND SHALL REPAIR OR REPLACE AT HIS EXPENSE ANY FACILITIES DAMAGED DURING PAVING OR GRADING OPERATIONS. ALL MANHOLES AND VALVES WITHIN THE PAVEMENT AREA SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR.
8. THE PAVING CONTRACTOR SHALL CLEAR AND STRIP ALL LOTS AND STREET RIGHTS-OF-WAY OF ALL OBSTACLES (VEGETATION, ROOTS ONE INCH (1") AND GREATER, ORGANIC SOIL LAYER) AT NO SEPARATE PAY (THIS INCLUDES HANDPICKING AS NECESSARY AND AS DIRECTED BY THE ENGINEER). THE VEGETATION, ROOTS, ETC. MUST BE PROPERLY DISPOSED OFFSITE. THE ORGANIC SOIL (TOP SOIL) MUST BE STOCKPILED DURING CONSTRUCTION AND USED AS TOP DRESSING TO PROVIDE THE MINIMUM LOT ELEVATIONS SHOWN ON THE GRADING PLAN.
9. AREAS TO BE FILLED SHALL BE SCARIFIED AND COMPACTED TO AT LEAST 90% OF MAXIMUM STANDARD PROCTOR DRY DENSITY PER ASTM D-998. TO A DEPTH OF 8" PRIOR TO FILL PLACEMENT. FILL MATERIAL SHALL BE PLACED IN MAXIMUM 8" THICK LIFTS (MEASURED LOOSE) AND COMPACTED TO AT LEAST 90% OF MAXIMUM STANDARD PROCTOR DRY DENSITY PER ASTM D-998. MOISTURE CONTENT SHALL BE WITHIN +/- 3% OF OPTIMUM UNLESS OTHERWISE DIRECTED BY OWNER'S TESTING LAB OR AS OTHERWISE DIRECTED BY THE ENGINEER. FILL SHALL BE CLEAN EARTH, SAND, OR A COMBINATION (AS APPROVED BY THE ENGINEER), AND BE FREE FROM TRASH, VEGETATION AND LARGE STONES.
10. THE PAVEMENT SUBGRADE IS TO BE SCARIFIED, LIM STABILIZED (AMOUNT AS DETERMINED BY LAB TESTS) AND COMPACTED TO 95% STANDARD PROCTOR DRY DENSITY PER ASTM D-998.

- 11. NECESSARY TESTING OF SUBGRADE AND ASPHALT PAVEMENT TO PROVE THAT THESE ITEMS MEET REQUIREMENTS SHALL BE DONE BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE OWNER.
12. REINFORCEMENT STEEL FOR PAVEMENT SHALL BE SUPPORTED WITH PLASTIC CHAIRS AT EIGHTEEN INCH (18") MAXIMUM SPACING, EACH WAY.
13. A CONTINUOUS LONGITUDINAL REINFORCING BAR SHALL BE USED IN THE CURBS.
14. STREET NAME SIGNS FOR ALL STREETS SHALL BE LOCATED AT EACH STOP SIGN AT ALL INTERSECTIONS. REFER TO RECORDED PLAN FOR CORRECT SPELLING OF STREET NAMES. STREET NAMES SHALL BE UPPER AND LOWER CASE LETTERS W/DIAMOND GRADE SHEETING.
15. CONCRETE DESIGN MIX AND TEST DATA SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.
16. DOUBLE REFLECTORIZED BLUE TRAFFIC MARKERS SHALL BE PLACED SIX INCHES (6") OFFSET OF THE CENTERLINE AT ALL FLUSHING VALVE LOCATIONS BY THE PAVING CONTRACTOR. FLUSHING VALVES LOCATED AT INTERSECTIONS SHALL HAVE A BUTTON PLACED ON EACH STREET, NO SEPARATE PAY.
17. ADA ACCESSIBLE RAMPS SHALL BE INSTALLED WITH STREET PAVING PER PLANS AND COMPLY TO CURRENT ADA AND TDR REGULATIONS.
18. THE ONLY AUTHORITY PERMITTED TO ADD WATER TO A CONCRETE TRUCK MUST COME FROM THE APPROVED COMMERCIAL TESTING LABORATORY OR THE ENGINEER.
19. CONCRETE CURB SHALL BE 4"x12" MOUNTABLE CURB UNLESS OTHERWISE NOTED.
20. ALL TOP OF CURB ELEVATIONS ARE BASED ON 6-INCH CURB. CONTRACTOR SHALL SUBTRACT 0.17 FEET FROM TOP OF CURB ELEVATIONS SHOWN ON PLANS TO DETERMINE TOP OF CURB ELEVATIONS WHERE 4" MOUNTABLE CONCRETE CURBS IS PROPOSED.
PERMIT NOTES:
1. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY REGULATION OF CITY OF MAGNOLIA AND MONTGOMERY COUNTY, TEXAS FOR FLOOD PLAN MANAGEMENT PRIOR TO STARTING CONSTRUCTION.
2. OWNER TO OBTAIN ALL PERMITS REQUIRED BY CITY OF MAGNOLIA AND MONTGOMERY COUNTY, TEXAS PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CULVERTS WITHIN MONTGOMERY COUNTY ROAD RIGHTS-OF-WAY.
DRAIN UTILITY NOTES:
CAUTION: UNDERGROUND GAS FACILITIES
1. LOCATIONS OF HUGHES PIPELINE MAIN LINES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE USUALLY NOT SHOWN.
2. WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF HUGHES PIPELINE FACILITIES, EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
3. WHEN HUGHES PIPELINE FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PILING.
4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
WARNING: OVERHEAD ELECTRICAL FACILITIES
1. OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION.
2. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX FEET (6') OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS CARRIES BOTH CRIMINAL AND CIVIL LIABILITY.
3. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL CENTERPOINT ENERGY AT (713) 207-2222.
CAUTION: AT&T FACILITIES
1. THE LOCATION OF SOUTHWESTERN BELL TELEPHONE COMPANY UTILITIES ARE NO LONGER PROVIDED BY AT&T AND ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF THESE UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES. TO HAVE THESE FACILITIES LOCATED CALL THE UTILITY COORDINATING COMMITTEE AT (713) 223-4567, OR TOLL FREE AT 1-800-669-8344 AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION.
WARNING: UNDERGROUND ELECTRICAL FACILITIES
1. UNDERGROUND ELECTRICAL FACILITIES EXIST IN THE AREA OF THIS PROJECT. DO NOT BEGIN CONSTRUCTION UNTIL THESE FACILITIES HAVE BEEN LOCATED AND STAKED. TO HAVE THESE UNDERGROUND FACILITIES STAKED CALL THE UTILITY COORDINATING COMMITTEE AT (713) 223-4567, OR TOLL FREE AT 1-800-669-8344, AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION.
TRAFFIC NOTES:
1. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD, MOST RECENT EDITION WITH REVISIONS) DURING CONSTRUCTION.
2. LANE CLOSURE PERMITS ARE TO BE OBTAINED WHEN REQUIRED. THE REQUEST MUST BE MADE AT LEAST THREE DAYS PRIOR TO THE DATE FOR WHICH THE CLOSURE IS SOUGHT.
3. CONTRACTOR SHALL COVER EXCAVATIONS WITH STEEL PLATES, ANCHORED PROPERLY, DURING NON-WORKING HOURS AND OPEN LANES FOR TRAFFIC FLOWS.
4. IF THE CONTRACTOR DESIRES TO BLOCK A LANE FOR WHICH NO "TRAFFIC CONTROL PLANS" WERE SUBMITTED, (S)HE SHALL SUBMIT REPRODUCIBLE MYLARS SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS TO THE PLAN REVIEW SECTION OF THE ENTITY HAVING JURISDICTION OVER THE ROAD BEING WORKED ON, WITH THE ENTIRE APPROVED SET OF DRAWINGS FOR APPROVAL TEN WORKING DAYS PRIOR TO CONSTRUCTION.
5. IF THE CONTRACTOR CHOOSES TO USE A DIFFERENT METHOD OF "TRAFFIC CONTROL PLANS" DURING CONSTRUCTION THAN WHAT IS OUTLINED IN THE CONTRACT DRAWINGS, (S)HE SHALL BE RESPONSIBLE TO SUBMIT AN ALTERNATE SET OF REPRODUCIBLE MYLARS SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS WITH THE ENTIRE APPROVED SET OF DRAWINGS TO THE PLAN REVIEW SECTION OF THE ENTITY HAVING JURISDICTION OVER THE ROAD BEING WORKED ON, FOR APPROVAL TEN WORKING DAYS PRIOR TO IMPLEMENTATION.
6. APPROVED COPIES OF "TRAFFIC CONTROL PLANS" AND LANE/SIDEWALK CLOSURE PERMITS SHALL BE AVAILABLE FOR INSPECTION AT JOB SITE ALL TIMES. ALL REQUESTS FOR LANE/SIDEWALK CLOSURES MUST BE MADE AT LEAST THREE DAYS PRIOR TO THE DATE FOR WHICH THE CLOSURE IS SOUGHT.
SPECIAL TRENCH BACKFILL NOTES:
1. ALL TRENCH BACKFILL FOR UTILITIES SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY PER ASTM D-998. MOISTURE CONTENT SHALL BE WITHIN +/- 3% OF OPTIMUM.
2. DENSITIES SHALL BE TAKEN AT APPROXIMATE 100-FOOT INTERVALS FOR EACH LIFT, OR AS RECOMMENDED BY THE TESTING LAB, OR AS OTHERWISE DIRECTED BY THE ENGINEER.
3. THE TESTING LAB SHALL BE PAID BY THE OWNER EXCEPT RETESTS REQUIRED DUE TO THE FAILURE OF THE FIRST TEST SHALL BE PAID BY THE CONTRACTOR.
4. LIFTS SHALL BE 8-INCH MAXIMUM, MEASURED LOOSE.
5. ALL TRENCH BACKFILL SHALL BE CONSIDERED SUBSIDIARY TO THE PIPE.
DRAWING NUMBER: 18050-04

TCBO WATER DISTRIBUTION SYSTEM GENERAL CONSTRUCTION NOTES

- 1. This water distribution system must be constructed in accordance with the current Texas Commission on Environmental Quality (TCEQ) Rules and Regulations for Public Water Systems 30 Texas Administrative Code (TAC) Chapter 290 Subchapter D. When conflicts are noted with local standards, the more stringent requirement shall be applied. At a minimum, construction for public water systems must always meet TCEQ's "Rules and Regulations for Public Water Systems."
2. All newly installed pipes and related products must conform to American National Standards Institute (ANSI)/NSF International Standard 61 and must be certified by an organization accredited by ANSI (IS90-44)(03).
3. Plastic pipe for use in public water systems must bear the NSF International Seal of Approval (NSF-PP) and have an ASTM design pressure rating of at least 150 psi or a standard dimension ratio of 26 or less (IS90-44)(03).
4. No pipe which has been used for any purpose other than the conveyance of drinking water shall be accepted or relocated for use in any public drinking water supply, as required by 30 TAC IS90-44(03).
5. Water transmission and distribution lines shall be installed in accordance with the manufacturer's instructions. However, the top of the water line must be located below the frost line and in no case shall the top of the water line be less than 24 inches below ground surface (IS90-44)(03).
6. The maximum allowable leak content of pipes, pipe fittings, plumbing fittings, and fixtures is 0.25 percent (IS90-44)(03).
7. The contractor shall install appropriate air release devices with vent openings to the atmosphere covered with 16-mesh or finer, corrosion resistant screening material or an acceptable equivalent (IS90-44)(03).
8. The contractor shall not place the pipe in water or where it can be flooded with water or sewage during its storage or installation (IS90-44)(03).
9. When waterlines are laid under any flowing or intermittent stream or semi-permanent body of water the waterline shall be installed in a separate watertight pipe encasement. Valves must be provided on each side of the crossing with facilities to allow the underwater portion of the system to be isolated and tested (IS90-44)(03).
10. Pursuant to 30 TAC IS90-44(03), the hydrostatic leakage rate shall not exceed the amount allowed or recommended by the most current AWWA formulas for PVC pipe, cast iron and ductile iron pipe. Include the formulas in the notes on the plans.
11. The hydrostatic leakage rate for poly(vinyl chloride (PVC) pipe and appurtenances shall not exceed the amount allowed or recommended by formulas in American Water Works Association (AWWA) C-600 as required in 30 TAC IS90-44(03). Please ensure that the formula for this calculation is correct and most current formula is in use;
Q = (Ld*V^3)/148,000
Where:
• Q = the quantity of makeup water in gallons per hour,
• L = the length of the pipe section being tested, in feet,
• D = the nominal diameter of the pipe in inches, and
• P = the average test pressure during the hydrostatic test in pounds per square inch (psi).
12. The hydrostatic leakage rate for ductile iron (DI) pipe and appurtenances shall not exceed the amount allowed or recommended by formulas in American Water Works Association (AWWA) C-600 as required in 30 TAC IS90-44(03). Please ensure that the formula for this calculation is correct and most current formula is in use;
L = (SD*V^3)/148,000
Where:
• L = the quantity of makeup water in gallons per hour,
• S = the length of the pipe section being tested, in feet,
• D = the nominal diameter of the pipe in inches, and
• P = the average test pressure during the hydrostatic test in pounds per square inch (psi).
13. The contractor shall maintain a minimum separation distance in all directions of nine feet between the proposed waterline and wastewater collection facilities including manholes. If this distance cannot be maintained, the contractor must immediately notify the project engineer for further direction. Separation distances, installation methods, and materials utilized must meet IS90-44(03)(1-4).
14. The separation distance from a potable waterline to a wastewater main or lateral manhole or cleanout shall be a minimum of nine feet. Where the nine-foot separation distance cannot be achieved, the potable waterline shall be encased in a joint of at least 100 psi pressure class pipe at least 18 feet long and two nominal sizes larger than the new conveyance. The space around the carrier pipe shall be supported at five-foot intervals with spacers or be filled to the springline with washed sand. The encasement pipe shall be centered on the crossing and both ends sealed with cement grout or manufactured sealant (IS90-44)(03)(1).
15. Fire hydrants shall not be installed within nine feet vertically or horizontally of any wastewater line, wastewater lateral, or wastewater service line regardless of construction (IS90-44)(03).
16. Suction mains to pumping equipment shall not cross wastewater mains, wastewater laterals, or wastewater service lines. Raw water supply lines shall not be installed within five feet of any tile or concrete wastewater main, wastewater lateral, or wastewater service line (IS90-44)(03).
17. Waterlines shall not be installed closer than ten feet to septic tank drainfields (IS90-44)(03).
18. The contractor shall disinfest the new waterlines in accordance with AWWA Standard C-651, then flush and sample the lines before being placed into service. Samples shall be collected for microbiological analysis to check the effectiveness of the disinfection procedure which shall be reported if contamination persists. A minimum of one sample for each 1,000 feet of completed waterline will be required or at the next available sampling point beyond 1,000 feet.

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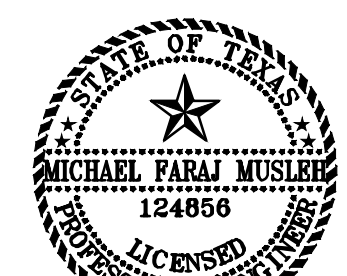
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Michael Faraj
JUL 06 2023

Table with 3 columns: NO., DATE, REVISION ISSUE. Row 1: 05.18.23, ISSUE FOR PERMIT.

PROJECT NAME AND ADDRESS:
MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2
38860 SPUR 149/ 38870 SPUR 149
MAGNOLIA, TX 77354

DRAWN: CM CHECKED: MFM

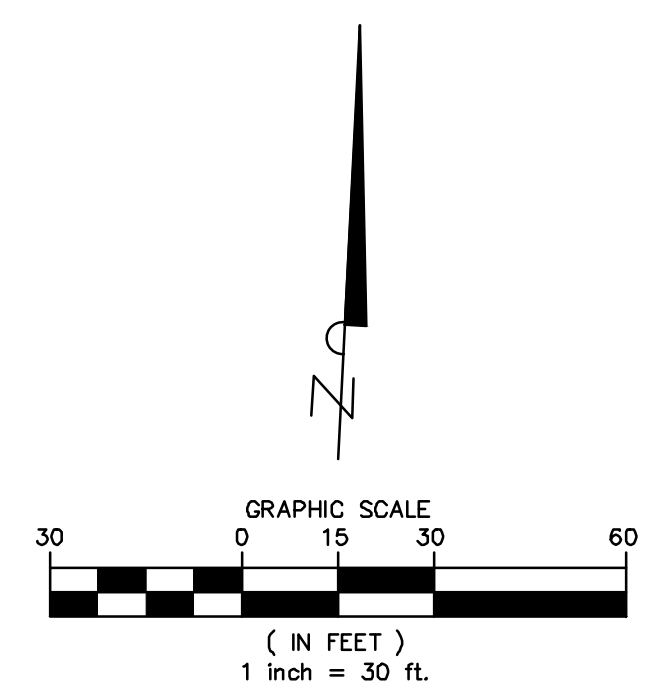
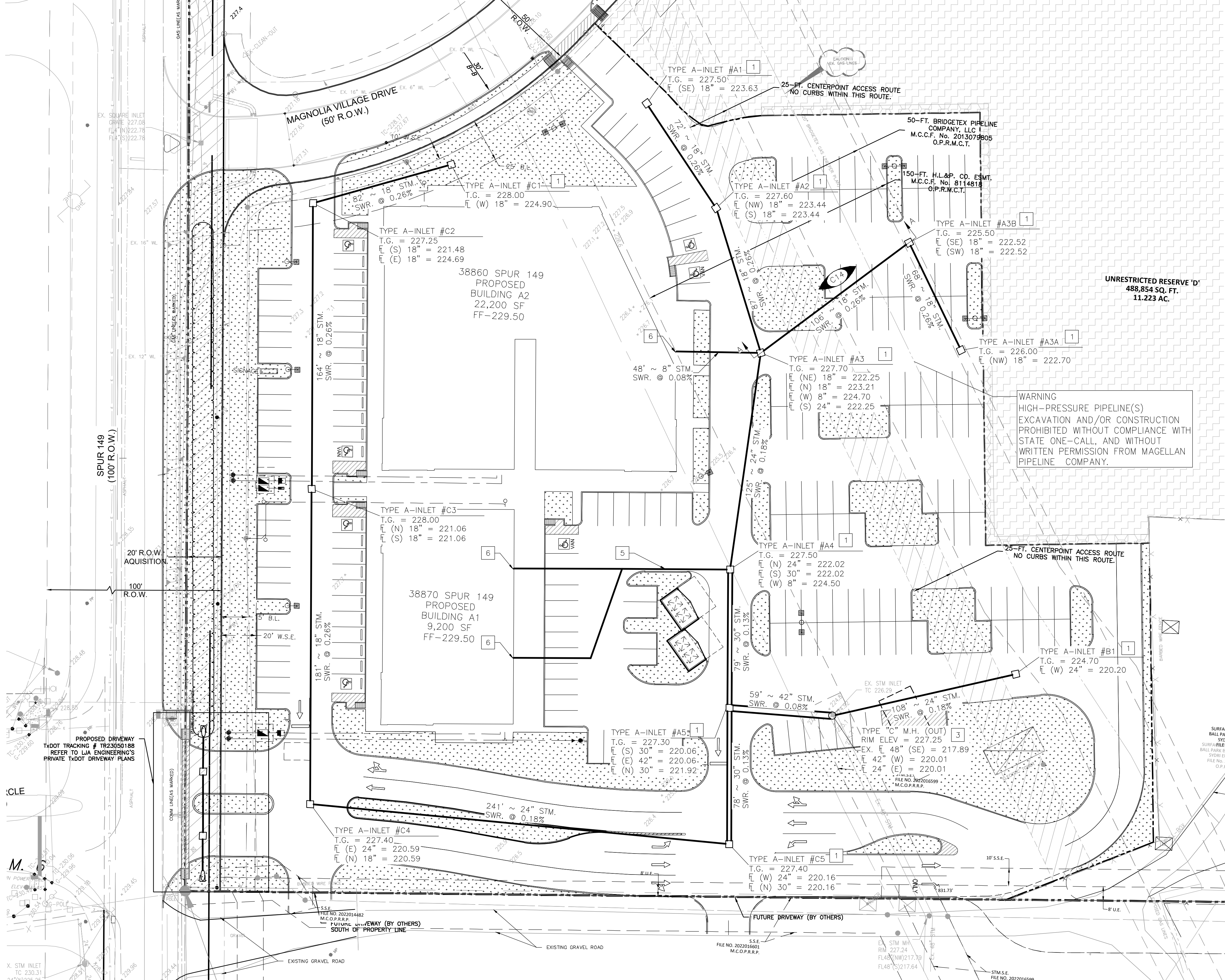
REFERENCE NUMBER: 18050-04

TITLE: GENERAL NOTES

DRAWING NUMBER: C02 OF 20

Vertical text on the left margin: Date/Time: Thu, 06 Jul 2023 - 12:45:59p; User Name: C:\Users\...; Path Name: I:\Projects\1725\0077\2 CAD\Private\C02 GENERAL NOTES.dwg

Vertical text on the right margin: www.identityarchitects.com; 111 Travis Street, Houston, Texas 77002; 713.595.2150



- LEGEND**
- EXISTING ELEVATION POINTS -----
 - EXISTING GUTTER ELEVATION -----
 - EXISTING TOP OF CURB ELEVATION -----
 - EXISTING CONCRETE -----
 - EXISTING C INLET -----
 - EXISTING POWER POLE -----
 - EXISTING FIRE HYDRANT -----
 - EXISTING WATER VALVE -----
 - EXISTING ELECTRIC BOX -----
 - EXISTING TELEPHONE ENCLOSURE -----
 - EXISTING TELEPHONE CABLE MARKER -----
 - EXISTING AREA LIGHT -----
 - EXISTING GAS LINE -----
 - EXISTING ELECTRICAL UNDERGROUND CONDUIT -----
 - EXISTING OVERHEAD ELECTRIC LINE -----
 - EXISTING UNDERGROUND TELEPHONE CABLE -----
 - EXISTING WROUGHT IRON FENCE -----
 - EXISTING SANITARY SEWER LINE & MANHOLE -----
 - EXISTING WATER LINE, G.V.&B. WITH FLUSHING VALVE -----
 - EXISTING STORM SEWER LINE AND MANHOLE & INLETS -----
 - PROPOSED CATCH BASIN -----
 - PROPOSED JUNCTION BOX -----
 - PROPOSED STORM SEWER MH -----
 - PROPOSED TYPE C INLET -----
 - 12" THROUGH 48" STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE PIPE WITH OUTER CORRUGATED WALL AND SMOOTH INNER WALL PER AASHTO M294, UNLESS OTHERWISE NOTED. -----
 - PROPOSED TOP OF GRATE ----- TG 176.40
 - PROPOSED TOP OF PIPE ----- TOP 176.55

- STORM SEWER LEGEND**
- 12" THROUGH 48" STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE PIPE WITH OUTER CORRUGATED WALL AND SMOOTH INNER WALL PER AASHTO M294.

- STORM SEWER NOTES:**
1. ALL EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY BASED ON SURVEY RECEIVED FROM IDS ENGINEERING GROUP.
 2. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING STORM, SANITARY AND WATER FACILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND.
 3. ALL PRIVATE STORM PIPING MATERIAL SHALL BE H.D.P.E. PIPE.
 4. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF MAGNOLIA, MONTGOMERY COUNTY, TXDOT, FOR FLOOD PLAN MANAGEMENT PRIOR TO STARTING CONSTRUCTION.
 5. OWNER TO OBTAIN ALL PERMITS REQUIRED BY CITY OF MAGNOLIA AND MONTGOMERY COUNTY, AND TXDOT PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CULVERTS WITHIN CITY ROAD OR TXDOT RIGHT OF WAY.
 6. ALL STORM SEWER LINES IN PAVED AREAS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND. SEE NOTES IN SHEET C02.

- STORM SEWER CONSTRUCTION NOTES:**
- 1 CONTRACTOR TO CONSTRUCT TYPE "A" INLET
 - 2 CONTRACTOR TO CONSTRUCT TYPE "B" INLET
 - 3 CONTRACTOR TO CONNECT TO EXISTING STORM SEWER MANHOLE PER CITY STANDARDS.
 - 4 CONTRACTOR TO CONSTRUCT JUNCTION BOX.
 - 5 DOWNSPOUT COLLECTOR 8" PIPING. SEE BUILDING PLANS FOR ACTUAL DOWNSPOUT LOCATIONS. ALL DOWNSPOUT COLLECTOR PIPING WITHIN 15 FEET FROM THE BUILDING WALL MUST APPROACH THE WALL AT A RIGHT ANGLE TO THE WALL.
 - 6 ROOF DRAIN. REFER TO PLUMBING PLANS.

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JUL 06 2023

NO.	DATE	REVISION ISSUE
	05.18.23	ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS:
MAGNOLIA VILLAGE RETAIL CENTER
 SITE WORK FOR BLDGS A1 AND A2
 38860 SPUR 149/ 38870 SPUR 149
 MAGNOLIA, TX 77354

DRAWN: CM CHECKED: MFM

REFERENCE NUMBER: 18050-04

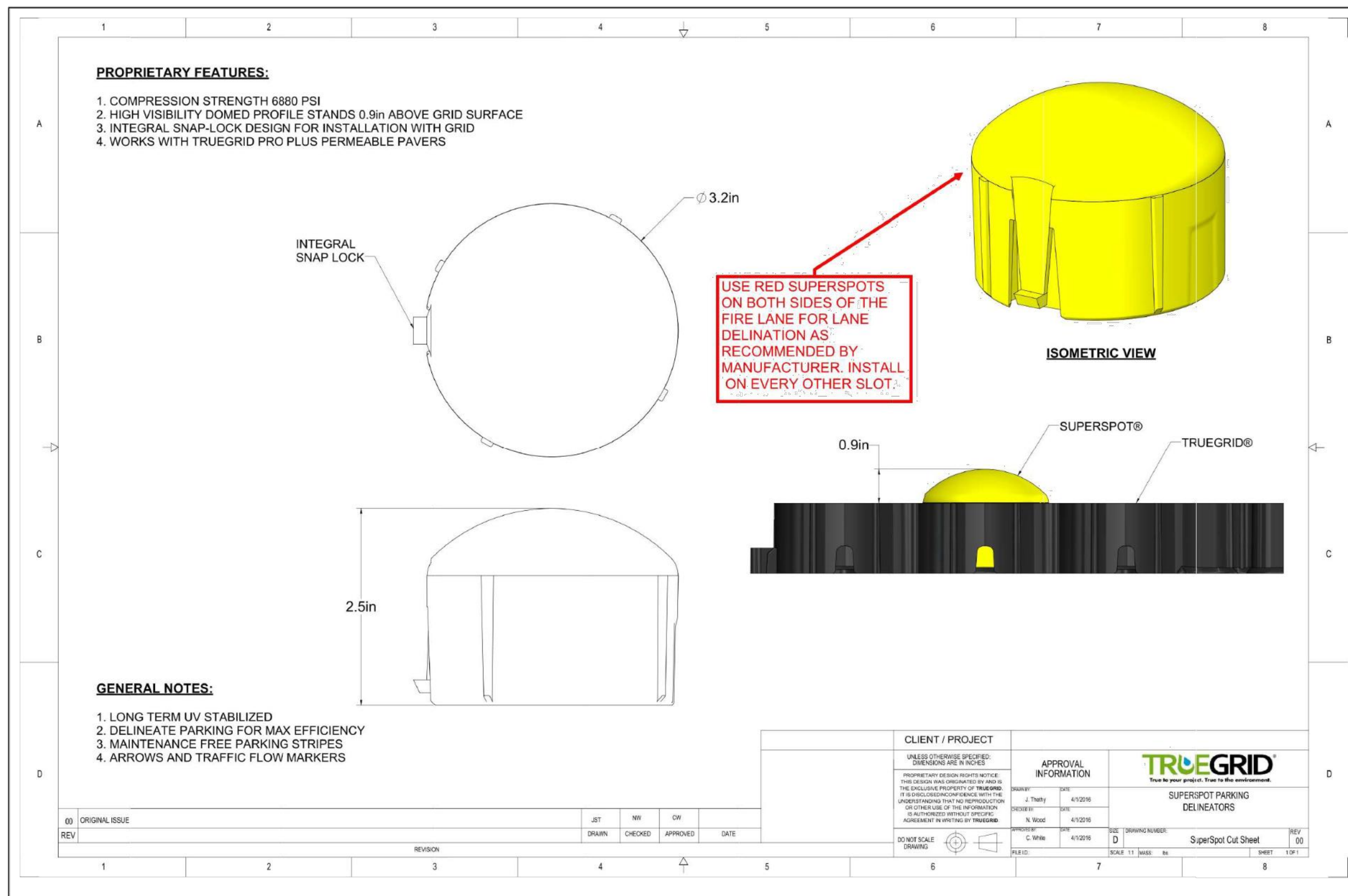
TITLE:
 STORM SEWER PLAN

DRAWING NUMBER:

C10 OF 20

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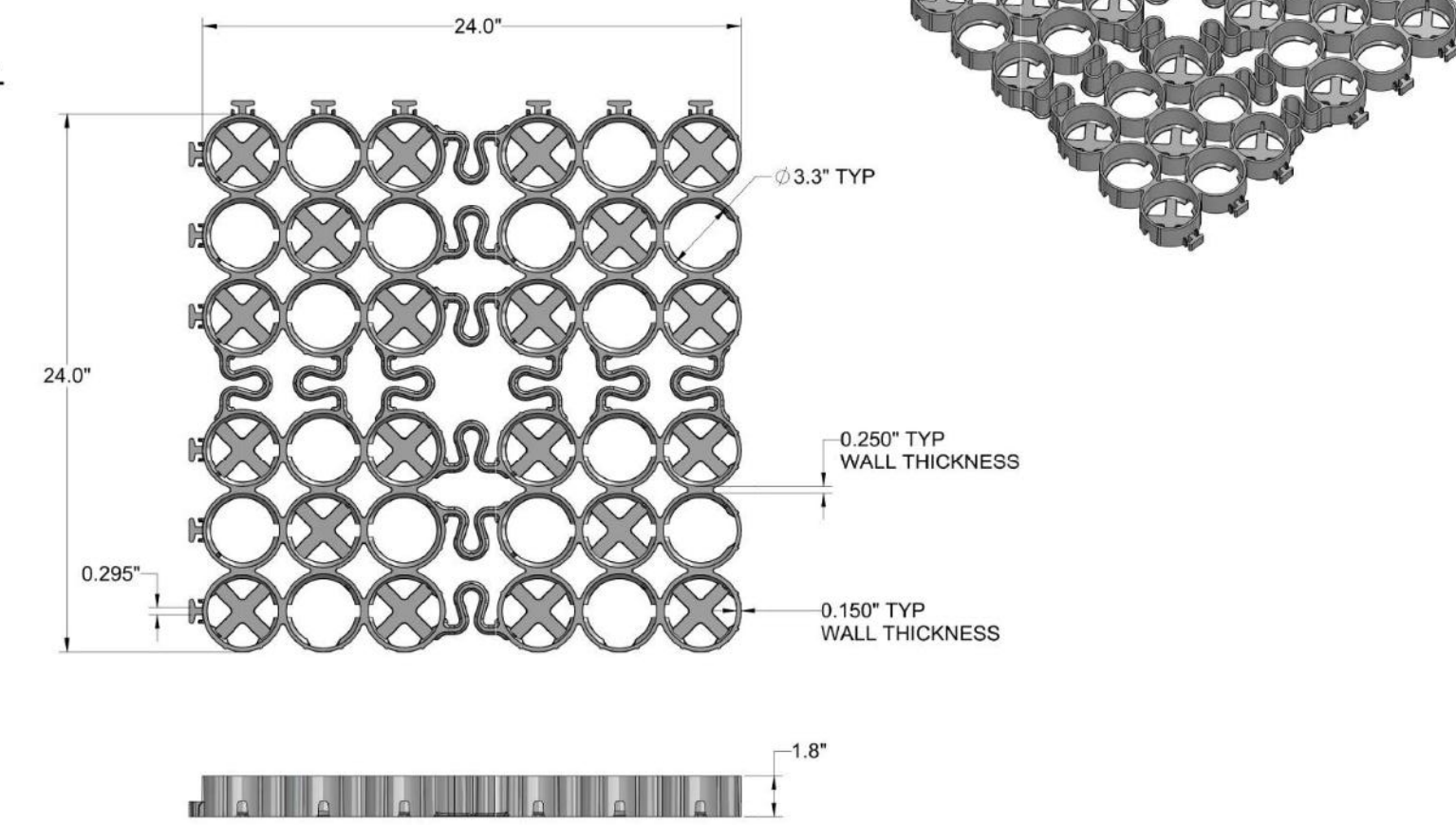
US PATENT NO. 8,734,049

PROPRIETARY FEATURES:

- 1) X-ANCHORS (NO STAKING NEEDED)
- 2) 3 POINT MALE/FEMALE LOCKING TABS
- 3) S-FLEX JOINTS (BUILT IN EXPANSION JOINTS FOR SOIL MOVEMENT AND SEASONAL CHANGES)
- 4) HOOP STRENGTH DESIGN

OTHER:

- 1) 100 % POST-CONSUMER RECYCLED HDPE.
- 2) DELIVERED IN PREASSEMBLED 4' X 4' SHEETS THAT CAN BE RECONFIGURED, AS NEEDED.



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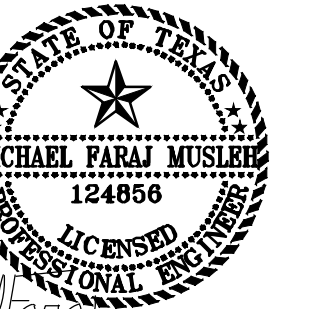
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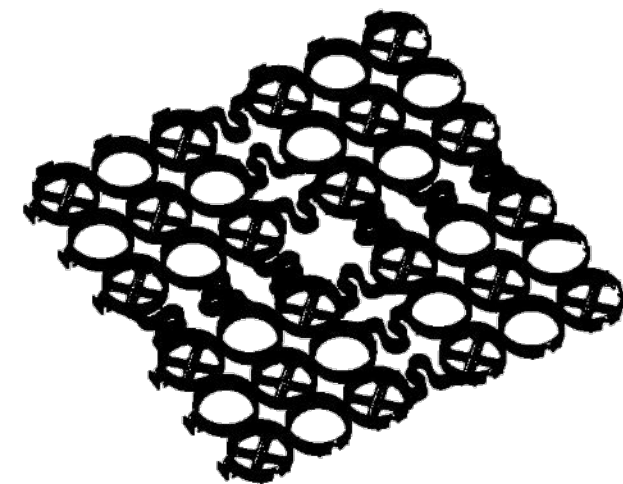
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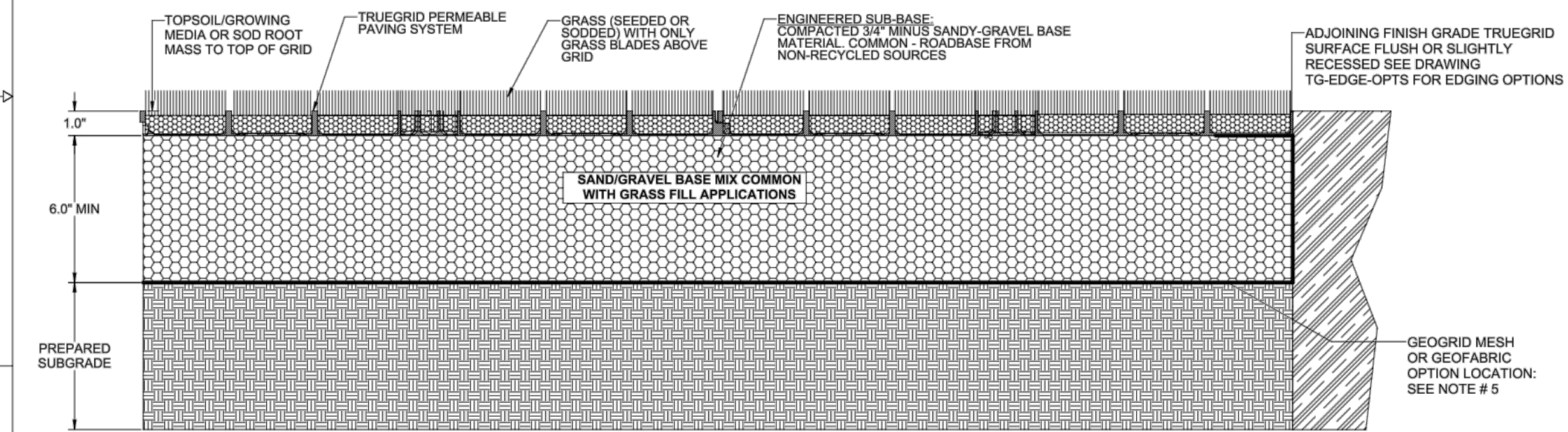
NOTES:

1. SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
2. SEEDING METHOD: FILL SOIL/GROWING MEDIA TO TOP OF GRID, APPLY SEEDING OR HYDROSEEDING PER MANUFACTURERS' (BY OTHERS) REQUIRED APPLICATION RATES.
3. SOD INSTALLATION METHOD: UNROLL AND PRESS SOD INTO EMPTY GRID SO TOP OF GRID IS AT SOIL/ROOT LEVEL AND ONLY THE GRASS BLADES EXTEND ABOVE THE GRID.
4. FOR HIGHER TRAFFIC INSTALLATIONS, RECESS SOIL LEVEL WITHIN TRUEGRID AND SEED OR PRESS IN SOD SO THAT TOP OF GRID IS AT SOIL LEVEL.
5. GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUBGRADE & SUBBASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.
6. TRUEGRID PRO LITE PRODUCTS ARE SUFFICIENTLY RATED FOR LOW TRAFFIC H-20/HS-20 LOADING.
7. NO STAKING TYPICALLY NECESSARY WITH TRUEGRID PRO LITE WHEN SLOPE IS BELOW 20 DEGREES, ASSESS PROJECT AS NEEDED.
8. TRUEGRID PRO LITE IS ADA COMPLIANT WITH PROPER FILL MATERIAL.
9. ALTERNATIVE ENGINEERED SUB-BASE MIXES CAN BE USED PROVIDED THEY PROMOTE GRASS GROWTH, HAVE ADEQUATE VOID SPACE FOR DRAINAGE, AND PROVIDE REQUIRED STRUCTURAL SUPPORT.
10. THIS CROSS SECTION IS FOR INFORMATION ONLY.



TRUEGRID BLOCK REFERENCE VIEW

PREASSEMBLED & DELIVERED IN 4' X 4' SHEET, RECONFIGURED AS NEEDED, NO EXTRA TOOLING OR ACCESSORIES REQUIRED



APPLICATION EXAMPLES:

- DRIVEWAYS
- RV PADS
- OVERFLOW PARKING

GRASS FILL - HEAVY LOAD

REV	DESCRIPTION	DATE	BY	CHKD	APP'D
01	UPDATED NOTES, FLAG NOTES				

CLIENT / PROJECT	APPROVAL INFORMATION
SPACE CONSERVATION SPACES OVERFLOW PARKING	DESIGNED BY: J. Tully
MANUFACTURED IN NORTH AMERICA	CHECKED BY: S. West
1-855-355-GRID (4743)	DATE: 08/08/2023
	PROJECT: C. West
	SCALE: 1" = 1'-0"
	SHEET: 01
	TOTAL SHEETS: 03

RECORD DRAWING

PROJECT NAME AND ADDRESS:

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SITE WORK FOR BLDGS A1 AND A2
38860 SPUR 149/ 38870 SPUR 149
MAGNOLIA, TX 77354

DRAWN: CM

CHECKED: MFM

REFERENCE NUMBER:

18050-04

TITLE:

CENTERPOINT
ACCESS DETAILS

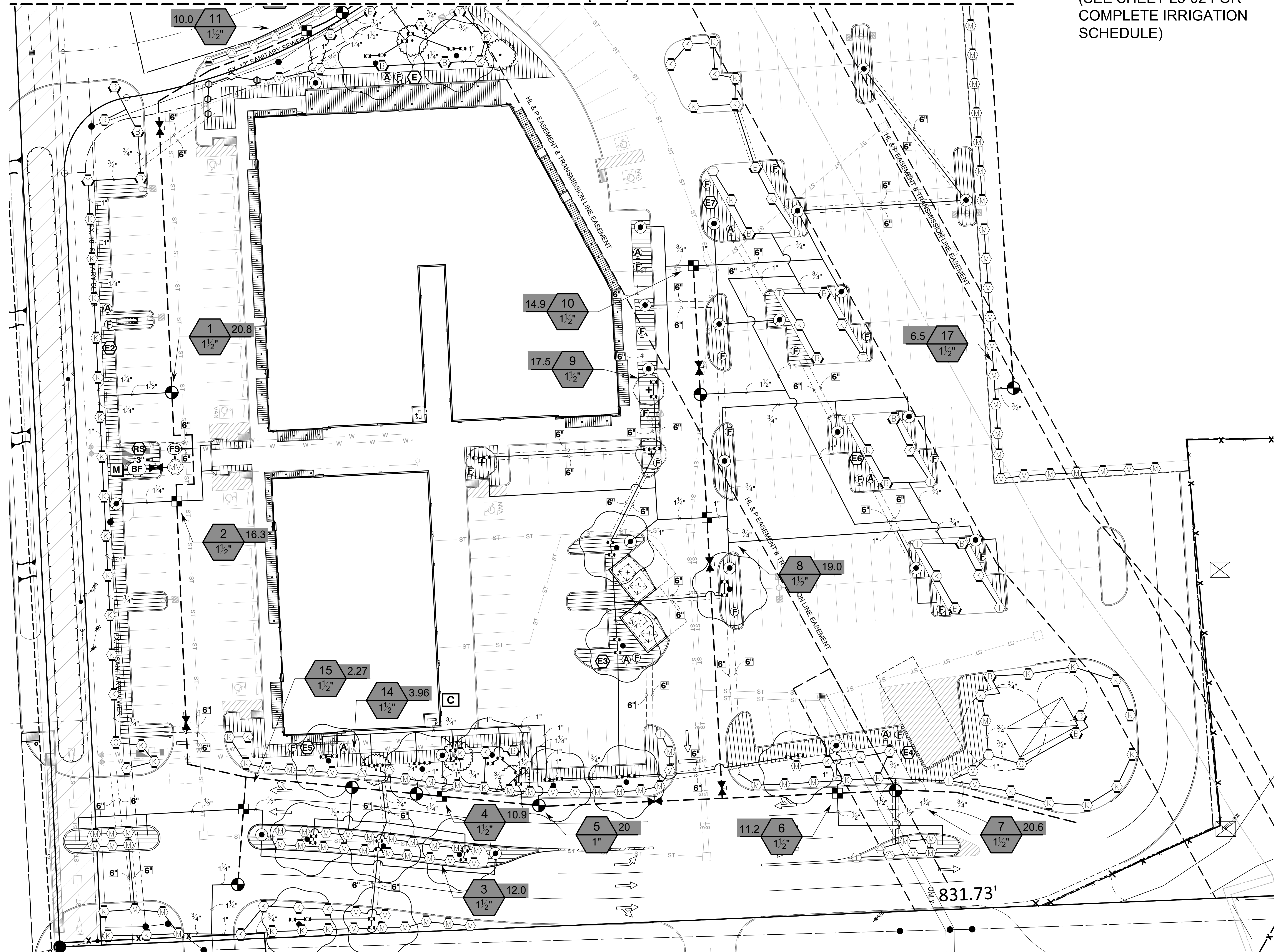
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C20 OF 20

Date/Time: Thu, 06 Jul 2023 12:50:00 PM User Name: cnuodur9 PathName: I:\Projects\1725\0077A2_CAD\Private\ACED_CENTERPOINT_ACCESS_DETAILS.dwg

MATCHLINE 'A', SEE DETAIL (L8-02)

(SEE SHEET L8-02 FOR COMPLETE IRRIGATION SCHEDULE)



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 MAGNOLIA, TX 77354

DRAWN: _____ CHECKED: _____

REFERENCE NUMBER: **18050-04**

TITLE:
 IRRIGATION LAYOUT PLAN

DRAWING NUMBER:

L8-01

ELEVATION KEY NOTES	
1	SCHEDULED STOREFRONT WINDOW SYSTEM, RE: A601, METAL 1 & GLAZE 1
2	SCHEDULED STOREFRONT DOOR SYSTEM, RE: A601, METAL 1 & GLAZE 1
3	HOLLOW METAL DOOR AND FRAME, RE: A601, PAINT 4
4	SCHEDULED PREFABRICATED METAL CANOPY, METAL 3
5	SECURITY WALL PACK MOUNTED AT 14'-0" A.F.F., O.C. RE: ELECTRICAL DWGS
6	PREFINISHED METAL COPING, RE: ROOF DETAILS, METAL 4
7	ROOF ACCESS LADDER, RE: A3/A313
8	36" X 8" WALL OPENING FOR GAS PIPE THROUGH, 12" ABOVE ROOF LINE, VERIFY EXACT LOCATION WITH OWNER PRIOR TO POURING WALL PANEL
9	ELECTRICAL GUTTER AND PANELS, RE: ELEC. DWGS PAINT 4
10	PROPOSED TELEPHONE SERVICE CABINET, RE: ELEC. DWGS, PAINT 4
11	PREFABRICATED DOWNSPOUT & SCUPPER OVERFLOW, METAL 4
12	WALL SCONCE MOUNTED O.C. AT 7'-0" A.F.F., RE: ELECTRICAL DWGS.
13	WALL MOUNTED EGRESS LIGHT MOUNTED 1'-0" CLEAR ABOVE DOOR FRAME
14	SCHEDULED ZIPPY-GRID SYSTEM AT STOREFRONT, METAL 5

ELEVATION KEY NOTES	
15	DECORATIVE STEEL CHANNEL, PAINT 5
16	DECORATIVE STEEL BEAM, PAINT 5
17	CAT STONE TRIM, STONE 3
18	FIRE DEPARTMENT CONNECTION (FDC)
19	KNOX BOX AS SPECIFIED ON G002, CONFIRM LOCATION WITH FIRE MARSHALL
20	TILT-WALL REVEAL, RE: A3/A511
21	TILT-WALL PANEL JOINT, RE: STRUCTURAL DWGS
22	TILT-WALL PARAPET, RE: D1/A511
23	ALUMINUM COLUMN BY CANOPY MANUFACTURER, RE: A111
24	ROOF LINE BEYOND (DASHED)

EXTERIOR FINISH SCHEDULE			
MATERIAL TAG	ITEM	MFG.	STYLE/COLOR:
BRICK 1	FULL BED BRICK VENEER MODULAR, (RUNNING BOND)	UPCHURCH KIMBROUGH	DOVE GREY (VEVOUR) MORTAR: SPECTRUM WHITE-N/S
BRICK 2	FULL BED BRICK VENEER MODULAR, (SOLDIER COURSE)	UPCHURCH KIMBROUGH	DOVE GREY (VEVOUR) MORTAR: SPECTRUM WHITE-N/S
STONE 1	THIN STONE ON LATICRETE MVIS SYSTEM MORTAR, 12 X 24, RUNNING BOND	UPCHURCH KIMBROUGH	MONACO SHORES MORTAR: SPECTRUM WHITE-N/S
STONE 2	CAST STONE ON LATICRETE MVIS SYSTEM MORTAR	SITE WORKS	COLOR: NATURAL MORTAR: SPECTRUM WHITE-N/S
STONE 3	CAST STONE ON LATICRETE MVIS SYSTEM MORTAR	SITE WORKS	COLOR: MATCH TO STONE 1
METAL 1	ANODIZED STOREFRONT SYSTEM	KAWNEER	DARK BRONZE
METAL 2	METAL PANEL SYSTEM AT TOWER PARAPET	BERRIDGE (OR EQUAL)	DARK BRONZE
METAL 3	PREFABRICATED CANOPIES	AVADEK (OR EQUAL)	DARK BRONZE
METAL 4	PREFIN. METAL COPING AT PARAPET, DOWNSPOUTS AND OVERFLOW TRIMS	BERRIDGE (OR EQUAL)	DARK BRONZE
METAL 5	ZIPPY GRID SYSTEM ON STOREFRONT SYSTEM (PROVIDE SUBMITTAL)	ZIPPY GRID	STYLE: "ORIGINAL" DARK BRONZE (TO MATCH STOREFRONT)
METAL 6	PREFINISHED METAL TRIMS & FLASHING	BERRIDGE (OR EQUAL)	DARK BRONZE
PAINT 1	CONCRETE PANEL FIELD PAINT	SHERWIN WILLIAMS	COLOR: SW 7014 EIDER WHITE TEXTURE: MEDIUM
PAINT 2	CONCRETE PANEL ACCENT PAINT (LIGHT SHADE)	SHERWIN WILLIAMS	COLOR: SW 7043 WORLDLY GRAY TEXTURE: MEDIUM
PAINT 3	CONCRETE PANEL ACCENT PAINT (DARK SHADE, AT PARAPET)	SHERWIN WILLIAMS	COLOR: SW 7675 SEAL SKIN TEXTURE: MEDIUM
PAINT 4	EXTERIOR GRADE METAL PAINT	SHERWIN WILLIAMS	COLOR TO MATCH PAINT 2
PAINT 5	EXTERIOR GRADE METAL PAINT ON STEEL CHANNEL	SHERWIN WILLIAMS	COLOR: SW 7675 SEAL SKIN
PAINT 6	EXTERIOR GRADE METAL PAINT (DUMPSTER EXPOSED METAL COMPONENTS, + MISC.)	SHERWIN WILLIAMS	COLOR TO MATCH METAL 4
GLAZE 1	INSULATED STOREFRONT GLAZING, RE: A601	VITRO GLASS (OR EQUAL)	SOLARBAN 70XL (CLEAR + CLEAR)
STUCCO 1	1" THICK STUCCO FINISH AT TRASH ENCLOSURE	DRYVIT (OR EQUAL)	COLOR TO MATCH PAINT 1
STUCCO 2	1" THICK STUCCO FINISH AT PARAPET RETURN WALL	DRYVIT (OR EQUAL)	COLOR TO MATCH PAINT 3

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF TEXAS AS SIGNIFIED BY MY HAND AND SEAL.

KEENON RAYNER
TX REG: 18268
EXP: 07/31/2024

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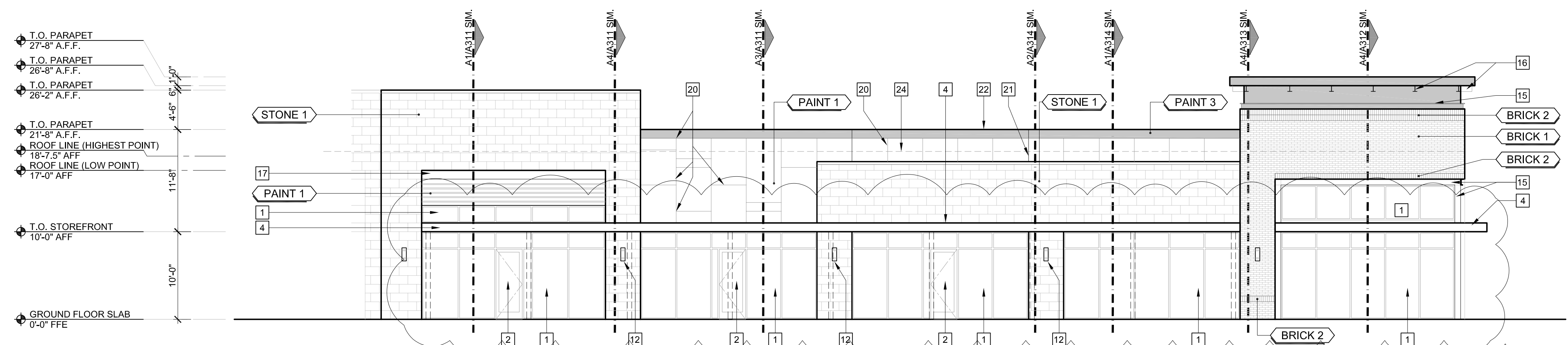
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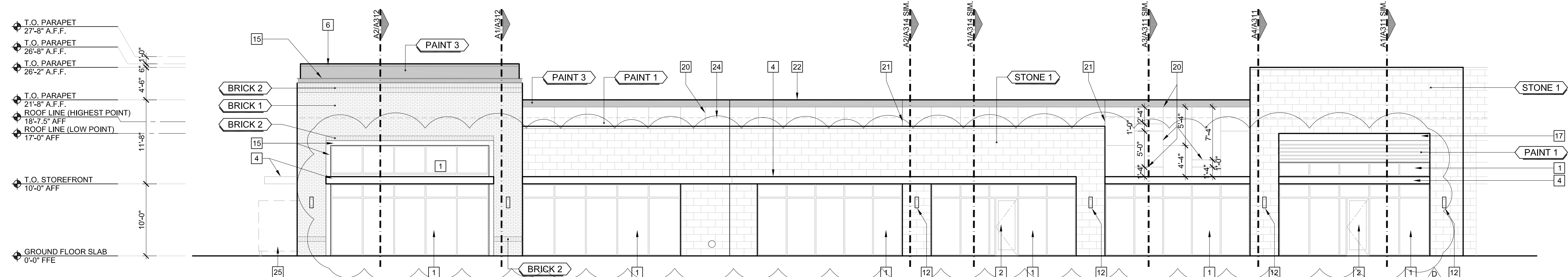
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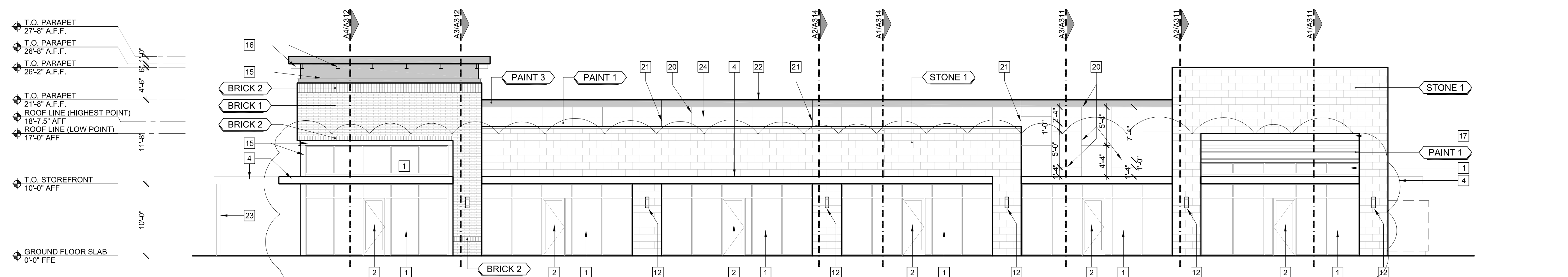


C1 BUILDING A2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ALL PREFABRICATED CANOPIES ARE TO BE ENGINEERED BY THE MANUFACTURER. THE SELECTED CONTRACTOR WILL BE SUBMITTED TO THE CITY AS A DEFERRED SUBMITTAL.



B1 BUILDING A2 - EAST ELEVATION (ELEVATION SHOWN AS FLAT)
SCALE: 1/8" = 1'-0"



A1 BUILDING A2 - WEST ELEVATION
SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION	ISSUE
	05.18.23	ISSUE FOR PERMIT	
B	07/18/23	CITY COMMENTS	
D	08/15/23	CITY COMMENTS	

PROJECT NAME AND ADDRESS:
MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A2
38870 SPUR 149 MAGNOLIA, TX 77354

DRAWN: - CHECKED: -

REFERENCE NUMBER: 18050-04

TITLE:
EXTERIOR ELEVATIONS

DRAWING NUMBER:

ELEVATION KEY NOTES

- 1 SCHEDULED STOREFRONT WINDOW SYSTEM, RE: A601, METAL 1 & GLAZE 1
- 2 SCHEDULED STOREFRONT DOOR SYSTEM, RE: A601, METAL 1 & GLAZE 1
- 3 HOLLOW METAL DOOR AND FRAME, RE: A601, PAINT 4
- 4 SCHEDULED PREFABRICATED METAL CANOPY, METAL 3
- 5 SECURITY WALL PACK MOUNTED AT 14'-0" A.F.F., O.C. RE: ELECTRICAL DWGS
- 6 PREFINISHED METAL COPING, RE: ROOF DETAILS, METAL 4
- 7 ROOF ACCESS LADDER, RE: A3/A313
- 8 36" X 8" WALL OPENING FOR GAS PIPE THROUGH, 12" ABOVE ROOF LINE, VERIFY EXACT LOCATION WITH OWNER PRIOR TO POURING WALL PANEL
- 9 ELECTRICAL GUTTER AND PANELS, RE: ELEC. DWGS PAINT 4
- 10 PROPOSED TELEPHONE SERVICE CABINET, RE: ELEC. DWGS, PAINT 4
- 11 PREFABRICATED DOWNSPOUT & SCUPPER OVERFLOW, METAL 4
- 12 WALL SCONCE MOUNTED O.C. AT 7'-0" A.F.F., RE: ELECTRICAL DWGS.
- 13 WALL MOUNTED EGRESS LIGHT MOUNTED 1'-0" CLEAR ABOVE DOOR FRAME
- 14 SCHEDULED ZIPPY GRID SYSTEM AT STOREFRONT, METAL 5

ELEVATION KEY NOTES

- 15 DECORATIVE STEEL CHANNEL, PAINT 5
- 16 DECORATIVE STEEL BEAM, PAINT 5
- 17 CAT STONE TRIM, STONE 3
- 18 FIRE DEPARTMENT CONNECTION (FDC)
- 19 KNOX BOX AS SPECIFIED ON G002, CONFIRM LOCATION WITH FIRE MARSHALL
- 20 TILT-WALL REVEAL, RE: A3/A511
- 21 TILT-WALL PANEL JOINT, RE: STRUCTURAL DWGS
- 22 TILT-WALL PARAPET, RE: D1/A511
- 23 ALUMINUM COLUMN BY CANOPY MANUFACTURER, RE: A111
- 24 ROOF LINE BEYOND (DASHED)
- 25 IMPACT SCREEN FENCING, RE: C1/A501
- 26 PREFABRICATED DOWNSPOUT & SCUPPER OVERFLOW, METAL 4
- 27 HOUSE ELECTRICAL PANEL RE: ELECTRICAL DWGS
- 28 GAS METER ZONE

EXTERIOR FINISH SCHEDULE

MATERIAL TAG	ITEM	MFG.	STYLE/COLOR:
BRICK 1	FULL BED BRICK VENEER MODULAR, (RUNNING BOND)	UPCHURCH KIMBROUGH	DOVE GREY (VEVOUR) MORTAR: SPECTRUM WHITE-N/S
BRICK 2	FULL BED BRICK VENEER MODULAR, (SOLDIER COURSE)	UPCHURCH KIMBROUGH	DOVE GREY (VEVOUR) MORTAR: SPECTRUM WHITE-N/S
STONE 1	THIN STONE ON LATICRETE MVIS SYSTEM MORTAR, 12 X 24, RUNNING BOND	UPCHURCH KIMBROUGH	MONACO SHORES MORTAR: SPECTRUM WHITE-N/S
STONE 2	CAST STONE ON LATICRETE MVIS SYSTEM MORTAR	SITE WORKS	COLOR: NATURAL MORTAR: SPECTRUM WHITE-N/S
STONE 3	CAST STONE ON LATICRETE MVIS SYSTEM MORTAR	SITE WORKS	COLOR: MATCH TO STONE 1
METAL 1	ANODIZED STOREFRONT SYSTEM	KAWNEER	DARK BRONZE
METAL 2	METAL PANEL SYSTEM AT TOWER PARAPET	BERRIDGE (OR EQUAL)	DARK BRONZE
METAL 3	PREFABRICATED CANOPIES	AVADEK (OR EQUAL)	DARK BRONZE
METAL 4	PREFIN. METAL COPING AT PARAPET, DOWNSPOUTS AND OVERFLOW TRIMS	BERRIDGE (OR EQUAL)	DARK BRONZE
METAL 5	ZIPPY GRID SYSTEM ON STOREFRONT SYSTEM (PROVIDE SUBMITTAL)	ZIPPY GRID	STYLE: "ORIGINAL" DARK BRONZE (TO MATCH STOREFRONT)
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PAINT 3	CONCRETE PANEL ACCENT PAINT (DARK SHADE, AT PARAPET)	SHERWIN WILLIAMS	COLOR: SW 7675 SEAL SKIN TEXTURE: MEDIUM
PAINT 4	EXTERIOR GRADE METAL PAINT	SHERWIN WILLIAMS	COLOR TO MATCH PAINT 2
PAINT 5	EXTERIOR GRADE METAL PAINT ON STEEL CHANNEL	SHERWIN WILLIAMS	COLOR: SW 7675 SEAL SKIN
PAINT 6	EXTERIOR GRADE METAL PAINT (DUMPSTER EXPOSED METAL COMPONENTS, + MISC.)	SHERWIN WILLIAMS	COLOR TO MATCH METAL 4
GLAZE 1	INSULATED STOREFRONT GLAZING, RE: A601	VITRO GLASS (OR EQUAL)	SOLARBAN 70XL (CLEAR + CLEAR)
STUCCO 1	1" THICK STUCCO FINISH AT TRASH ENCLOSURE	DRYVIT (OR EQUAL)	COLOR TO MATCH PAINT 1
STUCCO 2	1" THICK STUCCO FINISH AT PARAPET RETURN WALL	DRYVIT (OR EQUAL)	COLOR TO MATCH PAINT 3

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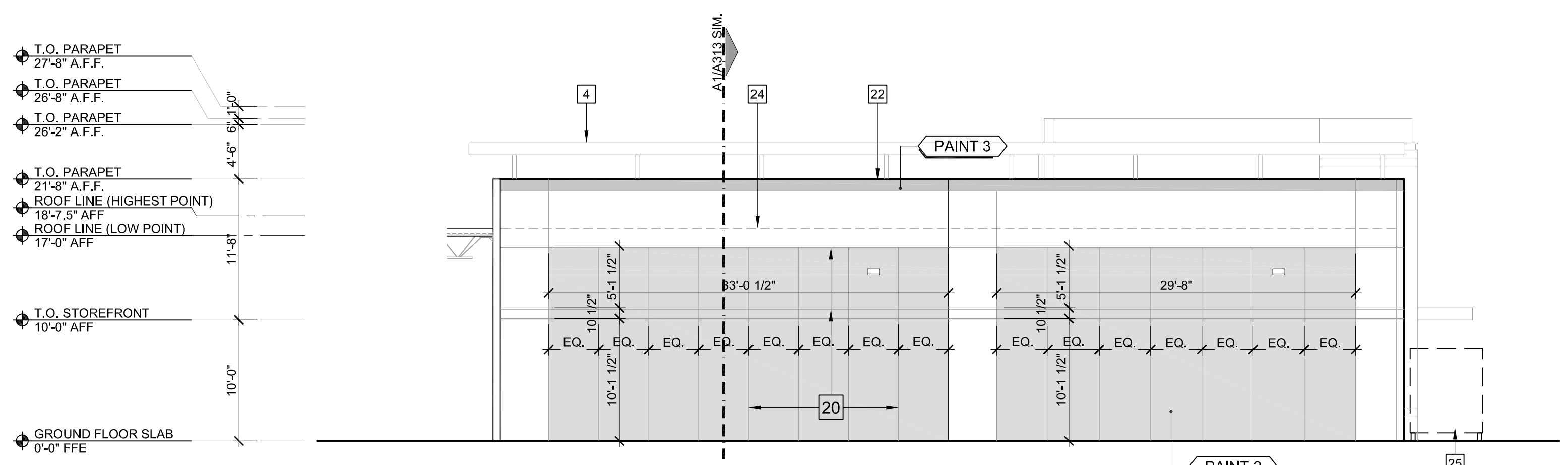
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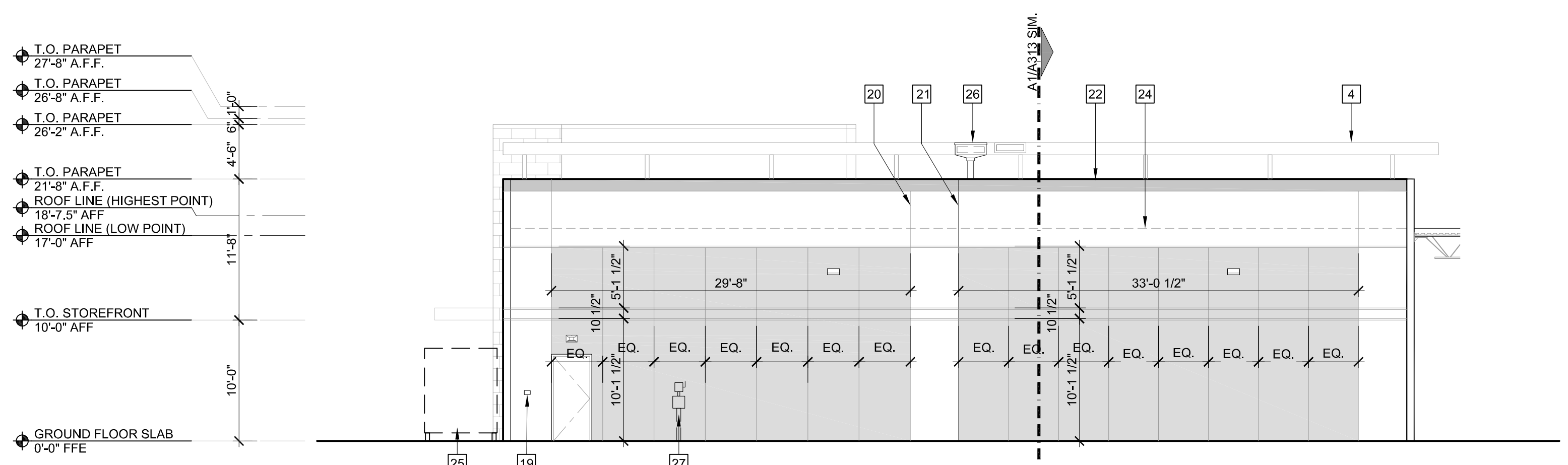
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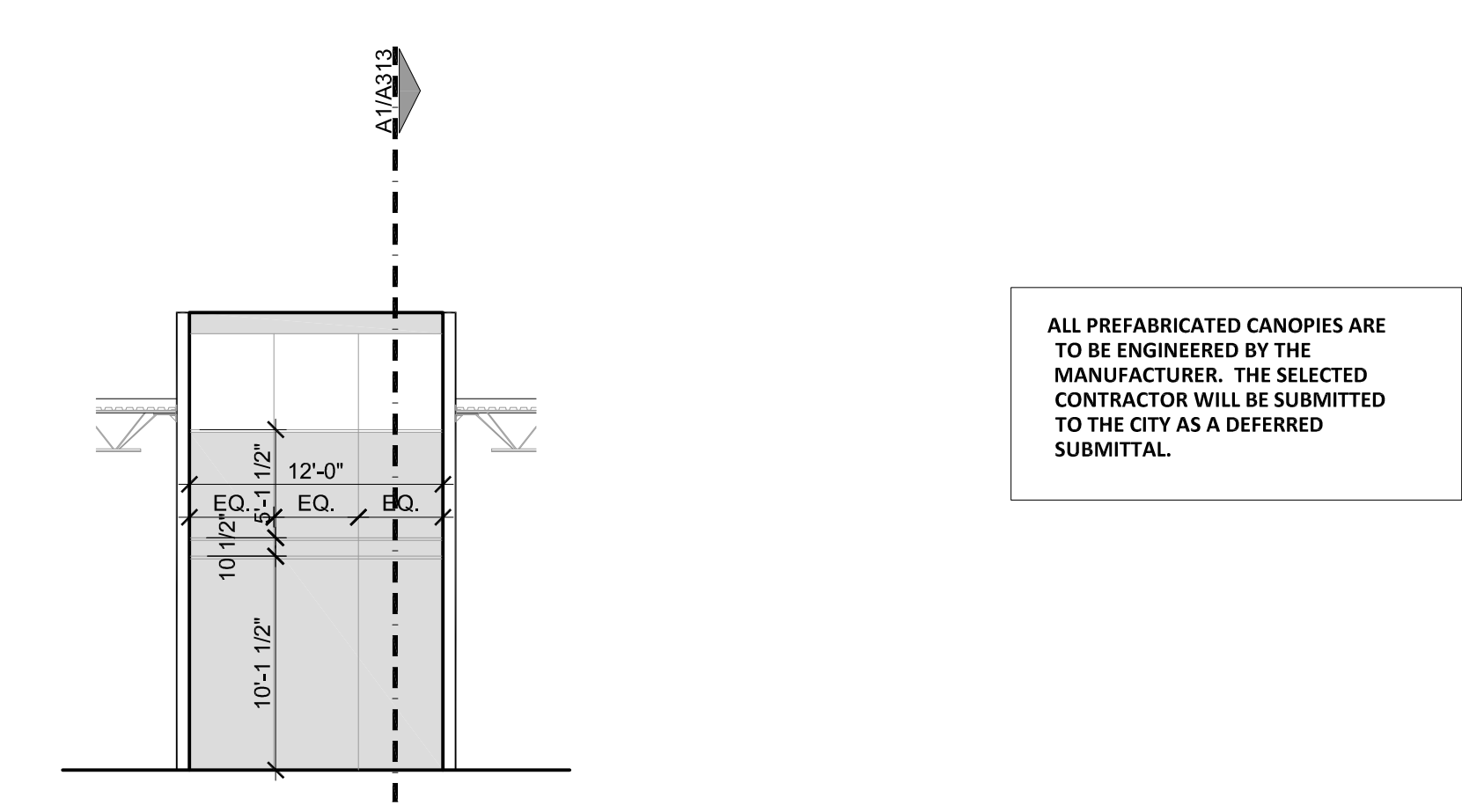
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C1 BUILDING A2 - PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"

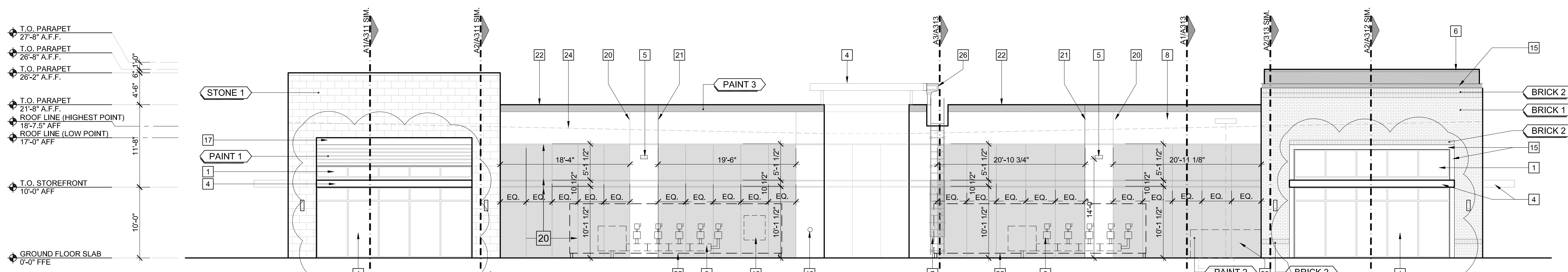


B1 BUILDING A2 - PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



B2 BUILDING A2 - PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ALL PREFABRICATED CANOPIES ARE TO BE ENGINEERED BY THE MANUFACTURER. THE SELECTED CONTRACTOR WILL BE SUBMITTED TO THE CITY AS A DEFERRED SUBMITTAL.



A1 BUILDING A2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION	ISSUE
	05.18.23		ISSUE FOR PERMIT
B	07/18/23		CITY COMMENTS
D	08/15/23		CITY COMMENTS

PROJECT NAME AND ADDRESS:
MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A2
38870 SPUR 149 MAGNOLIA, TX 77354

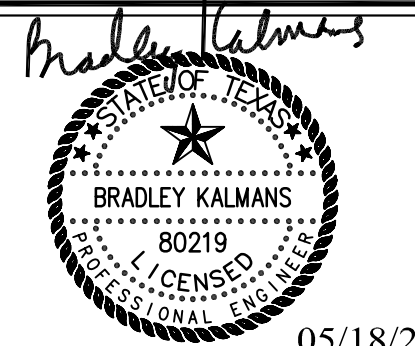
DRAWN: - CHECKED: -

REFERENCE NUMBER: 18050-04

TITLE:
EXTERIOR ELEVATIONS

DRAWING NUMBER:

A202



05/18/2023

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 | expect a difference |
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 Project No. 2023-01217-00

NO.	DATE	REVISION	ISSUE
1	05.18.23	ISSUE FOR PERMIT	

PROJECT NAME AND ADDRESS:
MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A1
 38860 SPUR 149 MAGNOLIA, TX 77354

DRAWN: _____ CHECKED: _____

REFERENCE NUMBER: **18050-04**

TITLE:
ELECTRICAL / PLUMBING SITE PLAN

DRAWING NUMBER:

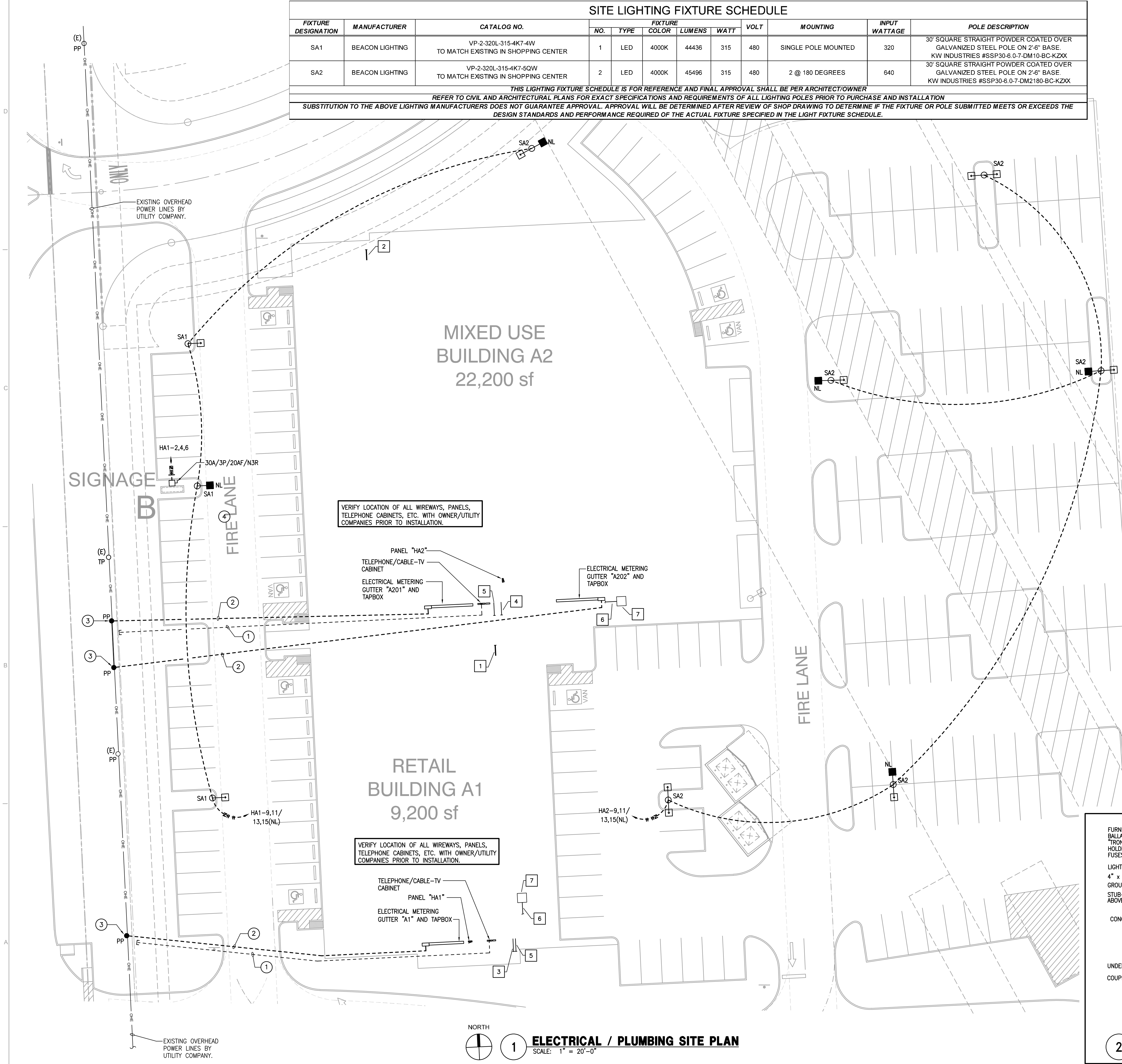
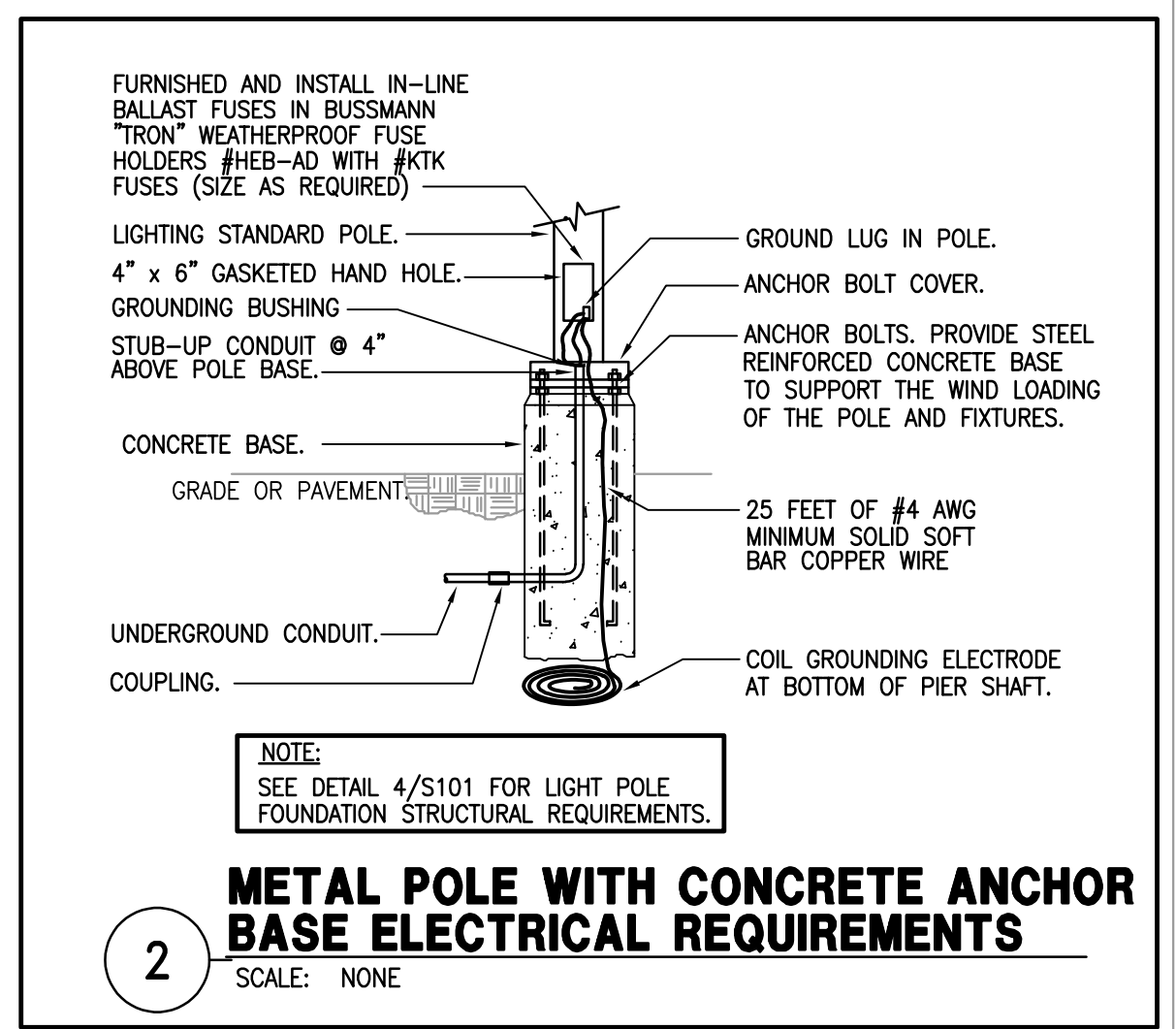
EP101

FIXTURE DESIGNATION	MANUFACTURER	CATALOG NO.	FIXTURE					MOUNTING	INPUT WATTAGE	POLE DESCRIPTION
			NO.	TYPE	COLOR	LUMENS	WATT			
SA1	BEACON LIGHTING	VP-2-320L-315-4K7-4W TO MATCH EXISTING IN SHOPPING CENTER	1	LED	4000K	44436	315	480	SINGLE POLE MOUNTED	30" SQUARE STRAIGHT POWDER COATED OVER GALVANIZED STEEL POLE ON 2'-6" BASE. KW INDUSTRIES #SSP30-6.0-7-DM10-BC-KZXX
SA2	BEACON LIGHTING	VP-2-320L-315-4K7-S0W TO MATCH EXISTING IN SHOPPING CENTER	2	LED	4000K	45496	315	480	2 @ 180 DEGREES	30" SQUARE STRAIGHT POWDER COATED OVER GALVANIZED STEEL POLE ON 2'-6" BASE. KW INDUSTRIES #SSP30-6.0-7-DM2180-BC-KZXX

THIS LIGHTING FIXTURE SCHEDULE IS FOR REFERENCE AND FINAL APPROVAL SHALL BE PER ARCHITECT/OWNER
 REFER TO CIVIL AND ARCHITECTURAL PLANS FOR EXACT SPECIFICATIONS AND REQUIREMENTS OF ALL LIGHTING POLES PRIOR TO PURCHASE AND INSTALLATION
 SUBSTITUTION TO THE ABOVE LIGHTING MANUFACTURERS DOES NOT GUARANTEE APPROVAL. APPROVAL WILL BE DETERMINED AFTER REVIEW OF SHOP DRAWING TO DETERMINE IF THE FIXTURE OR POLE SUBMITTED MEETS OR EXCEEDS THE DESIGN STANDARDS AND PERFORMANCE REQUIRED OF THE ACTUAL FIXTURE SPECIFIED IN THE LIGHT FIXTURE SCHEDULE.

- ELECTRICAL GENERAL NOTES**
- PROVIDE PULL STRINGS IN ALL EMPTY CONDUITS.
 - ALL JUNCTION BOXES, CONDUITS, AND WRES SHALL BE SIZED PER NEC.
 - REFER TO SHEET E301 FOR SYMBOLS, SPECIFICATIONS AND ABREVIATIONS.
 - ALL DEVICES AND EQUIPMENT OUTSIDE THE SCOPE OF WORK ARE EXISTING TO REMAIN U.O.N.
 - ELECTRICAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY PROBLEMS PERTAINING TO CIRCUIT AVAILABILITY OR LOAD CAPACITY PRIOR TO INSTALLATION.
 - ALL EXTERIOR ELECTRICAL DEVICES SHALL BE LISTED AS WEATHERPROOF TYPE.
 - MAINTAIN 15'-0" MINIMUM CLEARANCE BETWEEN OVERHEAD LINES AND LIGHTING POLES.
 - CONTRACTOR TO VERIFY EXISTING CONDITIONS IN FIELD, AND TO MAINTAIN CONTINUITY OF UNDERGROUND CIRCUITS AND FEEDERS.
- ELECTRICAL KEYED NOTES**
- PROVIDE (3) 4" RIGID PVC EMPTY CONDUITS WITH PULL STRINGS FOR TELEPHONE AND CABLE-TV SERVICES FROM BUILDING TELEPHONE/CABLE-TV CABINETS TO CLOSEST SERVICE DEMARCATION POINT/PEDESTAL. COORDINATE WITH CIVIL DRAWINGS AND TELEPHONE/CABLE-TV COMPANY SERVING THE AREA FOR EXACT LOCATION AND CONDUIT TERMINATIONS.
 - PROVIDE (3) 4" PVC EMPTY CONDUITS WITH PULL WIRE FOR UNDERGROUND ELECTRICAL SERVICE CONDUCTORS. REFER TO ONE-LINE DIAGRAM FOR MORE INFORMATION.
 - PROPOSED UTILITY TRANSFORMER POLE LOCATION. VERIFY EXACT LOCATION WITH UTILITY COMPANY REPRESENTATIVE IN FIELD.
 - PROVIDE (1) 2" SPARE PVC CONDUIT WITH PULL WIRE, (1) WEATHERPROOF DISCONNECT SWITCH, AND 4#8 + 1#8GND IN 2" CONDUIT FOR FUTURE SIGNAGE. COORDINATE ROUTING, SIGN VOLTAGE RATING, TERMINATION POINTS, AND OTHER REQUIREMENTS WITH OWNER/SIGN VENDOR PRIOR TO INSTALLATION. CONTRACTOR TO STUB UP SPARE CONDUIT 6" ABOVE GRADE LEVEL AT EACH END, AND TO TAG AND CAP EACH END.

- PLUMBING KEYED NOTES**
- 4" SANITARY SEWER, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE SANITARY SEWER PIPING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
 - 6" SANITARY SEWER, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE SANITARY SEWER PIPING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
 - 2" DOMESTIC COLD WATER AT 50 PSI MINIMUM, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE DOMESTIC WATER PIPING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
 - 3" DOMESTIC COLD WATER AT 50 PSI MINIMUM, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE DOMESTIC WATER PIPING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
 - 6" FIRE WATER SERVICE, THIS CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE FIRE SERVICE PIPING. REFER CIVIL DRAWINGS FOR CONTINUATION.
 - PROVIDE 6" PVC SLEEVE FOR FUTURE NATURAL GAS PIPING BELOW GRADE. PROVIDE 4' X 4' LEAVE-OUT AT ALL 90° TURNS AND AT 100' INTERVALS. CONTRACTOR TO FILL IN LEAVE-OUTS AFTER GAS PIPING HAS BEEN INSTALLED. COORDINATE EXACT DEMARCATION POINT WITH GAS COMPANY. SLEEVES CAN BE DELETED IF GAS SERVICE INSTALLED PRIOR TO PAVING.
 - 4'X4' LEAVE-OUT IN CONCRETE FOR FUTURE NATURAL GAS PIPING/METER. VERIFY EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION.



1 ELECTRICAL / PLUMBING SITE PLAN
 SCALE: 1" = 20'-0"

