Scott Shelburne, Chairman Anne Sundquist, Vice Chairman Josh Jakubik, Secretary Holly Knee Tom Mayhew Robert Barker III



City Administrator, Don Doering City Attorney, Leonard Schneider City Engineer, Tim Robertson Baxter & Woodman, Mike Kurzy Interim City Secretary, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA REGULAR MEETING THURSDAY, OCTOBER 19, 2023 - 4:30 P.M.

Sewall Smith Council Chambers 18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION - APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the special meeting held September 21, 2023.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;
- b. A recitation of existing policy in response to an inquiry;
- c. A proposal to place the subject on a future agenda.

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

- 6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO SANDRA DEE LANE SECTION 1, FINAL PLAT, +/- 1.925 ACRES
- 7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO GIRASOL STREET AND RESERVE, FINAL PLAT, +/- 13.384 ACRES
- 8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MAGNOLIA VILLAGE PHASE 2
- 9. FUTURE AGENDA ITEMS

10. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551. Texas Government Code.

DATE		STATE OF MAGNOLINI
TIME		
TAKEN DOWN		INCORPORATED
		1968 🖋
Christian Gable, Inter	im City Secretary	
		WINDERY COUNTING

Scott Shelburne, Chairman Anne Sundquist, Vice Chairman Josh Jakubik, Secretary Holly Knee Tom Mayhew Robert Barker III



City Administrator, Don Doering City Attorney, Leonard Schneider City Engineer, Tim Robertson Baxter & Woodman, Mike Kurzy Interim City Secretary, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

MINUTES OF THE PLANNING & ZONING COMMISSION REGULAR MEETING – SEPTEMBER 21, 2023

A meeting of the Planning & Zoning Commission was held on September 21, 2023, beginning at 4:35pm in the Sewall Smith Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Scott Shelburne called the meeting to order at 4:35 pm.

- a. INVOCATION
 - Tom Mayhew delivered the invocation.
- b. PLEDGE OF ALLEGIANCE

Chairman Shelburne led the Pledge of Allegiance.

ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Holly Knee, Josh Jakubik, Tom Mayhew, and Robert Barker III.

Absent: Anne Sundquist

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION - APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the special meeting held August 17, 2023.

MOTION: Upon a motion to approve the Consent Agenda made by Josh Jakubik and seconded by Tom Mayhew, the Commission members voted, and the motion carried unanimously, 4-0.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;
- b. A recitation of existing policy in response to an inquiry;c. A proposal to place the subject on a future agenda.

None

4. **ANNOUNCEMENTS**

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.) None

5. **UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS** (Staff)

Planning Coordinator Christian Gable provided a spreadsheet of current development. Chairman Shelburne informed of development progress within the Heritage Green development: All permitted tenants are under construction, Starbucks has signed and executed their documents to develop within Heritage Green, and Jersey Mikes is expected to open within 4-6 weeks.

6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MAGNOLIA RIDGE FOREST SECTION 18, FINAL PLAT, +/- 27.570 ACRES.

Robert Barker had questions regarding cul-de-sac dimensions, existence of an HOA, and possible extensions of streets shown on the plat.

City Engineer Tim Robertson answered that the cul-de-sac dimensions are shown on the plat, there is an existing HOA for the development, and the streets shown on the plat will be extended.

MOTION: Upon a motion to approve made by Holly Knee and seconded by Tom Mayhew, the Commission members voted, and the motion carried unanimously, 4-0.

7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MCDONALD'S

MOTION: Upon a motion to approve made by Robert Barker and seconded by Josh Jakubik, the Commission members voted, and the motion carried unanimously, 4-0.

8. **FUTURE AGENDA ITEMS**

None

Robert Barker mentioned that he recently attended a Texas Floodplain Management conference and the outreach program obtained artwork about flood prevention from elementary schools. He passed out calendars with these drawings to commission members and guests.

9. ADJOURN

MOTION: Upon a motion to adjourn made by Holly Knee and seconded by Robert Barker, the Commission members voted, the motion carried unanimously, and Chairman Shelburne adjourned the meeting at 4:50 pm.

	Planning & Zoning Commission
	Scott Shelburne, Chairman
CERTIFIC.	_
I certify this to be a true and correct copy of the minu Magnolia Planning and Zoning Commission held on	
ATTEST:	INCORPORATED
Christian Gable, Interim City Secretary	1968 S



11450 Compaq Center W Dr., Suite 660, Houston, TX 77070 * baxterwoodman.com

September 22, 2023

Mr. Don Doering City Administrator City of Magnolia 18111 Buddy Riley Boulevard Magnolia, Texas 77354

Reference: Escondido Sandra Dee Ln Final Plat

City of Magnolia

AEI Job No. 2326107.00

Dear Mr. Doering:

We received the Escondido Sandra Dee Ln Final Plat on September 11, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and are providing the following comments for review and consideration:

- 1. Provide documentation that all Liens on the property have been addressed
- On the Plat, please address the road name provided for the proposed Sandra Dee Lane. On the plat, it is labeled as Escondido Drive.
- Please provide the following documents:
 - a. Montgomery County Tax Certificates
 - b. Approval of Water, Sanitary, Drainage, and Pavement plans
 - c. Approval of plans from the Texas Commission on Environmental Quality
- If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP Urban Planner

Baxter & Woodman Consulting Engineers TBPELS Registration No. F-21783

XC: Ms. Christian Gable - City of Magnolia

Mr. Don Doering - City of Magnolia

Mr. Tim Robertson, P.E. - City of Magnolia

Mr. Michael A. Kurzy, P.E. – Baxter & Woodman Consulting Engineers

Ms. Karleigh Brown - Baxter and Woodman Consulting Engineers



Final Plat Application Form

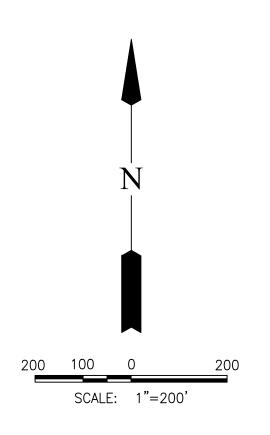
This form shall be submitted with each application for a final plat.

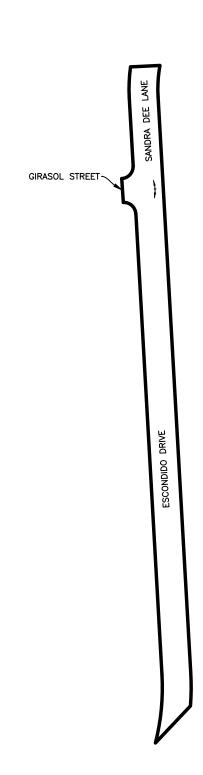
CONTACT INFORMATION

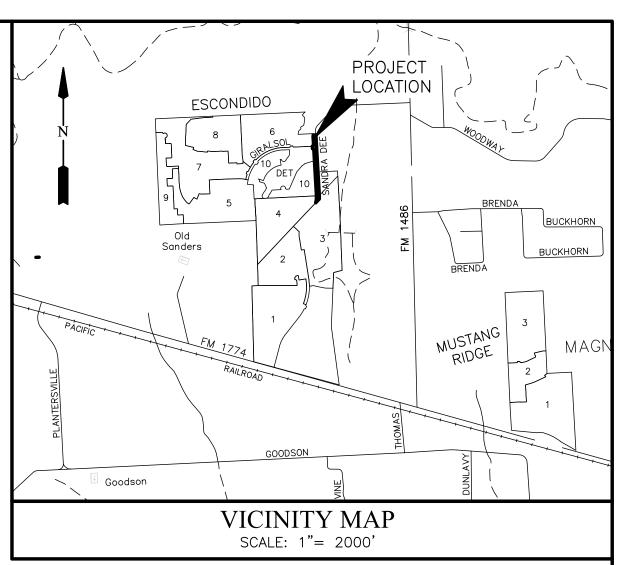
Applicant		Property Owner (if different)
Zachary Zarse - LJA Engine	eering Inc.	Magnolia Escondido, LLC
Name	 -	Name
3600 W Sam Houston Parkway S	s, Suite 600	6046 FM 2920, Suite 512
Street Address		Street Address
Houston, Texas 77	7042	Spring, Texas 77379
City, State Zip		City, State Zip
713-580-4100		713-580-4100
Phone		Phone
Fax		Fax
zzarse@lja.com		
E-mail		E-mail
E-mail Architect (if different)		Engineer/Land Surveyor (if different)
		Jordan Williams, P.E LJA Engineering Inc.
Name		Name
		1904 W Grand Parkway N, Suite 100
Street Address		Street Address
		Katy, Texas 77449
City, State Zip		City, State Zip
		713-657-6005
Phone		Phone
Fax		Fax
		jorwilliams@lja.com
E-mail		E-mail
Project Name:	Subdivision:	Reviewer:

PROPERTY PROFILE

Legal Description Escon	dido Sandra Dee Lane Stree	t Dedication Sec 1	0 lots	0 blocks	
	(Subdivision)	(Lot)	(Block)		
Current Zoning Semi-Urb	pan Residential	-			
Present Use of Propert	y				
Proposed Use of the Propos	roperty				
Total Area of Site 1.925					
Project Name:	Suhdivisi	on:	Rev	viowor:	







KEY MAP NO. 211G

FINAL PLAT **ESCONDIDO** SANDRA DEE LANE STREET DEDICATION SECTION 1

A SUBDIVISION OF 1.925 ACRES OF LAND SITUATED IN THE JAMES PIERPONT SURVEY, ABSTRACT 426, MONTGOMERY COUNTY, TEXAS.

OWNERS: MAGNOLIA ESCONDIDO, LLC A TEXAS LIMITED LIABILITY COMPANY 6046 FM 2920, SUITE 512 SPRING, TEXAS 77379

> RANDY GILLIS AND DEBBIE GILLIS 802 SANDRA DEE LANE MAGNOLIA, TEXAS 77355

MAGNOLIA CATSLAND, INC. P.O. BOX 1037 MAGNOLIA, TEXAS 77355

SURVEYOR:

PASADENA, TX 77505 GBISurvey@GBISurvey.com PHONE: 281-499-4539 www.GBISurvey.com

DATE: AUGUST 21, 2023

ENGINEER:

LJA Engineering, Inc. 3600 W. Sam Houston Parkway S.

Suite 600

Houston, Texas 77042

Phone 713.953.5200 Fax 713.953.5026 FRN - F-1386

SHEET 1 OF 3

LOTS **BLOCKS** RESERVES 0 0.000 ACRES IN RESERVES

THIS IS TO CERTIFY THAT I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1, HAVE COMPLIED WITH OR WILL COMPLY WITH ALL REGULATIONS HERETOFORE ON FILE WITH THE MONTGOMERY COUNTY ENGINEER AND ADOPTED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' o") IN WIDTH.

FURTHER, WE, MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, DO HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP OF LAND A MINIMUM OF FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE, WHICH RESTRICTIONS SHALL RUN WITH THE TITLE OF THE PROPERTY, AND SHALL BE ENFORCEABLE, AT THE OPTION OF MONTGOMERY COUNTY, BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION, AS FOLLOWS:

- 1. THE DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY, OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY, IS STRICTLY PROHIBITED.
- 2. DRAINAGE STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18)DIAMETER PIPE CULVERT).

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE ORIGINALLY INTENDED FOR THE CONSTRUCTION OF RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR THE SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY, UNLESS OTHERWISE NOTED.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF ESCONDIDO SANDRA DEE LANE EXTENSION STREET DEDICATION WHERE BUILDING SETBACK LINES OR PUBLIC EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC EASEMENTS SHOWN IN SAID ADJACENT

IN TESTIMONY WHEREOF, THE MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY J. ALAN KENT, ITS GENERAL MANAGER THEREUNTO AUTHORIZED, THIS ______ DAY OF_______, 2023.

MAGNOLIA ESCONDIDO LLC A TEXAS LIMITED LIABILITY COMPANY

J. ALAN KENT, GENERAL MANAGER

STATE OF TEXAS COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J. ALAN KENT, GENERAL MANAGER OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KYLE B. DUCKETT, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT THE ELEVATION BENCHMARK REFLECTED ON THE FACE OF THE PLAT WAS ESTABLISHED AS REQUIRED BY REGULATION; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN FIVE-EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KYLE B. DUCKETT, R.P.L.S. REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 6340

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

ROBERT FRANKLIN, CHAIRMAN

CHRISTIAN GABLE, INTERIM CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE ____ DAY OF _, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

CHRISTIAN GABLE, INTERIM CITY SECRETARY

JEFF JOHNSON, P.E., COUNTY ENGINEER OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS

I FURTHER CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH REQUIREMENTS FOR INTERNAL SUBDIVISION DRAINAGE AS ADOPTED BY COMMISSIONERS COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OF SUBDIVISION WITHIN THE WATERSHED.

JEFF JOHNSON, P.E. COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS COURT OF MONTGOMERY COUNTY, TEXAS, THIS __ DAY OF _____

ROBERT C. WALKER COMMISSIONER, PRECINCT 1

CHARLIE RILEY COMMISSIONER, PRECINCT 2

MARK KEOUGH COUNTY JUDGE

JAMES L. NOACK COMMISSIONER, PRECINCT 3 MATT GRAY COMMISSIONER, PRECINCT 4

STATE OF TEXAS COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _ O'CLOCK _____.M., AND DULY RECORDED ON 2023, AT _____ O'CLOCK ___.M., IN CABINET ____ SHEET _

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT, MONTGOMERY COUNTY, TEXAS

MAP FOR SAID COUNTY.

DEPUTY

RECORD OF

OWNERS: MAGNOLIA ESCONDIDO, LLC A TEXAS LIMITED LIABILITY COMPANY 6046 FM 2920, SUITE 512 SPRING, TEXAS 77379

> RANDY GILLIS AND DEBBIE GILLIS 802 SANDRA DEE LANE MAGNOLIA, TEXAS 77355

MAGNOLIA CATSLAND, INC. P.O. BOX 1037 MAGNOLIA, TEXAS 77355

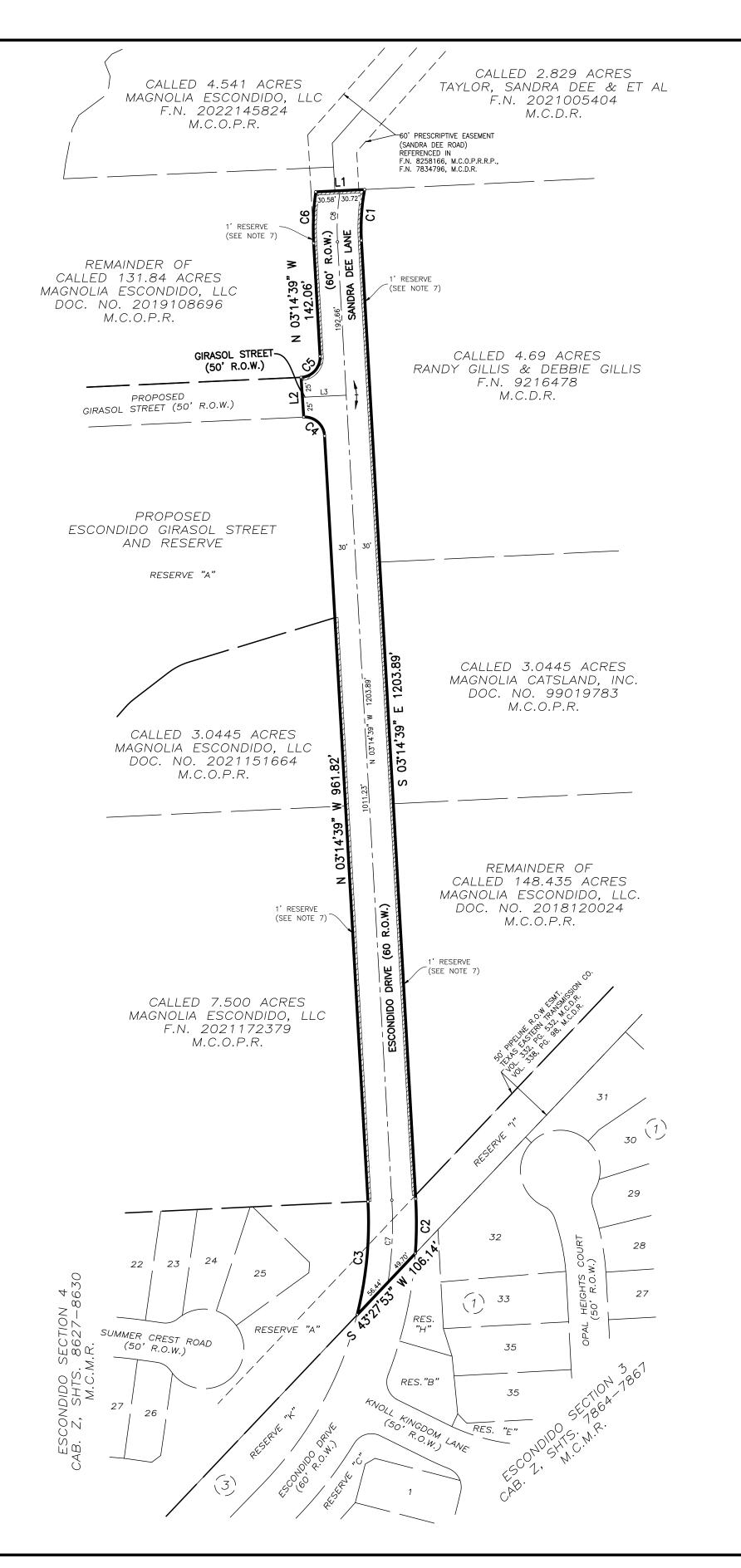
ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1

SHEET 2 OF 3

CHECK:

MYLAR

CAD:



LEGEND

B.L. INDICATES BUILDING LINE

STM.S.E. INDICATES STORM SEWER EASEMENT

S.S.E. INDICATES SANITARY SEWER EASEMENT

W.L.E. INDICATES WATER LINE EASEMENT U.E. INDICATES UTILITY EASEMENT

M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS

M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS

M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY

R.O.W. INDICATES RIGHT-OF-WAY

VOL. INDICATES VOLUME

PG. INDICATES PAGE

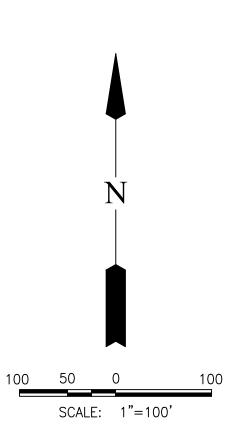
CAB. INDICATES CABINET

SHTS. INDICATES SHEETS DOC. NO. INDICATES DOCUMENT NUMBER

F.N. INDICATES FILE NUMBER

RES. INDICATES RESERVE

INDICATES STREET NAME CHNAGE



NOTES:

- 1. ALL BEARINGS ARE REFERENCED TO THE STATE PLANE GRID COORDINATES, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- 2. THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE FOLLOWING COMBINED ADJUSTMENT FACTOR 0.99996413094.
- 3. PRIMARY BENCHMARK: A 1281 (NGS PID: BL1869) BRASS DISC STAMPED A 1281 1978 LOCATED ALONG THE WEST SIDE OF NICHOLS SAWMILL ROAD, 26 FEET WEST OF PAVEMENT, AND APPROXIMATELY 550 FEET SOUTH OF UNITY PARK DRIVE. PUBLISHED ELEVATION=231.8' NAVD88
- 4. FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "GBI PARTNERS" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS,
- 5. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0475G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) AND ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "GBI PARTNERS" AND "LJA ENGINEERING" DO NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- 6. THE PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
- 7. ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT PROPERTY, THE CONDITION OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RESUBDIVIDED IN A RECORDED SUBDIVISION PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.

LINE TABLE				
LINE	BEARING	DISTANCE		
L1	N 87°16'37" E	61.30'		
L2	N 03°51'47" W	50.01'		
L3	N 87°22'29" E	55.00'		

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	270.00'	13°37'35"	64.21	S 03°34'08" W	64.06'
C2	530.00'	7°24'17"	68.50'	S 00°27'29" W	68.45
С3	470.00'	17°28'06"	143.29	N 05°29'24" E	142.74
C4	25.00'	89°22'52"	39.00'	N 47°56'05" W	35.16'
C5	25.00'	90°37'08"	39.54	N 42°03'55" E	35.55'
C6	330.00'	11°12'44"	64.58	N 02°21'43" E	64.48'
C7	500.00'	11°48'57"	103.11	N 02°39'49" E	102.93
C8	300.00'	12°17'46"	64.38'	S 02°54'14" W	64.26

OWNERS: MAGNOLIA ESCONDIDO, LLC A TEXAS LIMITED LIABILITY COMPANY 6046 FM 2920, SUITE 512 SPRING, TEXAS 77379

> RANDY GILLIS AND DEBBIE GILLIS 802 SANDRA DEE LANE MAGNOLIA, TEXAS 77355

MAGNOLIA CATSLAND, INC. P.O. BOX 1037 MAGNOLIA, TEXAS 77355

ESCONDIDO SANDRA DEE LANE STREET DEDICATION SECTION 1

SHEET 3 OF 3



11450 Compag Center W Dr., Suite 660, Houston, TX 77070 * baxterwoodman.com

September 22, 2023

Mr. Don Doering City Administrator City of Magnolia 18111 Buddy Riley Boulevard Magnolia, Texas 77354

Reference: Escondido Girasol Street and Reserve Final Plat

City of Magnolia

AEI Job No. 2326104.00

Dear Mr. Doering:

We received the Escondido Girasol Street and Reserve Final Plat on September 11, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and are providing the following comments for review and consideration:

- 1. Provide documentation that all Liens on the property have been addressed
- On the Plat for Girasol Street and Reserve please address the road name provided for the proposed Sandra Dee Lane. On the plat, it is labeled as Escondido Drive.
- Please provide the following documents:
 - a. Montgomery County Tax Certificates
 - b. Approval of Water, Sanitary, Drainage, and Pavement plans
 - c. Approval of plans from the Texas Commission on Environmental Quality
- If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP Urban Planner

Baxter & Woodman Consulting Engineers TBPELS Registration No. F-21783



Final Plat Application Form

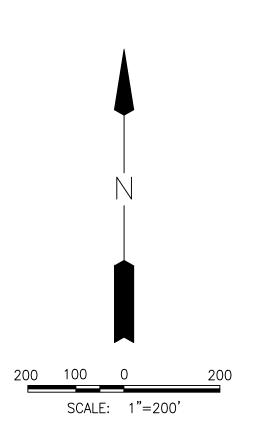
This form shall be submitted with each application for a final plat.

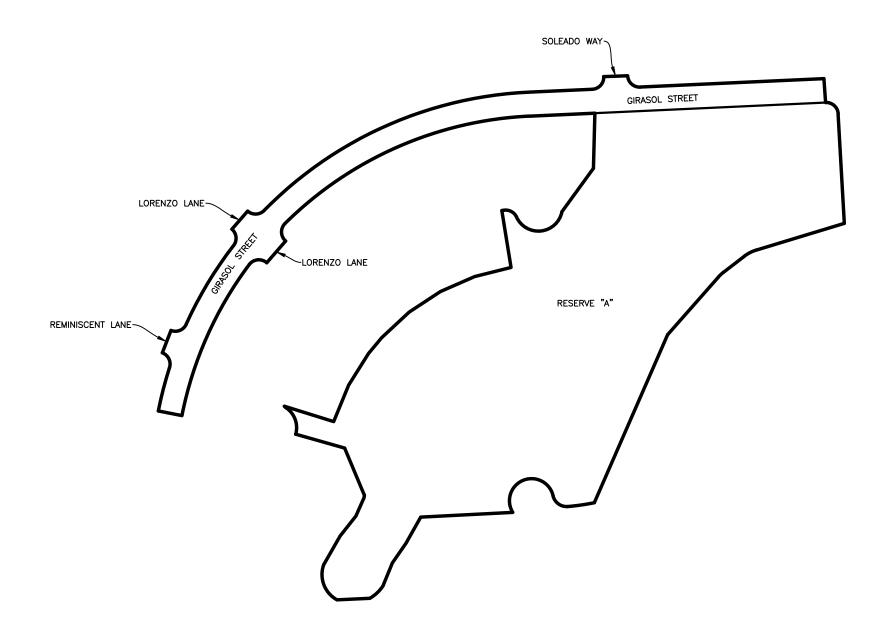
CONTACT INFORMATION

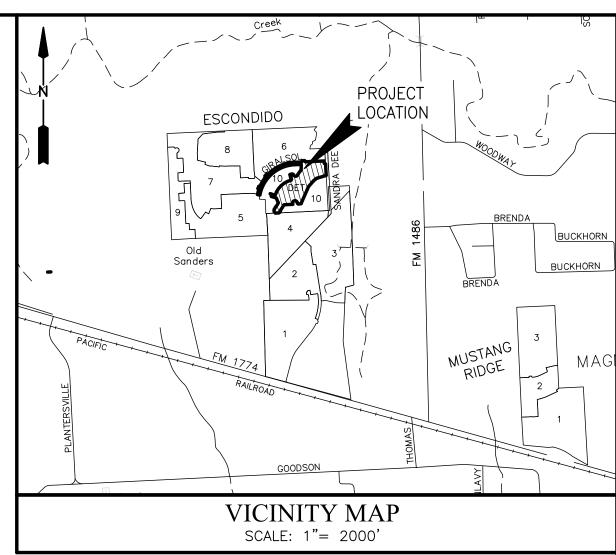
Applicant		Property Owner (if different)
Zachary Zarse - LJA Engine	eering Inc.	Magnolia Escondido, LLC
Name		Name
3600 W Sam Houston Parkway S	s, Suite 600	6046 FM 2920, Suite 512
Street Address		Street Address
Houston, Texas 77	7042	Spring, Texas 77379
City, State Zip		City, State Zip
713-580-4100		713-580-4100
Phone		Phone
Fax		Fax
zzarse@lja.com		
E-mail		E-mail
E-mail Architect (if different)		Engineer/Land Surveyor (if different)
		Jordan Williams, P.E LJA Engineering Inc.
Name		Name
		1904 W Grand Parkway N, Suite 100
Street Address		Street Address
		Katy, Texas 77449
City, State Zip		City, State Zip
		713-657-6005
Phone		Phone
Fax		Fax
		jorwilliams@lja.com
E-mail		E-mail
Project Name:	Subdivision:	Reviewer:

PROPERTY PROFILE

Legal Description Escondido Girasol S	treet and Reserves	0 lots	0 blocks	
(Subdivis		(Lot)	(Block)	
Current Zoning Semi-Urban Residentia	<u> </u>			
Present Use of Property				
Rural				
Proposed Use of the Property Single Family Residential				
Single Family Residential				
Total Area of Site 13.397	_			
Proiect Name:	Subdivision:		Reviewer:	







KEY MAP NO. 211F

FINAL PLAT ESCONDIDO GIRASOL STREET AND RESERVE

A SUBDIVISION OF 13.397 ACRES OF LAND SITUATED IN THE JAMES PIERPOINT SURVEY, ABSTRACT 426, MONTGOMERY COUNTY, TEXAS.

OWNERS: MAGNOLIA ESCONDIDO, LLC
A TEXAS LIMITED LIABILITY COMPANY
6046 FM 2920, SUITE 512
SPRING, TEXAS 77379

DATE: AUGUST 24, 2023

0 LOTS 0 BLOCKS 1 RESERVE 11.324 ACRES IN RESERVES



ENGINEER:

LJA Engineering, Inc. 3600 W Sam Houston Parkway S Suite 600

Houston, Texas 77042

Phone 713.953.5200 Fax 713.953.5026 FRN - F-1386 I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO GIRASOL STREET AND RESERVE, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS ESCONDIDO GIRASOL STREET AND RESERVE, LOCATED IN THE JAMES PIERPONT SURVEY, ABSTRACT 426, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

THIS IS TO CERTIFY THAT I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO GIRASOL STREET AND RESERVE, HAVE COMPLIED WITH OR WILL COMPLY WITH ALL REGULATIONS HERETOFORE ON FILE WITH THE MONTGOMERY COUNTY ENGINEER AND ADOPTED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11'6") FOR TEN FEET (10'0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7'6") FOR FOURTEEN FEET (14'0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5'6") FOR SIXTEEN FEET (16'0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16'0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21'6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10'0") FOR TEN FEET (10'0") BACK—TO—BACK GROUND EASEMENTS, OR EIGHT FEET (8'0") FOR FOURTEEN FEET (14'0") BACK—TO—BACK GROUND EASEMENTS OR SEVEN FEET (7'0") FOR SIXTEEN FEET (16'0") BACK—TO—BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16'0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30'0") IN WIDTH.

FURTHER, WE, MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, DO HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP OF LAND A MINIMUM OF FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE, WHICH RESTRICTIONS SHALL RUN WITH THE TITLE OF THE PROPERTY, AND SHALL BE ENFORCEABLE, AT THE OPTION OF MONTGOMERY COUNTY, BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION, AS FOLLOWS:

- 1. THE DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY, OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY, IS STRICTLY PROHIBITED.
- 2. DRAINAGE STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18" DIAMETER PIPE CULVERT).

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF ESCONDIDO GIRASOL STREET AND RESERVE WHERE BUILDING SETBACK LINES OR PUBLIC EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC EASEMENTS SHOWN IN SAID ADJACENT

IN TESTIMONY WHEREOF, THE MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY J. ALAN KENT, ITS GENERAL MANAGER THEREUNTO AUTHORIZED, THIS _______ DAY OF_________, 2023.

MAGNOLIA ESCONDIDO LLC A TEXAS LIMITED LIABILITY COMPANY

J. ALAN KENT, GENERAL MANAGER

STATE OF TEXAS COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J. ALAN KENT, GENERAL MANAGER OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KYLE B. DUCKETT, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT THE ELEVATION BENCHMARK REFLECTED ON THE FACE OF THE PLAT WAS ESTABLISHED AS REQUIRED BY REGULATION; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN FIVE—EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KYLE B. DUCKETT, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6340

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO GIRASOL STREET AND RESERVE AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE ______ DAY OF ______, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

ROBERT FRANKLIN, CHAIRMAN

CHRISTIAN GABLE, INTERIM CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO GIRASOL STREET AND RESERVE AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE ______ DAY OF ______, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

CHRISTIAN GABLE, INTERIM CITY SECRETARY

I, JEFF JOHNSON, P.E., COUNTY ENGINEER OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS COURT.

I FURTHER CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH REQUIREMENTS FOR INTERNAL SUBDIVISION DRAINAGE AS ADOPTED BY COMMISSIONERS COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OF SUBDIVISION WITHIN THE WATERSHED.

JEFF JOHNSON, P.E. COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS COURT OF MONTGOMERY COUNTY, TEXAS, THIS ______ DAY OF ______, 2023.

ROBERT C. WALKER
COMMISSIONER, PRECINCT 1

CHARLIE RILEY
COMMISSIONER, PRECINCT 2

MARK KEOUGH

JAMES L. NOACK

COMMISSIONER, PRECINCT 3

MATT GRAY

COMMISSIONER, PRECINCT 4

STATE OF TEXAS
COUNTY OF MONTGOMERY

COUNTY JUDGE

______O'CLOCK _____.M., AND DULY RECORDED ON _______
2023, AT ______O'CLOCK ____.M., IN CABINET ______ SHEET ______, (
RECORD OF MAP FOR SAID COUNTY.

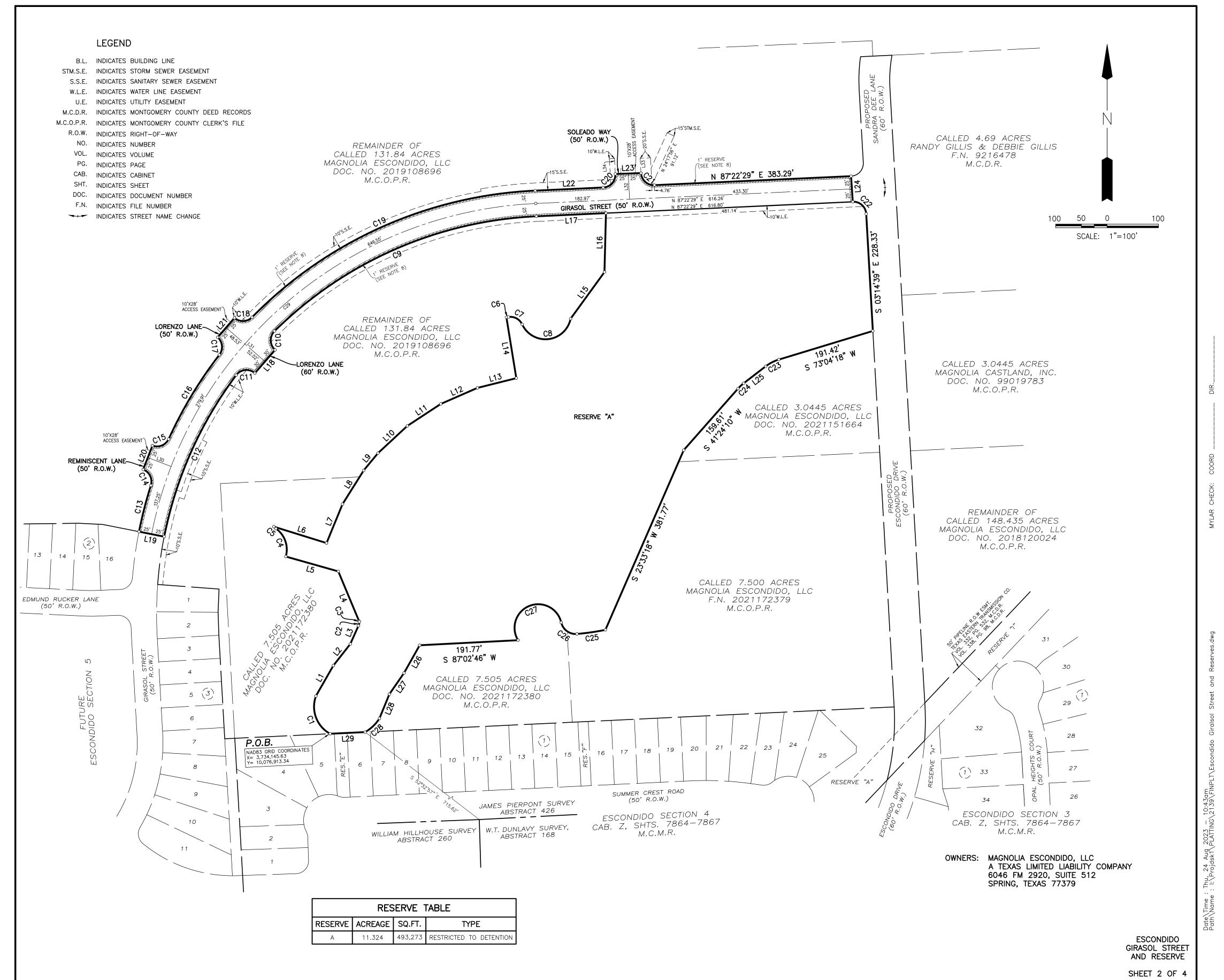
WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT,

MONTGOMERY COUNTY, TEXAS

OWNERS: MAGNOLIA ESCONDIDO, LLC
A TEXAS LIMITED LIABILITY COMPANY
6046 FM 2920, SUITE 512
SPRING, TEXAS 77379

ESCONDIDO GIRASOL STREET AND RESERVE An Giralsol Street and Reserves dwa



LINE TABLE				
LINE	BEARING	DISTANCE		
L1	N 29°47'48" E	68.39'		
L2	N 38°10'09" E	53.39'		
L3	N 24°04'48" E	39.02'		
L4	N 22°38'54" W	104.96'		
L5	N 74°12'55" W	106.16		
L6	S 72°44'30" E	107.51		
L7	N 22°19'02" E	82.01'		
L8	N 32°11'08" E	77.97'		
L9	N 39°38'53" E	43.05'		
L10	N 47°06'38" E	77.97'		
L11	N 56°43'47" E	77.97'		
L12	N 66°20'55" E	77.97'		
L13	N 75°58'04" E	77.97'		
L14	N 09°13'22" W	120.00'		
L15	N 35°58'44" E	112.15'		
L16	N 01°28'05" E	114.89'		
L17	S 87°22'29" W	135.67'		
L18	S 41°04'08" W	60.00'		
L19	N 78°48'29" W	50.00'		
L20	N 21°01'19" E	50.00'		
L21	N 41°04'08" E	50.00'		
L22	N 87°22'29" E	132.42'		
L23	N 87°59'36" E	50.01'		
L24	S 03°51'47" E	50.01'		
L25	S 52°24'21" W	54.02'		
L26	S 29°25'37" W	62.11'		
L27	S 34°40'58" W	50.07		
L28	S 22°16'25" W	51.02'		
L29	S 87°16'27" W	68.30'		
L30	N 68°58'41" W	48.53'		
L31	N 48°55'52" W	100.55'		
L32	N 03°14'39" W	50.00'		
L33	S 03°14'39" E	28.72'		
L34	N 03°14'39" W	30.14		

	CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD	
C1	60.00'	81°38'53"	85.50'	N 20°38'19" W	78.45	
C2	20.00'	22°33'01"	7.87'	N 12°48'18" E	7.82	
C3	80.00'	1°03'34"	1.48'	N 23°10'41" W	1.48'	
C4	50.00'	70°27'16"	61.48'	N 19°25'59" W	57.68'	
C5	25.00'	13°02'20"	5.69'	N 48°08'27" W	5.68'	
C6	585.00'	0°23'45"	4.04'	N 80°58'31" E	4.04'	
C7	25.00'	74°06'32"	32.34	S 61°46'21" E	30.13	
C8	50.00'	143°49'33"	125.51'	N 83°22'09" E	95.06'	
С9	775.00'	42°06'01"	569.46	S 66°19'28" W	556.74	
C10	25.00'	94°12'20"	41.10'	S 01°49'42" E	36.63'	
C11	25.00'	94°12'20"	41.10'	S 83°57'58" W	36.63'	
C12	775.00'	25°40'17"	347.24	S 24°01'39" W	344.34	
C13	825.00'	6°27'28"	92.98'	N 14°25'15" E	92.94	
C14	25.00'	86°37'40"	37.80'	N 25°39'51" W	34.30'	
C15	25.00'	86°37'40"	37.80'	N 67°42'29" E	34.30	
C16	825.00'	13°18'09"	191.54	N 31°02'43" E	191.11	
C17	25.00'	86°37'40"	37.80'	N 05°37'02" W	34.30'	
C18	25.00'	86°37'40"	37.80'	N 87°45'18" E	34.30	
C19	825.00'	42°56'01"	618.20'	N 65°54'28" E	603.84	
C20	25.00'	90°37'06"	39.54	N 42°03'54" E	35.55	
C21	25.00'	89°22'50"	39.00'	S 47°56'04" E	35.16	
C22	25.00'	89°22'52"	39.00'	S 47°56'05" E	35.16	
C23	80.00'	20°39'57"	28.85'	S 62°44'20" W	28.70	
C24	80.00'	11°00'11"	15.36'	S 46°54'16" W	15.34'	
C25	526.59	6°05'30"	55.99'	S 81°49'50" W	55.96'	
C26	29.00'	81°42'17"	41.35'	N 53°58'31" W	37.94	
C27	46.00'	198°24'11"	159.29	S 67°40'33" W	90.82	
C28	80.00'	27°52'15"	38.91'	S 46°21'29" W	38.53	
C29	800.00'	76°10'58"	1063.71	N 49°17'00" E	987.07	

IOTES:

- 1. ALL BEARINGS ARE REFERENCED TO THE STATE PLANE GRID COORDINATES, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- 2. THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE FOLLOWING COMBINED ADJUSTMENT FACTOR 0.99996413094.
- 3. PRIMARY BENCHMARK: A 1281 (NGS PID: BL1869) BRASS DISC STAMPED A 1281 1978 LOCATED ALONG THE WEST SIDE OF NICHOLS SAWMILL ROAD, 26 FEET WEST OF PAVEMENT, AND APPROXIMATELY 550 FEET SOUTH OF UNITY PARK DRIVE. PUBLISHED ELEVATION=231.8' NAVD88
- 4. THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, FILE NO. 2022-0646, DATED MAY 31, 2023. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- 5. FIVE—EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "GBI PARTNERS" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- 6. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0475G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) AND ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "GBI PARTNERS" AND "LJA ENGINEERING" DO NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- 7. THE PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
- 8. ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT PROPERTY, THE CONDITION OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RESUBDIVIDED IN A RECORDED SUBDIVISION PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.

OWNERS: MAGNOLIA ESCONDIDO, LLC
A TEXAS LIMITED LIABILITY COMPANY
6046 FM 2920, SUITE 512
SPRING, TEXAS 77379

ESCONDIDO GIRASOL STREET AND RESERVE



11450 Compag Center W Dr., Suite 660, Houston, TX 77070 . baxterwoodman.com

September 26, 2023

Mr. Don Doering City Administrator City of Magnolia 18111 Buddy Riley Boulevard Magnolia, Texas 77354

Reference: Magnolia Village Site Plan Phase 2 Plan Review

City of Magnolia

AEI Job No. 2325710.00

(Plans have also been submitted as Magnolia Village Phase 2 Site Plan, Site Work 38860 Spur 149 and 38870 Spur 149, as well as Magnolia Village Phase 2 Site Plan-Retail A1 and A2)

Dear Mr. Doering:

We received the Magnolia Village Site Plan Resubmittal on September 21, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and are offering no objection to the following comments for review and consideration:

- On the drawings, please provide calculation tables to confirm the required and provided open space, maximum and actual gross density, and the landscaped surface ratio.
- 2. Provide documentation of the 20' Right of Way acquisition along Spur 149
- 3. Once site tenants are finalized, please provide lighting and signage packages for review.
- If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP Urban Planner Baxter & Woodman Consulting Engineers TBPELS Registration No. F-21783



Magnolia Reserve A Site submittal 38860-38870 Spur 149 Magnolia, TX 77354

City of Magnolia Project # 2325525.00

City Comments Response, September 15, 2023

General	Comments
1.	COMMENT: Provide drawings and plans for site elevation, including building heights and elevation schedule
	RESPONSE: Elevations have been added to the plans. Refer to A200-A202
2.	COMMENT: Provide tables and calculations showing the required and provided landscape ratio for the development and Magnolia Village, base site area and net buildable area, net and gross densities, and total floor area.
	RESPONSE: Table has been added to the plans. Refer to L7-02.
	COMMENT: Provide a copy of the metes and bounds of the pad sites provided.
3.	RESPONSE: A copy of the metes and bounds have been added.
	COMMENT: Show the proposed setbacks and bufferyards for the development.
4.	RESPONSE: All the easements are shown on C07. They match the recorded plat.
	COMMENT: Indicate the land use for each site.
5.	RESPONSE: The site will be used for mercantile development. The tenants are to be determined. They will be a mix of business, mercantile or restaurant.
	COMMENT: Indicate where the proposed utility easements are located as approved in the water, sanitary, drainage, and pavement plans.
6	RESPONSE: All existing easements are shown on C07. They match the recorded plat. The proposed water meter utility easements are shown C0.8.
	COMMENT: The Magnolia Village Planned Development Amendment was approved July 11, 2023. Per the Magnolia Village Planned Development Agreement:
7.	a. Standard signage and lighting are allowed. Provide the documentation and plans for review.
, ·	b. Note the location and dimension of fire lane access.
	c. Draw the sidewalk's location and width along Magnolia Village Drive.d. Revise the application to list current zoning as Auto-Urban Commercial and Mixed Use Residential.

RESPONSE:

- a. Proposed signage is shown on A011. Design of signage will be submitted in separate submittal. The lighting matches adjacent lot and photometric with lights is shown on E001.
- b. Fire lane is shown on A011.
- c. Sidewalk is 8 ft and dimension has been added to C07.
- d. The application has been revised.



Site Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION **Property Owner (if different) Applicant Identity Architects** GC Magnolia, LP Name Name Jade Sanchez David Green (Owner's Representaive) Street Address Street Address 111 Travis Street 788 W. Sam Houston Parkway N., Suite 206 City, State Zip City, State Zip Houston, TX 77024 Houston, TX 77002 Phone Phone 713-595-2168 713-412-5873 (Cell) Fax Fax david.green@gulfcoastcg.com jsanchez@identityarchitects.com E-mail E-mail Architect (if different) Engineer/Land Surveyor (if different) Identity Architects LJA Engineering William Kalkman Michael Faraj Street Address Street Address 111 Travis Street 1904 W. Grand Parkway City, State Zip City, State Zip Houston, TX 77002 Katy, TX 77449 713-595-2191 713-451-2861 mfaraj@lja.com wkalkman@identityarchitects.com E-mail

Reviewer:

Magnolia Village Phase 2

Lot#:

Project Name:

ite Address 38860 Spur 149 and 38870	Spur 149, Magnolia,TX 7735	54	
egal Description Magnolia Village	Unrestricted Reserve D	4	
(Subdivision)	(Lot)	(Block)	
urrent Zoning <u>Auto-Urban Commercial</u> ((AC) / Mixed Use Residentia	I	
resent Use of Property /acant Land			
roposed Use of the Property wo multi-tenant retail building shells (total 31	I,000 SF) with shared sitework		
otal Area of Site <u>4.87 acres</u>			
			•

MAGNOLIA VILLAGE RETAIL CENTER

MAGNOLIA, TX 77354

CITY OF MAGNOLIA, TEXAS

SITEWORK FOR:

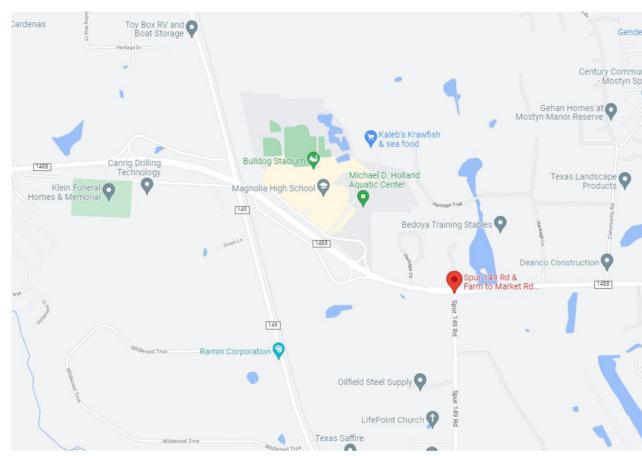
RETAIL BUILDING A1 - 38860 SPUR 149 RETAIL BUILDING A2 - 38870 SPUR 149

GENERAL NOTES:

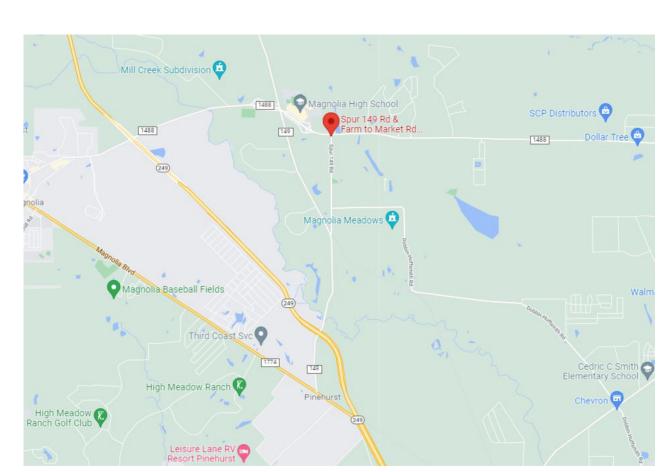
- THESE DRAWINGS ARE FOR SITEWORK ONLY. CONSTRUCTION DRAWINGS FOR BUILDINGS A1 AND A2 WILL BE ISSUED AND PERMITTED SEPARATELY, BUT THE CONSTRUCTION CONTRACT WILL INCLUDE ALL 3 PROJECTS.
- THE CONTRACT FORM FOR THIS PROJECT WILL BE AIA A101-2017 AND THE GENERAL CONDITIONS WILL BE
- GOVERN THIS CONSTRUCTION PROJECT:

CONTRACT EXHIBIT A - INSURANCE AND BONDS CONTRACT EXHIBIT B - SUPPLEMENTARY GENERAL CONDITIONS CONTRACT EXHIBIT C - MISCELLANEOUS ADMINISTRATIVE SPECIFICATIONS.

EACH BIDDER AND SUB-BIDDER SHOULD REVIEW AND UNDERSTAND EACH OF THESE DOCUMENTS PRIOR TO SUBMITTING A BID.



Vicinity Map SCALE: N.T.S.



Vicinity Map

IBC GENERAL NOTES

- PROVIDE FIRE BLOCKING & DRAFTSTOPPING IN COMBUSTIBLE CONCEALED LOCATIONS. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALL, FURRED SPACES AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL.
- ALL FINISHES SHALL BE ATTACHED DIRECT TO FIRE RATED ASSEMBLIES NOT EXCEEDING 1.75" IN THICKNESS PROVIDE FIREBLOCKING AT A MAXIMUM OF 8" IN ANY DIRECTION. DECORATIVE MATERIALS SHALL BE FLAME RESISTANT IN ACCORDANCE TO SECTION 805.2 IBC AND
- NFPA 701 OR NON-COMBUSTIBLE. INTERIOR WALL & CEILING FINISHES SHALL BE AS REQUIRED BY TABLE 803.4 IBC.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO INSTALLATION PLANS & SPECIFICATIONS OF FIRE ALARM DETECTION SYSTEM AS REQUIRED BY SECTION 907.1 OF THE IBC.

ENVELOPE MANDATORY MEASURES

- ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE IBC AND IEC.
- 2. ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR SEALED.
- 3. SITE CONSTRUCTED DOORS AND WINDOWS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED.
- 4. MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED
- BY THE MANUFACTURER.

Code Analysis

ONE (1) STORY SHELL BUILDING FOR FUTURE TENANT BUILD-OUT CITY OF MAGNOLIA, TEXAS

CODES ADOPTED

- 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL FUEL GAS CODE
- 2018 NATIONAL ELECTRICAL CODE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- TEXAS ACCESSIBILITY STANDARDS (TAS)

BUILDING DESCRIPTION

PROPOSED USE GROUP: GROUP M - MERCANTILE SPRINKLER SYSTEM:

TYPE OF CONSTRUCTION: TYPE II-B (TILT-WALL CONCRETE)

GENERAL HEIGHT AND AREA LIMITATIONS

	ALLOWABLE	ACTUAL
MAXIMUM STORIES	2	1
MAXIMUM ROOF HEIGHT	55'-0"	27'-8"
BASE ALLOWABLE AREA	12,500 SF	BUILDING A1: 9,200 SF BUILDING A2: 22,200 SF
ALLOWABLE BUILDING WITH SPRINKLER	37,500 SF	BUILDING A1: 9,200 SF BUILDING A2: 22,200 SF

MINIMUM FIRE-RATING OF EXTERIOR WALLS FIRE SEPARATION DISTANCE OF LESS THAN 30' = 0 HRS. FIRE SEPARATION DISTANCE GREATER THAN 30' = 0 HRS.

MAXIMUM LENGTH OF EXIT ACCESS TRAVEL

NUMBER OF EXITS (SECTION 1006):

USE GROUP M (WITH SPRINKLER SYSTEM) ACTUAL BUILDING AREA PER OCCUPANCY TYPE:

OCCUPANT CONTENT [GROSS AREA/SF PER OCCUPANT = 524 OCCUPANTS]

REQUIRED PROVIDED

GROUP M OCCUPANCY: 9,200 SF/60 SF PER OCC = 154 OCCUPANTS

BUILDING A2:
GROUP M OCCUPANCY: 22,200 SF/60 SF PER OCC = 370 OCCUPANTS NUMBER OF EXITS (SECTION 1006):

FIRE PROTECTION SERVICES

PROVIDE FIRE EXTINGUISHERS PER IFC SECTION 906 AND NFPA 10

THE BUILDING SHALL BE PROTECTED THROUGHOUT WITH AN AUTOMATIC FIRE DETECTION AND NOTIFICATION SYSTEM IN ACCORDANCE WITH IFC 907 AND MONTGOMERY COUNTY EXHIBIT A AND INSTALLED IN ACCORDANCE WITH NFPA 72.

SMOKE DETECTORS SHALL BE CONNECTED TO AN AUTOMATIC FIRE ALARM. THE ACTIVATION OF ANY DETECTORS SHALL OPERATE THE ALARM COMMUNICATION SYSTEM.

DRAWING INDEX

	SHEET#	SHEET NAME
	G000	COVER SHEET
GEN.		
	C01	COVER SHEET
	C02	GENERAL NOTES
	C03	EXISTING CONDITIONS
	C04	DIMENSION CONTROL PLAN
	C05	UTILITY LAYOUT
	C06	GRADING AND PAVING PLANS
	C07	STORM SEWER PLAN
	C08	DRAINAGE AREA MAP AND CALCULATIONS
	C09	STORM WATER POLLUTION PREVENTION PLAN
⊒ -	C10	STORM WATER POLLUTION PREVENTION PLAN DETAILS
ک	C11	WATER DETAILS (1 OF 2)
	C12	SANITARY SEWER DETAILS
	C13	STORM SEWER DETAILS
	C14	PAVEMENT DETAILS
	C15	FIRE ACCESS ROAD DETAILS
	C16	PLAT 1 OF 3 (RECORDED)
	C17	PLAT 2 OF 3 (RECORDED)
	C18	PLAT 3 OF 3 (RECORDED)
	C19	CENTERPOINT ACCESS DETAILS
	L7-01	LANDSCAPE LAYOUT PLAN 1
	L7-02	LANDSCAPE LAYOUT PLAN 2
	L7-03	LANDSCAPE DETAILS
<u>4</u>	L8-01	IRRIGATION LAYOUT PLAN
) n	L8-02	IRRIGATION SCHEDULE 1
LANDSCAPE	L8-03	IRRIGATION SCHEDULE 2
	L8-04	IRRIGATION DETAILS 1
	L8-05	IRRIGATION DETAILS 2
	L8-06	IRRIGATION DETAILS 3
	L8-07	IRRIGATION DETAILS 4
₹	A011	ARCHITECTURAL SITE PLAN
5	A031	ARCHITECTURAL SITE DETAILS
T C	A032	SITE TRACH ENCLOSURE DETAILS
Ę	A033 A034	SITE TRASH ENCLOSURE DETAILS
ARCHITECTURAL	A034 A035	SIDEWALK PLANS SIDEWALK DETAILS
ΆΓ	S000	GENERAL NOTES
<u> </u>	S001	GENERAL NOTES
SIRUCIURAL	S002	TESTING NOTES
<u>.</u>	S101	FOUNDATION PLAN
	EP101	ELECTRICAL / PLUMBING SITE PLAN
⊼ ਜ	E001	ELECTRICAL PHOTOMETRIC SITE PLAN
∑ _	E201	ELECTRICAL SPECIFICATION, NOTES AND ONE-LINE DIAGRAM
	,	<u>'</u>

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF TEXAS AS SIGNIFIED BY MY HAND AND SEAL.

KEENON RAYNER

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TX REG: 18268 EXP: 07/31/2023

Michael Faraj

LANDSCAPE:

LJA Engineering 3600 W Sam Houston Parkway S Houston, TX 77042 Phone (713) 341 8091

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David Green

REPRESENTATIVE: Gulf Coast Commercial Group 788 W. Sam Houston Parkway N. Houston, TX 77024 Phone (713) 412-5873 Email: david.green@gulfcoastcg.co

NO. DATE REVISION ISSUE 05.18.23 ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS:

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

MAGNOLIA VILLAGE RETAIL CENTER

CHECKED:

REFERENCE NUMBER:

TITLE:

COVER SHEET

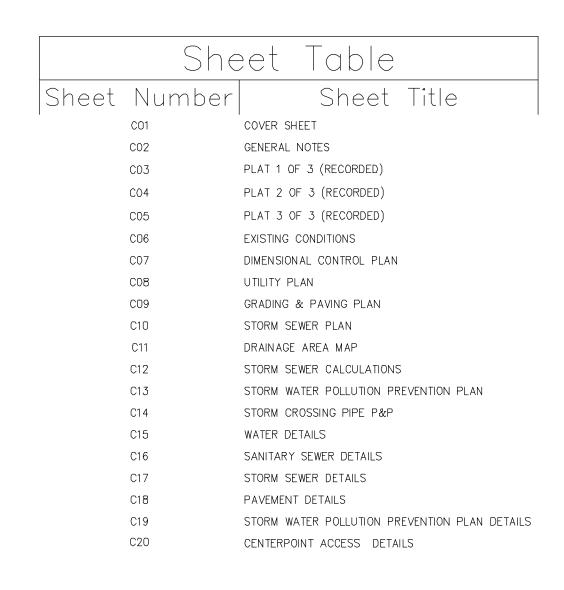
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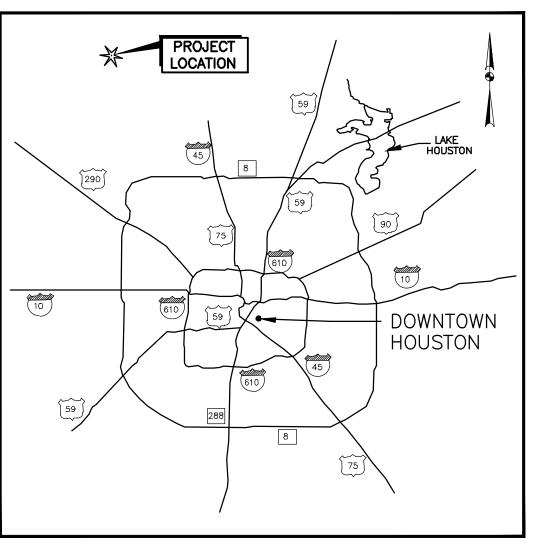
CONSTRUCTION PLANS FOR MAGNOLIA RETAIL CENTER

SITEWORK TO SERVE

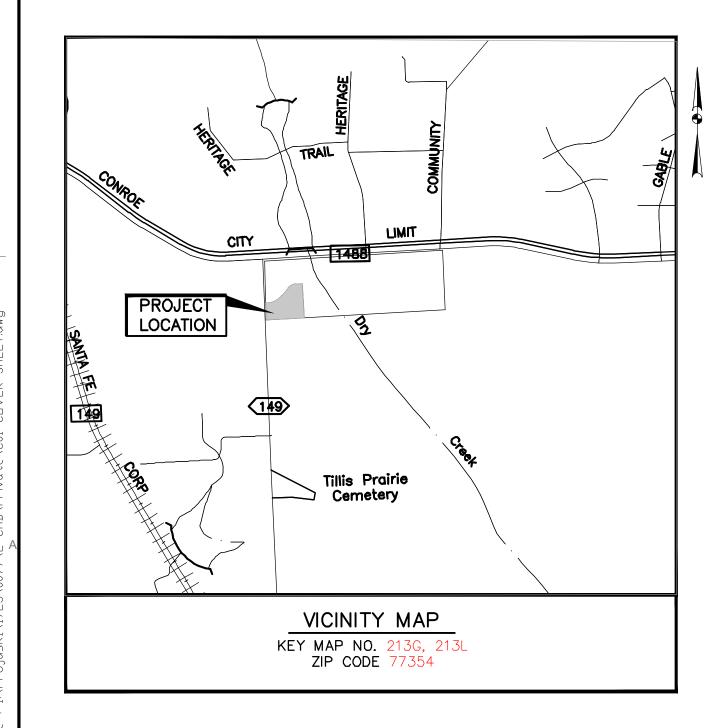
RETAIL BUILDING A1 - 38860 SPUR 149
RETAIL BUILDING A2 - 38870 SPUR 149
CITY OF MAGNOLIA
MONTGOMERY COUNTY, TEXAS 77354
LJA JOB NO. 1725-0077

July 2023





LOCATION MAP



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Phone (713) 412-5873

Email: david.green@gulfcoastcg.com



NO.	DATE	REVISION ISSUE
	05.18.23	ISSUE FOR PERMIT
		-

PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

DRAWN: CM CHECKED: MFM

REFERENCE NUMBER:

COVER SHEET

DRAWING NUMBER:

C01 OF 20

OWNER ACCEPTANCE.

MATERIAL MUST BE REPLACED WITH SOUND MATERIAL

2. UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS ONE CALL AT 713-223-4567/800-245-4545 AND LONE STAR ONE CALL AT 800-669-8344 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING WATER, WASTEWATER AND STORM PRANTOR SHALL PROVIDE ONE FOOT (1') MINIMUM CLEARANCE AT STORM SEWER, STORM DRAINAGE LINES. DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE CITY OF MAGNOLIA STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, AND STREET PAVING REFERENCED ABOVE AT NO ADDITIONAL COST.

4. CONTRACTOR SHALL NOTIFY THE CITY OF MAGNOLIA 5 DAYS PRIOR TO COMMENCING

5. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO AWAY FROM THE MANHOLE RIM.

EXISTING CONDITIONS OR BETTER. 6. CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF OSHA REGULATIONS AND THE

STATE OF TEXAS LAWS CONCERNING EXCAVATION.

7. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION: CITY OF MAGNOLIA (CITY PLANNING, OPTION 3) (281) 356-2266

LONE STAR NOTIFICATION CENTER 1-(800)-669-8344 TEXAS EXCAVATION SAFETY SYSTEM INC. 1-800-344-8377 EXPLORER PIPELINE COMPANY 8. ANY DAMAGE TO ANY OF THE EXISTING PAVEMENT AND/OR UTILITIES MUST BE REPAIRED

MAKE THE REPAIRS AT THE CONTRACTOR'S EXPENSE. 9. THE CONTRACTOR, ON BEHALF OF THE OWNER, IS TO OBTAIN ALL PERMITS REQUIRED BY SANITARY SEWER CONSTRUCTION NOTES: THE CITY OF MAGNOLIA PRIOR TO STARTING CONSTRUCTION OF UTILITIES AND/OR

IMMEDIATELY. THE CONTRACTOR MUST NOTIFY THE APPROPRIATE UTILITY OWNER, WHO WILL

10. GUIDELINES SET FORTH IN THE TEXAS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AS CURRENTLY AMENDED, SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAG MEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING

CONSTRUCTION - BOTH DAY AND NIGHT. 11. THE WORK AREAS WITH DIRECT PUBLIC ACCESS SHALL BE BARRICADED AND ILLUMINATED DURING DARKNESS AND PERIODS OF INACTIVITY.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFEGUARDING AND PROTECTING ALL MATERIAL AND EQUIPMENT STORED ON THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF MATERIALS IN A SAFE AND WORKMANLIKE MANNER TO PREVENT INJURIES, DURING AND AFTER WORKING HOURS, UNTIL PROJECT COMPLETION AND

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHIPPING OF ALL MATERIALS. THE LOADING AND UNLOADING OF ALL PIPE, VALVES, HYDRANTS, MANHOLES AND OTHER ACCESSORIES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PRACTICES AND SHALL AT ALL TIMES BE PERFORMED WITH CARE TO AVOID ANY DAMAGE TO 6. AWWA C-900 DR-18 PVC PIPE USES EITHER AWWA C900 DR-18 PVC FITTINGS OR DIP THE MATERIAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE SUCH MATERIAL FITTINGS. AT THE POINT OF DELIVERY AND TO REJECT ALL DEFECTIVE MATERIAL. THE DEFECTIVE

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHIPPING AND STORING OF ALL MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE SUCH MATERIAL AT THE POINT OF DELIVERY AND TO REJECT ALL DEFECTIVE MATERIAL. ANY DEFECTIVE MATERIAL INCORPORATED INTO THE WORK SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. THERE SHALL BE NO PAYMENT MADE FOR STORED MATERIAL

15. ALL PIPE AND REINFORCEMENT STEEL SHALL BE KEPT FREE OF DIRT AND OTHER DEBRIS. ANY DAMAGE TO THE COATING OF THE VARIOUS MATERIALS MUST BE REPAIRED.

16. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE AND POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION OF PROPOSED FACILITIES. NATURAL GROUND ADJACENT TO UTILITY TRENCH EXCAVATION TO BE GRUBBED PRIOR TO PLACEMENT OF EXCESS TRENCH MATERIAL. (NO SEPARATE PAYMENT.)

17. ACCESS TO ALL EXISTING STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. 18. UNLESS OTHERWISE NOTED, PLACEMENT OF UTILITIES IN EASEMENTS SHALL BE GOVERNED BY THE STANDARD 10' AND 14' EASEMENTS AS ADOPTED BY THE UTILITY COORDINATING COMMITTEE FOR THE HOUSTON METROPOLITAN AREA. AS CURRENTLY AMENDED OR REVISED.

19. NO CONNECTIONS MADE TO EXISTING WATER LINES OR SANITARY SEWERS SHALL BE PLACED INTO SERVICE UNTIL ALL PROPOSED LINES OR SEWERS HAVE BEEN THOROUGHLY CLEANED, TESTED, AND APPROVED BY THE ENGINEER.

20. ALL STATIONS ARE CENTERLINE OF STREET RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

21. ALL GEOTECHNICAL REPORTS FOR THIS PROJECT (IF ANY) ARE AVAILABLE FOR REFERENCE 14. "S.S.E." INDICATES "SANITARY SEWER EASEMENT"

AT THE OFFICE OF THE ENGINEER. EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

23. FINAL ACCEPTANCE OF THE UTILITIES WILL NOT BE GIVEN TO THE CONTRACTOR UNTIL THEY ARE INSPECTED AND APPROVED BY THE CITY OF MAGNOLIA. FINAL ACCEPTANCE OF THE PAVING WILL NOT BE GIVEN TO THE CONTRACTOR UNTIL IT IS INSPECTED AND APPROVED BY THE CITY OF MAGNOLIA.

24. SEE THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR ADDITIONAL ENVIRONMENTAL NOTES AND DETAILS.

COMPLIANCE WITH THE CONSTRUCTION PLANS AND SPECIFICATIONS.

25. THESE PLANS WERE PREPARED TO MEET OR EXCEED CITY OF MAGNOLIA AND MONTGOMERY COUNTY SUBDIVISION RULES AND REGULATIONS AS CURRENTLY AMENDED. 26. CONSTRUCTION WILL BE MONITORED BY A REGISTERED PROFESSIONAL ENGINEER TO ENSURE

27. APPROVAL BY CITY OF MAGNOLIA WILL BE DEEMED VOID IF CONSTRUCTION IS NOT BEGUN WITHIN ONE YEAR OF APPROVAL.

28. CONTRACTOR SHALL PREPARE A SET OF "RECORD" DRAWINGS SHOWING ANY FIELD CHANGES MADE TO THE APPROVED ENGINEERING PLANS AND SUBMIT TO THE DESIGN ENGINEER. GRAVITY SEWERS. 29. ALL UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST

AVAILABLE INFORMATION. CONTRACTOR SHALL VERIEY IN THE FIELD THE EXACT LOCATIONS.

PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS ONE CALL AT 713-223-4567 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.

30. MANHOLES SHALL BE PER CITY OF MAGNOLIA STANDARD DETAILS. 31. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ROOT SYSTEMS OF SHRUBS, PLANTS AND TREES ALONG AREAS OF EXCAVATION.

32. ALL UNSATISFACTORY AND \OR WASTE MATERIALS INCLUDING VEGETATION, ROOTS, CONCRETE AND DEBRIS SHALL BE DISPOSED OF OFFSITE BY THE CONTRACTOR. NO DIRECT PAYMENT WILL BE MADE, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE VARIOUS BID

VERTICAL ADJUSTMENT.

34. ALL SEWER TRENCHES UNDER OR WITHIN ONE FOOT OF PROPOSED AND/OR FUTURE PAVEMENT OR CURB SHALL BE BACKFILLED WITH 2.0 SACKS OF CEMENT PER TON CEMENT-STABILIZED SAND TO A POINT ONE FOOT (1') BELOW PAVEMENT SUBGRADE. THE REMAINING BACKFILL SHALL BE MADE WITH COMPACTED SUITABLE MATERIAL.

GENERAL CONSTRUCTION NOTES (CONT.):

35. CONTRACTOR SHALL REMOVE DAILY ALL MUD, DIRT AND DEBRIS DEPOSITED OR DROPPED ON EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY.

36. THE USE OF WELL POINT SYSTEMS, WHEN REQUIRED BY TRENCH CONDITIONS, SHALL BE REQUESTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.

CONTRACTOR SHALL PROTECT ALL TREES ADJACENT TO WORK AREA. NO TREES SHALL BE REMOVED WITHOUT PERMISSION OF OWNER AND APPROVAL BY ENGINEER.

SANITARY SEWER AND WATER LINE CROSSINGS.

41. WATER, SANITARY SEWER, AND DRAINAGE CONTRACTOR SHALL AT COMPLETION OF HIS WORK FILL AND GRADE ALL UTILITY EASEMENTS (WET AND DRY) AS WELL AS LOW SPOTS IN LOTS FOR POSITIVE DRAINAGE, AS DIRECTED BY EITHER THE OWNER OR ENGINEER. (NO SEPARATE PAY)

43. UTILITY CONTRACTOR OR SWPPP CONTRACTOR, AS DETERMINED BY THE OWNER, SHALL PROVIDE SILT BARRIER FENCE ON ALL STAGE I CURB INLETS. (NO SEPARATE PAY)

1. ALL SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAGNOLIA STANDARD SPECIFICATIONS AND ALL CURRENT AMENDMENTS THERETO AND BE SLIBJECT TO A STANDARD EXFILTRATION TEST. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF SEWER LINE INCLUDED IN THE PROJECT. REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE, TITLE 30 CHAPTER 217, "DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEMS" SHALL GOVERN WHERE CONFLICTS EXIST EXCEPT WHERE CITY REQUIREMENTS ARE OF HIGHER STANDARDS.

DETAILS UNLESS OTHERWISE NOTED.

5. ALL SDR-26 PVC PIPE SHALL MEET ASTM SPECIFICATION D-3034, USE "FULL BODIED" SDR-26 PVC FITTINGS WITH APPROPRIATE ADAPTERS, SHALL HAVE A CELL CLASSIFICATION OF 12454-B PER CODE OF ORDINANCE SPECIFICATION 02720, SECTION 2.01-c, AND SHALL HAVE DIP SIZE OD

8. ALL SANITARY SEWERS CROSSING WATER LINES WITH A CLEARANCE BETWEEN 12 INCHES (12") AND NINE FEET (9') SHALL HAVE A MINIMUM OF ONE 18' JOINT OF 150 PSI DUCTILE IRON OR (GREEN) PVC PIPE MEETING ASTM SPECIFICATION D2241 CENTERED ON WATER LINE. WHEN

9. CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF NINE FEET (9') BETWEEN WATER LINES AND SANITARY SEWER MANHOLES AND LINES.

ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA AND TCEQ STANDARD 11. IN WET STABLE TRENCH AREAS USE BEDDING PER CITY OF MAGNOLIA AS CURRENTLY REVISED. CONSTRUCTION SPECIFICATIONS. TESTS ARE TO BE PERFORMED ON THE ENTIRE FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.

> 11) ALL WATER LINES TO HAVE 4' MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEARANCE TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8' DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.

12) CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAPPED (OR OTHERWISE EFFECTIVELY COVERED) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.

1) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED

2) BEFORE STARTING CONSTRUCTION, CONTRACTOR SHALL VERIFY BENCHMARK ELEVATION AND NOTIFY ENGINEER IF ANY DISCREPANCY AND/OR CONFLICT IS FOUND.

3) CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.

4) CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.

REMOVED AND DISPOSED OF BY CONTRACTOR. DISPOSAL SHALL BE AT AN APPROVED OFF-SITE, LAWFUL LOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER. PAVING CONSTRUCTION NOTES:

2. ALL TEMPORARY AND PERMANENT SIGNAGE MUST COMPLY WITH THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AS CURRENTLY AMENDED. ALL R1-1 STOP SIGNS SHALL BE 30"X30" WITH DIAMOND GRADE SHEETING.

3. ALL ROAD WIDTHS, CURB RADII, AND CURB ALIGNMENT SHOWN INDICATE BACK OF CURB. T.C.

RADII SHALL BE 35 FEET UNLESS NOTED OTHERWISE. 5. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT EACH CURB RETURN AND AT A

THE THICKER CONCRETE SHALL BE CONSTRUCTED FOR THE ENTIRE INTERSECTION, TO THE ENDS OF THE FIRST TEST SHALL BE PAID BY THE CONTRACTOR. OF ALL CURB RETURNS.

7. THE PAVING CONTRACTOR SHALL PROTECT ALL UTILITIES AND SHALL REPAIR OR REPLACE AT HIS EXPENSE ANY FACILITIES DAMAGED DURING PAVING OR GRADING OPERATIONS. ALL MANHOLES AND VALVES WITHIN THE PAVEMENT AREA SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR.

2.ALL STORM SEWER CONSTRUCTED IN SIDELOT EASEMENT SHALL BE R.C.P (ASTM C-76, 8. THE PAVING CONTRACTOR SHALL CLEAR AND STRIP ALL LOTS AND STREET RIGHTS-OF-WAY OF ALL ORGANICS (VEGETATION, ROOTS ONE INCH (1") AND GREATER, ORGANIC SOIL LAYER) AT NO SEPARATE PAY (THIS INCLUDES HANDPICKING AS NECESSARY AND AS DIRECTED BY THE ENGINEER). THE VEGETATION, ROOTS, ETC. MUST BE PROPERLY DISPOSED OF OFFSITE. THE ORGANIC SOIL (TOP SOIL) MUST BE STOCKPILED DURING CONSTRUCTION AND USED AS TOP

> 9. AREAS TO BE FILLED SHALL BE SCARIFIED AND COMPACTED TO AT LEAST 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY PER ASTM D-698, TO A DEPTH OF 8" PRIOR TO FILL PLACEMENT, FILL MATERIAL SHALL BE PLACED IN MAXIMUM 8" THICK LIFTS (MEASURED LOOSE AND COMPACTED TO AT LEAST 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY PER ASTM D-698. MOISTURE CONTENT SHALL BE WITHIN $\pm -3\%$ OF OPTIMUM UNLESS OTHERWISE DIRECTED BY OWNER'S TESTING LAB OR THE ENGINEER. FILL SHALL BE CLEAN EARTH, SAND, OR A COMBINATION (AS APPROVED BY THE ENGINEER), AND BE FREE FROM TRASH, VEGETATION

PAVING CONSTRUCTION NOTES (CONT.):

11. NECESSARY TESTING OF SUBGRADE AND ASPHALT PAVEMENT TO PROVE THAT THESE ITEMS MEET REQUIREMENTS SHALL BE DONE BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE

EIGHTEEN INCH (18") MAXIMUM SPACING, EACH WAY.

14. STREET NAME SIGNS FOR ALL STREETS SHALL BE LOCATED ATOP EACH STOP SIGN AT ALL INTERSECTIONS. REFER TO RECORDED PLAT FOR CORRECT SPELLING OF STREET NAMES. STREET NAMES SHALL BE UPPER AND LOWER CASE LETTERS W/DIAMOND GRADE SHEETING.

16. DOUBLE REFLECTORIZED BLUE TRAFFIC MARKERS SHALL BE PLACED SIX INCHES (6") OFFSET OF THE CENTERLINE AT ALL FLUSHING VALVE LOCATIONS BY THE PAVING CONTRACTOR. FLUSHING VALVES LOCATED AT INTERSECTIONS SHALL HAVE A BUTTON PLACED ON EACH STREET. NO

17. ADA ACCESSIBLE RAMPS SHALL BE INSTALLED WITH STREET PAVING PER PLANS AND COMPLY TO CURRENT ADA AND TDLR REGULATIONS.

18. THE ONLY AUTHORITY PERMITTED TO ADD WATER TO A CONCRETE TRUCK MUST COME FROM THE APPROVED COMMERCIAL TESTING LABORATORY OR THE ENGINEER.

19. CONCRETE CURB SHALL BE 4"X12" MOUNTABLE CURB UNLESS OTHERWISE NOTED. 20. ALL TOP OF CURB ELEVATIONS ARE BASED ON 6-INCH CURB. CONTRACTOR SHALL SUBTRACT 0.17 FEET FROM TOP OF CURB ELEVATIONS SHOWN ON PLANS TO DETERMINE TOP OF

1. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY REGULATION OF CITY OF MAGNOLIA AND MONTGOMERY COUNTY, TEXAS FOR FLOOD PLAIN MANAGEMENT PRIOR TO STARTING CONSTRUCTION. 2. OWNER TO OBTAIN ALL PERMITS REQUIRED BY CITY OF MAGNOLIA AND MONTGOMERY COUNTY, TEXAS PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CULVERTS WITHIN MONTGOMERY COUNTY ROAD RIGHTS-OF-WAY.

CURB ELEVATIONS WHERE 4" MOUNTABLE CONCRETE CURB IS PROPOSED.

DRY UTILITY NOTES:

1. LOCATIONS OF HUGHES PIPELINE MAIN LINES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE USUALLY NOT SHOWN.

2. WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF HUGHES PIPELINE FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED **EXCAVATION PROCEDURES**

3. WHEN HUGHES PIPELINE FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PILING.

4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

WARNING: OVERHEAD ELECTRICAL FACILITIES

1. OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM

2. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX FEET (6') OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS. ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS CARRIES BOTH CRIMINAL AND

3. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL CENTERPOINT ENERGY AT (713)

CAUTION: AT&T FACILITIES

1. THE LOCATION OF SOUTHWESTERN BELL TELEPHONE COMPANY UTILITIES ARE NO LONGER PROVIDED BY AT&T AND ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF THESE UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO EXACTLY LOCATE AND $\,$ PRESERVE THESE UNDERGROUND FACILITIES. $\,$ TO HAVE THESE FACILITIES LOCATED CALL THE UTILITY COORDINATING COMMITTEE AT (713) 223-4567, OR TOLL FREE AT 1-800-669-8344 AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION.

WARNING: UNDERGROUND ELECTRICAL FACILITIES

1. UNDERGROUND ELECTRICAL FACILITIES EXIST IN THE AREA OF THIS PROJECT. DO NOT BEGIN CONSTRUCTION UNTIL THESE FACILITIES HAVE BEEN LOCATED AND STAKED. TO HAVE THESE UNDERGROUND FACILITIES STAKED CALL THE UTILITY COORDINATING COMMITTEE AT (713) 223-4567, OR TOLL FREE AT 1-800-669-8344. AT LEAST 48 HOURS PRIOR TO ANY

1. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD, MOST RECENT EDITION WITH REVISIONS) DURING CONSTRUCTION.

2. LANE CLOSURE PERMITS ARE TO BE OBTAINED WHEN REQUIRED. THE REQUEST MUST BE MADE AT LEAST THREE DAYS PRIOR TO THE DATE FOR WHICH THE CLOSURE IS SOUGHT. 3. CONTRACTOR SHALL COVER EXCAVATIONS WITH STEEL PLATES, ANCHORED PROPERLY, DURING NON-WORKING HOURS AND OPEN LANES FOR TRAFFIC FLOWS

4. IF THE CONTRACTOR DESIRES TO BLOCK A LANE FOR WHICH NO "TRAFFIC CONTROL PLANS" WERE SUBMITTED. (S)HE SHALL SUBMIT REPRODUCIBLE MYLARS SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS TO THE PLAN REVIEW SECTION OF THE ENTITY HAVING JURISDICTION OVER THE ROAD BEING WORKED ON, WITH THE ENTIRE APPROVED SET OF DRAWINGS FOR APPROVAL TEN WORKING DAYS PRIOR TO CONSTRUCTION.

5. IF THE CONTRACTOR CHOOSES TO USE A DIFFERENT METHOD OF "TRAFFIC CONTROL PLANS" DURING CONSTRUCTION THAN WHAT IS OUTLINED IN THE CONTRACT DRAWINGS, (S)HE SHALL BE RESPONSIBLE TO SUBMIT AN ALTERNATE SET OF REPRODUCIBLE MYLARS SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS WITH THE ENTIRE APPROVED SET OF DRAWINGS TO THE PLAN REVIEW SECTION OF THE ENTITY HAVING JURISDICTION OVER THE ROAD BEING WORKED ON, FOR APPROVAL TEN WORKING DAYS PRIOR TO IMPLEMENTATION.

6. APPROVED COPIES OF "TRAFFIC CONTROL PLANS" AND LANE/SIDEWALK CLOSURE PERMITS SHALL BE AVAILABLE FOR INSPECTION AT JOB SITE ALL TIMES. ALL REQUESTS FOR LANE/SIDEWALK CLOSURES MUST BE MADE AT LEAST THREE DAYS PRIOR TO THE DATE FOR WHICH THE CLOSURE IS SOUGHT.

SPECIAL TRENCH BACKFILL NOTES:

1. ALL TRENCH BACKFILL FOR UTILITIES SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY PER ASTM D-698. MOISTURE CONTENT SHALL BE WITHIN $\pm -3\%$ OF OPTIMUM. 2. DENSITIES SHALL BE TAKEN AT APPROXIMATE 100-FOOT INTERVALS FOR EACH LIFT, OR AS RECOMMENDED BY THE TESTING LAB, OR AS OTHERWISE DIRECTED BY THE ENGINEER. 3. THE TESTING LAB SHALL BE PAID BY THE OWNER EXCEPT RETESTS REQUIRED DUE TO THE FAILURE 4. LIFTS SHALL BE 8-INCH MAXIMUM, MEASURED LOOSE

5. ALL TRENCH BACKFILL SHALL BE CONSIDERED SUBSIDIARY TO THE PIPE.

TCEQ WATER DISTRIBUTION SYSTEM GENERAL CONSTRUCTION NOTES

- This water distribution system must be constructed in accordance with the current Texas Commission or Environmental Quality (TCEQ) Rules and Regulations for Public Water Systems 30 Texas Administrative Code (TAC) Chapter 290 Subchapter D. When conflicts are noted with local standards, the more stringent requirement shall be applied. At a minimum, construction for public water systems must always meet TCEQ's "Rules and
- All newly installed pipes and related products must conform to American National Standards Institute (ANSI)/NSF International Standard 61 and must be certified by an organization accredited by ANSI

- 5. Water transmission and distribution lines shall be installed in accordance with the manufacturer's instructions However, the top of the water line must be located below the frost line and in no case shall the top of the water
- The maximum allowable lead content of pipes, pipe fittings, plumbing fittings, and fixtures is 0.25 percent [§290.44(b)].
- The contractor shall install appropriate air release devices with vent openings to the atmosphere covered with 16-
- storage or installation [§290.44(f)(1)].

formulas in the notes on the plans. The hydrostatic leakage rate for polyvinyl chloride (PVC) pipe and appurtenances shall not exceed the amount allowed or recommended by formulas in America Water Works Association (AWWA) C-605 as required in 30 TAC §290.44(a)(5). Please ensure that the formula for this calculation is correct and most current formula is

$Q = (LD\sqrt{P})/148,000$

Q = the quantity of makeup water in gallons per hour

P = the average test pressure during the hydrostatic test in pounds per square inch (psi).

 The hydrostatic leakage rate for ductile iron (DI) pipe and appurtenances shall not exceed the amount allowed or recommended by formulas in America Water Works Association (AWWA) C-600 as required in 30 TAC §290.44(a)(5). Please ensure that the formula for this calculation is correct and most current formula is in

$L = (SD\sqrt{P})/148,000$

beyond 1,000 feet.

P = the average test pressure during the hydrostatic test in pounds per square inch (psi).

minimum of nine feet. Where the nine-foot separation distance cannot be achieved, the potable waterline shall be encased in a joint of at least 150 psi pressure class pipe at least 18 feet long and two nominal sizes larger than the new conveyance. The space around the carrier pipe shall be supported at five-foot intervals with spacers or be filled to the springline with washed sand. The encasement pipe shall be centered on the crossing and both ends sealed with cement grout or manufactured sealant [§290.44(e)(5)].

lateral, or wastewater service line regardless of construction [§290.44(e)(6)

wastewater lateral, or wastewater service line [§290.44(e)(7)].

14. Suction mains to pumping equipment shall not cross wastewater mains, wastewater laterals, or wastewater service lines. Raw water supply lines shall not be installed within five feet of any tile or concrete wastewater main,

X

DATE **REVISION ISSUE** 05.18.23 ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149

CHECKED: MFM DRAWN: CM

REFERENCE NUMBER:

DRAWING NUMBER:

TITLE:

33. ALL MANHOLES ARE TO BE CONSTRUCTED TO ALLOW FOR A MINIMUM OF ONE FOOT (1') OF WHERE L = LENGTH OF LINE OF SAME PIPE SIZE IN FEET.

39. ALL AREAS UNNECESSARILY DISTURBED ALONG SIDE AND BACK-OF-LOT EASEMENTS OUTSIDE PROJECT LIMITS AS A RESULT OF CONSTRUCTION WORK SHALL BE SEEDED AND FERTILIZED IN ACCORDANCE WITH SEEDING SPECIFICATIONS BY THE CONTRACTOR(NO SEPARATE PAY).

40. RIM ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. UTILITY CONTRACTOR SHALL ADJUST RIM ELEVATIONS TO FOUR TO SIX INCHES (4.0"— 6.0") ABOVE THE FINISHED GRADE AT EACH MANHOLE LOCATION AFTER PAVEMENT CONTRACTOR HAS COMPLETED FINAL GRADING (NO SEPARATE PAY). SLOPED FILL SHALL BE ADDED FOR STORM WATER DRAINAGE

42. UTILITY CONTRACTOR OR SWPPP CONTRACTOR, AS DETERMINED BY OWNER, SHALL PROVIDE

UNDERGROUND CONTRACT IS COMPLETE.

2. ALL MANHOLES ARE TO BE PER CITY OF MAGNOLIA STANDARD DETAILS. 3. SANITARY SEWER MANHOLES WILL HAVE BEDDING AND BACKFILL PER CITY OF MAGNOLIA

4. SANITARY SEWER PIPE 4" AND SMALLER SHALL BE SCHEDULE 40 PVC. SANITARY SEWER PIPE 6" AND LARGER SHALL BE SDR-26 PVC.

AND RUBBER GASKET BELL-AND-SPIGOT TYPE JOINT ENDS UNLESS OTHERWISE NOTED.

7. ALL SANITARY SEWER LINES UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE FOOT (1') BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE BEDDING AND BACKFILLED WITH

WATER LINE IS BELOW SANITARY SEWER PROVIDE MINIMUM 2 FOOT SEPARATION.

10. SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET FOUR TO SIX INCHES (4"- 6") ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING WITH SLOPED BACKFILL ADDED FOR STORM WATER DRAINAGE AWAY FROM MANHOLE RIM.

12. DEFLECTION TEST: DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE AND IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID MANDREL IT SHALL HAVE A DIAMETER FOUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE, THE TEST SHALL BE PERFORMED AS PER 30 TAC 317. $^{\prime}$

LATEST AMENDMENT AND WITHOUT MECHANICAL PULLING DEVICES. NO BALL-TYPE MANDRELS

13. INFILTRATION/EXFILTRATION OR LOW-PRESSURE AIR TEST SHALL BE PERFORMED AS PER TAC,

TITLE 30 217.57 WITHIN THE SPECIFIED TOLERANCES ON ALL GRAVITY SEWERS. 15. FOR SANITARY MANHOLES (MH) RIMS SET INSIDE OF OR @ CURB & GUTTER PAVEMENT 22. SURFACE RESTORATION: AT THE END OF ALL CONSTRUCTION PROJECTS, THE CONTRACTOR AND/OR BELOW T.C., MH RIMS WILL BE SET FLUSHED WITH AN ABUTTING/CONTAINING PAVED SHALL RESTORE THE EXISTING FACILITIES WITHIN THE PROPERTY EQUAL TO OR BETTER THAN SURFACE. THE (VULCAN, NEENAH OR EQUAL) HEAVY DUTY BOLTED SOLID MH COVER WILL BE PROPERLY (AND SECURELY) ATTACHED AND SEALED TO ITS COMPATIBLE GASKETED FRAME BY USING BOTH A NEOPRENE GASKET AND (AT LEAST) 4 COUNTER-SUNK HEX-HEAD COARSE THREADED 1/2-13 UNC STAINLESS STEEL BOLTS. THE HEAVY DUTY FRAME MH COVER WILL BE SOLID (NO AIR HOLES). SAID FRAME SHALL BE BOTH EMBEDDED INTO THE MH'S TOP ALSO SECURELY ANCHORED TO THE UNDERLYING MH STRUCTURE WITH SECURELY ATTACHED EMBEDDED

> 16. ALL SANITARY SEWER MANHOLES SHALL HAVE STAINLESS STEEL INFLOW PROTECTORS INSTALLED AFTER FINAL ADJUSTMENT OF MANHOLE RIMS. NO SEPARATE PAY. 17. ALL SANITARY SERVICE LEADS SHALL BE 6" DIA. MIN. AND LAID WITH A MINIMUM GRADE OF

> ANCHOR BOLTS; OR THE CONCRETE MH'S EXPOSED REBARS WELDED TO THE FRAME; OR OTHER

EQUALLY SECURED METHODS TO PREVENT MH COVER/FRAME BLOW-OFFS/EJECTIONS.

18. WHEN MAKING A CONNECTION TO AN EXISTING SANITARY SEWER MANHOLE THE CONTRACTOR SHALL PLUG DOWN STREAM END OF THE PROPOSED SANITARY SEWER. THE SEWER SHALL REMAIN PLUGGED UNTIL FINAL ACCEPTANCE BY THE ENGINEER. 19. INFILTRATION, EXFILTRATION OR LOW-PRESSURE AIR TEST: EITHER OF THE FOLLOWING TESTS

SHALL BE PERFORMED AS PER TAC, TITLE 30 317.2 WITHIN THE SPECIFIED TOLERANCES ON ALL A. INFILTRATION OR EXFILTRATION TEST: TOTAL LEAKAGE AS DETERMINED BY A HYDROSTATIC HEAD TEST SHALL NOT EXCEED 50 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOURS

APPROPRIATE PROCEDURES. FOR SECTIONS OF PIPE LESS THAN 36" (INCH) AVERAGE INSIDE DIAMETER, THE MINIMUM ALLOWABLE TIME FOR PRESSURE DROP FROM 3.5 P.S.I.G. TO 2.5 P.S.I.G. SHALL BE AS FOLLOWS: 6" 340 SECONDS OR 0.855(L) FOR TEST LENGTHS GREATER THAN 398' 8" 454 SECONDS OR 1.520(L) FOR TEST LENGTHS GREATER THAN 298'

B. LOW-PRESSURE AIR TEST: PERFORM TEST ACCORDING TO UNI-B-6-90 OR OTHER

10" 567 SECONDS OR 2.374(L) FOR TEST LENGTHS GREATER THAN 239' 15" 850 SECONDS OR 5.342(L) FOR TEST LENGTHS GREATER THAN 159' 18" 1020 SECONDS OR 7.693(L) FOR TEST LENGTHS GREATER THAN 133'

AT A MINIMUM TEST HEAD OF TWO (2) FEET.

MAGNOLIA STANDARD DETAILS.

CEMENT/TON STABILIZED SAND SUBGRADE.

STORM DRAINAGE CONSTRUCTION NOTES: 1.STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (ASTM C-76, CLASS III), AND SHALL BE INSTALLED, BEDDED, AND BACK FILLED IN ACCORDANCE WITH THE CITY OF

CLASS III) AND SHALL BE EMBEDDED IN ACCORDANCE WITH THE CITY OF MAGNOLIA STANDARD DETAILS. 3.ALL SEWER UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE BACKFILLED WITH 2.0 SACK

4. ALL TRENCH BACKFILL SHALL BE IN 8" LIFTS, WITH TESTS TAKEN AT 100 FOOT INTERVALS IN EACH LIFT, AND MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM

5. CIRCULAR AND ELLIPTICAL REINFORCED CONCRETE PIPE SHALL BE INSTALLED USING RUBBER GASKET JOINT CONFORMING TO ASTM C443 AND ASTM C877 RESPECTIVELY.

6. ALL STORM SEWER PIPES AND INLET LEADS SHALL BE 24" AND LARGER R.C.P. (ASTM C-76, 7. ALL PROPOSED PIPE STUB-OUTS FROM MANHOLES AND INLET LEADS ARE TO BE PLUGGED WITH 8" BRICK WALLS UNLESS OTHERWISE NOTED.

8. MINIMUM HORIZONTAL CLEARANCE BETWEEN ANY STORM PIPE AND BOX SHALL BE AT LEAST 48-INCHES FROM EXTERIOR OF THE STORM PIPE OR BOX TO THE EXTERIOR OF THE EXISTING OR PROPOSED PUBLIC OR PRIVATE UTILITY AND OTHER APPURTENANCES. MINIMUM VERTICAL CLEARANCE BETWEEN ANY STORM PIPE AND BOX SHALL BE AT LEAST 12-INCHES FROM EXTERIOR OF THE STORM PIPE OR BOX TO THE EXTERIOR OF THE EXISTING OR PROPOSED PUBLIC OR PRIVATE UTILITY AND OTHER APPURTENANCES.

9. ADJUST MANHOLE COVERS TO GRADE CONFORMING TO REQUIREMENTS OF SECTION 02086-ADJUSTING MANHOLES, INLETS, AND VALVE BOXES TO GRADE.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, MAINTAINING, AND RESTORING ANY BACK SLOPE DRAINAGE SYSTEM DISTURBED AS A RESULT OF THIS WORK. 11. ALL DITCHES SHALL BE GRADED TO PROPOSED ELEVATIONS TO INSURE PROPER DRAINAGE. ALL OUTFALLS SHALL BE PROPERLY BACKFILLED AND COMPACTED. ALL DISTURBED AREA

TEMPORARY SILT BARRIER FENCE ON ALL NON-CURB INLETS WHICH WILL REMAIN IN PLACE AFTER 12. ALL DRIVEWAYS WILL BE LOCATED TO AVOID EXISTING CURB INLET STRUCTURES. 13. STORM SEWER DETENTION FACILITIES LOCATED WITHIN THE DISTRICT WILL BE MAINTAINED BY THE MUD DISTRICT NO. 108. WATER LINE CONSTRUCTION NOTES

SHALL BE REGRADED, SEEDED, AND FERTILIZED.

NECESSARY DUE TO THRUST.

1) WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA INFRASTRUCTURE DESIGN MANUAL, STANDARD SPECIFICATION, AND CONSTRUCTION DETAILS. 2) ALL 4" THROUGH 12" WATER LINE TO BE AWWA C-900 PVC DR-18 BLUE PRESSURE RATED WATER MAIN WITH 2" AND SMALLER WATER SERVICE LINE TO BE CONTINUOUS

TYPE K COPPER TUBING PER COH STANDARD SPECIFICATION SECTION 02503. ALL 4"

THRU 54" DI PIPE WATER LINES SHALL BE AWWA C151 WITH INSIDE LINING WITH AWWA

C104 AND DOUBLE WRAPPED WITH 8-MIL POLYETHYLENE SHEETS. 3) CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. USE RESTRAINED JOINTS (MEGALUG) WHERE PREVENTING MOVEMENT OF PIPE IS CAUTION: UNDERGROUND GAS FACILITIES

4) ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT OF ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE

6) ALL WATER VALVES SHALL BE SUPPLIED AND INS TALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE. ALL GATE VALVES WILL OPEN COUNTERCLOCKWISE.

5) ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER CITY OF

SHALL BE COLLECTED FOR EVERY 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTMINATION PERSISTS. 8) ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A

7) ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE

TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE

9) 4" THRU 12" FIT TINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG. 10) HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN

CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.

GRADING NOTES

IMMEDIATELY OF ANY DISCREPANCIES.

5) ALL EXISTING CONCRETE PAVING. SIDEWALK, AND CURB DEMOLITION SHALL BE

PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MAGNOLIA AND MONTGOMERY COUNTY REQUIREMENTS AS CURRENTLY AMENDED.

INDICATES TOP OF CURB. T.P. INDICATES TOP OF PAVEMENT ELEVATIONS. 4. ALL INTERSECTION CURB RETURN RADII SHALL BE 25 FEET AND ALL CUL-DE-SAC RETURN

MAXIMUM SPACING OF 60 FEET. 6. WHEN A 6" THICK CONCRETE ROADWAY INTERSECTS WITH A THICKER CONCRETE ROADWAY,

DRESSING TO PROVIDE THE MINIMUM LOT ELEVATIONS SHOWN ON THE GRADING PLAN.

AND LARGE STONES. 10. THE PAVEMENT SUBGRADE IS TO BE SCARIFIED, LIME STABILIZED (AMOUNT AS DETERMINED BY LAB TESTS) AND COMPACTED TO 95% STANDARD PROCTOR DRY DENSITY PER ASTM D-698.

12. REINFORCEMENT STEEL FOR PAVEMENT SHALL BE SUPPORTED WITH PLASTIC CHAIRS AT

13. A CONTINUOUS LONGITUDINAL REINFORCING BAR SHALL BE USED IN THE CURBS. Regulations for Public Water Systems."

15. CONCRETE DESIGN MIX AND TEST DATA SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.

Plastic pipe for use in public water systems must bear the NSF International Seal of Approval (NSF-pw) and have an ASTM design pressure rating of at least 150 psi or a standard dimension ratio of 26 or less [\$290.44(a)(2)].

4. No pipe which has been used for any purpose other than the conveyance of drinking water shall be accepted or relocated for use in any public drinking water supply, as required by 30 TAC §290.44(a)(3).

line be less than 24 inches below ground surface [§290.44(a)(4)].

mesh or finer, corrosion resistant screening material or an acceptable equivalent [§290.44(d)(1)]. 8. The contractor shall not place the pipe in water or where it can be flooded with water or sewage during its

When waterlines are laid under any flowing or intermittent stream or semi-permanent body of water the waterline shall be installed in a separate watertight pipe encasement. Valves must be provided on each side of the crossing with facilities to allow the underwater portion of the system to be isolated and tested [§290.44(f)(2)].

Pursuant to 30 TAC §290.44(a)(5), the hydrostatic leakage rate shall not exceed the amount allowed or

recommended by the most current AWWA formulas for PVC pipe, cast iron and ductile iron pipe. Include the

 L = the length of the pipe section being tested, in feet, D = the nominal diameter of the pipe in inches, and

 L = the quantity of makeup water in gallons per hour, S = the length of the pipe section being tested, in feet, D = the nominal diameter of the pipe in inches, and

11. The contractor shall maintain a minimum separation distance in all directions of nine feet between the proposed waterline and wastewater collection facilities including manholes. If this distance cannot be maintained, the contractor must immediately notify the project engineer for further direction. Separation distances, installation methods, and materials utilized must meet §290.44(e)(1)-(4) 12. The separation distance from a potable waterline to a wastewater main or lateral manhole or cleanout shall be

13. Fire hydrants shall not be installed within nine feet vertically or horizontally of any wastewater line, wastewater

 Waterlines shall not be installed closer than ten feet to septic tank drainfields [§290.44(e)(8)]. 16. The contractor shall disinfect the new waterlines in accordance with AWWA Standard C-651, then flush and sample the lines before being placed into service. Samples shall be collected for microbiological analysis to check the effectiveness of the disinfection procedure which shall be repeated if contamination persists. A minimum of

one sample for each 1,000 feet of completed waterline will be required or at the next available sampling point

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GENERAL NOTES

STATE OF TEXAS COUNTY OF MONTGOMERY

i, BRETT F. WALKER, VICE PRESIDENT of PARKSIDE CAPITAL, LLC, a Texas limited liability company, being manager of PARKSIDE MAGNOLIA EAST, LLC, a Texas limited liability company, and THOMAS H. LILE, PRESIDENT of GULF COAST GP, INC., a Texas Corporation, being manager of GC MAGNOLIA, L.P., a Texas limited partnership, being owners of the property subdivided in the above and foregoing map of the MAGNOLIA VILLAGE, do hereby make subdivision of said property, according to the lines, streets, alleys, parks, and easements therein shown, and designate said subdivision as MAGNOLIA VILLAGE in the Hampton Tillons Survey, Abstract 556, in Montgomery County, Texas; and dedicate to public use, as such, the streets, alleys, parks and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades and do hereby bind ourselves, or our heirs and assigns to warrant and forever defend the title to the land so dedicated. There is also dedicated for utilities an unobstructed easement 5 feet wide from a plane 20 feet above ground upward located as shown hereon. We have also complied with all regulations hereto before adopted by the Planning and Zoning Commission of the City of Magnolia, located in Montgomery County, Texas.

PARKSIDE MAGNOLIA EAST, LLC, a Texas limited liability company

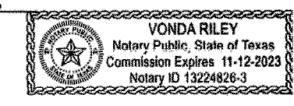
BY: PARKSIDE CAPITAL, LLC. a Texas limited liability company,

STATE OF TEXAS **COUNTY OF HARRIS**

Before me, the undersigned authority, on this day personally appeared BRETT F. WALKER, VICE PRESIDENT, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 5 TH DAY OF JANUARY 202 Z

My Commission expires: 11.12.2023



IN TESTIMONY WHEREOF, GC MAGNOLIA, L.P., a Texas limited partnership, has caused these presents to be signed by THOMAS H. LILE, PRESIDENT, thereunto authorized, this the <u>STH</u> day of <u>JANVARY</u>, 202 <u>2</u>.

GC MAGNOLIA, L.P., a Texas limited partnership

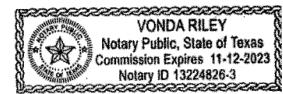
BY: GULF COAST GP, INC.,

STATE OF TEXAS

Before me, the undersigned authority, on this day personally appeared THOMAS H. LILE, PRESIDENT, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 574 DAY OF JANUAR 1 , 202 Z

Notary Public in and for the State of Texas.

My Commission expires: 11.12.2023



I, Michael L. Swan, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron pipe or rods having a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner and NAD83 state plane projections.



This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of MAGNOLIA VILLAGE as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the day of _______, 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.



This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the day of day of 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

8111 Buddy Riley Blvd.

I, Mark Turnbull, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the within instrument with

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk of the County Court

B.L. indicates a building line U.E. Indicates a utility easement

A.E. indicates a aerial easement W.S.E. indicates a water line and sewer easement

STM. S.E. indicates a storm sewer easement

W.L.E. indicates a water line easement

S.S.E. indicates a sanitary sewer easement

D.E. indicates a drainage easement ESMT. indicates easement

VOL., PG. indicates Volume, Page

M.C.M.R. indicates Montgomery County Map Records E.T.J. indicates Extraterritorial jurisdiction

I.R. indicates Iron Rod

FND. I.R. indicates Found Iron Rod indicates found 5/8" iron rod (unless otherwise noted)

o indicates set 5/8" iron rod with plastic cap stamped "IDS" (unless otherwise noted)

2. All bearings based on the the Texas Coordinate System of 1983, Central Zone.

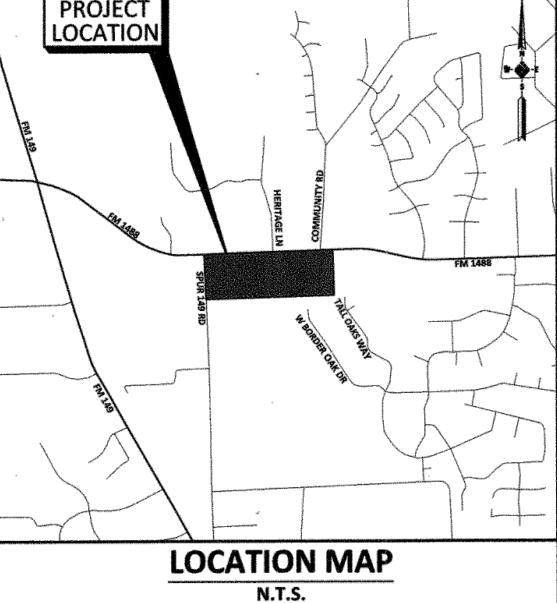
The coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Surface Coordinates (NAD83) and may be brought to grid by applying the combined scale factor of 0.99997000.

One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns or

5. According to Flood Insurance Rate Map No. 48339C0485 G, dated August 18, 2014, published by the Federal Emergency Management Agency, the property shown on this plat lies within Zone X, defined as areas determined to be outside the 500-year floodplain.

6. This subdivision plat is consistent with the PD Overlay Zoning District 1 ("PD1") as defined and described under City of Magnolia Ordinance No. O-2019-009.

7. The tract shown hereon is subject to the easements as recorded under File Nos. 2021118370 and 2021169596 in the Official Public Records of Real Property of Montgomery County, Texas.



(KEY MAP # 213 G & L)

MAGNOLIA VILLAGE

A SUBDIVISION OF

61.003 ACRES

OUT OF HAMPTON TILLONS SURVEY, A-556 MONTGOMERY COUNTY, TEXAS

4 BLOCKS & 5 RESERVES (56.828 AC.)

OWNERS: GC MAGNOLIA, L.P. (RESERVES A, B, C & D)

> A TEXAS LIMITED PARTNERSHIP 788 W. SAM HOUSTON PARKWAY NORTH, SUITE 206 HOUSTON, TX 77024 713-532-0977

PARKSIDE MAGNOLIA EAST, LLC (RESERVES E & F)

A TEXAS LIMITED LIABILITY COMPANY 3003 W. ALABAMA ST. **HOUSTON, TX 77098** 713-271-5900

ENGINEER:



13430 NW. Freeway Houston, Tx. 77040 713.462.3178 TxEng Firm 2726 TxSurv Firm 10110700

January 3, 2022 PROJECT No. 2024-014-03

SHEET 1 OF 3

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LANDSCAPE:

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STRUCTURAL

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MEP:

Salas O'Brien 10903 W. Sam Houston Parkway N. Houston, TX 77064 Phone (281) 664-1900

GC Magnolia, L.P. 788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024

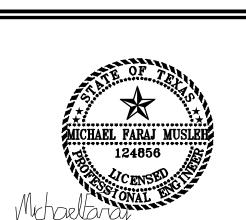
OWNER'S

David Green

REPRESENTATIVE: 788 W. Sam Houston Parkway N Suite 206 Houston, TX 77024

Email: david.green@gulfcoastcg.co

Phone (713) 412-5873



NO.	DATE	REVISION ISSUE
	05.18.23	ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

DRAWN:	СМ	CHECKED:	MFM

REFERENCE NUMBER

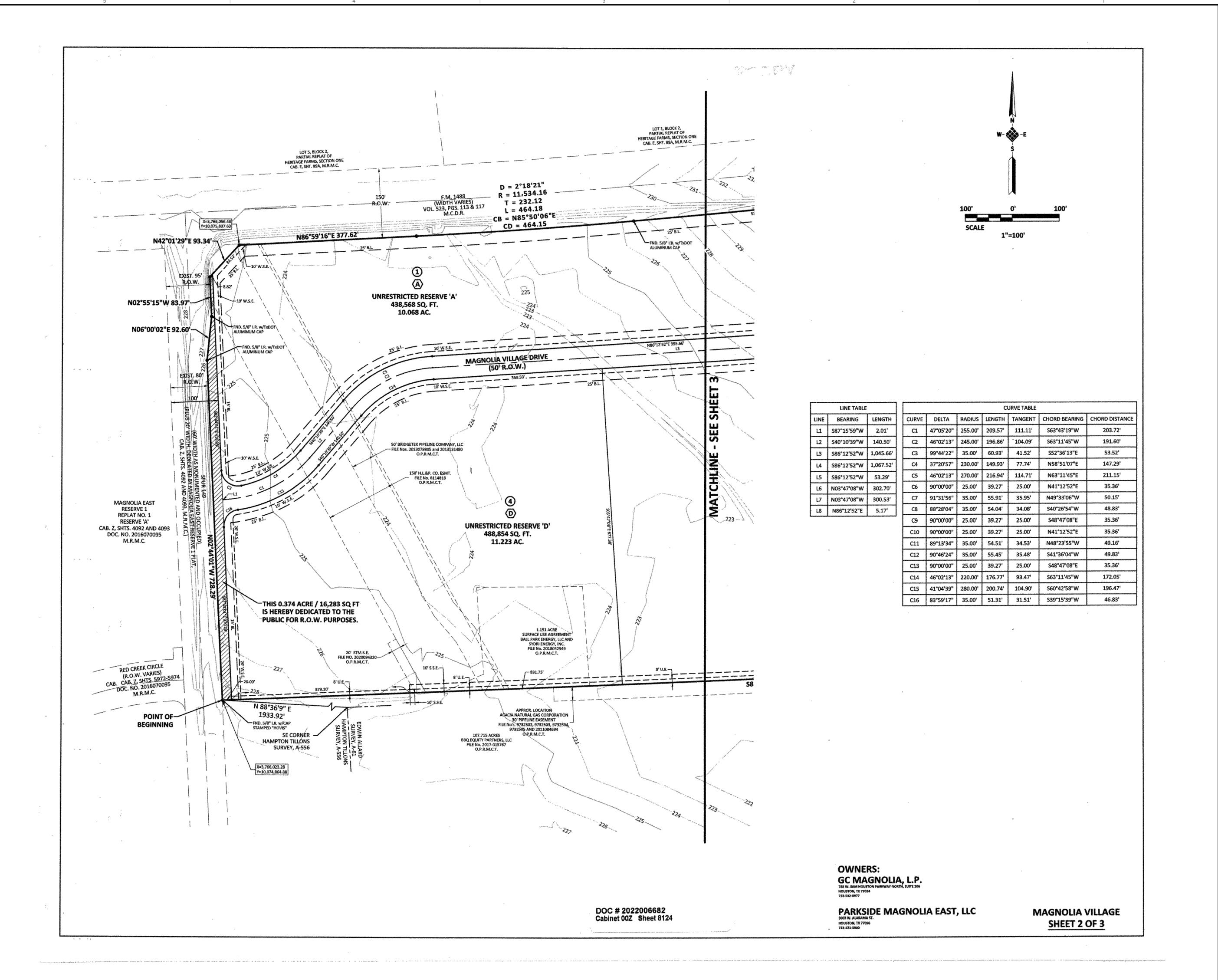
PLAT 1 OF 3 (RECORDED)

DRAWING NUMBER:

C03 OF 20

Cabinet 00Z Sheet 8123

DOC # 2022006682



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Michael Faraj

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GC Magnolia, L.P. 788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024

OWNER'S

REPRESENTATIVE:
Gulf Coast Commercial Group

788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024 Phone (713) 412-5873 Email: david.green@gulfcoastcg.con David Green



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		05.18.23	ISSUE FOR PERMIT
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SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

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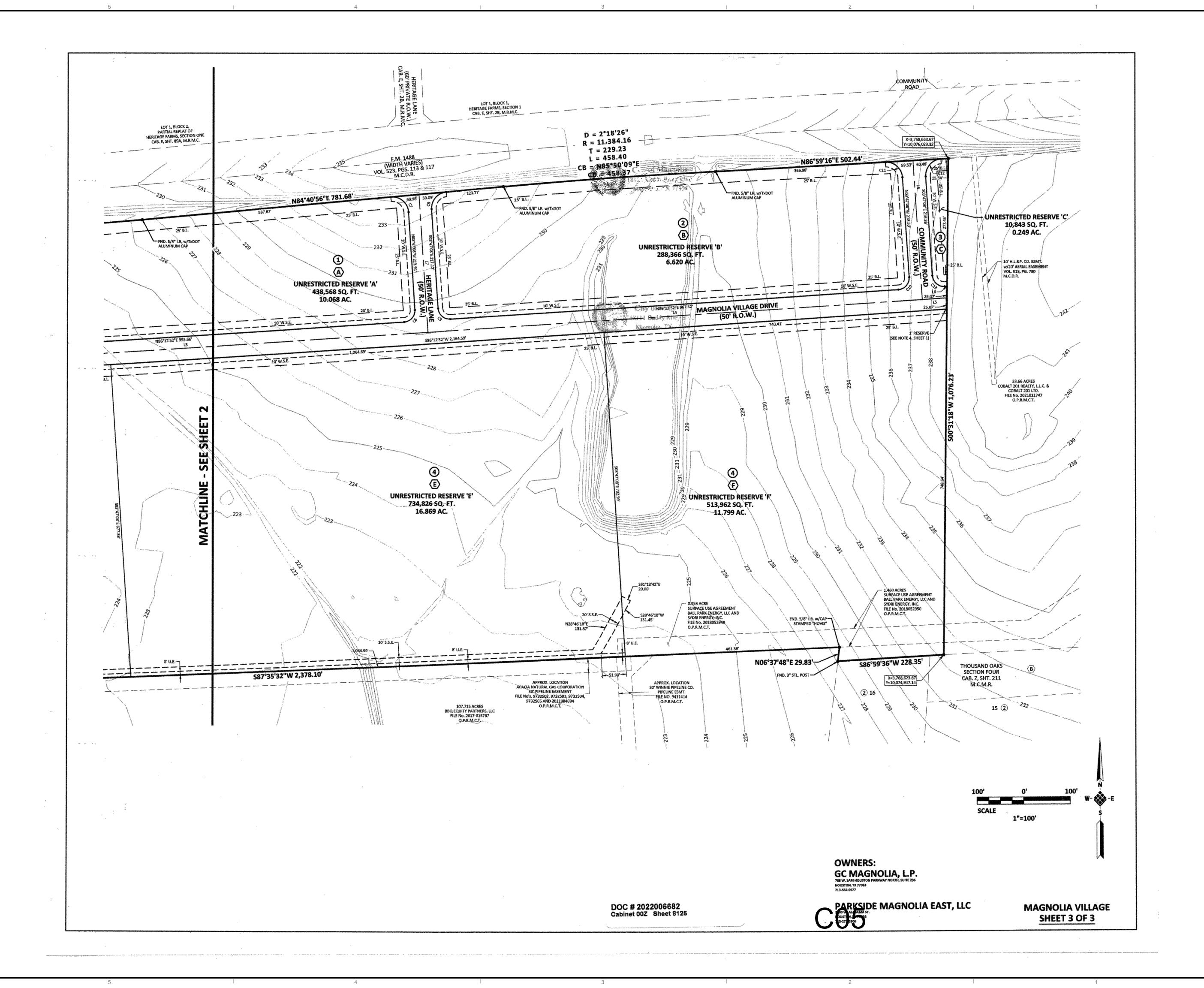
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TITLE:

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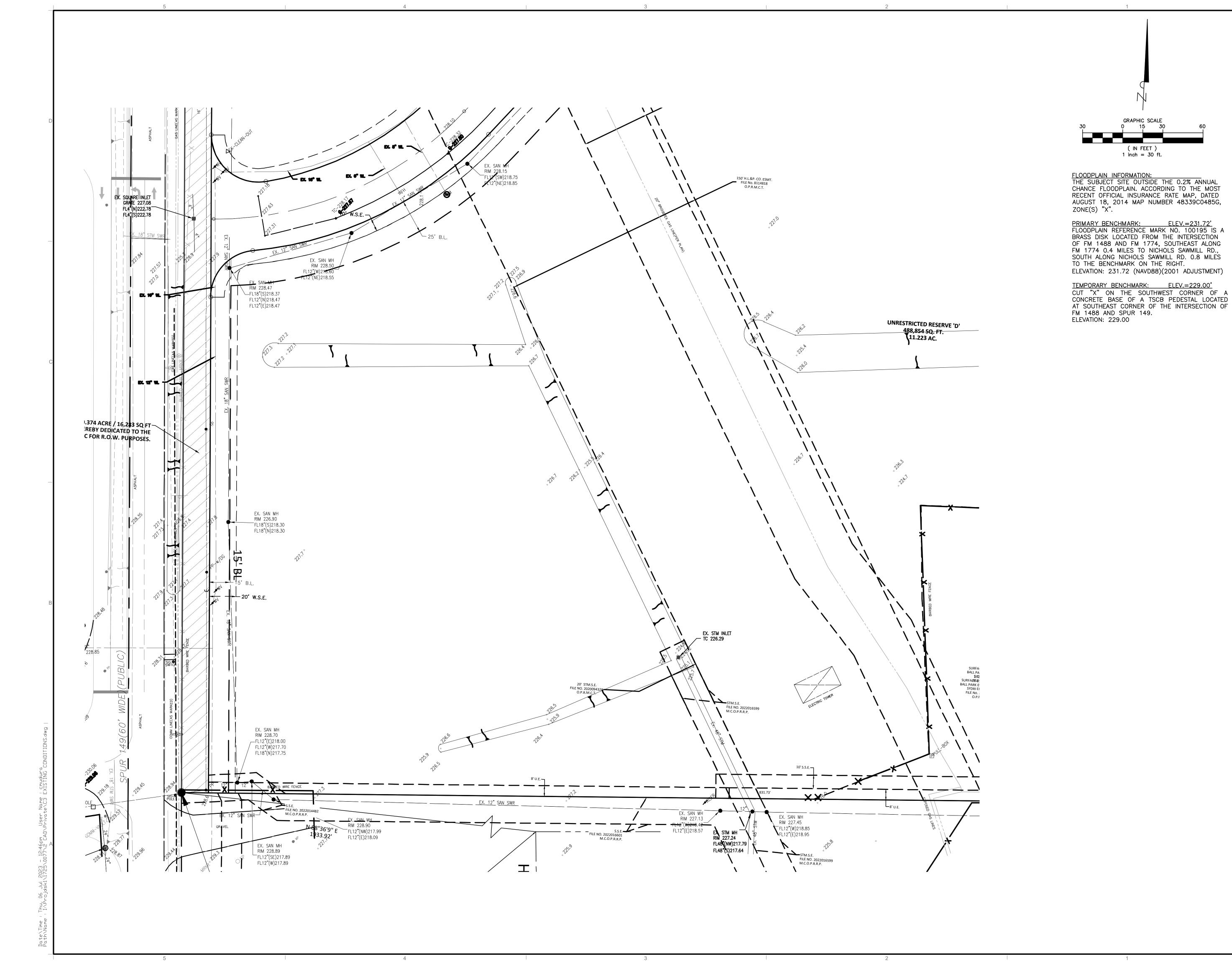
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LANDSCAPE:

(IN FEET) 1 inch = 30 ft.

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JUL 06 2023

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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

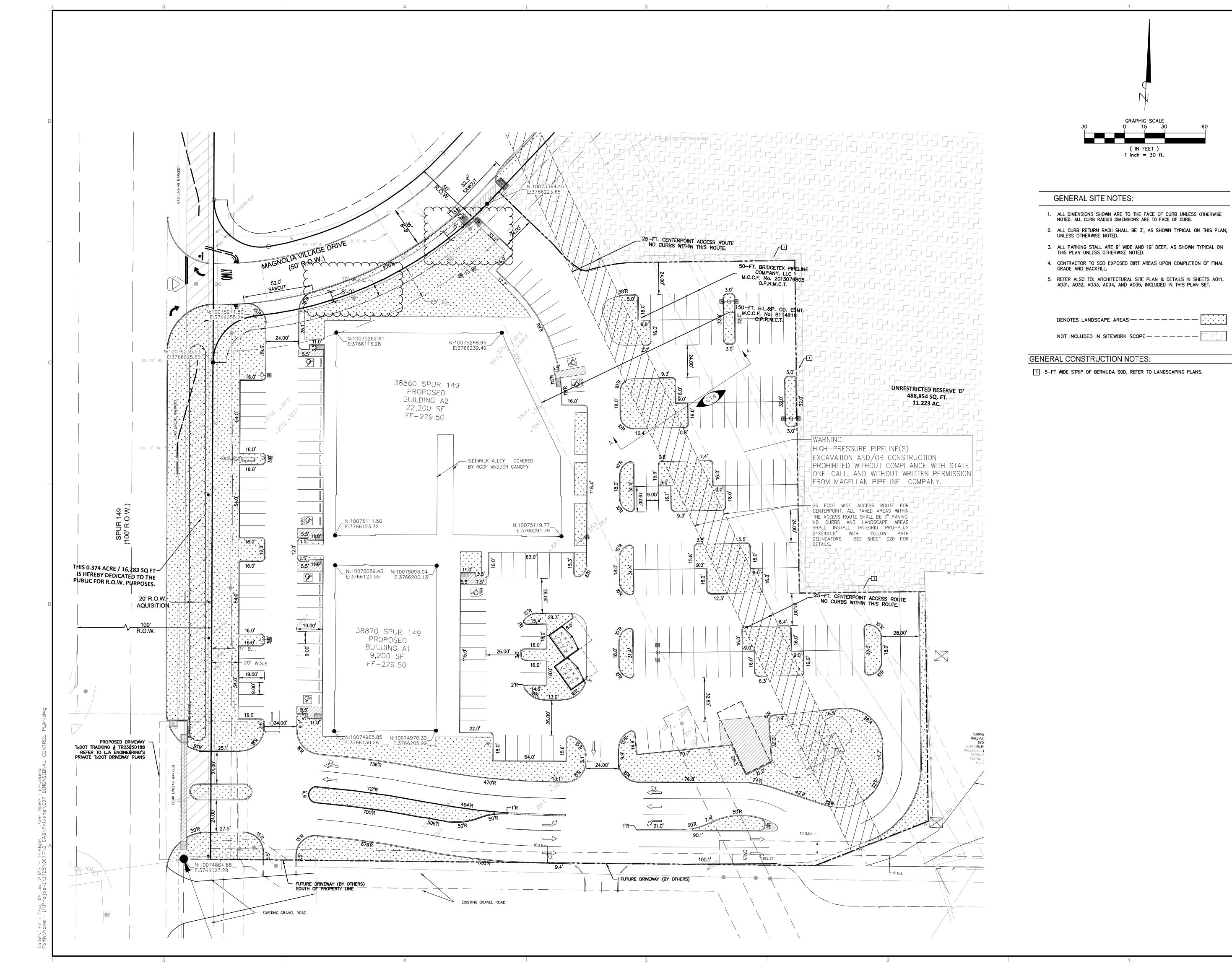
CHECKED: MFM

TITLE:

EXISTING CONDITIONS

DRAWING NUMBER:

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PROJE	PROJECT NAME AND ADDRESS:		

MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

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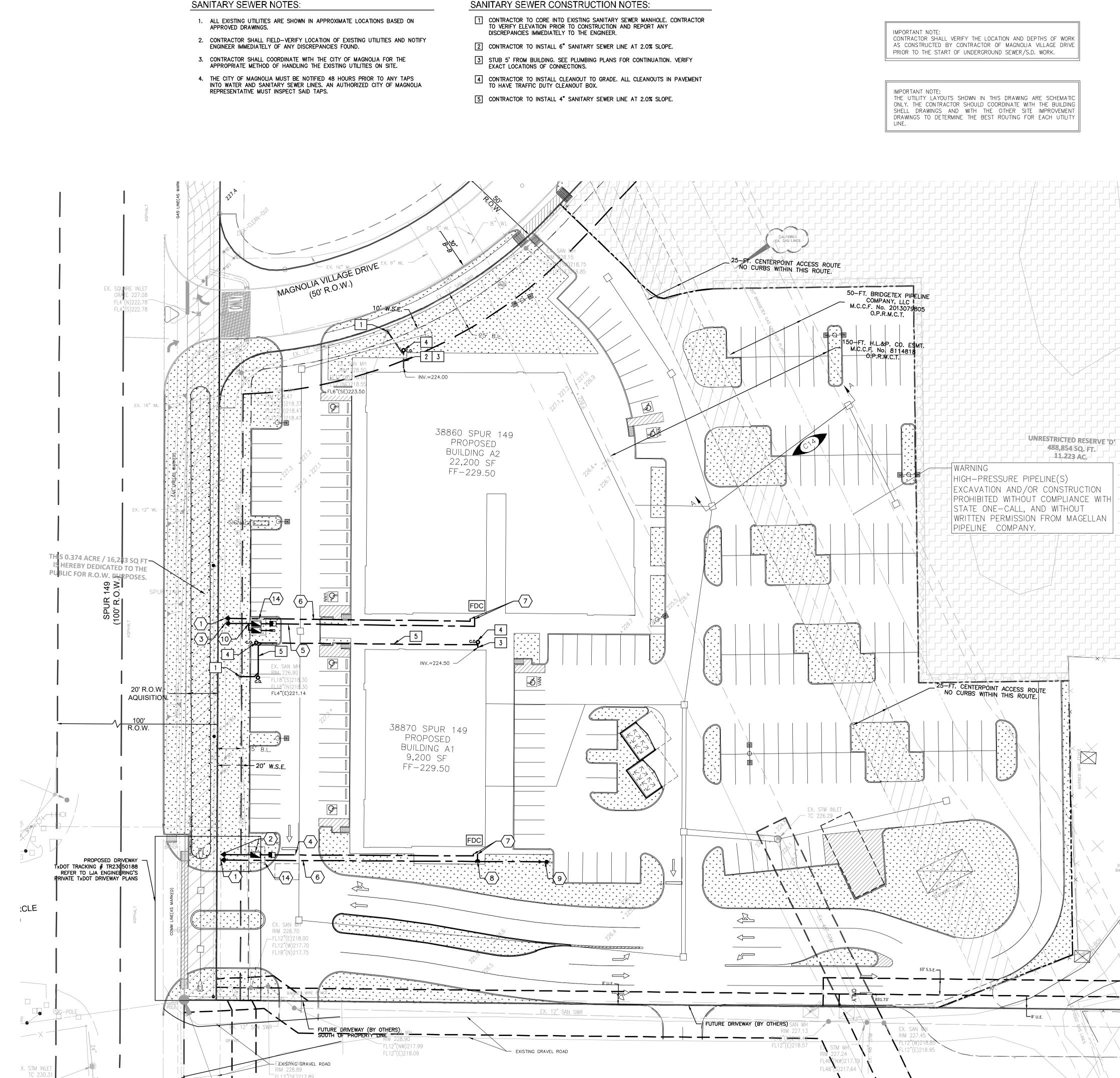
REFERENCE NUMBER:

TITLE:

DIMENSIONAL **CONTROL PLAN**

DRAWING NUMBER:

C07 OF 20

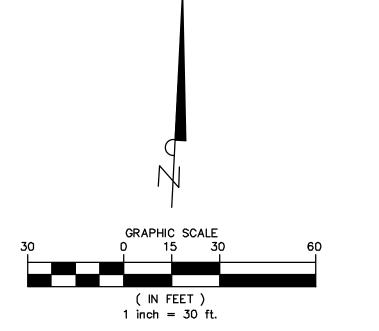


FL12"(W)217.89

.24"(S)225.30

CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF WORK AS CONSTRUCTED BY CONTRACTOR OF MAGNOLIA VILLAGE DRIVE PRIOR TO THE START OF UNDERGROUND SEWER/S.D. WORK.

THE UTILITY LAYOUTS SHOWN IN THIS DRAWING ARE SCHEMATIC



LEGEND

		₩ .~
EXISTING GUTTER ELEVATION		- +c.
EXISTING TOP OF CURB ELEVATION		- tol.
EXISTING CONCRETE — — — — —		<u> </u>
EXISTING C INLET		
EXISTING POWER POLE — — — —		_ '
EXISTING FIRE HYDRANT — — — —		_ 📥
EXISTING ELECTRIC BOX		- E
EXISTING TELEPHONE ENCLOSURE— —		— I
EXISTING TELEPHONE CABLE MARKER-		-
EXISTING AREA LIGHT		- ★
EXISTING GAS LINE — — — — —		— — GAS —
EXISTING ELECTRICAL UNDERGROUND	CONDUIT — — — — — — —	URE
EXISTING OVERHEAD ELECTRIC LINE-		ar
EXISTING UNDERGROUND TELEPHONE (CABLE — — — — — — — — —	usr
EXISITING WROUGHT IRON FENCE — -		
EXISTING SANITARY SEWER LINE & MA	ANHOLE — — — — — — — — —	
EXISTING WATER LINE, G.V.&B. WITH F	FLUSHING VALVE— — — — — —	— <u> </u>
	NHOLE & INLETS	
FIRE DEPARTMENT CONNECTION (FDC)	BY OTHERS.— — — — — —	- 0
· ·	′ OTHERS.— — — — — — — —	_
PROPOSED WATER METER — — —		_ 🗷
GATE VALVE — — — — — —		— G.V.
PRIVATE WATER LINE		- PVT WL
PUBLIC WATER LINE		— PUB WL
WATER LINES 4" AND LARGER SHALL 3" AND SMALLER WATER LINES SHALL	BE PVC PER AWWA C900,_ — — —	
PROPOSED WATER LINE, G.V.&B. WITH	FLUSHING VALVE	
PROPOSED BORE		-
RESTRAINED JOINT — — — —		_ 🔪
ONE JT. C900 PVC. CENTERED EACH	WAY	
		- FDC

GENERAL NOTES:

11.223 AC.

- ALL EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS BASED ON APPROVED DRAWINGS.
- 2. CONTRACTOR SHALL FIELD-VERIFY LOCATIONS OF EXISTING STORM, SANITARY AND WATER FACILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES
- 3. THE CITY OF MAGNOLIA MUST BE NOTIFIED 48 HOURS PRIOR TO ANY TAPS INTO WATER AND SANITARY SEWER LINES. AN AUTHORIZED CITY REPRESENTATIVE MUST
- OWNER TO OBTAIN ALL PERMITS REQUIRED BY THE CITY OF MAGNOLIA, MONTGOMERY COUNTY PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CULVERTS WITHIN THE CITY OF MAGNOLIA, MONTGOMERY COUNTY, RIGHT OF WAY.
- 5. SANITARY SEWER LINES CROSSING WATER LINES ARE TO BE CASED (C-900 OR
- DUCTILE IRON) TO CITY SPECIFICATIONS. 6. CONTRACTOR TO MAINTAIN A MINIMUM OF 9' HORIZONTAL SEPARATION BETWEEN
- 7. ALL WATER AND SANITARY SEWER LINES IN PAVED AREAS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND. SEE NOTES ON SHEET CO2.

WATER LINE CONSTRUCTION NOTES:

WATER AND SANITARY SEWER PER TCEQ STANDARDS.

- (1) CONTRACTOR SHALL CONNECT TO EXISTING 12" WATERLINE WITH 12 X 6 TS&V.
- (2) CONTRACTOR TO CONNECT TO 12" LINE WITH TS&V AND INSTALL 2" DOMESTIC METER AND METER BOX AND ABOVE-GROUND BACKFLOW PREVENTER. METERS TO BE PURCHASED FROM THE CITY BY THE OWNER AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTER TO BE ENCLOSED IN GORILLA CAGE.
- CONTRACTOR TO CONNECT TO 12" LINE WITH TS&V AND INSTALL 3" DOMESTIC METER AND METER BOX AND ABOVE—GROUND BACKFLOW PREVENTER. METERS TO BE PURCHASED FROM THE CITY BY THE OWNER AND INSTALLED BY THE CONTRACTOR. BACKFLOW PREVENTER TO BE ENCLOSED IN GORILLA CAGE.
- 4 INSTALL 2" WATER LINE.
- 5 INSTALL 3" WATER LINE
- (6) INSTALL 6" FIRE LINE.
- 7 PROVIDE STUB 5' TO THE BUILDING. SEE MEP PLANS FOR CONTINUATION.
- 8 PROVIDE 6" X 6" TEE.
- 9 PROPOSED FIRE HYDRANT ASSEMBLY. SEE DETAIL SHEET C15.
- CONTRACTOR TO CONNECT TO 2" DOMESTIC WATER LINE AND INSTALL APPROVED 2" IRRIGATION METER & METER BOX. METERS TO BE PURCHASED FROM THE CITY BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
- (11) INSTALL STANDARD IRRIGATION BFP WITH SECURITY CAGE.
- (12) SEE LANDSCAPE ARCHITECT PLANS FOR CONTINUATION OF IRRIGATION LINE.
- 13) FIRE LINE BACKFLOW PREVENTER LOCATED INSIDE BUILDING. SEE MEP PLANS FOR
- PROPOSED 10'X10' WATER METER EASEMENT

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Michael Faraj

LANDSCAPE:

Brett Gehring

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STRUCTURAL:

3200 Wilcrest Drive, Suite 305 Houston, TX 77042 Phone (713) 780-3345 Fax (713) 780-3712 Britt G. Gardner

Salas O'Brien

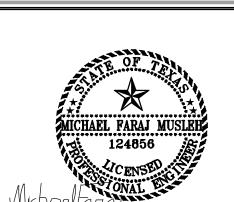
10903 W. Sam Houston Parkway N. Suite 900 Houston, TX 77064 Phone (281) 664-1900 Israel Moreno

GC Magnolia, L.P. 788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024

OWNER'S **REPRESENTATIVE:**

David Green

788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024 Phone (713) 412-5873 Email: david.green@gulfcoastcg.com



JUL 06 2023

NO.	DATE	REVISION ISSUE
	05.18.23	ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS:

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

MAGNOLIA VILLAGE RETAIL CENTER

RAWN:	CM	CHECKED:	MFM

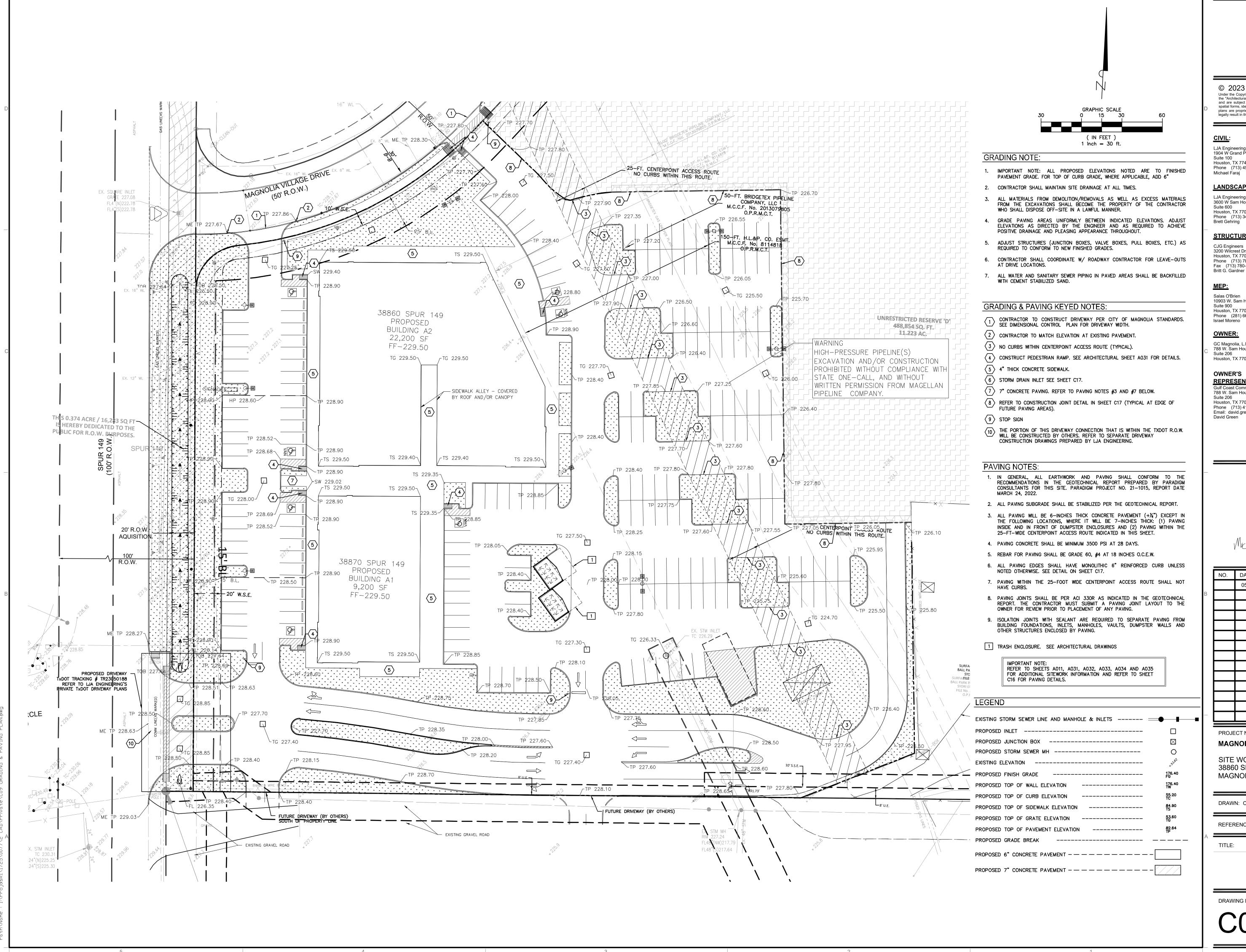
TITLE:

REFERENCE NUMBER:

UTILITY PLAN

DRAWING NUMBER:

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MAGNOLIA VILLAGE RETAIL CENTER

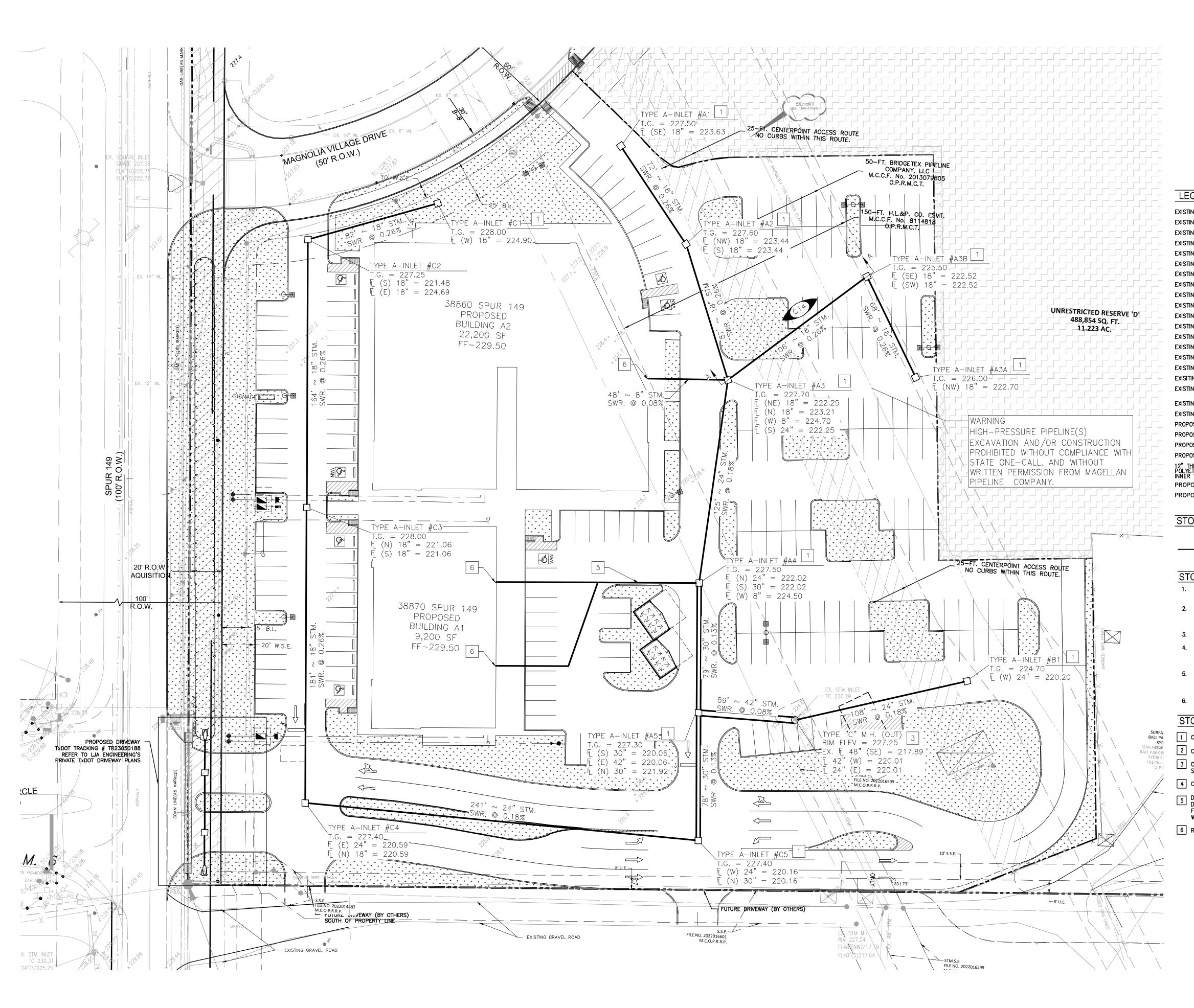
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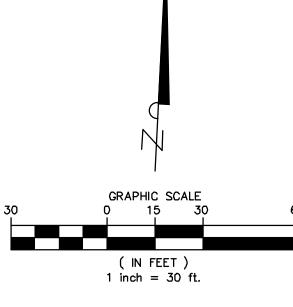
TITLE:

GRADING & PAVING PLAN

DRAWING NUMBER:

C09 OF 20





LEGEND EXISTING ELEVATION POINTS-----EXISTING GUTTER ELEVATION— — — — — — — — — — — — — — EXISTING TOP OF CURB ELEVATION— — — — — — — — — — — — — EXISTING POWER POLE — — — — — — — — — — — — — — — — EXISTING FIRE HYDRANT— — — — — — — — — — — — — — — EXISTING WATER VALVE————————————— EXISTING ELECTRIC BOX — — — — — — — — — — — [EXISTING TELEPHONE ENCLOSURE— — — — — — — — — — — — EXISTING TELEPHONE CABLE MARKER — — — — — — — — — — — EXISTING GAS LINE — — — — — — — — — — — — GAS — EXISTING WATER LINE, G.V.&B. WITH FLUSHING VALVE— — — — — — — $= 1^{\frac{\sigma}{2}}$ 1 PROPOSED JUNCTION BOX — — — — — — — — — — — — — — — PROPOSED STORM SEWER MH———————— O 2" THROUGH 48" STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE PIPE WITH OUTER CORRUGATED WALL AND SMOOTH _ _ _ _ _ _ _ NNER WALL PER AASHTO M294, UNLESS OTHERWISE NOTED. PROPOSED TOP OF GRATE - - - - - - - - - - - - TG 176.40 PROPOSED TOP OF PIPE — — — — — — — — — TOP 176.55 STORM SEWER LEGEND

12" THROUGH 48" STORM SEWERS SHALL BE HIGH DENSITY
- POLYETHYLENE PIPE WITH OUTER CORRUGATED WALL AND SMOOTH INNER WALL PER AASHTO M294.

STORM SEWER NOTES:

- 1. ALL EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY BASED ON SURVEY RECEIVED FROM IDS ENGINEERING GROUP.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING STORM, SANITARY AND WATER FACILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES
- 3. ALL PRIVATE STORM PIPING MATERIAL SHALL BE H.D.P.E. PIPE
- 4. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF MAGNOLIA,
 MONTGOMERY COUNTY, TXDOT, FOR FLOOD PLAIN MANAGEMENT PRIOR TO STARTING
- 5. OWNER TO OBTAIN ALL PERMITS REQUIRED BY CITY OF MAGNOLIA AND MONTGOMERY COUNTY, AND TXDOT PRIOR TO STARTING CONSTRUCTION OF UTILITY
- AND/OR CULVERTS WITHIN CITY ROAD OR TXDOT RIGHT OF WAY.
- 6. ALL STORM SEWER LINES IN PAVED AREAS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND. SEE NOTES IN SHEET CO2.

STORM SEWER CONSTRUCTION NOTES:

- 1 CONTRACTOR TO CONSTRUCT TYPE "A" INLET
- 2 CONTRACTOR TO CONSTRUCT TYPE "B" INLET
- 3 CONTRACTOR TO CONNECT TO EXISTING STORM SEWER MANHOLE PER CITY STANDARDS.
- 4 CONTRACTOR TO CONSTRUCT JUNCTION BOX.
- DOWNSPOUT COLLECTOR 8" PIPING. SEE BUILDING PLANS FOR ACTUAL DOWNSPOUT LOCATIONS. ALL DOWNSPOUT COLLECTOR PIPING WITHIN 15 FEET FROM THE BUILDING WALL MUST APPROACH THE WALL AT A RIGHT ANGLE TO THE
- 6 ROOF DRAIN. REFER TO PLUMBING PLANS.

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CIVIL:

LANDSCAPE:

Brett Gehring

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Michael Faraj

LJA Engineering 3600 W Sam Houston Parkway S Suite 600 Houston, TX 77042 Phone (713) 341 8091

STRUCTURAL:

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MEP:

Salas O'Brien 10903 W. Sam Houston Parkway N. Suite 900 Houston, TX 77064 Phone (281) 664-1900

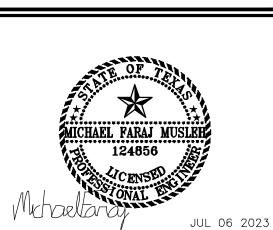
Israel Moreno

GC Magnolia, L.P. 788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024

OWNER'S

David Green

REPRESENTATIVE:
Gulf Coast Commercial Group 788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024 Phone (713) 412-5873 Email: david.green@gulfcoastcg.co



NO.	DATE	REVISION ISSUE
	05.18.23	ISSUE FOR PERMIT

MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED: MFM DRAWN: CM

REFERENCE NUMBER:

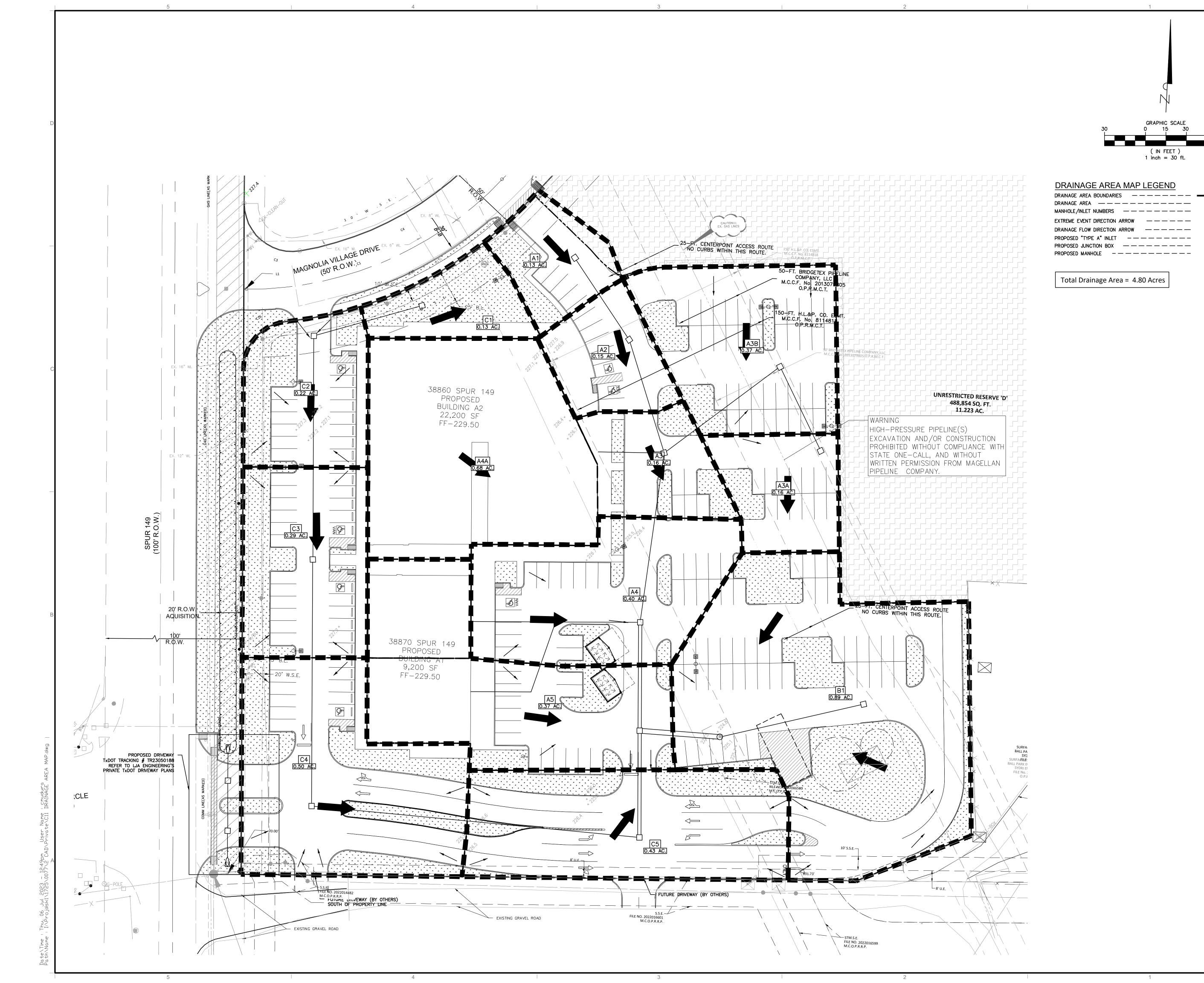
PROJECT NAME AND ADDRESS:

TITLE:

STORM SEWER PLAN

DRAWING NUMBER:

C10 OF 20



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(IN FEET) 1 inch = 30 ft.

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Phone (713) 341 8091 Brett Gehring

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788 W. Sam Houston Parkway N.

Suite 206 Houston, TX 77024 Phone (713) 412-5873
Email: david.green@gulfcoastcg.com David Green



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	05.18.23	ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED: MFM

REFERENCE NUMBER:

DRAINAGE AREA MAP

DRAWING NUMBER:

C11 OF 20

PROJECT:

Magnolia Pad A

JOB NO.: DATE:

1725-0077 7/5/2023 MJF

5 YR
70
7.7
0.749

5-YR FREG	UENCY
-----------	-------

Line	MANHO	LES/	Area	Total	C	tc	l (5 yr)	Q (5 yr)	Add. Q	Total Q	Reach	Pipe	LINE	Slope	n	Design	Design	Slope	Friction	Flo	wline	Actual	H.G.L.	Υ	Hydr	.Grad.	TC/NG	TC - H.G.	Maximum	Cover
	INLE	S		Area	Factor							size				Q	V	Fall	Loss	upstrm.	dnstrm.	V	Slope		upstrm.	dnstrm.			Ponding	Upstrear
	from	to	ac.	ac.		min.		c.f.s.	c.f.s.	c.f.s.	ft.	in.		%		c.f.s.	f.p.s.	ft.	ft.	elev.	elev.	f.p.s.	%	ft	elev.	elev.	elev.	ft.	elev.	Ft.
Stm Sys								_																						
	A1	A2	0.13	0.13	0.80	10.00	8.14	0.85	0.00	0.85	72	18	HDPE	0.26%	0.011	6.33	3.6	0.187	0.003	223.63	223.44	0.5	0.005	1.5	225.13	224.94	227.50	2.37	228.50	2.37
	A2	A3	0.15	0.28	0.80	10.40	8.00	1.79	0.00	1.79	87	18	HDPE	0.26%	0.011	6.33	3.6	0.226	0.018	223.44	223.22	1.0	0.021	1.5	224.94	224.77	227.60	2.66	228.60	2.66
Α	A3A	A3B	0.16	0.16	0.80	10.88	7.84	1.00	0.00	1.00	68	18	HDPE	0.26%	0.011	6.33	3.6	0.177	0.004	222.70	222.52	0.6	0.007	1.5	224.77	224.77	226.00	1.23	227.00	1.80
	A3B	A3	0.37	0.53	0.80	11.26	7.73	3.28	0.00	3.28	106	18	HDPE	0.26%	0.011	6.33	3.6	0.276	0.073	222.52	222.25	1.9	0.069	1.5	224.77	224.69	225.50	0.73	226.50	1.48
	A3	A4	0.84	1.65	0.80	11.85	7.55	9.97	0.00	9.97	125	24	HDPE	0.18%	0.011	11.34	3.6	0.225	0.173	222.25	222.02	3.2	0.138	2	224.69	224.52	227.70	3.01	228.70	3.45
	A4	A5	0.40	2.05	0.80	11.85	7.55	12.38	0.00	12.38	79	30	HDPE	0.13%	0.011	17.48	3.6	0.103	0.051	222.02	221.92	2.5	0.065	2.5	224.52	224.42	227.50	2.98	228.50	2.98
	A5	OUTFALL	0.37	3.99	0.80	12.54	7.36	23.48	0.00	23.48	59	42	HDPE	0.08%	0.011	33.63	3.5	0.047	0.023	220.06	220.01	2.4	0.039	3.5	223.56	223.51	227.30	3.74	228.30	3.74
			.		L	I I		1						I			<u> </u>				l	·	L		•	l			l	
В	B1	OUTFALL	0.89	0.89	0.80	10.00	8.14	5.79	0.00	5.79	108	24	HDPE	0.18%	0.011	11.34	3.6	0.194	0.050	220.20	220.01	1.8	0.046	2	224.82	224.77	224.70	-0.12	225.70	2.50
<u> </u>					L	I I		1											_			I			•		_		l	
	C1	C2	0.13	0.13	0.80	10.00	8.14	0.85	0.00	0.85	82	18	HDPE	0.26%	0.011	6.33	3.6	0.213	0.004	224.90	224.69	0.5	0.005	1.5	226.40	226.19	228.00	1.60	229.00	1.60
С	C2	C3	0.22	0.35	0.80	10.46	7.98	2.23	0.00	2.23	164	18	HDPE	0.26%	0.011	6.33	3.6	0.426	0.052	221.48	221.05	1.3	0.032	1.5	223.54	223.48	227.25	3.71	228.25	4.27
	C3	C4	0.29	0.64	0.80	11.37	7.69	3.94	0.00	3.94	181	18	HDPE	0.26%	0.011	6.33	3.6	0.471	0.181	221.05	220.58	2.2	0.100	1.5	223.48	223.30	228.00	4.52	229.00	5.45
	C4	C5	0.50	1.14	0.80	12.37	7.40	6.75	0.00	6.75	241	24	HDPE	0.18%	0.011	11.34	3.6	0.434	0.153	220.58	220.15	2.2	0.063	2	223.30	223.15	227.40	4.10	228.40	4.82
	C5	A5	0.43	1.57	0.80	13.71	7.05	8.86	0.00	8.86	78	36	HDPF	0.10%	0.011	24.93	3.5	0.078	0.010	220.15	220.07	1.3	0.012	3	223.15	223.07	227.40	4.25	228.40	4.25

PROJECT:

Magnolia Pad A 1725-0077

JOB NO.: DATE:

7/5/2023 MJF

Total Acreage: 4.88

Total Acreage: 4.88

MoCo 100 YR ** No 100 YR Intensity in COM

b=	145.71
d=	15.69
e=	0.7898

100-YR FREQUENCY

Line	MAI	NHOLES/	Area	Total	С	tc	l (5 yr)	Q (5 yr)	Add. Q	Total Q	Reach	Pipe	LINE	Slope	n	Design	Design	Slope	Friction	Flov	wline	Actual	H.G.L.	Υ	Hydr.	Grad.	TC/NG	TC - H.G.	Maximum	Cover
	II	NLETS		Area	Factor							size				Q	V	Fall	Loss	upstrm.	dnstrm.	V	Slope		upstrm.	dnstrm.			Ponding	Upstream
	from	n to	ac.	ac.		min.		c.f.s.	c.f.s.	c.f.s.	ft.	in.		%		c.f.s.	f.p.s.	ft.	ft.	elev.	elev.	f.p.s.	%	ft	elev.	elev.	elev.	ft.	elev.	Ft.
Stm Sys																														
	A1	A2	0.13	0.13	0.80	10.00	11.22	1.17	0.00	1.17	72	18	HDPE	0.26%	0.011	6.33	3.6	0.187	0.006	223.63	223.44	0.7	0.009	1.5	225.13	225.05	227.50	2.37	228.50	2.37
	A2	A3	0.15	0.28	0.80	10.40	11.09	2.48	0.00	2.48	87	18	HDPE	0.26%	0.011	6.33	3.6	0.226	0.035	223.44	223.22	1.4	0.040	1.5	225.05	225.01	227.60	2.55	228.60	2.66
Α	A3A	A3B	0.16	0.16	0.80	10.88	10.93	1.40	0.00	1.40	68	18	HDPE	0.26%	0.011	6.33	3.6	0.177	0.009	222.70	222.52	0.8	0.013	1.5	225.01	225.01	226.00	0.99	227.00	1.80
	A3B	A3	0.37	0.53	0.80	11.26	10.80	4.58	0.00	4.58	106	18	HDPE	0.26%	0.011	6.33	3.6	0.276	0.143	222.52	222.25	2.6	0.135	1.5	225.01	224.86	225.50	0.49	226.50	1.48
	A3	A4	0.84	1.65	0.80	11.85	10.62	14.02	0.00	14.02	125	24	HDPE	0.18%	0.011	11.34	3.6	0.225	0.341	222.25	222.02	4.5	0.273	2	224.86	224.52	227.70	2.84	228.70	3.45
	A4	A5	0.40	2.05	0.80	11.85	10.62	17.42	0.00	17.42	79	30	HDPE	0.13%	0.011	17.48	3.6	0.103	0.102	222.02	221.92	3.6	0.129	2.5	224.52	224.42	227.50	2.98	228.50	2.98
	A5	OUTFALL	0.37	3.99	0.80	12.54	10.42	33.25	0.00	33.25	59	42	HDPE	0.08%	0.011	33.63	3.5	0.047	0.046	220.06	220.01	3.5	0.078	3.5	223.56	223.51	227.30	3.74	228.30	3.74
			T				T		T		1		T		T	T		T	T			T	T		T	T	T 1			
В	B1	OUTFALL	0.89	0.89	0.80	10.00	11.22	7.99	0.00	7.99	108	24	HDPE	0.18%	0.011	11.34	3.6	0.194	0.096	220.20	220.01	2.5	0.089	2	225.10	225.01	224.70	-0.40	225.70	2.50
						40.00	1 44 00																1		T 000 10	1 000 40	1 000 00 1	4.00		
	C1	C2	0.13	0.13	0.80	10.00	11.22	1.17	0.00	1.17	82	18	HDPE	0.26%	0.011	6.33	3.6	0.213	0.007	224.90	224.69	0.7	0.009	1.5	226.40	226.19		1.60	229.00	1.60
С	C2	C3	0.22	0.35	0.80	10.46	11.07	3.10	0.00	3.10	164	18	HDPE	0.26%	0.011	6.33	3.6	0.426	0.101	221.48	221.05	1.8	0.062	1.5	223.91	223.81	227.25	3.34	228.25	4.27
	C3	C4	0.29	0.64	0.80	11.37	10.77	5.52	0.00	5.52	181	18	HDPE	0.26%	0.011	6.33	3.6	0.471	0.355	221.05	220.58	3.1	0.196	1.5	223.81	223.46		4.19	229.00	5.45
	C4	C5	0.50	1.14	0.80	12.37	10.47	9.54	0.00	9.54	241	24	HDPE	0.18%	0.011	11.34	3.6	0.434	0.306	220.58	220.15	3.0	0.127	2	223.46	223.15	227.40	3.94	228.40	4.82
	C5	A5	0.43	1.57	0.80	13.71	10.09	12.67	0.00	12.67	78	36	HDPE	0.10%	0.011	24.93	3.5	0.078	0.020	220.15	220.07	1.8	0.026	3	223.15	223.07	227.40	4.25	228.40	4.25

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Michael Faraj[´] LANDSCAPE:

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		05.18.23	ISSUE FOR PERMIT
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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

REFERENCE NUMBER:	18050-04

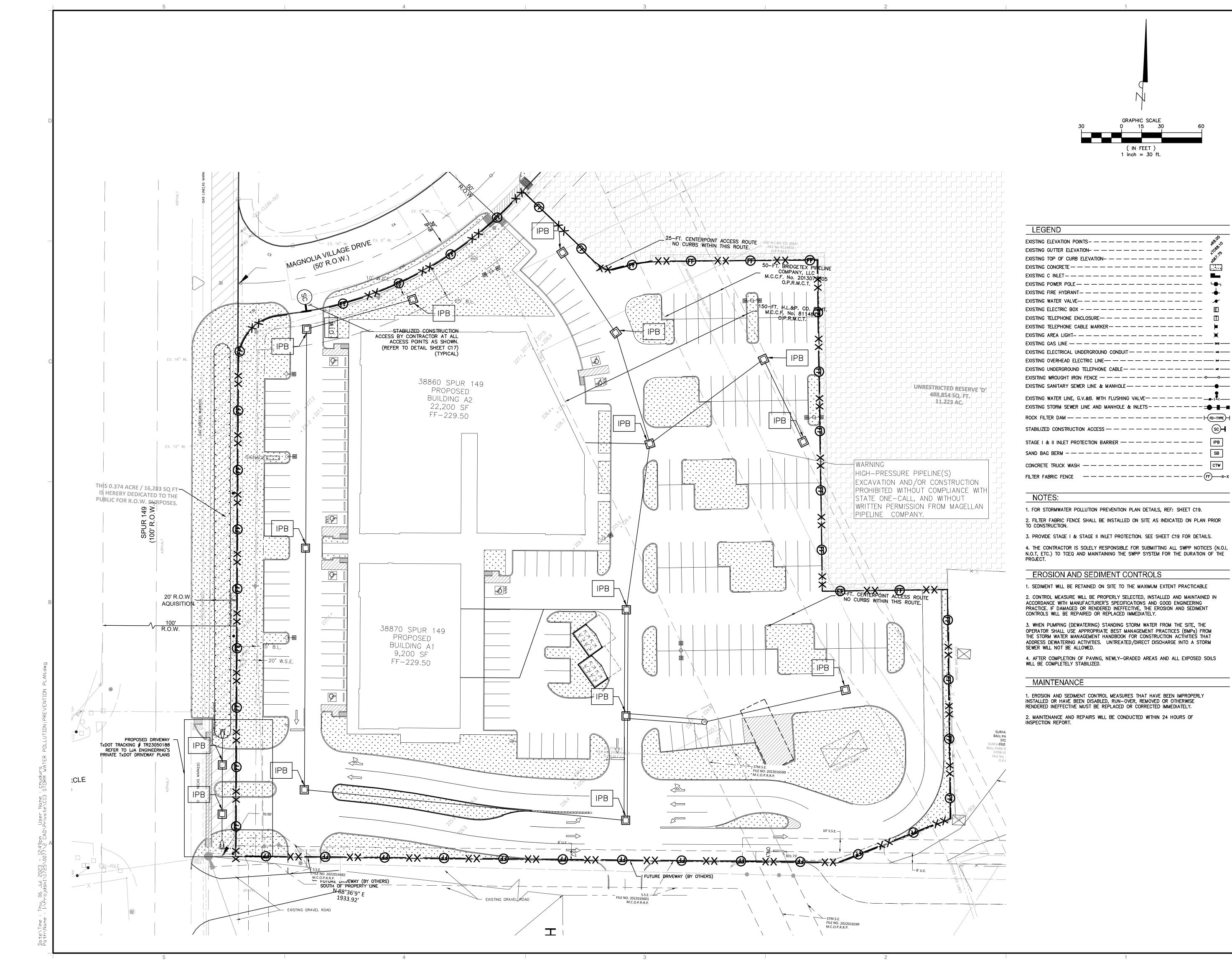
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DRAWN: CM

STORM SEWER CALCULATIONS

DRAWING NUMBER:

C12 OF 20



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LANDSCAPE:

Brett Gehring

(IN FEET) 1 inch = 30 ft.

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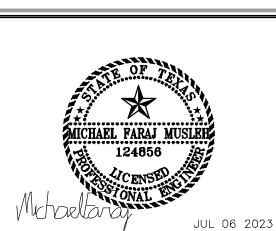
Houston, TX 77064

GC Magnolia, L.P. 788 W. Sam Houston Parkway N. Suite 206

Houston, TX 77024 OWNER'S

REPRESENTATIVE: Gulf Coast Commercial Group 788 W. Sam Houston Parkway N.

Suite 206 Houston, TX 77024 Phone (713) 412-5873 Email: david.green@gulfcoastcg.co David Green



NO.	DATE	REVISION ISSUE
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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED: MFM

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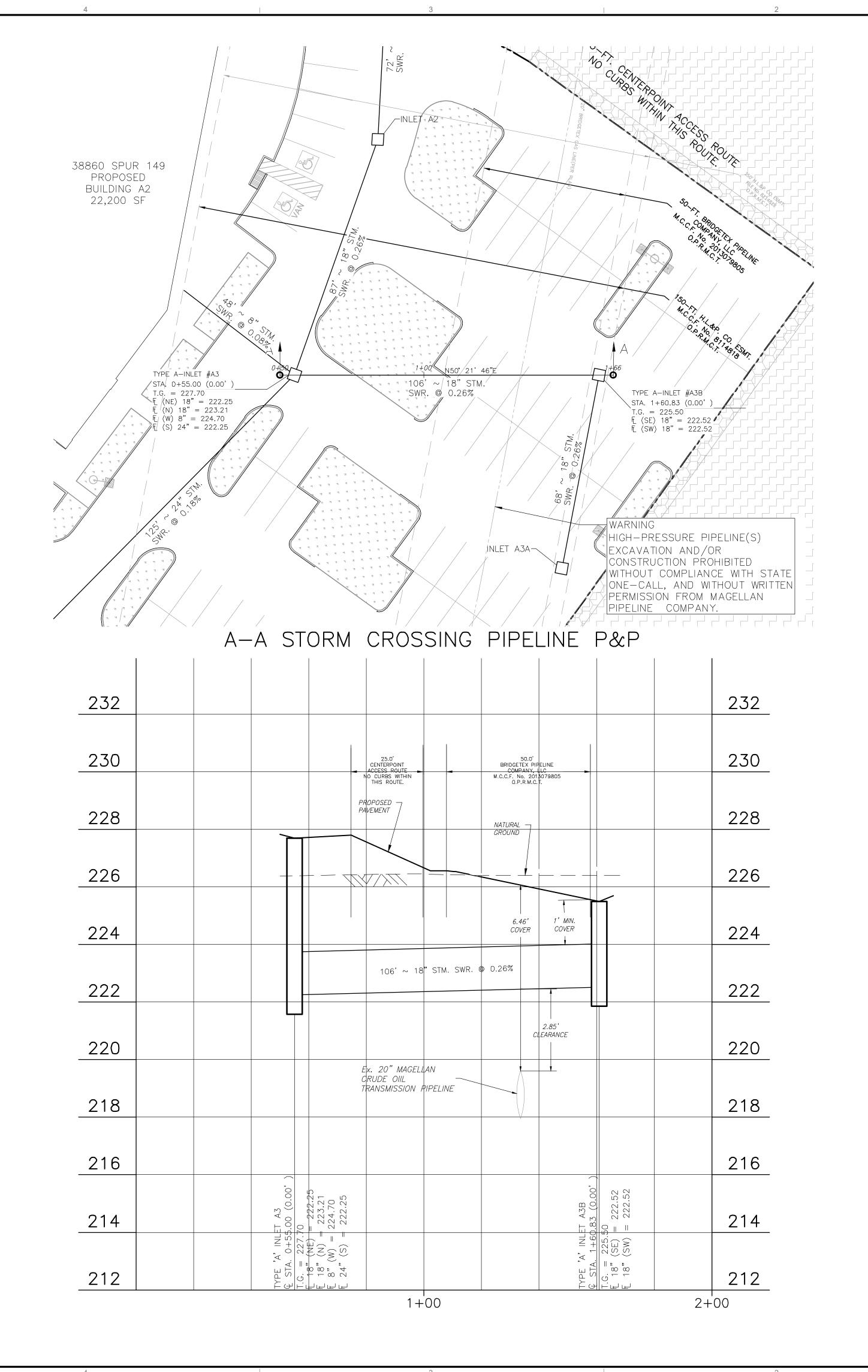
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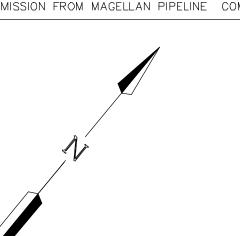
STORM WATER POLLUTION PREVENTION PLAN

DRAWING NUMBER:

C13 OF 20



WARNING HIGH-PRESSURE PIPELINE(S) EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY.



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Email: david.green@gulfcoastcg.com

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NO.	DATE	REVISION ISSUE
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PROJE	CT NAME AND	ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED: MFM

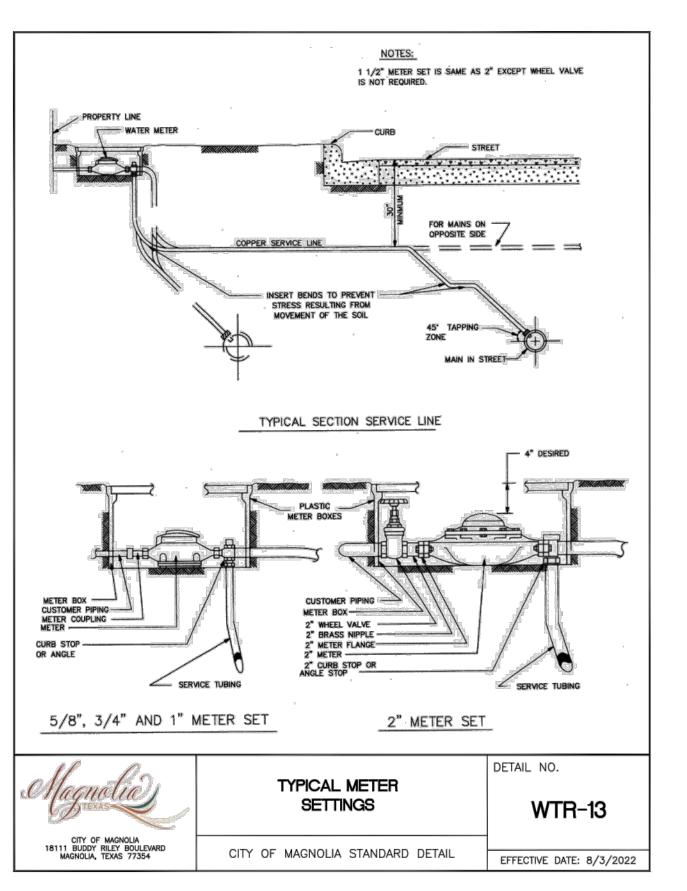
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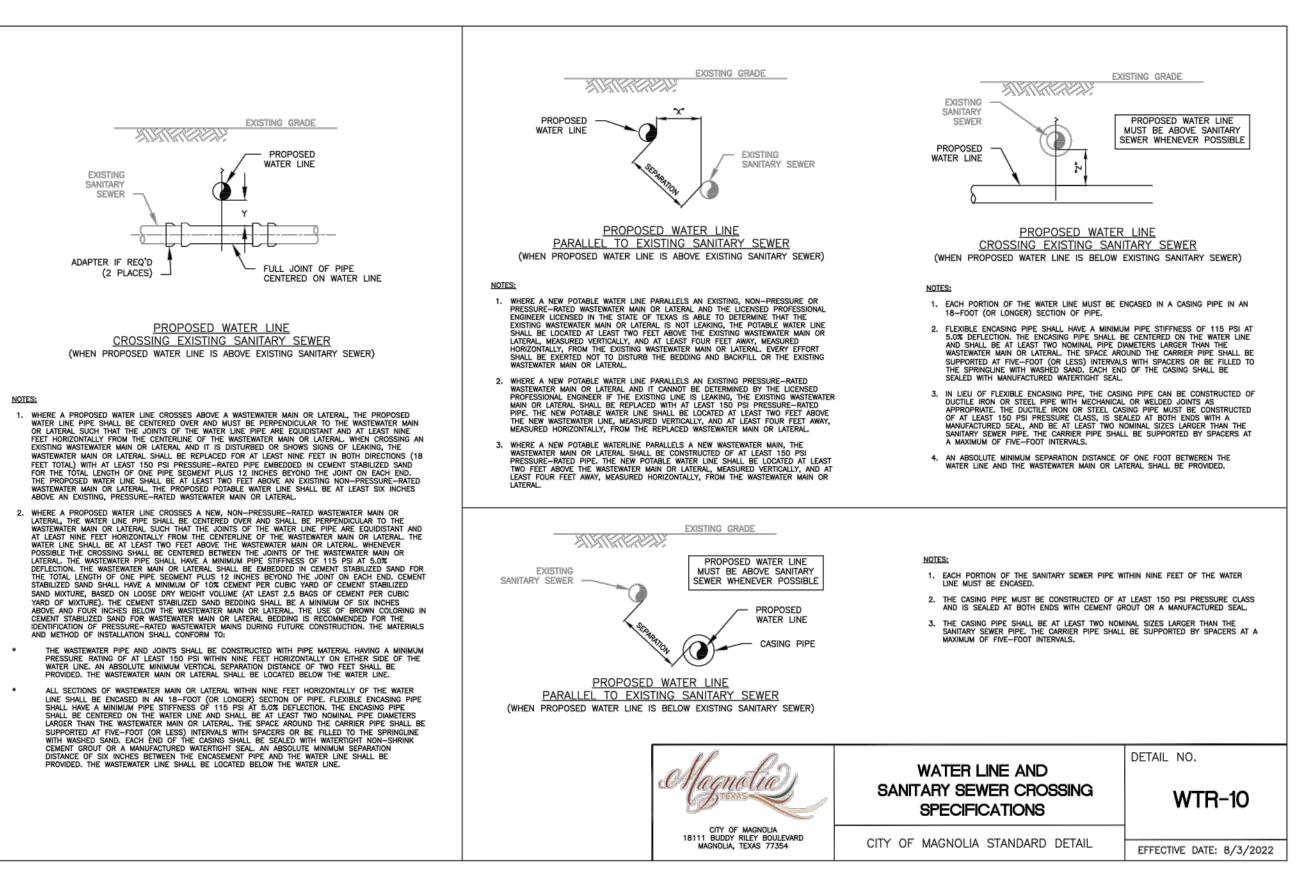
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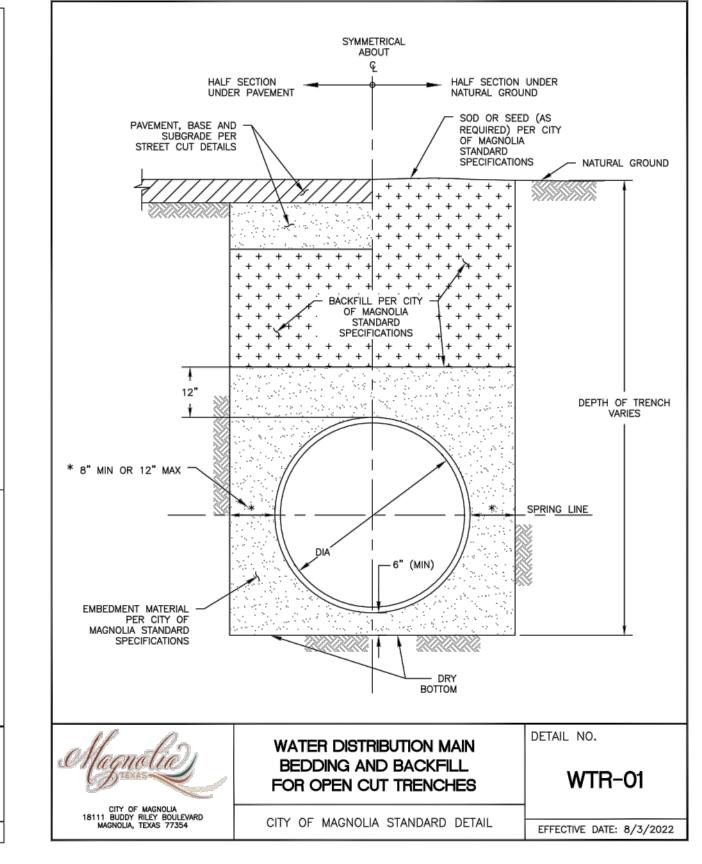
STORM CROSSING PIPELINE P&P

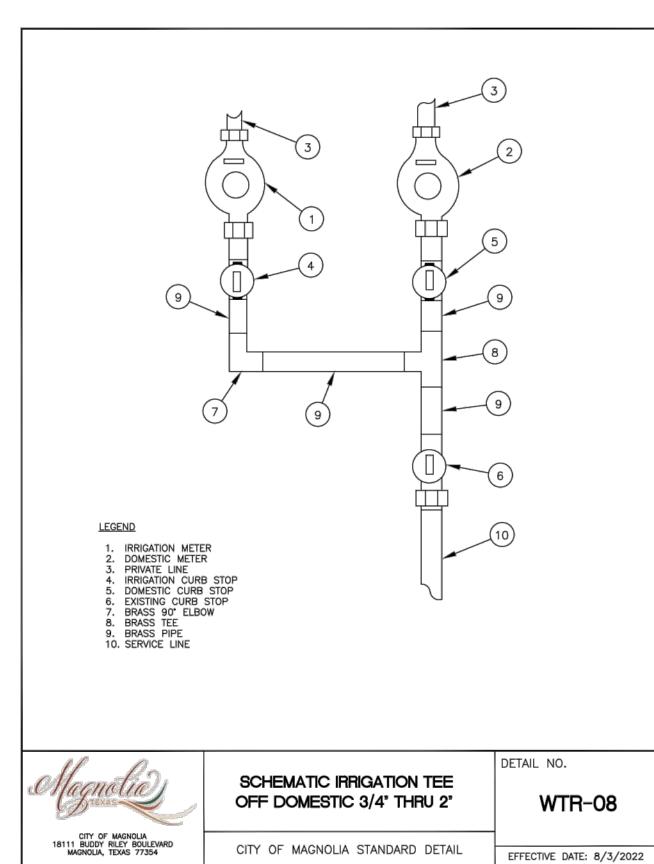
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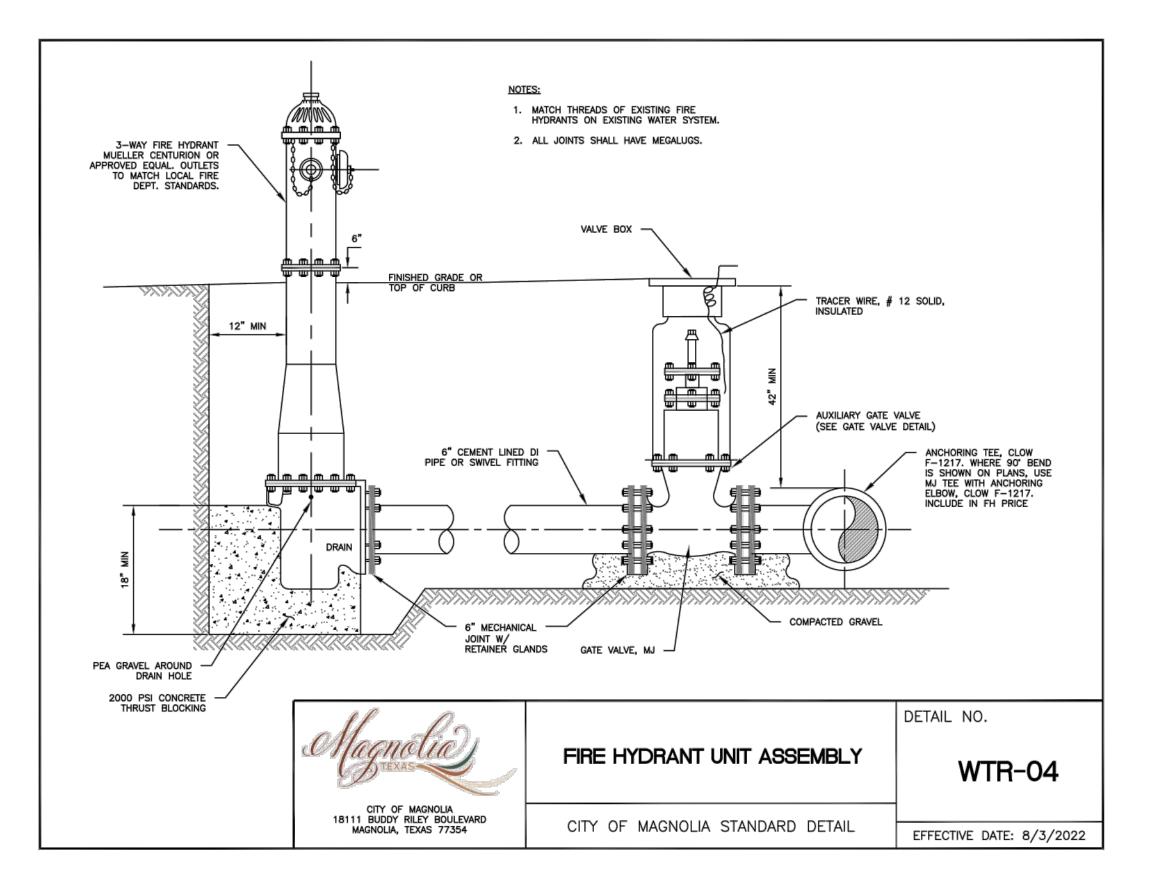
C14 OF 20

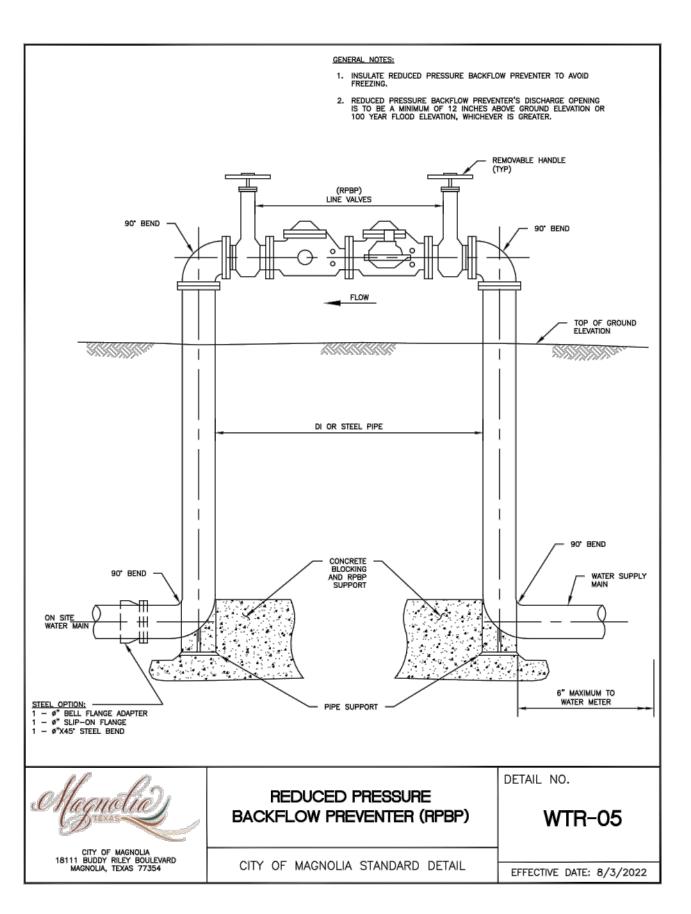












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Michael Faraj

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Israel Moreno

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PROJECT NAME AND ADDRESS: **MAGNOLIA VILLAGE RETAIL CENTER**

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

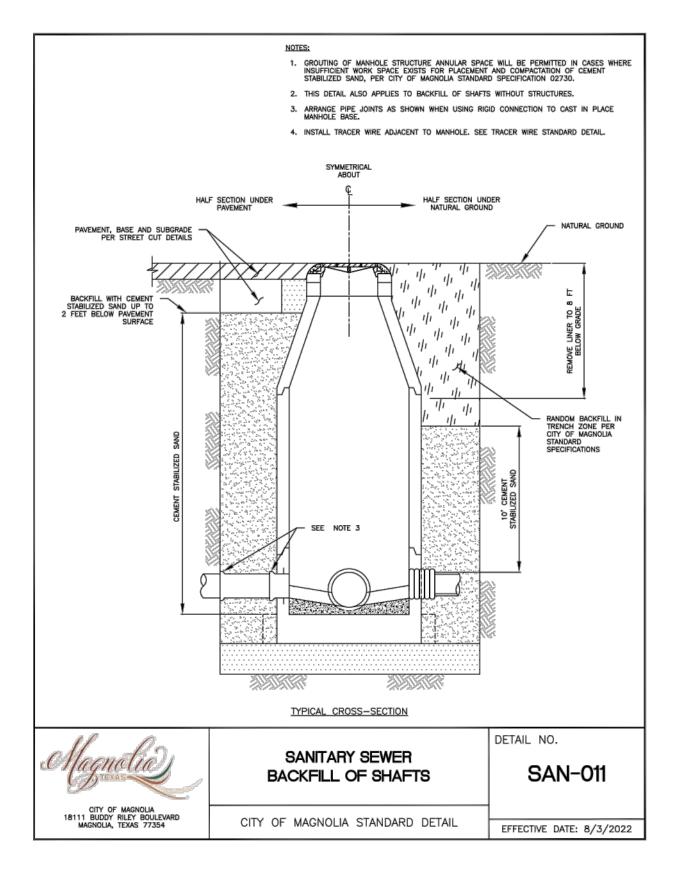
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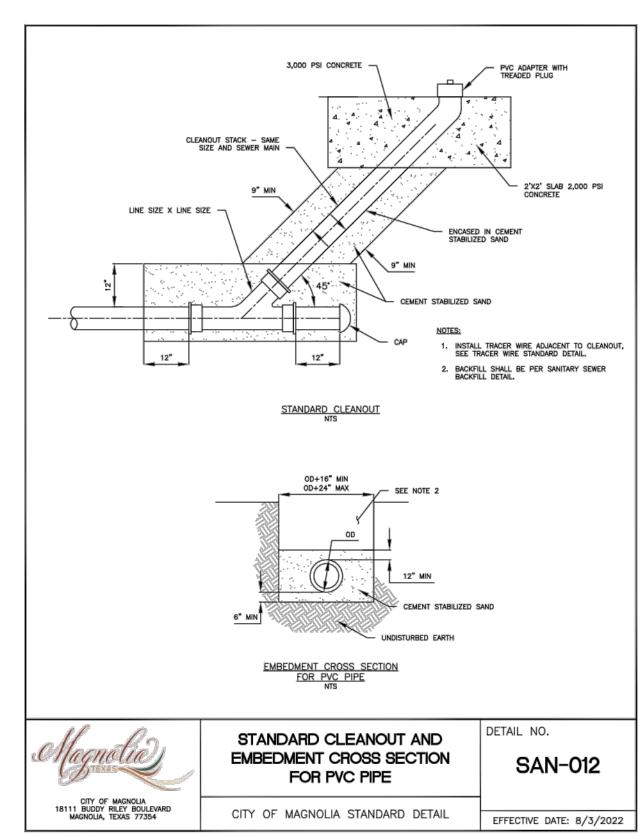
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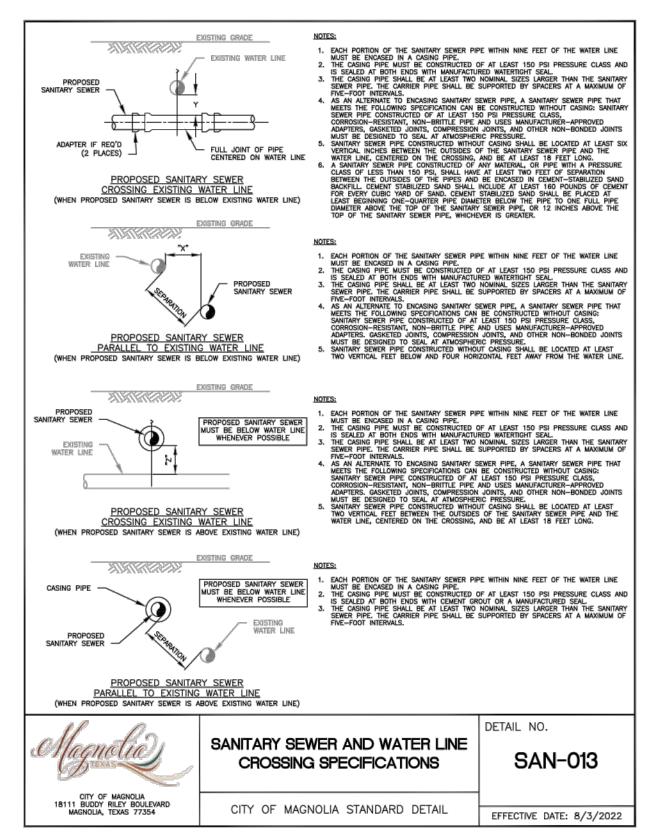
WATER DETAILS

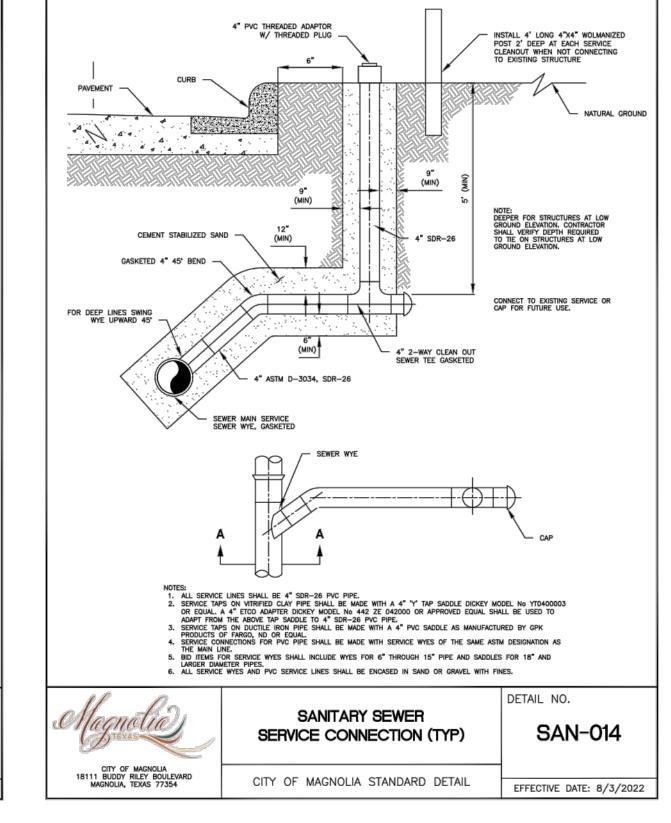
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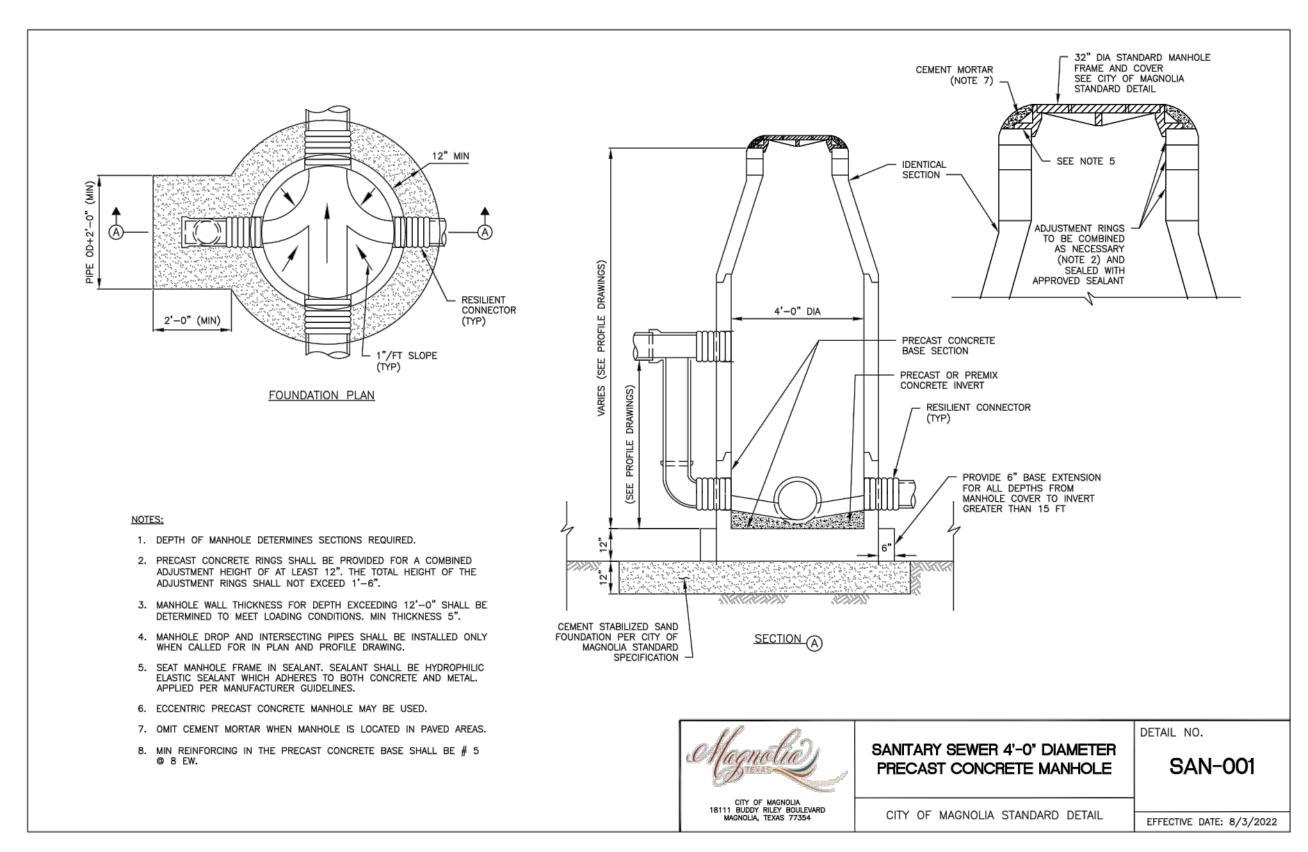
C15 OF 20

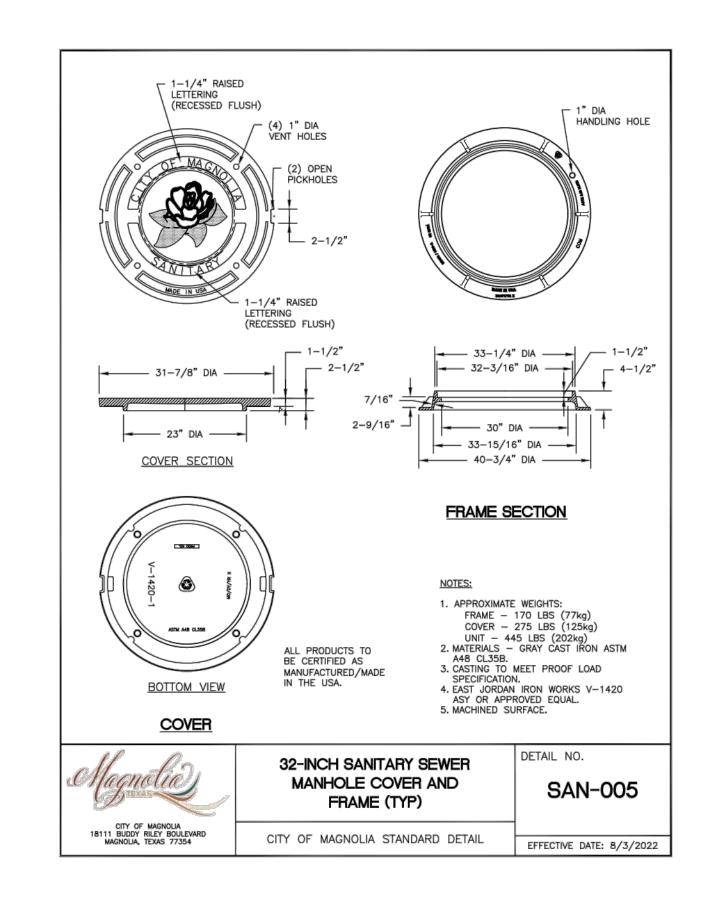


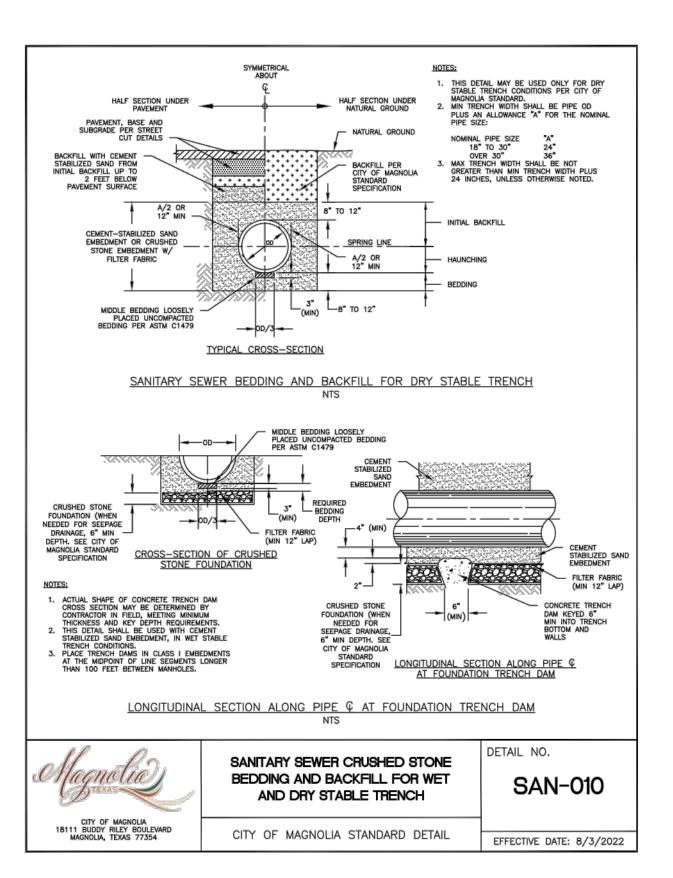












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PROJECT NAME AND ADDRESS: **MAGNOLIA VILLAGE RETAIL CENTER**

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

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REFERENCE NUMBER:

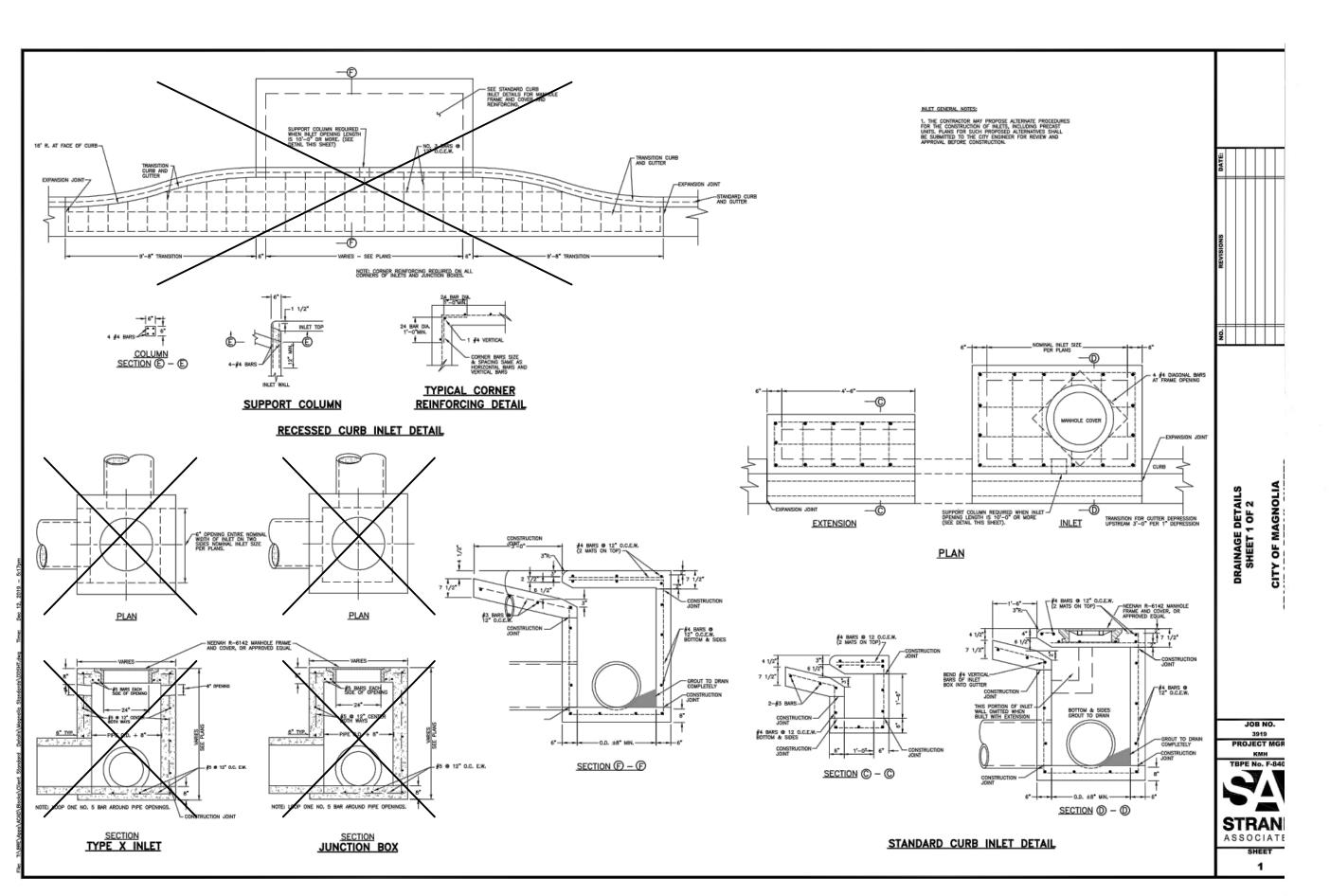
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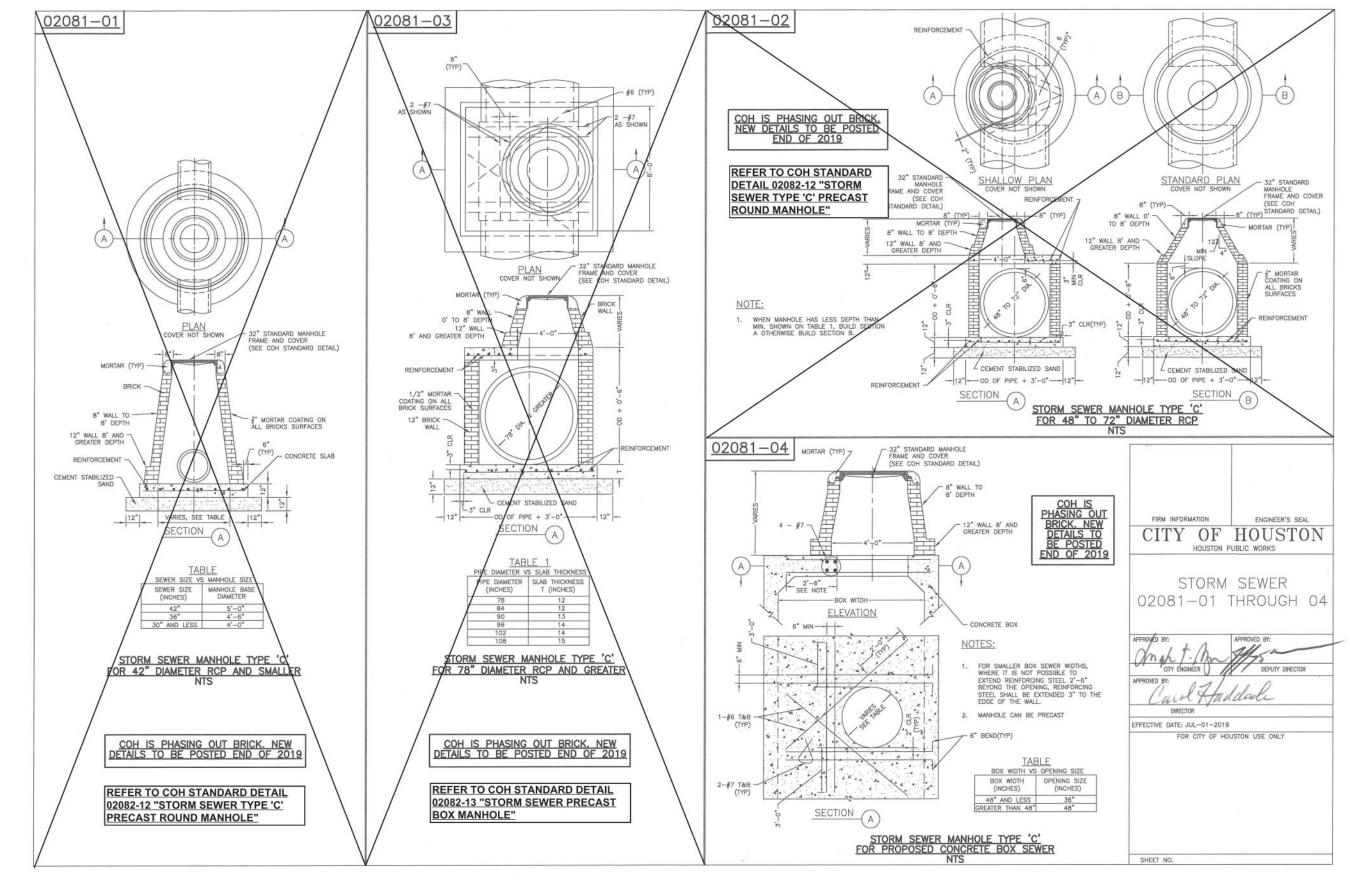
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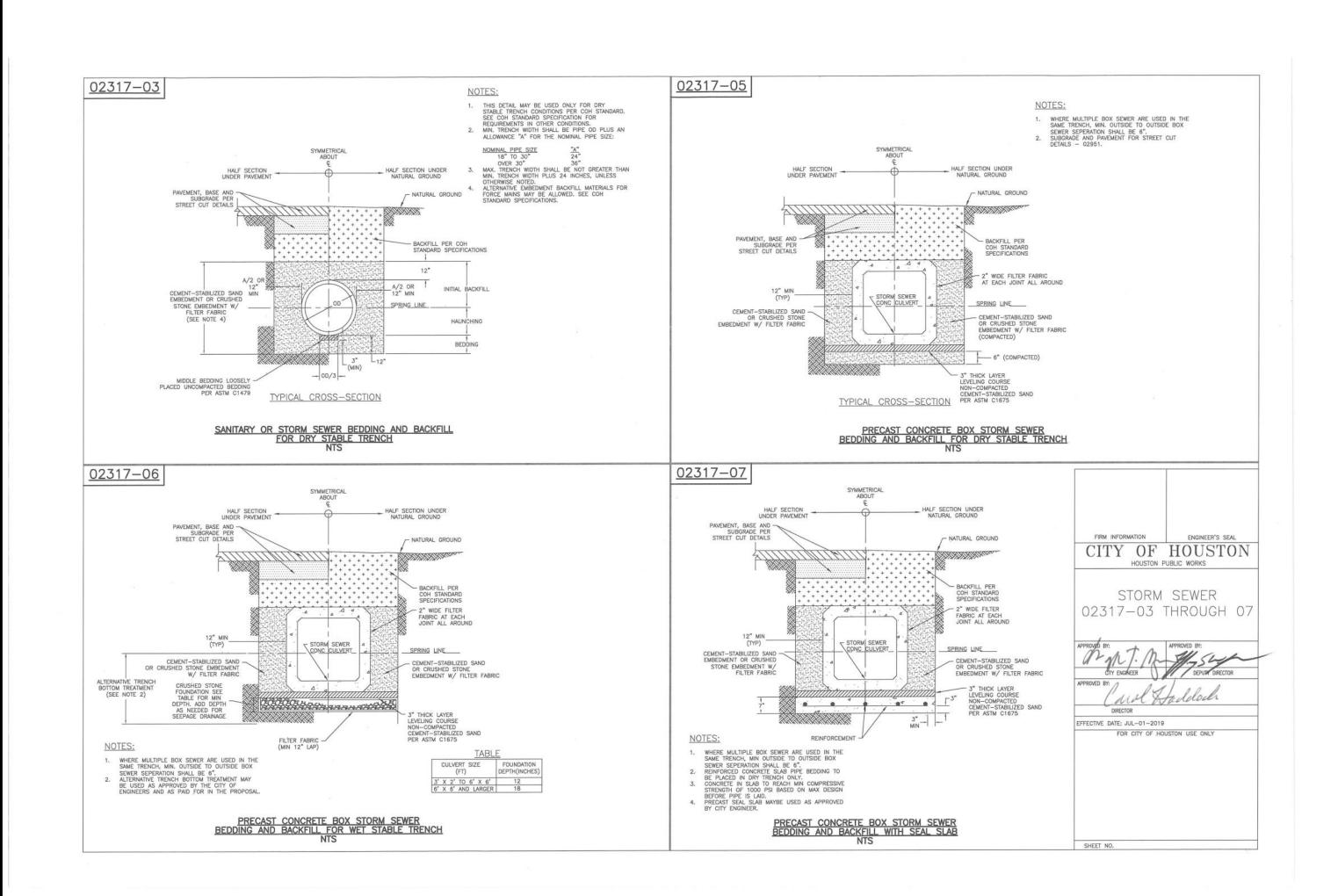
DETAILS

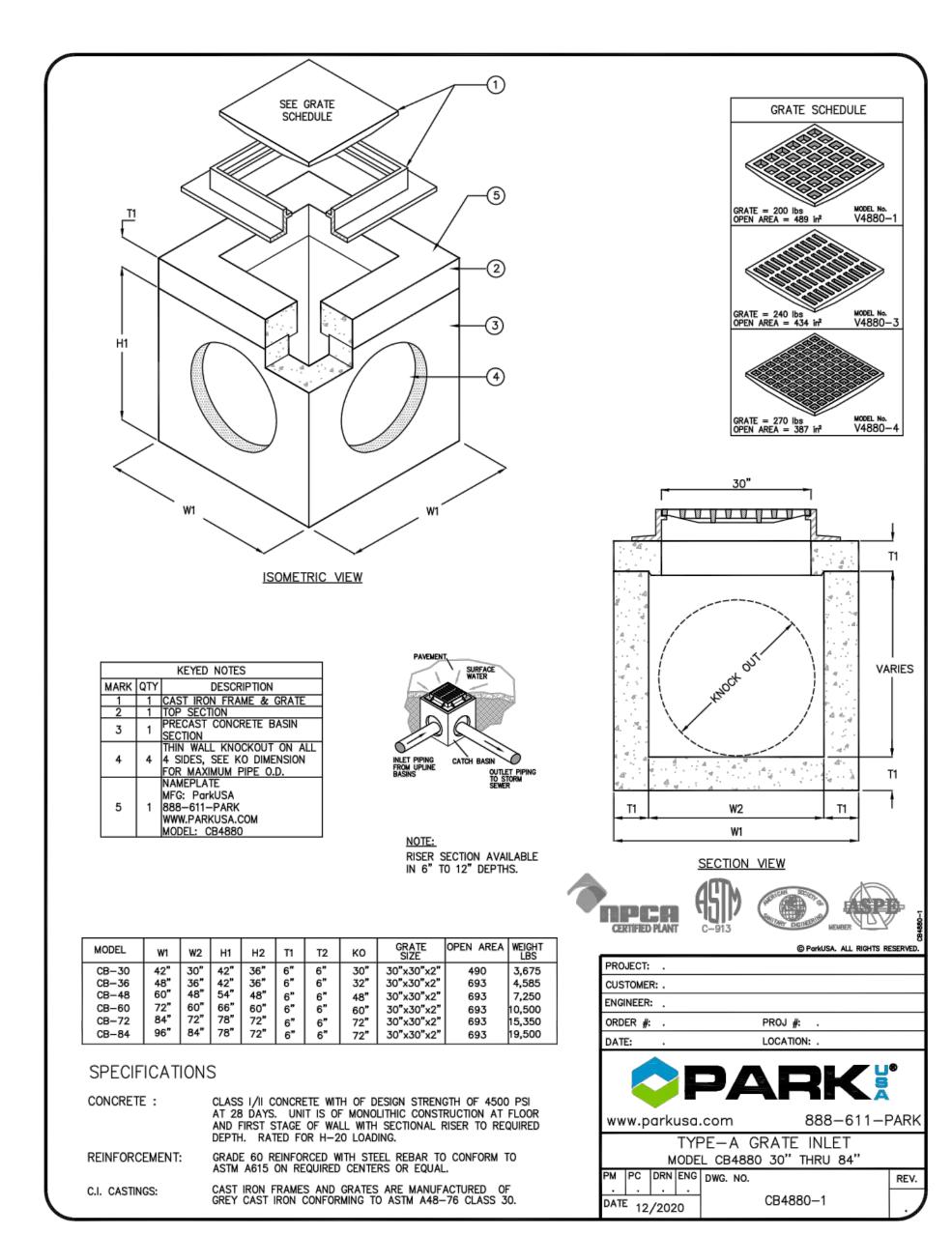
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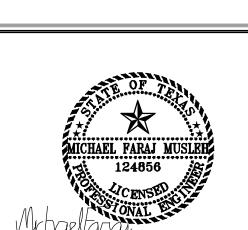
Houston, TX 77064 Phone (281) 664-1900 Israel Moreno

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MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

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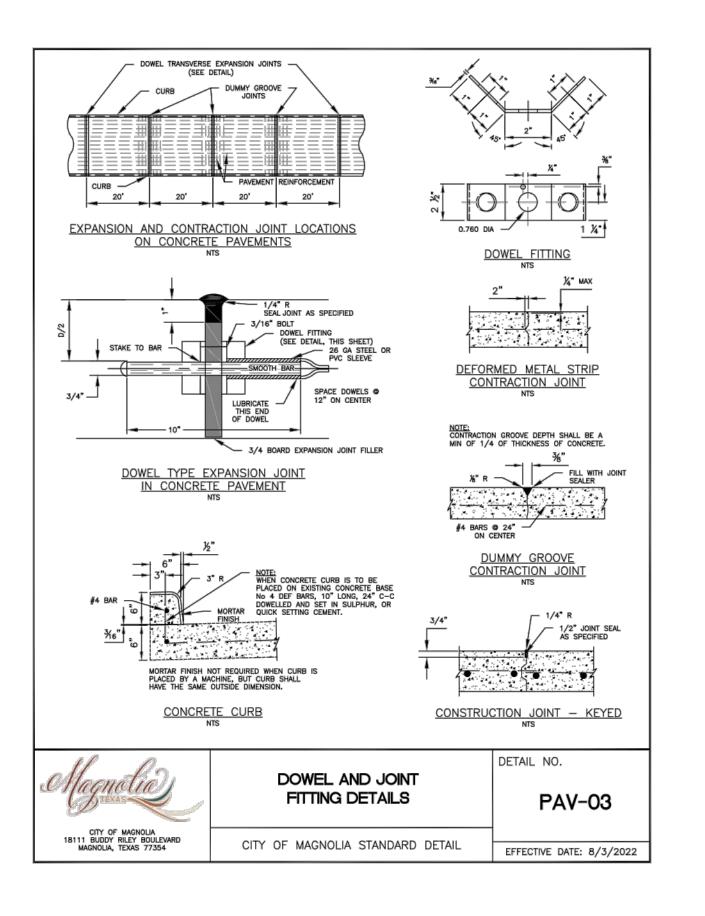
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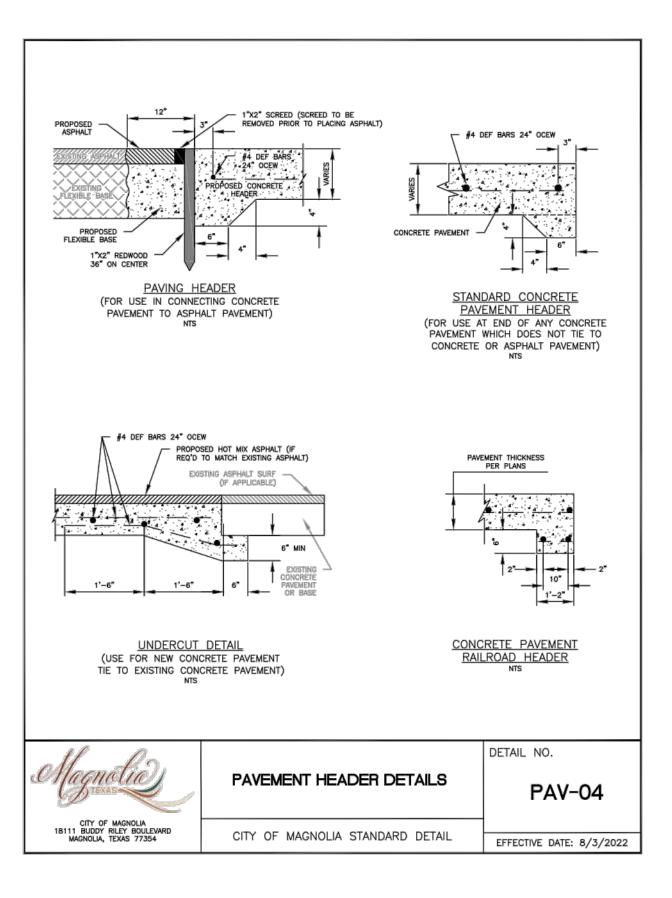
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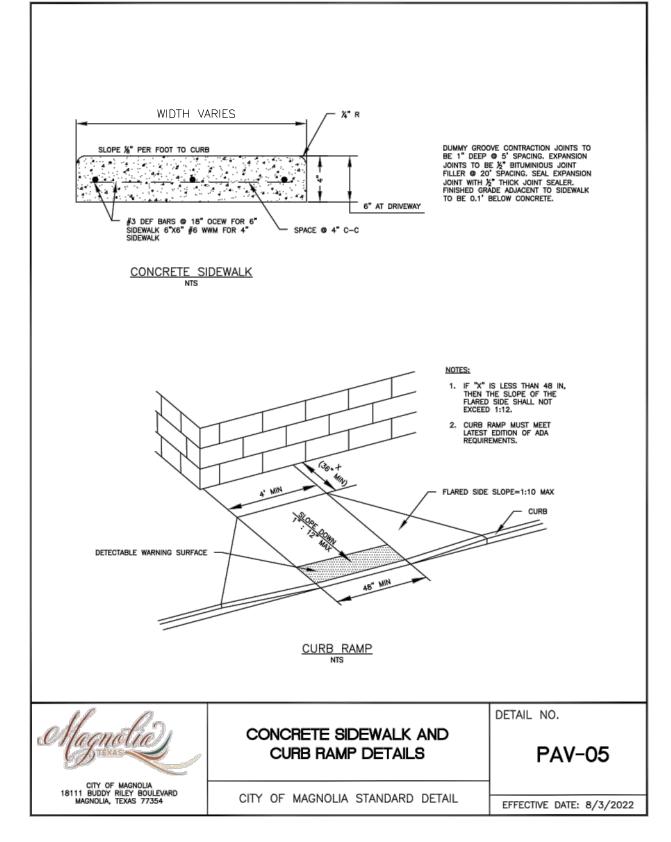
STORM SEWER **DETAILS**

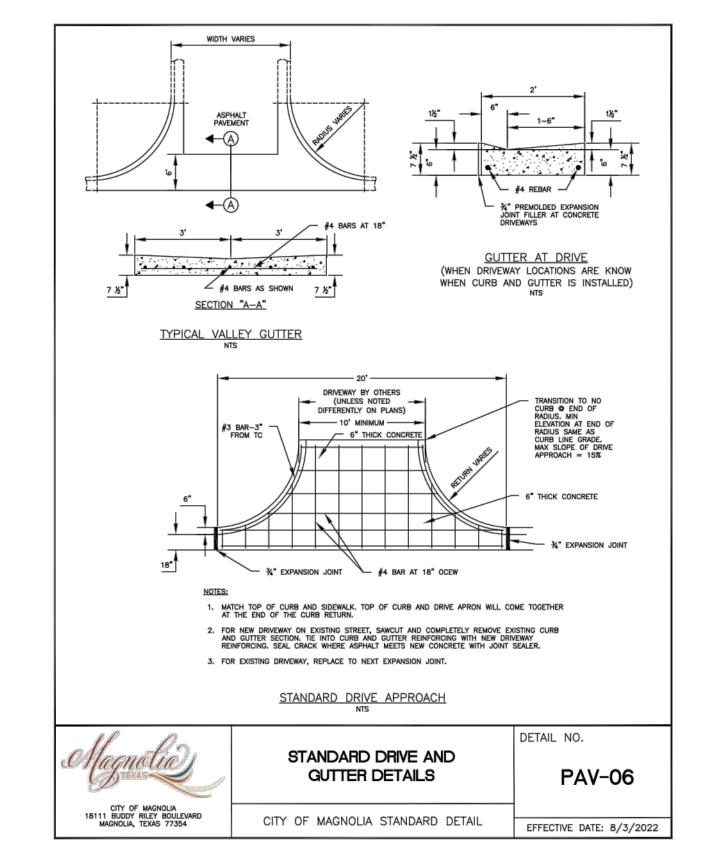
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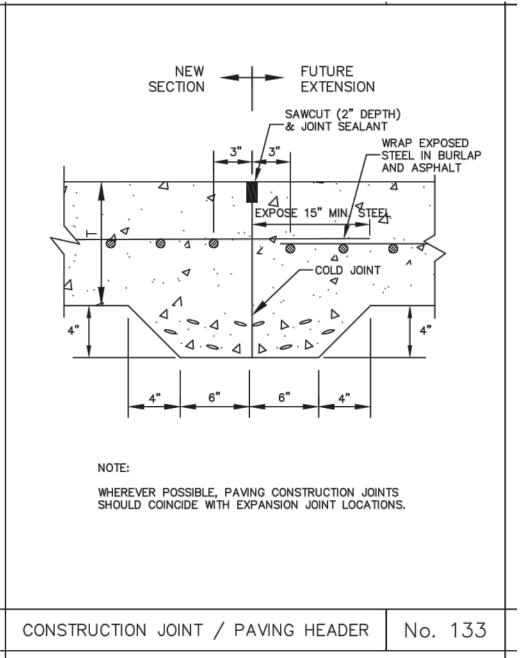
C17 OF 20

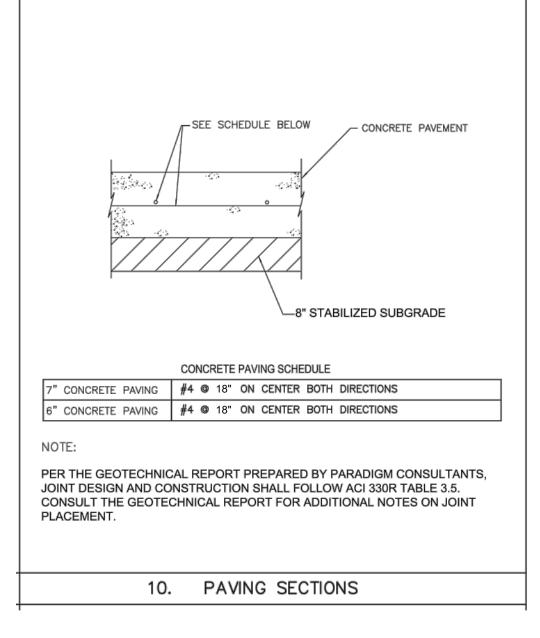


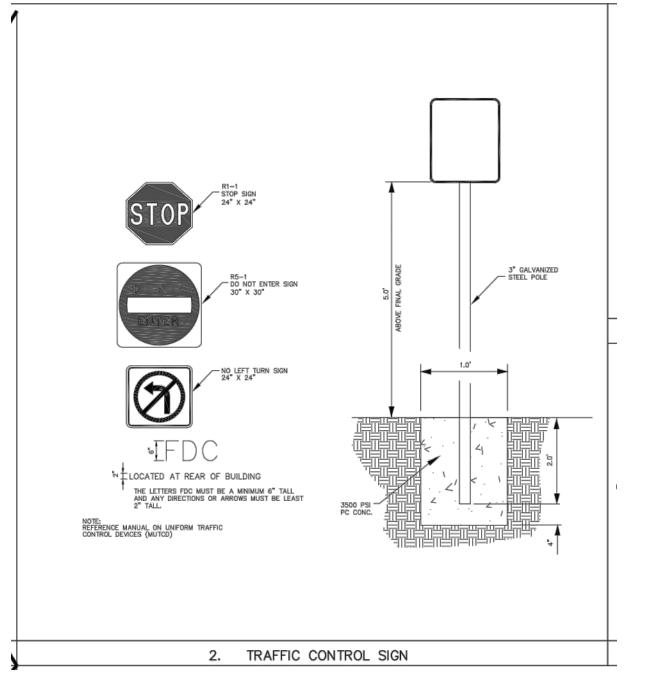












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SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

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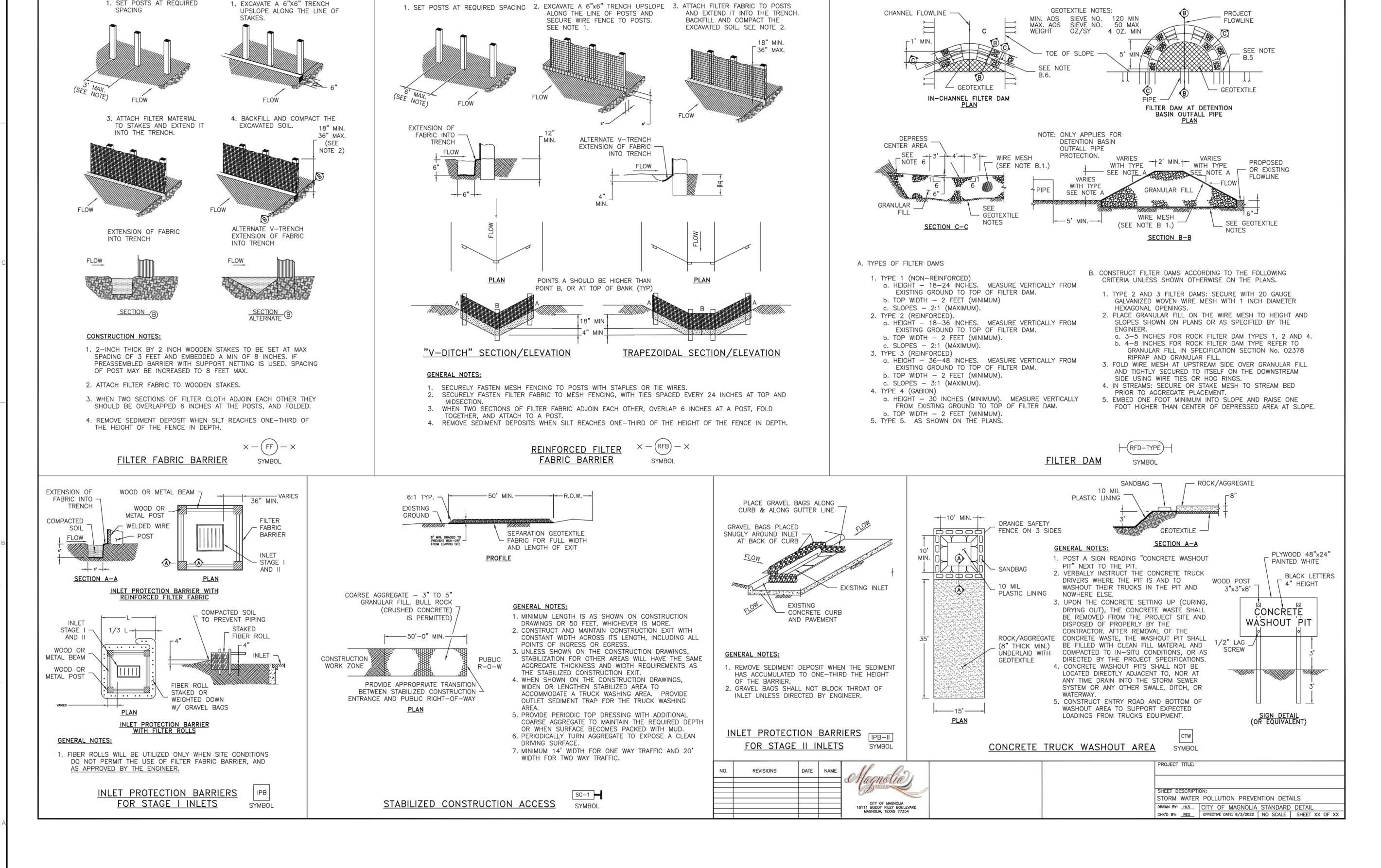
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TITLE:

PAVEMENT DETAILS

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1. SET POSTS AT REQUIRED

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> × MICHAEL FARAJ MUSLE JUL 06 2023

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PROJECT NAME AND ADDRESS:

SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149

MAGNOLIA VILLAGE RETAIL CENTER

MAGNOLIA, TX 77354

DRAWN: CM

REFERENCE NUMBER:

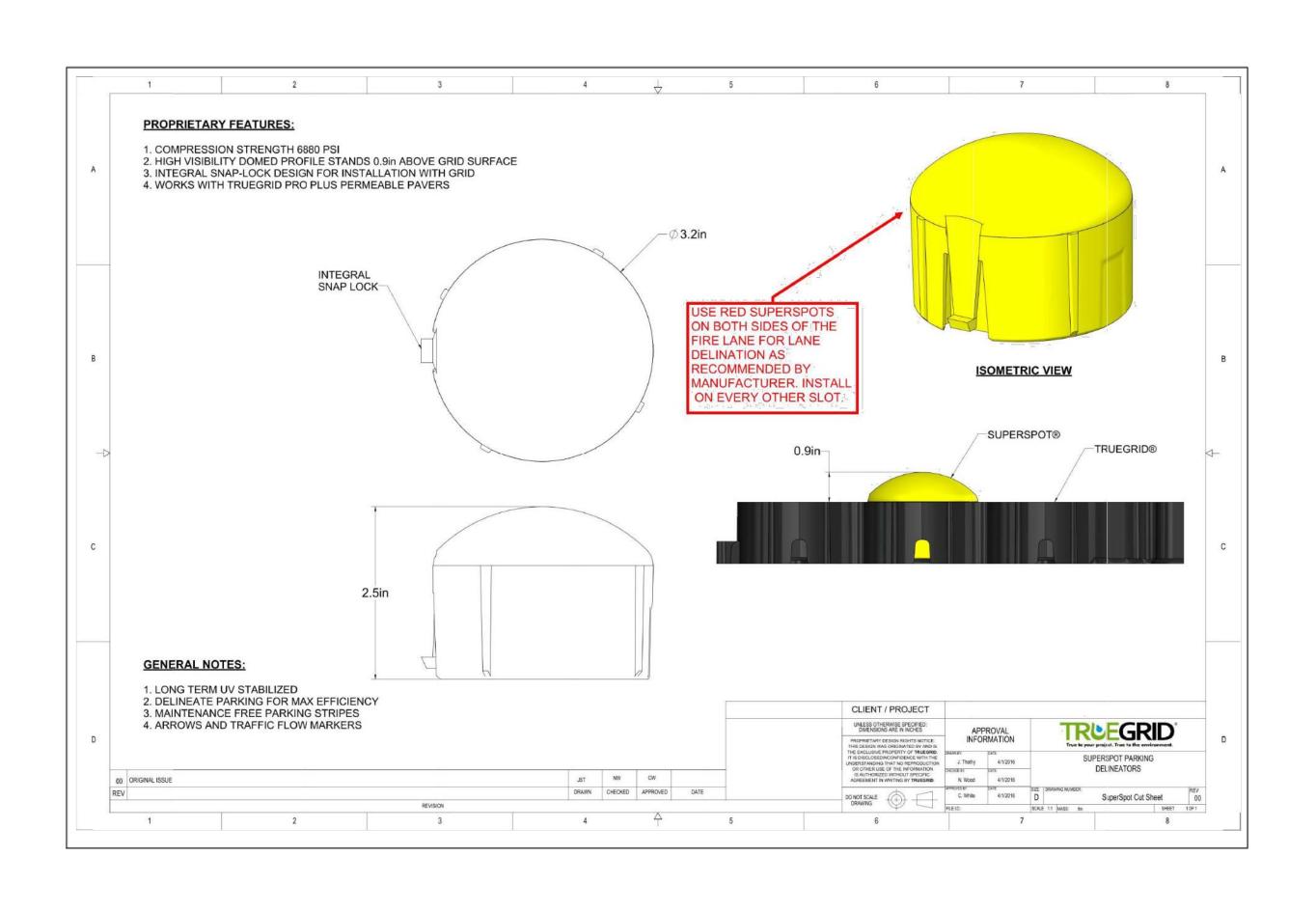
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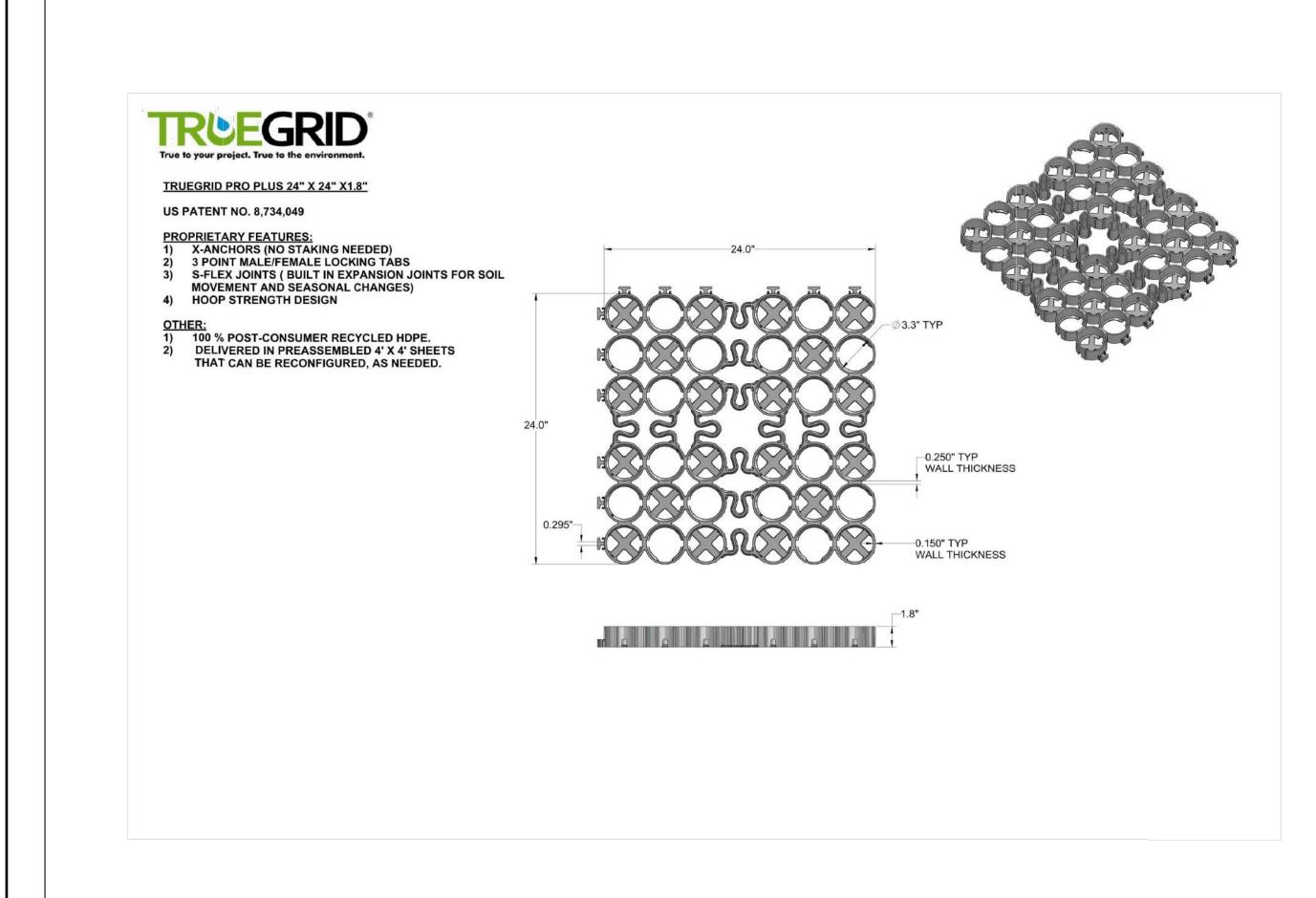
STORM WATER POLLUTION PREVENTION PLAN DETAILS

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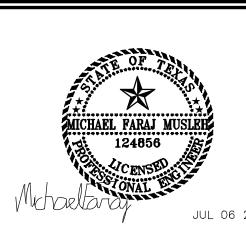
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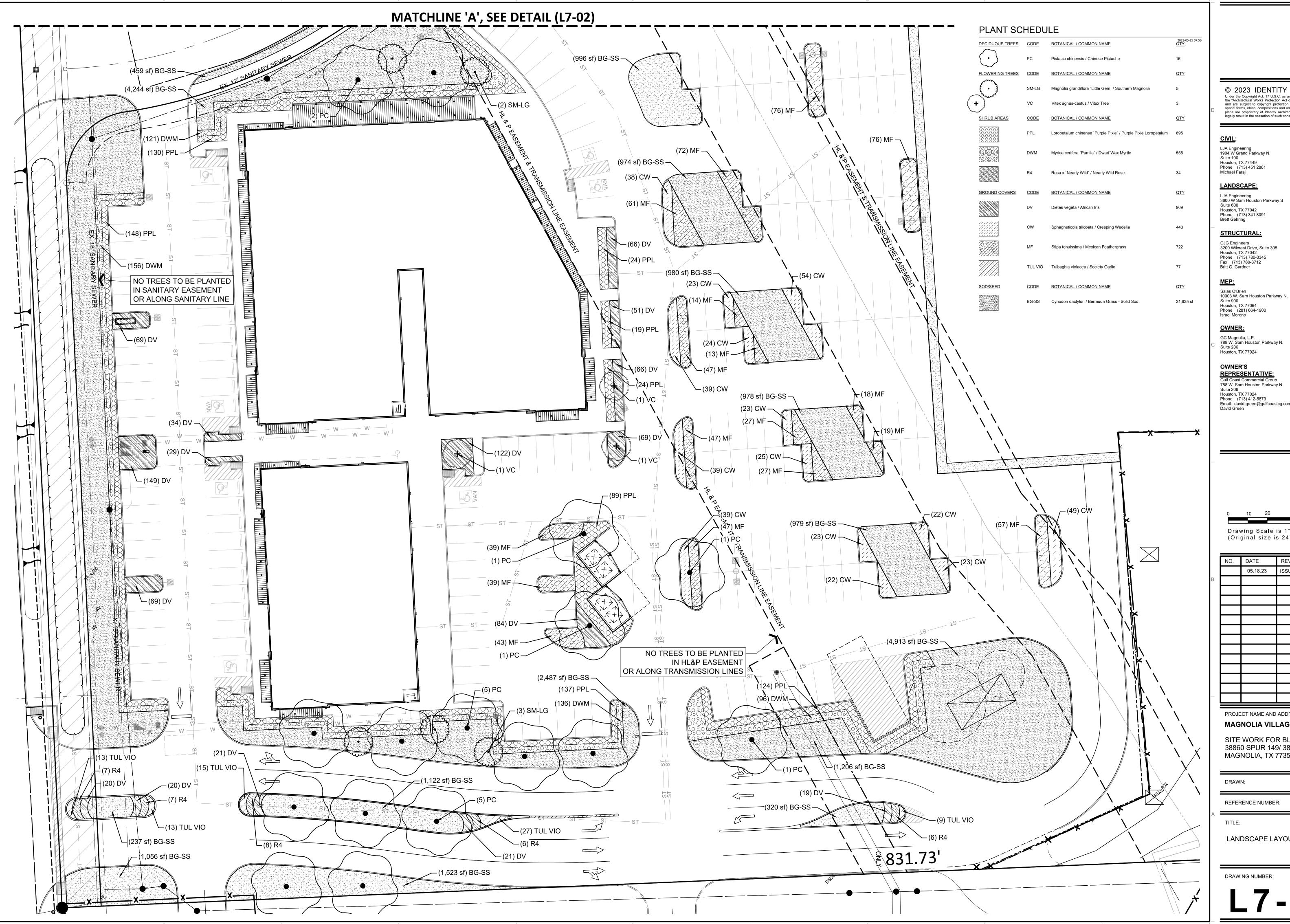
SITE WORK FOR BLDGS A1 AND A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

DRAWN: CM	CHECKED:	MFM
REFERENCE NUMBER:		18050-04

RECORD DRAWING

CENTERPOINT ACCESS DETAILS

	1. SUB-BASE DE	PTH AND PREPARATION IS DEP	PENDENT ON SITE CONDITIONS	PLUS LOADIN	G REQUIREMEI	NTS.						
2	2. SEEDING MET	HOD: FILL SOIL/GROWING MEDI	IA TO TOP OF GRID. APPLY SEI	EDING OR HYD	ROSEEDING PI	ER				6		
А з	3. SOD INSTALLA	ATION METHOD: UNROLL AND P	PRESS SOD INTO EMPTY GRID S	SO TOP OF GR	ID IS AT SOIL/R	ООТ			4			А
		NLY THE GRASS BLADES EXTEN		DID AND OFF							WHEN THE	
4		TRAFFIC INSTALLATIONS, RECE O SO THAT TOP OF GRID IS AT S		IRID AND SEED	OCK							
5	GEOGRID MES FOR CERTAIN	SH OR GEOFABRIC MAY BE REC SOILS AND SITE SPECIFIC REQ	QUIRED BETWEEN SUBGRADE (QUIREMENTS.	& SUBBASE							BY CONTRACT)
6	6. TRUEGRID PR	O LITE PRODUCTS ARE SUFFIC	CIENTLY RATED FOR LOW TRAF	FIC H-20/HS-20	0 LOADING.					B	PO SECOND	
7	7. NO STAKING T	TYPICALLY NECESSARY WITH TI	RUEGRID PRO LITE WHEN SLO	PE IS BELOW 2	20 DEGREES, A	SSESS PR	ROJECT AS	NEEDED.				
8	8. TRUEGRID PR	O LITE IS ADA COMPLIANT WITH	H PROPER FILL MATERIAL.							THE STATE OF THE S		
9		ENGINEERED SUB-BASE MIXES OR DRAINAGE, AND PROVIDE F			GRASS GROWT	H, HAVE A	DEQUATE				OCK REFERENCE VIEW	
	10. THIS CROSS S	ECTION IS FOR INFORMATION	ONLY.							IN 4' X 4' S	EMBLED & DELIVERED SHEET. RECONFIGURED	
В											ED. NO EXTRA TOOLING SSORIES REQUIRED	В
		TOPSOIL/GROWING /-TR	RUEGRID PERMEABLEGF	RASS (SEEDED)	OR -	-ENGINEFI	RED SUB-R	ASE:				
		MEDIA OR SOD ROOT MASS TO TOP OF GRID	AVING SYSTEM SC	RASS (SEEDED (DDDED) WITH OI RASS BLADES A	NLY BOVE	COMPACT MATERIAL	TED 3/4" MII L. COMMON	<u>(ASE:</u> NUS SANDY-GRAVEL BAS N - ROADBASE FROM URCES	SE		INING FINISH GRADE TRUEGRID ACE FLUSH OR SLIGHTLY	
			/ GF	RID	/	NON-REC	YCLED SOL	URCES			SSED SEE DRAWING OGE-OPTS FOR EDGING OPTIONS	s
	<u> </u>		, , , , , , , , , , , , , , , , , , ,					1 18 8 8				4
	1.0"				8888 ** 8888 - 5- 5- 5- 5- 5-							
				SANDIGRAVEI	BASE MIX COM	MON O						
6	6.0" MIN B				FILL APPLICATION							
c												С
											AFARRIA MENU	
	REPARED JBGRADE										GEOGRID MESH OR GEOFABRIC	
											OPTION LOCATION: SEE NOTE # 5	
	<u>↓</u>											
				GRASS FILI	L - HEAVY LO	DAD			CLIENT / PROJECT			\dashv
	PLICATION EXAM	PLES:		GRASS FILL	L - HEAVY LO	<u>DAD</u>			CLIENT / PROJECT UNLESS OTHERMISE SPECIFIED: DIMENSIONS ARE IN INCHES	APPROVAL	TRUEGRID	\exists
D DRIV	IVEWAYS PADS			GRASS FILI	L - HEAVY LO	<u>DAD</u>	Γ	MANUFACTURED IN	UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES PROPRIETARY DESIGN RIGHTS NOTICE: THIS DESIGN WAS ORIGINATED BY AND IS THE EXCLUSIVE PROPERTY OF TRUESRID. IT IS DISCLOSED IN CONFIDENCE	APPROVAL INFORMATION	True to your project. True to the emergement.	
D DRIV	IVEWAYS PADS ERFLOW PARKING			GRASS FILI			9/3/2020	NORTH AMERICA	UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES PROPRIETARY DESIGN RIGHTS NOTICE: THIS DESIGN WAS GRIGINATED BY AND IST HE EXCLUSIVE PROPERTY OF TRUEGRIC IT IS DISCLOSED IN CONFIDENCE WITH THEUDINGERTANDIST THAT NO E	INFORMATION	True to your project. True to the endronment. TRUEGRID PRO LITE GRASS FILL	
D DRIV RV P OVE	IVEWAYS PADS			GRASS FILI			9/3/2020 DATE		UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES PROPRIETARY DESIGN RIGHTS NOTICE: THIS DESIGN WAS CHIGHARTE BY AND IS THE EXCLUSIVE PROPERTY OF TRUESRID. IT IS DISCUSSED IN CONFIDENCE WITH THEUNDERSTANDING THAT NO REPRODUCTIONOR OTHER USE OF THE	INFORMATION	True to your project. True to the environment. TRUEGRID PRO LITE GRASS FILL HEAVY LOAD ERAWING NUMBER:	D Rev 01



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Britt G. Gardner

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Israel Moreno

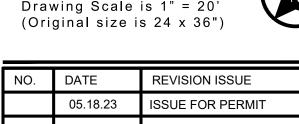
GC Magnolia, L.P.

788 W. Sam Houston Parkway N. Houston, TX 77024

OWNER'S **REPRESENTATIVE:**

788 W. Sam Houston Parkway N. Houston, TX 77024





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PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

REFERENCE NUMBER:

CHECKED:

LANDSCAPE LAYOUT PLAN

	PLANT SCHEDULE							
	DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	2023-05-25 07:56 QTY				
	\odot	PC	Pistacia chinensis / Chinese Pistache	16				
	FLOWERING TREES	CODE	BOTANICAL / COMMON NAME	QTY				
_		SM-LG	Magnolia grandiflora `Little Gem` / Southern Magnolia	5				
(-	+	VC	Vitex agnus-castus / Vitex Tree	3				
•	SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	QTY				
		PPL	Loropetalum chinense `Purple Pixie` / Purple Pixie Loropetalum	695				
	5.0.000 6.0.000 6.0.000 6.0.000	DWM	Myrica cerifera `Pumila` / Dwarf Wax Myrtle	555				
		R4	Rosa x `Nearly Wild` / Nearly Wild Rose	34				
	GROUND COVERS	CODE	BOTANICAL / COMMON NAME	QTY				
		DV	Dietes vegeta / African Iris	909				
		CW	Sphagneticola trilobata / Creeping Wedelia	443				
		MF	Stipa tenuissima / Mexican Feathergrass	722				
		TUL VIO	Tulbaghia violacea / Society Garlic	77				
	SOD/SEED	CODE	BOTANICAL / COMMON NAME	QTY				
		BG-SS	Cynodon dactylon / Bermuda Grass - Solid Sod	31,635 sf				

) (2,911 sf) BG-SS —

MATCHLINE 'A', SEE DETAIL (L7-01)

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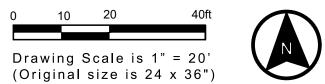
Israel Moreno

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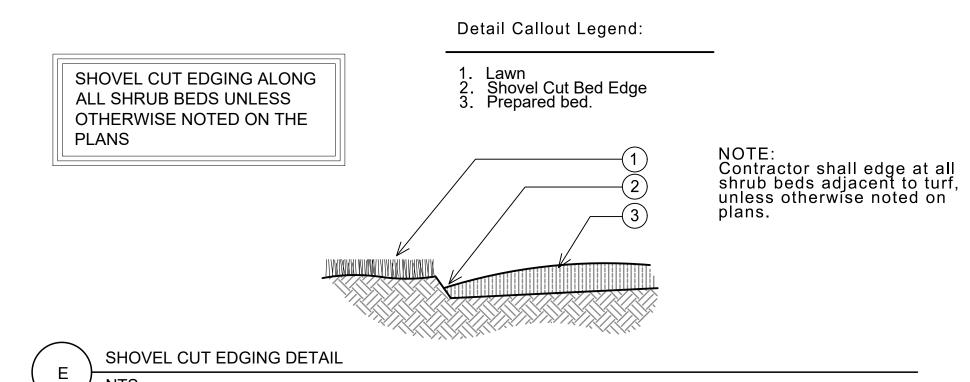
PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

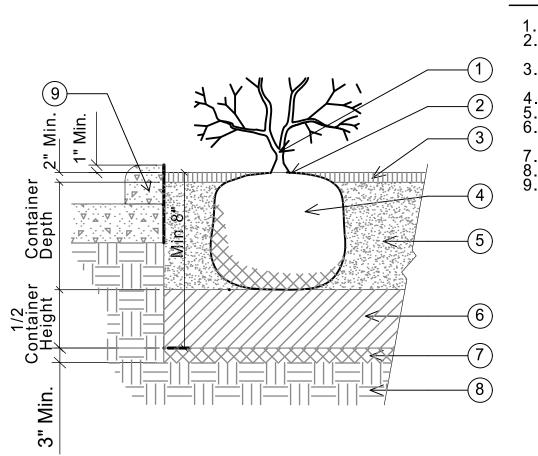
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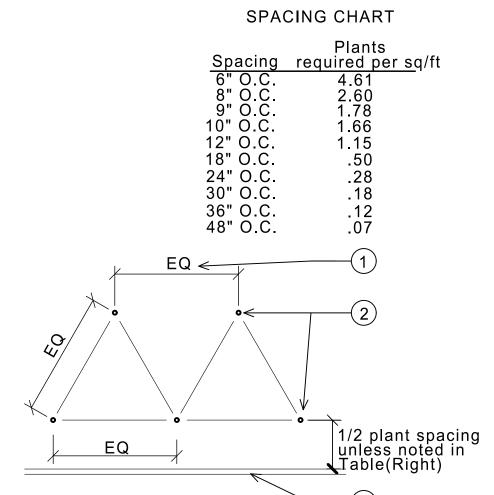
LANDSCAPE LAYOUT PLAN

PLANT SCI	HEDU	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	PC	Pistacia chinensis / Chinese Pistache	65 gal	2.5" Cal	8` - 10`
FLOWERING TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
£	SM-LG	Magnolia grandiflora `Little Gem` / Southern Magnolia	45 gal	2.5"	8` - 10`
+	VC	Vitex agnus-castus / Vitex Tree	45 gal	2.5"	6` - 8`
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD
	PPL	Loropetalum chinense `Purple Pixie` / Purple Pixie Loropetalum	5 gal	24"	24"
	DWM	Myrica cerifera `Pumila` / Dwarf Wax Myrtle	3 gal	18"	18"
	R4	Rosa x `Nearly Wild` / Nearly Wild Rose	3 gal	24"	24"
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD
	DV	Dietes vegeta / African Iris	3 gal	24"	12"
	CW	Sphagneticola trilobata / Creeping Wedelia	1 gal	12"	12"
	MF	Stipa tenuissima / Mexican Feathergrass	3 gal	12"	12"





SHRUB/GROUNDCOVER PLANTING DETAIL NTS



Detail Callout Legend:

Spacing As Noted.
 Typical Plant Location.
 Edge of planting (Steele edging, curb, walls...etc) as defined on plan See Detail F, This Sheet For Steele Edge Planting Section

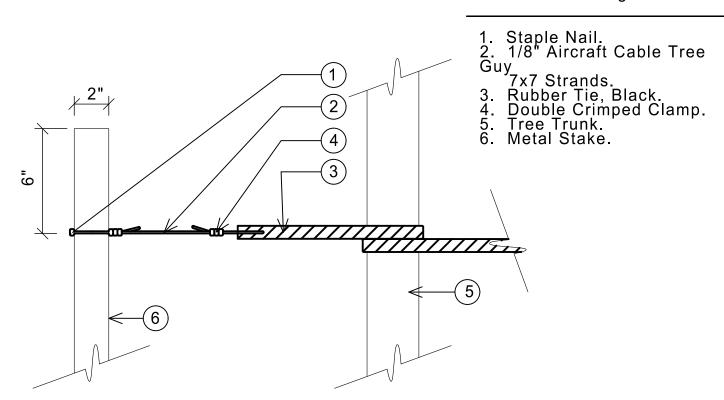
Common Name	Planting Distance
	From Curb

NOTE:

Contractor shall use this spacing chart to determine total Quantities of Shrubs and Groundcover. Contractor shall round total up to nearest whole plant. The Contractor shall be responsible for providing all plantings necessary to fill all planting areas shown on the plans, based upon plant spaces provided by the spacing diagram and chart. Any quantities given by the owner or landscape architect, or determined by the contractor shall be **FOR REFERENCE**ONLY. The contractor shall be responsible for all costs associated with underestimates.

SHRUB/GROUNDCOVER SPACING

Detail Callout Legend:



TREE TIE DETAIL

Plant. Top Of Rootball To Be Flush With Grade. 2" Shredded Black Hardwood Planting Mix Per Soils Analysis. Compacted Prepared Planting Mix With Parent Material. 3" Scarification Layer. Undisturbed Soil. Concrete Curb or sidewalk (If Applicable)

Detail Callout Legend:

Rootball.

Detail Callout Legend:

- Tree Tie Detail, See Detail B, This Sheet.
 Metal T-Post, Drive
 Stakes Min. 3' Into The Ground.
 Poles Shall be Parallel And
 Vertical, Top Of Stake Shall Be
 Even. (3-Min. 30 Gal. And Larger, 2 Min. Smaller Than 30 Gal.
 2" Dia. x 24" Long Perforated
 P.V.C. Pipe (2 Per tree).
 2" Shredded Hardwood Mulch.
 3" Soil Saucer.
 Compacted Backfill Mix.
 Existing Subgrade.

38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

PROJECT NAME AND ADDRESS:

PAD A SITE WORK

CHECKED:

REFERENCE NUMBER:

MAGNOLIA VILLAGE RETAIL CENTER

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DATE

05.18.23

REVISION ISSUE

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Phone (713) 451 2861

LJA Engineering 3600 W Sam Houston Parkway S

Suite 100

Suite 600

Michael Faraj[°]

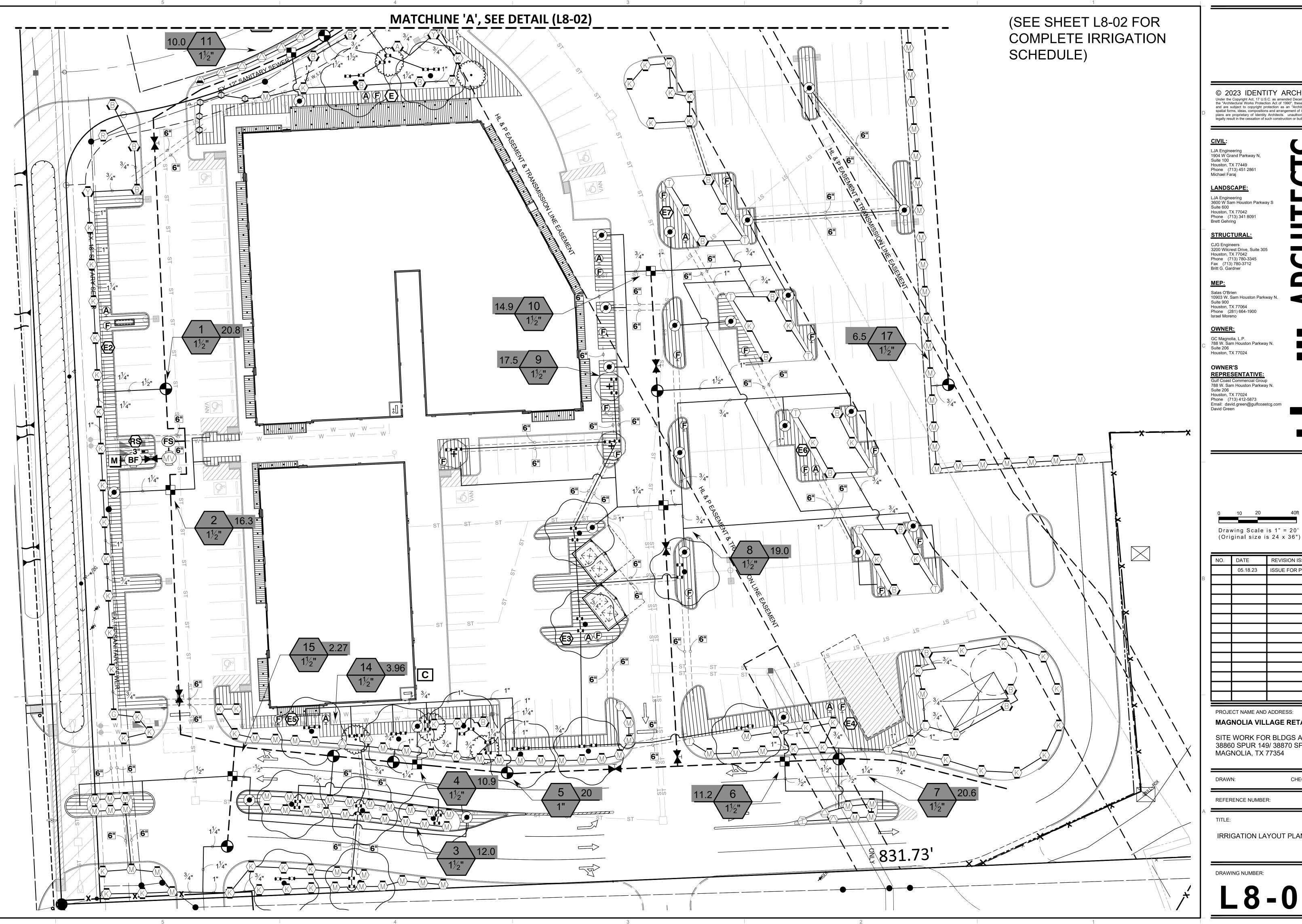
LANDSCAPE DETAILS

DRAWING NUMBER:

PLAN SINGLE PLAN MULTI 12" Min.

TREE STAKING DETAIL NTS

NTS



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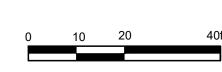
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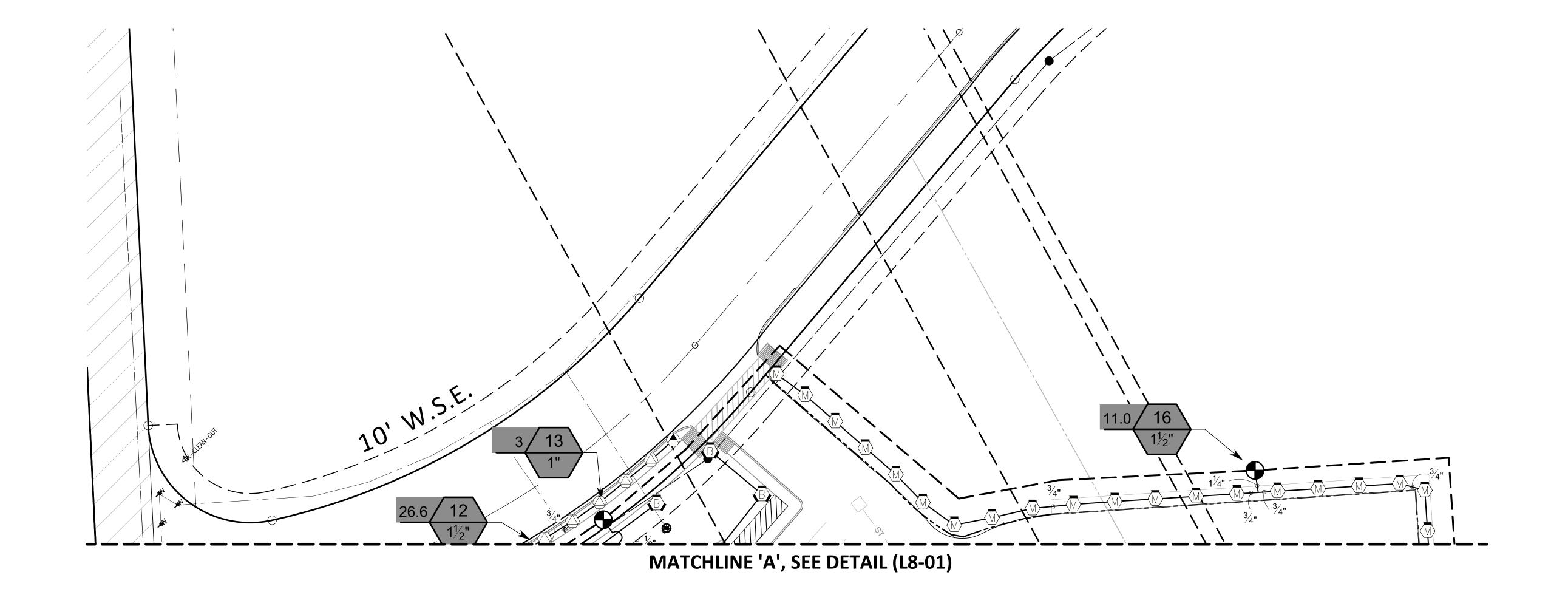
PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED:

IRRIGATION LAYOUT PLAN

(SEE SHEET L8-02 FOR COMPLETE IRRIGATION SCHEDULE)



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NO.	DATE	REVISION ISSUE
	05.18.23	ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED:

IRRIGATION SCHEDULE

RRIGATION	SCHEDULE			Hunter ECO-ID	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	E5	ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing joint.	1
T	Hunter MP Corner PROS-06 Turf Rotator, 6" (15.24cm) pop-up (2.76 bar), MP Rotator nozzle. T=Turquoise adj arc 45-105.	12	Œ6	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing	1
LST RST SST	Hunter MP Strip PROS-06 Turf Rotator, 6" (15.24 cm) pop-up (2.76 bar), MP Rotator nozzle. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.	16	€ 7	joint. Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI	1
$\langle \overline{M} \rangle \langle \overline{L} \rangle \langle \overline{O} \rangle$	Hunter MP1000 PROS-06 Turf Rotator, 6" (15.24 cm) pop-up (2.76 bar), MP Rotator nozzle. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	110		operating pressure. Specify with Hunter SJ swing joint. Area to Receive Dripline Netafim TLDL-09-18	
$\langle K \rangle \langle G \rangle \langle R \rangle$	Hunter MP2000 PROS-06 Turf Rotator, 6" (15.24 cm) pop-up (2.76 bar), MP Rotator nozzle. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	68		Techline Pressure Compensating Landscape Dripline. 0.9 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Surface and Sub Surface Installations. UV Resistant.	9,187 l.f.
	Hunter MP3000 PROS-06	0.5	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
BYYA	Turf Rotator, 6" (15.24 cm) pop-up (2.76 bar), MP Rotator nozzle. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	25		Hunter ICV-G - Remote Control Valve 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded	11
Ф Ф ADJ. 360	Hunter MP800SR PROS-06 Turf Rotator, 6.0" pop-up (2.76 bar), MP Rotator nozzle. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	5		Inlet/Outlet, for Commercial/Municipal Use. LASCO Fittings TUBV-SC 1", 1-1/2", 2", and 3" Plastic Full Block True Union Ball Valve. Shut Off/Isolation Valve to Eliminate	7
- O- IOI - O- XX 25 50 10 20	Hunter PROS-06-PCN Flood Bubbler, 6.0" pop-up.	46		Water Hammer. Install same size as mainline.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY		Hunter ICV-G 2" 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet,	1
	Hunter ICZ-151-XL-40 Drip Control Zone Kit. 1-1/2" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow Range: 20 GPM to 60 GPM. 120 mesh	7	BF	for Commercial/Municipal Use. Febco 825Y 2" Reduced Pressure Backflow Preventer	1
	stainless steel screen. 1-1/2" inlet x single 2" outlet Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6in. drip box.	23	С	Hunter PC-400 w/ (01) PCM-300 & (01) PCM-900 Light Commercial & Residential Controller, 16-station expanded module controller, 120 VAC, Outdoor model	1
Ē	Netafim TL050MFV-1 Automatic flush valve, 1/2" male pipe thread.	21	(RS)	Hunter MINI-CLIK-NO Rain Sensor, normally open, mount as noted	1
A	Hunter PLD-AVR PLD-AVR allows for air to escape a RESIDENTIAL drip irrigation system to prevent blockage and water hammering. 1/2" MPT connection with 80 PSI	8	FS	Hunter FLOW-CLIK-300 Flow Sensor SOV with Interface Panel, 3" Schedule 40 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required.	1
	maximum rating.		M	Water Meter 2" 2" IRRIGATION METER	1
(E)	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing	1		Irrigation Lateral Line: PVC Schedule 40	6,459 l.f.
	joint.			Irrigation Mainline: PVC Schedule 40	1,784 l.f.
E2	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing joint.	1		Pipe Sleeve: (2) 6" PVC Sleeves - Schedule 40	858.5 l.f.
E 3	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing joint.	1	#"•	Valve Callout Valve Number Valve Flow Valve Size	
Œ4	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing	1			

operating pressure. Specify with Hunter SJ swing

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NO. DATE REVISION ISSUE

05.18.23 ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

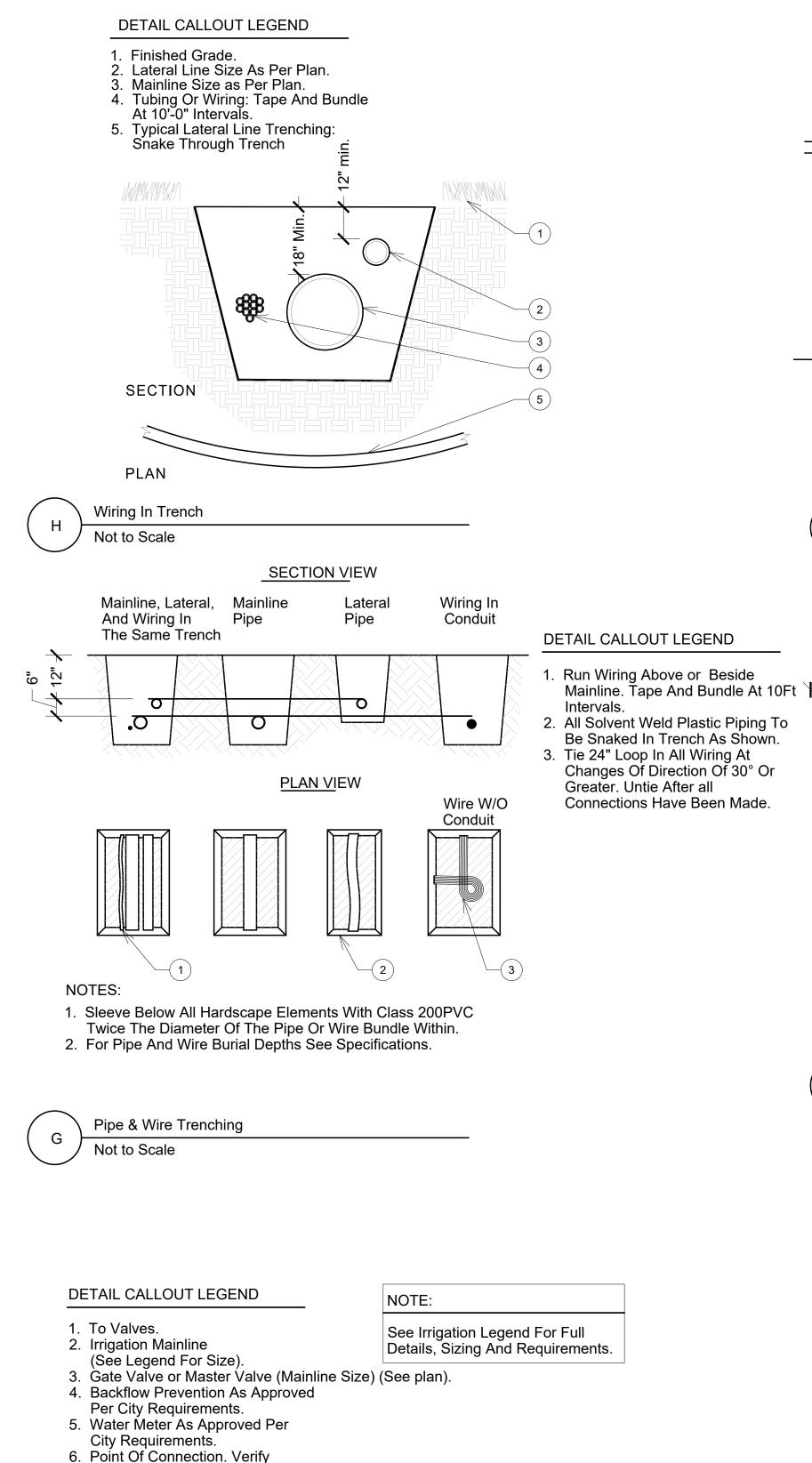
DRAWN: CHECKED:

REFERENCE NUMBER:

IRRIGATION SCHEDULE

DRAWING NUMBER:

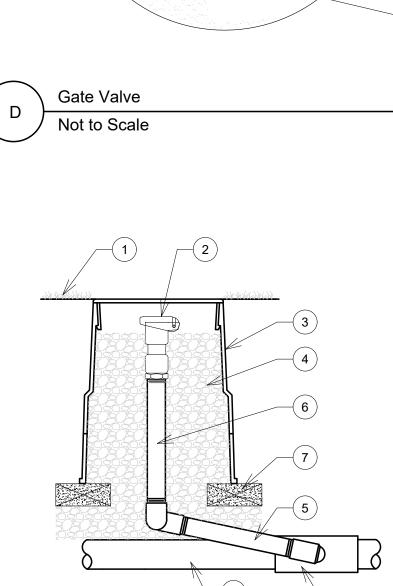
L8-03



Location In Field.

Not to Scale

Typical Diagram - Point of Connection



HQ33 Quick Coupling Valve

Not to Scale

/ 4" Min.

Sleeving Detail

Not to Scale

DETAIL CALLOUT LEGEND

1. Finished Grade/Top of Mulch. 2. Quick Coupling Valve: Hunter HQ-33DLRC-R 3/4", Two Piece Body with 3/4" inlet and 3/4" key outlet

3. Valve Box with purple cover 4. 6" depth min. of 3/4" washed gravel with commercial grade weed barrier

5. Hunter HSJ-0 Series Swing Joint,

size as required 6. PVC Sch. 80 Nipple 3/4"

(Length as Required) Brick Supports (2)

8. PVC Sch. 40 Tee Or Ell. 3/4" etc. 9. PVC Mainline Pipe.

NOTE: Furnish fittings and piping nominally sized identical to nominal quick coupling valve inlet size.

Irrigation Notes Not to Scale

DETAIL CALLOUT LEGEND

- Paving Trench
- Sleeves 4. PVC Cap, Typ.

Notes:

→ P C C

18" Min. **/**

- All PVC Irrigation Sleeves To be Sch. 40
- PVC Pipe. 2. All Elbows To Be lose fit
- and watertight. . Where There Is More Than One Sleeve, Extend The Smaller Sleeve 12" Minimum
- Above Finished Grade.

DETAIL CALLOUT LEGEND

Finished Grade Lawn Areas.

3. Top Of Valve Box To be Flush With

Finished Grade in seeded areas

commercial grade weed barrier

8. Sch. 80 PVC Male Adapter

(Sodded Areas 1" Above Finished Grade,

Shrub areas set flush with top of mulch).

6. 6" depth min. of 3/4" washed gravel with

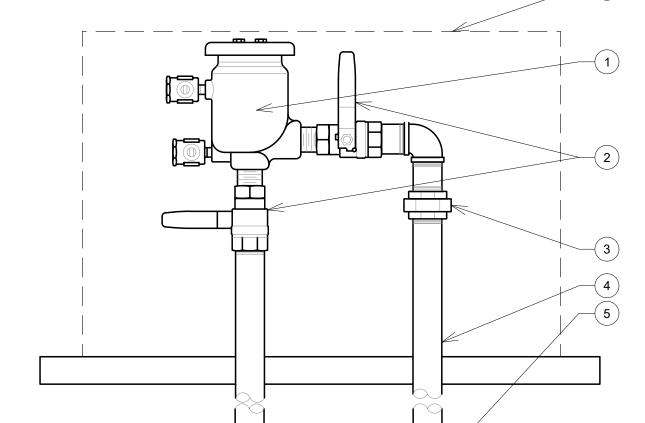
2. Finished grade Shrub Areas.

4. Box Extension.

5. Mainline.

7. Gate Valve.

Mechanically Tamp soil around each sleeve To 95% Proctor.



Backflow Prevention Not to Scale

IRRIGATION NOTES

- A. Except as otherwise provided, the contractor shall procure all permits and licenses, pay all charges & fees and give all notices necessary & incidental to the due lawful prosecution of
- B. The contractor shall follow the local municipal Public Works specifications for hot taps & installation of irrigation system.
- C. The contractor shall notify pertinent utility companies 48 hours prior to construction for current tility locations. Extreme care hall be exercised in excavating and working near existing utilities. The contractor shall verify the location & condition of all utilities and be responsible for any damage to utilities.
- D. The contractor shall not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in the areas dimensions exist that might not have been considered in the engineering. Such obstructions or differences shall be brought to the attention of the owner. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- E. The drawings are diagrammatic. All irrigation mainlines, lateral lines, valves, wire and fittings shall be placed in landscape areas. Gate valves, and remote control valves shall be places in shrub beds whenever possible.
- F. Avoid existing or future locations of trees and tree root balls when laying pipe.
- G. The contractor shall clearly mark all exposed excavations, materials and equipment. cover or barricade trenches when the contractor is not on site.
- H. The contractor shall adjust the arc angle of the irrigation heads for even cover. Head layout shall be head to head coverage. All nozzles shall have matching precipitation rates.
- . The contractor shall at all times protect his work from damage and theft. In the event of damage or theft, the contractor shall replace all damaged or stolen parts until the work is accepted in writing by owner.
- J. Top Of all Valve Boxes To be Flush With Finished Grade in seeded areas, (Sodded Areas set 1" Above Finished Grade, Shrub areas set flush with top of mulch).

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FEBCO MODEL 825Y Pressure Vacuum Breaker

as per local requirements

All pipe fittings above ground

DETAIL CALLOUT LEGEND

1. Pressure Vacuum Breaker

Wrap For Protection.

Highest Head

specifications

2. Gate Valves.

3. Brass Union.

Assembly To Be 18" Min. Above

4. Copper Pipe, Wrap With Thermo

5. At Point Where Copper Meets

Adapter & PVC Male Adapter.

6. Gorilla Cage, size as needed, set in

conc. footing as per manufacturers

PVC, Use Copper Female

or approved equal

shall be copper

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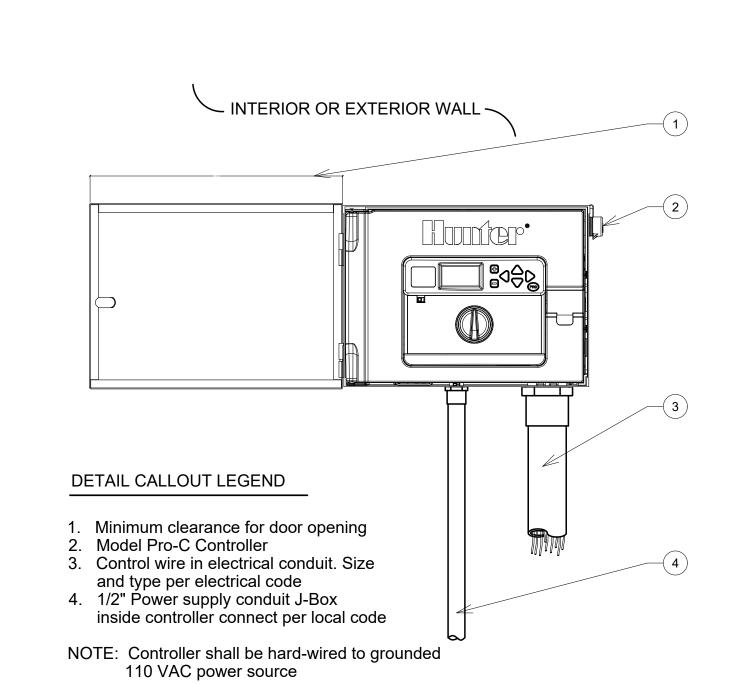
PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

REFERENCE NUMBER:

TITLE:

IRRIGATION DETAILS



Irrigation Controller

Not to Scale



maximum wire distance run of 1,000'

4. Standard Valve Box 5. Finished Grade

6. Mainline Pipe

NOTE INLET PIPE LENGTH OF SENSOR MUST BE MIN. 10X PIPE DIA. STRAIGHT, CLEAN RUN OF PIPE, NO FITTINGS OR TURNS. OUTLET PIPE LENGTH OF SENSOR MUST BE MIN. 5X PIPE DIA. OF STRAIGTH CLEAN RUN OF PIPE, NO FITTINGS OR TURNS.

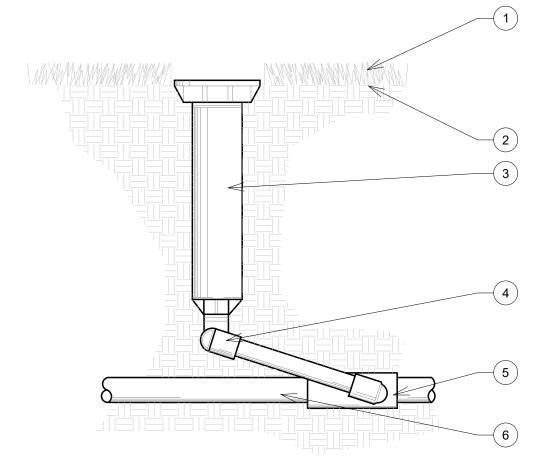


1. Top Of Valve Box To Be Flush With Finished Grade marked "2W" in white paint (3" ht. min.).

4. 3/8" Dia. Gravel 6" Min. Depth.

6. Brick Supports Min. (4) Per Valve Box.

Two Wire Terminus Box Not to Scale



Tree Bubbler Pop-Up Detail Not to Scale

2. Finished Grade

3. Valve Box

5. Filter Fabric.

7. Wires to Controller, 36" MIN.

8. Lateral Line

DETAIL CALLOUT LEGEND

Turf Area.

1. Turf Area.

Turr Area.
 Finished Grade.
 Pro-Spray 6" Sprinkler body with PCN-25
 Bubbler Nozzle
 Hunter HSJ Series swing joint, size as required
 Sch. 40 PVC Tee Or Elbow.
 PVC Lateral Line (12" Min.
 Cover As Noted In Legend).

Turi Area.
 Finished Grade.
 Pro-Spray 6" Sprinkler body, See Plan for specific nozzle types
 Hunter HSJ Series swing joint, size as required
 Sch. 40 PVC Tee Or Elbow.
 PVC Lateral Line (12" Min.

Cover As Noted In Legend).

DETAIL CALLOUT LEGEND PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER

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DATE

05.18.23

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LJA Engineering 3600 W Sam Houston Parkway S Suite 600

IRRIGATION DETAILS

DRAWING NUMBER:



1. Model Flow-Clik - xxx Model FCT-XXX (See Plan to Size)
 Min. 18/2 wire to interface panel

. Master Valve

FCT FITTING SELECTION FCT100 1 INCH SCH. 40 FCT150 1.5 INCH SCH. 40 FCT158 1.5 INCH SCH. 80 FCT200 2 INCH SCH. 40 FCT208 2 INCH SCH. 80

Turf Pop-Up Spray Detail Not to Scale

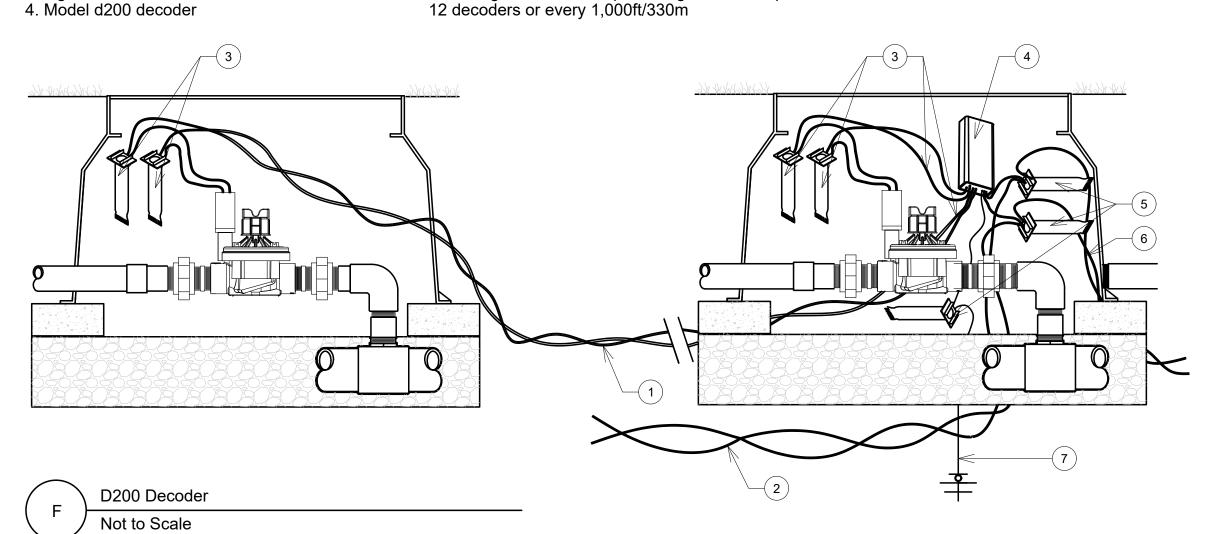
Flow-Clik

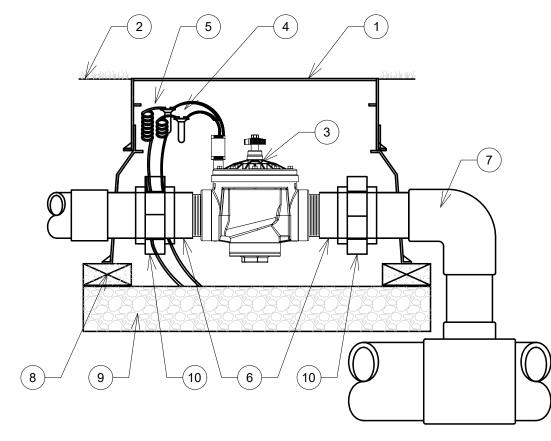
Not to Scale

<u>6</u>

DETAIL CALLOUT LEGEND

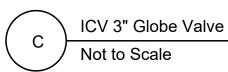
- 1. Decoder to solenoid max run 150 ft/45m
- 2. Id wire path twisted to next decoder
- 3. Dby (4) Color coded valve wires. see legend for color and valve #
- 5. Dby-6 (3)
- 6. Id wire path from controller allow 5ft/1.5m slack per decoder. 1/2 on either side of decoder
 7. To earth ground installed per asic guidelines. 1 per
 12 decoders or every 1,000ft/330m
- NOTE: All D200 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR ADDRESS 1 = Black ADDRESS 2 = Yellow





DETAIL CALLOUT LEGEND

- 1. Jumbo box with extension
- 2. Finish grade 3. Remote control valve model
- ICV-301g with filter sentry 4. DBRY Waterproof connectors (2) 5. 18-24" Coiled Wire
- 6. Sch 80 t.o.e. nipple
- 7. Main line pipe & fittings
- 8. Brick supports (4)
 9. 3" depth min. of 3/4" washed gravel
- with commercial grade weed
- barrier 10. PVC slip unions

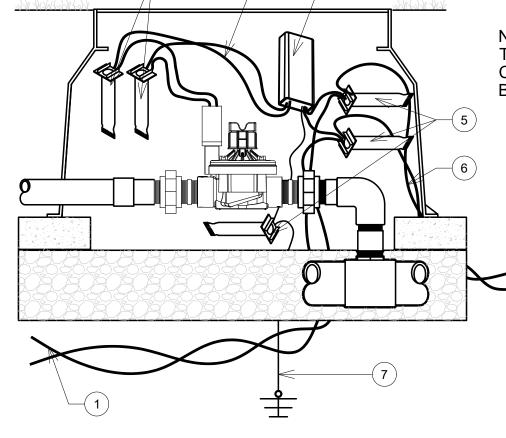


NOTE: All D600 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR

ADDRESS 1 = Black ADDRESS 4 = White ADDRESS 2 = Yellow ADDRESS 5 = Orange ADDRESS 3 = Green ADDRESS 6 = Purple

DETAIL CALLOUT LEGEND

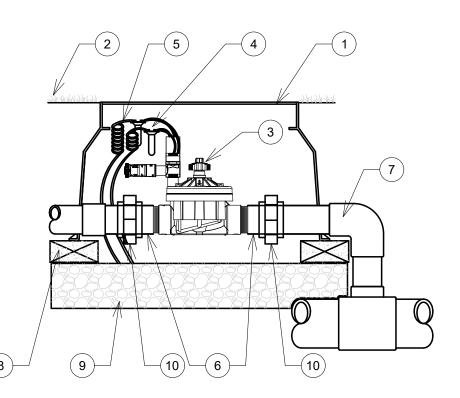
- 1. D600 decoder
- 2. Dby (2 per valve)
- 3. Dbr-6 (1 per connection) 4. 2 wire twisted id wire
- 5. To earth ground installed per asic guidelines.
 1 per 12 decoders or every 1,000 ft/330m
 6. Additional valve wired in parallel
 (Max of 2 per output)
- 7. Ground wire



NOTE: All D100 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR ADDRESS 1 = Black

DETAIL CALLOUT LEGEND

- 1. Id wire path twisted to next decoder
- 2. Dby (2) 3. Two black wires to valve
- solenoid/up to 150ft/45m
- 4. Model d100 decoder 5. Dby-6 (3)
- 6. Id wire path from controller allow 5ft/1.5m slack per decoder. 1/2 on either side of decoder
- 7. To earth ground installed per asic guidelines. 1 per 12 decoders or every 1,000ft/330m

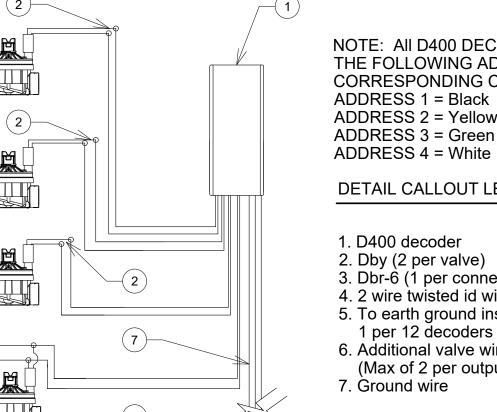


DETAIL CALLOUT LEGEND

- 1. Standard valve box
- 2. Finish grade 3. Remote control valve model ICV-151g & ICV-201g
- with filter sentry
 4. DBRY Waterproof connectors (2)
- 5. 18-24" Coiled Wire 6. Sch 80 t.o.e. nipple
- 7. Main line pipe & fittings 8. Brick supports (4)
- 9. 3" depth min. of 3/4" washed gravel with commercial grade weed barrier
- 10. PVC slip unions

ICV 1 1/2" - 2" Globe Valve

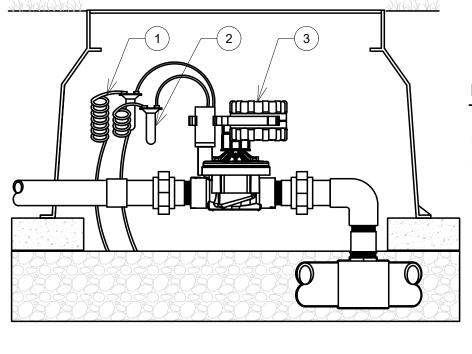
Not to Scale



NOTE: All D400 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR ADDRESS 1 = Black ADDRESS 2 = Yellow ADDRESS 3 = Green

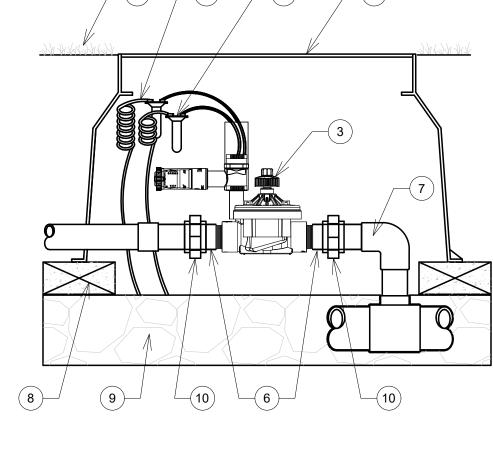
DETAIL CALLOUT LEGEND

- 5. To earth ground installed per asic guidelines.
- 6. Additional valve wired in parallel



DETAIL CALLOUT LEGEND

- 1. 18-24" coiled wire 2. DBRY Waterproof connectors (2)
- 3. Node-x00



DETAIL CALLOUT LEGEND

- 1. Standard valve box
- 2. Finish grade 3. Remote control valve model
- ICV-101g with filter sentry
 4. DBRY Waterproof connectors (2)
- 5. Standard valve box 6. Sch 80 t.o.e. nipple
- 7. Main line pipe & fittings
- 8. Brick supports (4)
- 9. 3" depth min. of 3/4" washed gravel
- with commercial grade weed barrier
- 10. PVC slip unions

ICV 1" Globe Valve Not to Scale

PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

MAGNOLIA, TX 77354

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149

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NO. DATE

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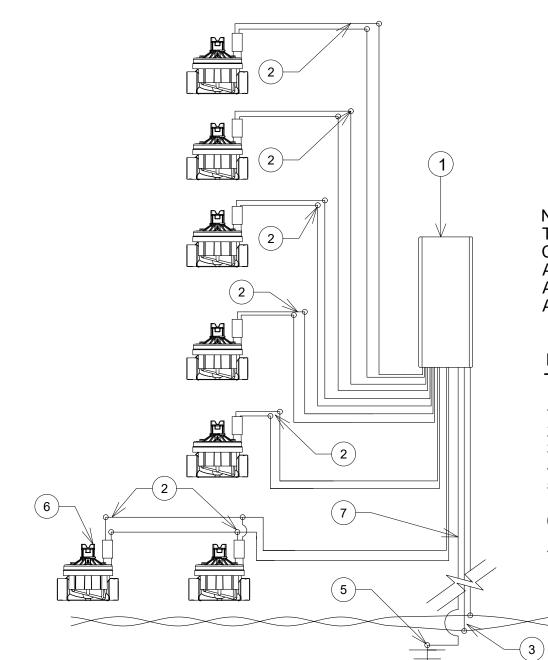
CHECKED: DRAWN:

REFERENCE NUMBER:

TITLE:

IRRIGATION DETAILS

DRAWING NUMBER:



D600 Decoder Not to Scale

2 6

D400 Decoder

Not to Scale

1. D400 decoder

2. Dby (2 per valve) 3. Dbr-6 (1 per connection) 4. 2 wire twisted id wire

1 per 12 decoders or every 1,000 ft/330m

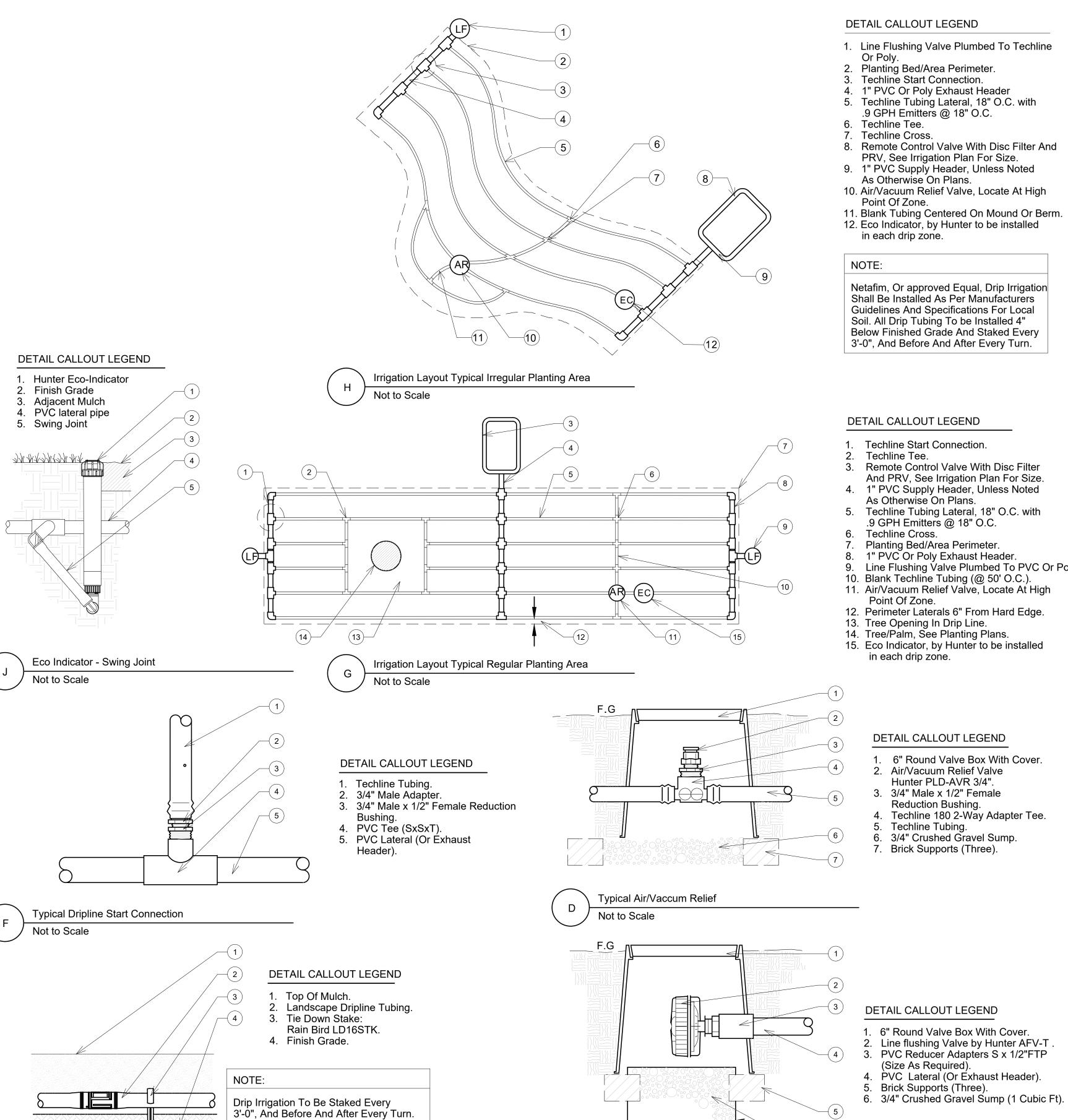
(Max of 2 per output)

7. Ground wire

Node Controller Not to Scale

D100 Decoder

Not to Scale



Line Flushing Valve

Not to Scale

Drip Tube Staking Detail

Not to Scale

DETAIL CALLOUT LEGEND

- 1. Line Flushing Valve Plumbed To Techline
- 2. Planting Bed/Area Perimeter.
- 3. Techline Start Connection.
- 1" PVC Or Poly Exhaust Header
- 5. Techline Tubing Lateral, 18" O.C. with .9 GPH Emitters @ 18" O.C.
- 6. Techline Tee.
- Techline Cross.
- 8. Remote Control Valve With Disc Filter And
- PRV, See Irrigation Plan For Size.
 9. 1" PVC Supply Header, Unless Noted
- As Otherwise On Plans.

 10. Air/Vacuum Relief Valve, Locate At High
- Point Of Zone.
- 11. Blank Tubing Centered On Mound Or Berm.12. Eco Indicator, by Hunter to be installed

Netafim, Or approved Equal, Drip Irrigation Shall Be Installed As Per Manufacturers **Guidelines And Specifications For Local** Soil. All Drip Tubing To be Installed 4" Below Finished Grade And Staked Every 3'-0", And Before And After Every Turn.

DETAIL CALLOUT LEGEND

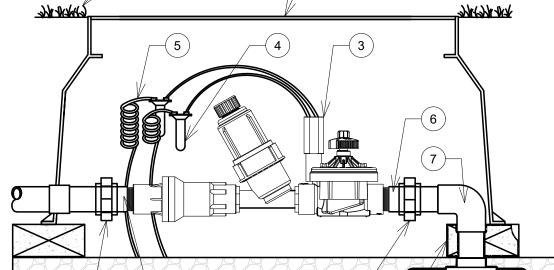
- Techline Start Connection.
- Techline Tee. Remote Control Valve With Disc Filter
- And PRV, See Irrigation Plan For Size.
- 1" PVC Supply Header, Unless Noted As Otherwise On Plans.
- 5. Techline Tubing Lateral, 18" O.C. with .9 GPH Emitters @ 18" O.C.
- Techline Cross. Planting Bed/Area Perimeter.
- 8. 1" PVC Or Poly Exhaust Header.
- 9. Line Flushing Valve Plumbed To PVC Or Poly.
- 10. Blank Techline Tubing (@ 50' O.C.). 11. Air/Vacuum Relief Valve, Locate At High
- 12. Perimeter Laterals 6" From Hard Edge.

- 13. Tree Opening In Drip Line.
 14. Tree/Palm, See Planting Plans.
 15. Eco Indicator, by Hunter to be installed in each drip zone.

DETAIL CALLOUT LEGEND

- 6" Round Valve Box With Cover.
- . Air/Vacuum Relief Valve
- Hunter PLD-AVR 3/4". 3. 3/4" Male x 1/2" Female
- Reduction Bushing.
- 4. Techline 180 2-Way Adapter Tee. 5. Techline Tubing.
- 6. 3/4" Crushed Gravel Sump.
- 7. Brick Supports (Three).

11)—



6 9 10 8

ICZ 151-40 Drip Control Kit - Flow 20 to 60 GPM

DETAIL CALLOUT LEGEND

3. Drip zone kit model ICZ-151-40 with filter

(tip 45 degrees) regulator 40 psi 4. DBRY Waterproof connectors (2)

6. Sch 80 t.o.e. nipple 7. Main line pipe & fittings

8. Brick supports (4)
9. 3" depth min. of 3/4" washed gravel

—(11)

with commercial grade weed

10. Lateral pipe and fittings11. Pvc slip unions (2)

6

SIDE VIEW

SIDE VIEW

1. Super jumbo valve box

5. 18-24" coiled wire

2. Finish grade

2/1 1×1×1/2

Not to Scale

- 1. Jumbo valve box 2. Finish grade
- 3. Drip zone kit model ICZ-101-xx with filter (tip 45 degrees) regulator 25

DETAIL CALLOUT LEGEND

- or 40 psi 4. DBRY Waterproof connectors (2)
- 5. 18-24" coiled wire
- 6. Sch 80 t.o.e. nipple

- 7. Main line pipe & fittings
 8. Brick supports (4)
 9. 3" depth min. of 3/4" washed gravel
 with commercial grade weed

barrier 10. PVC slip unions (2)

ICZ 101 Drip Control Kit - Flow 2 to 20 GPM

Not to Scale

10

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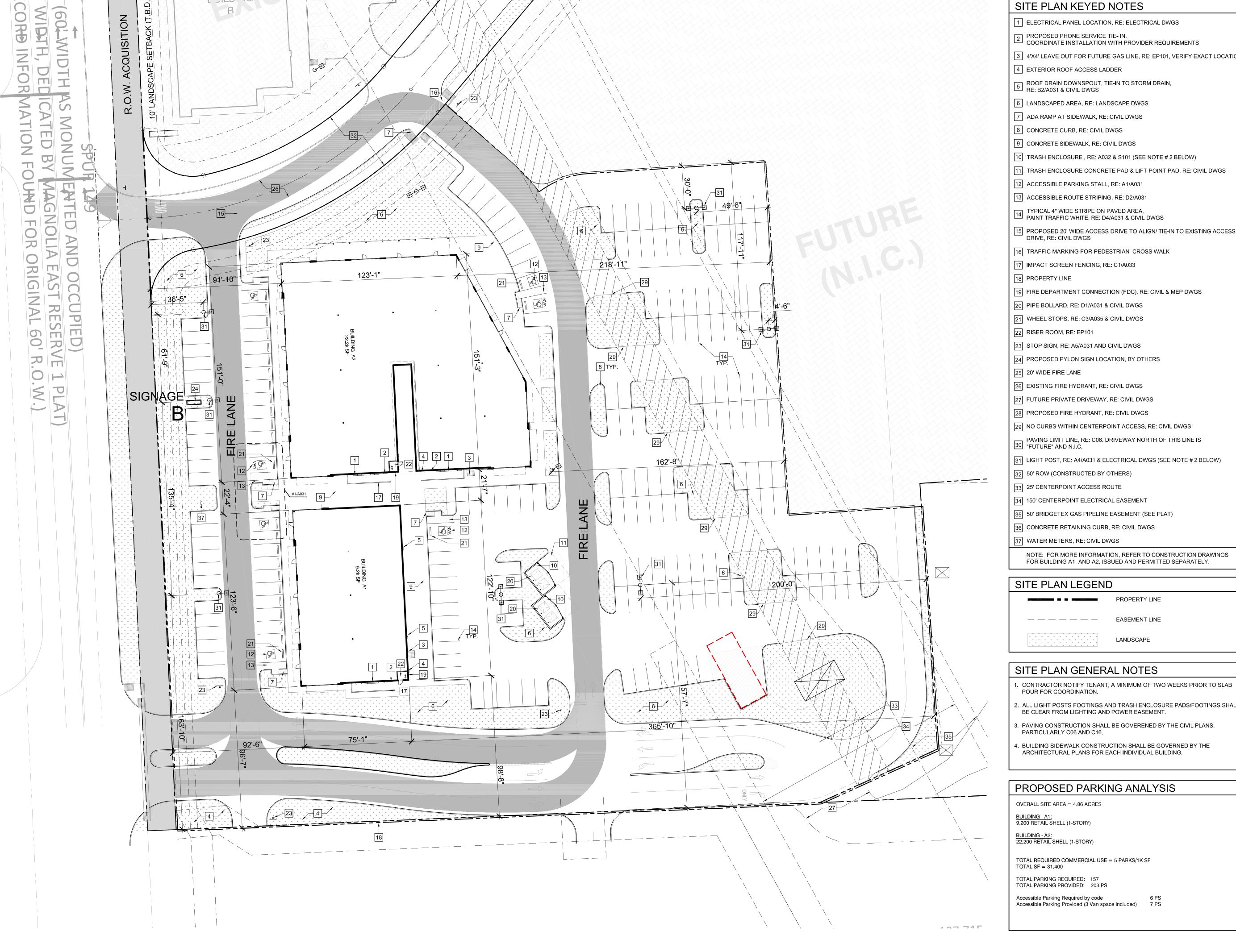
PROJECT NAME AND ADDRESS: **MAGNOLIA VILLAGE RETAIL CENTER**

SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED: DRAWN:

REFERENCE NUMBER:

IRRIGATION DETAILS



SITE PLAN KEYED NOTES

1 ELECTRICAL PANEL LOCATION, RE: ELECTRICAL DWGS

PROPOSED PHONE SERVICE TIE- IN.

COORDINATE INSTALLATION WITH PROVIDER REQUIREMENTS

 \mid 3 \mid 4'X4' LEAVE OUT FOR FUTURE GAS LINE, RE: EP101, VERIFY EXACT LOCATION

4 EXTERIOR ROOF ACCESS LADDER

ROOF DRAIN DOWNSPOUT, TIE-IN TO STORM DRAIN, RE: B2/A031 & CIVIL DWGS

6 LANDSCAPED AREA, RE: LANDSCAPE DWGS

7 ADA RAMP AT SIDEWALK, RE: CIVIL DWGS

9 CONCRETE SIDEWALK, RE: CIVIL DWGS

10 TRASH ENCLOSURE, RE: A032 & S101 (SEE NOTE # 2 BELOW)

11 TRASH ENCLOSURE CONCRETE PAD & LIFT POINT PAD, RE: CIVIL DWGS

12 ACCESSIBLE PARKING STALL, RE: A1/A031

| 13 | ACCESSIBLE ROUTE STRIPING, RE: D2/A031

TYPICAL 4" WIDE STRIPE ON PAVED AREA, PAINT TRAFFIC WHITE, RE: D4/A031 & CIVIL DWGS

15 PROPOSED 20' WIDE ACCESS DRIVE TO ALIGN/ TIE-IN TO EXISTING ACCESS DRIVE, RE: CIVIL DWGS

16 TRAFFIC MARKING FOR PEDESTRIAN CROSS WALK

17 IMPACT SCREEN FENCING, RE: C1/A033

18 PROPERTY LINE

19 FIRE DEPARTMENT CONNECTION (FDC), RE: CIVIL & MEP DWGS

20 PIPE BOLLARD, RE: D1/A031 & CIVIL DWGS

21 WHEEL STOPS, RE: C3/A035 & CIVIL DWGS

22 RISER ROOM, RE: EP101

23 STOP SIGN, RE: A5/A031 AND CIVIL DWGS

24 PROPOSED PYLON SIGN LOCATION, BY OTHERS

25 20' WIDE FIRE LANE

26 EXISTING FIRE HYDRANT, RE: CIVIL DWGS

27 FUTURE PRIVATE DRIVEWAY, RE: CIVIL DWGS

28 PROPOSED FIRE HYDRANT, RE: CIVIL DWGS

29 NO CURBS WITHIN CENTERPOINT ACCESS, RE: CIVIL DWGS

PAVING LIMIT LINE, RE: C06. DRIVEWAY NORTH OF THIS LINE IS 30 "FUTURE" AND N.I.C.

31 LIGHT POST, RE: A4/A031 & ELECTRICAL DWGS (SEE NOTE # 2 BELOW)

32 50' ROW (CONSTRUCTED BY OTHERS)

33 25' CENTERPOINT ACCESS ROUTE

34 150' CENTERPOINT ELECTRICAL EASEMENT

35 50' BRIDGETEX GAS PIPELINE EASEMENT (SEE PLAT)

[36] CONCRETE RETAINING CURB, RE: CIVIL DWGS

37 WATER METERS, RE: CIVIL DWGS

NOTE: FOR MORE INFORMATION, REFER TO CONSTRUCTION DRAWINGS FOR BUILDING A1 AND A2, ISSUED AND PERMITTED SEPARATELY.

SITE PLAN LEGEND

PROPERTY LINE

EASEMENT LINE

SITE PLAN GENERAL NOTES

2. ALL LIGHT POSTS FOOTINGS AND TRASH ENCLOSURE PADS/FOOTINGS SHALL

LANDSCAPE

BE CLEAR FROM LIGHTING AND POWER EASEMENT. 3. PAVING CONSTRUCTION SHALL BE GOVERENED BY THE CIVIL PLANS,

PARTICULARLY C06 AND C16.

4. BUILDING SIDEWALK CONSTRUCTION SHALL BE GOVERNED BY THE ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING.

PROPOSED PARKING ANALYSIS

OVERALL SITE AREA = 4.86 ACRES

BUILDING - A1: 9,200 RETAIL SHELL (1-STORY)

BUILDING - A2: 22,200 RETAIL SHELL (1-STORY)

TOTAL REQUIRED COMMERCIAL USE = 5 PARKS/1K SF

TOTAL PARKING REQUIRED: 157

TOTAL PARKING PROVIDED: 203 PS Accessible Parking Required by code 6 PS
Accessible Parking Provided (3 Van space included) 7 PS

DRAWING NUMBER:

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KEENON RAYNER TX REG: 18268

EXP: 07/31/2023

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NO. DATE **REVISION ISSUE** 05.18.23 ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

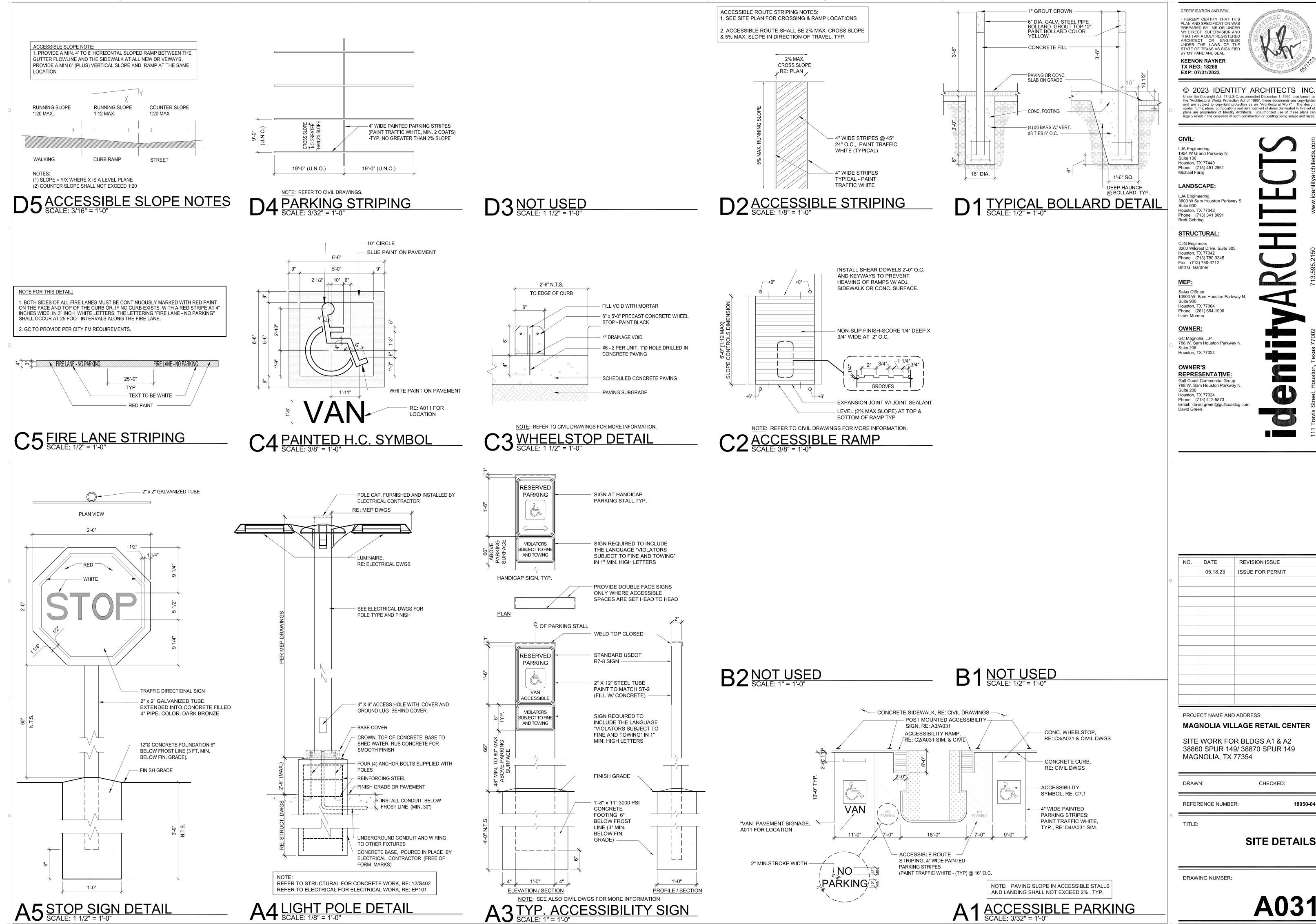
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TITLE:

REFERENCE NUMBER:

SITE PLAN

A1 SITE PLAN SCALE: 1" = 30'-0"



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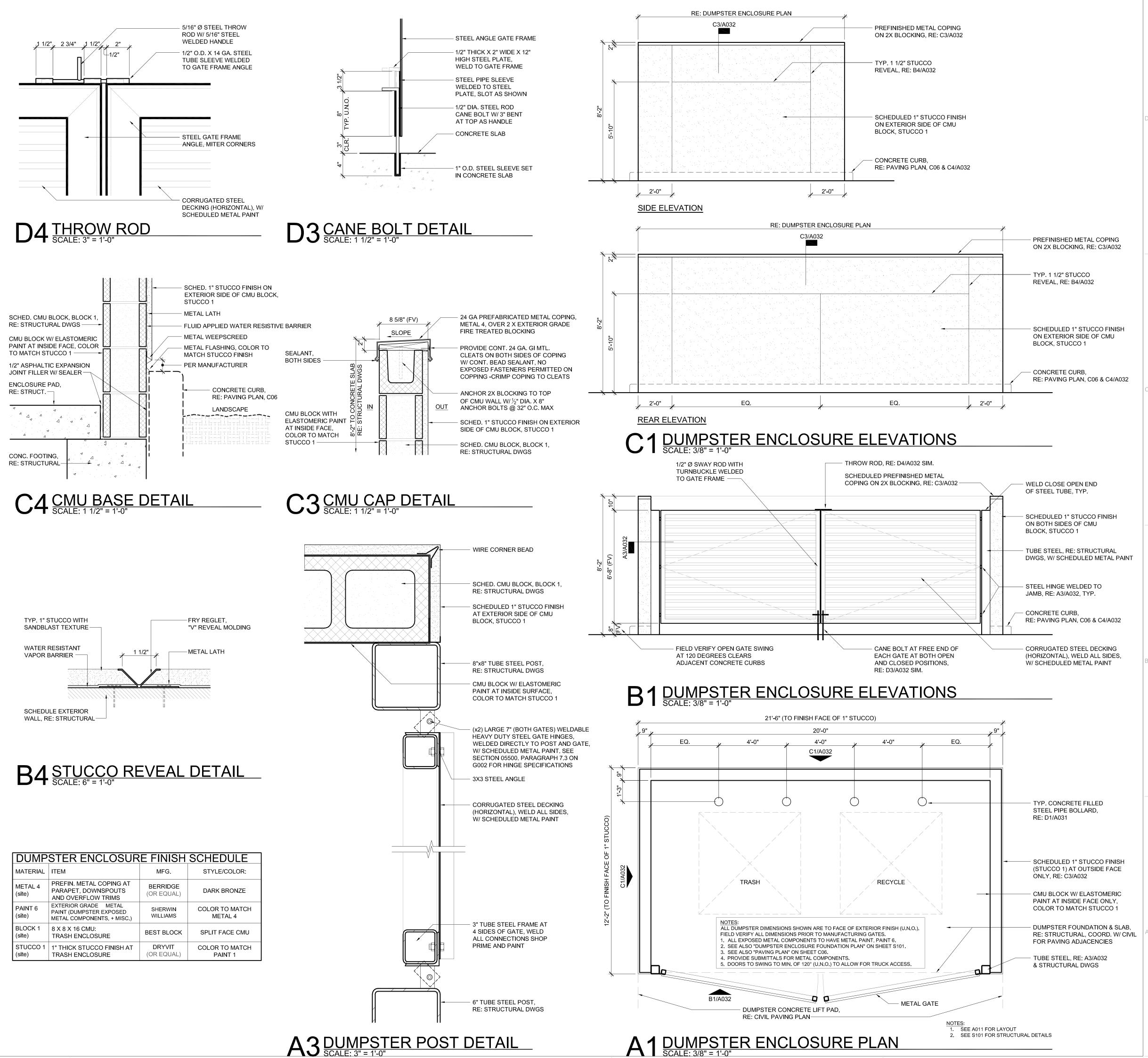
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REFERENCE NUMBER:

SITE DETAILS

DRAWING NUMBER:



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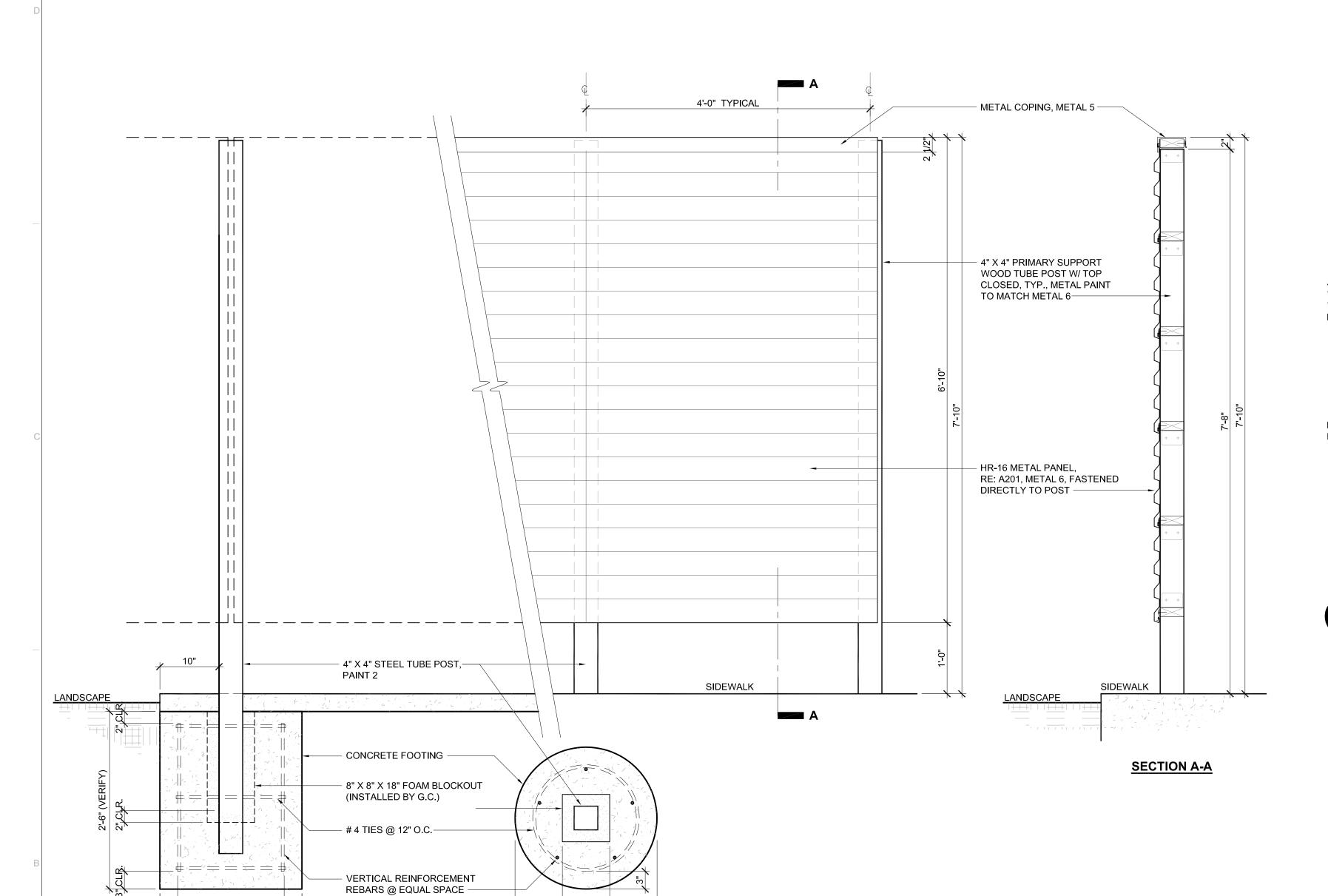
SITE WORK FOR BLDGS A1 & A2 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

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REFERENCE NUMBER:

TITLE:

DUMPSTER ENCLOSURES FOR BUILDINGS A1 & A2



2'-0" DIA. (VERIFY)

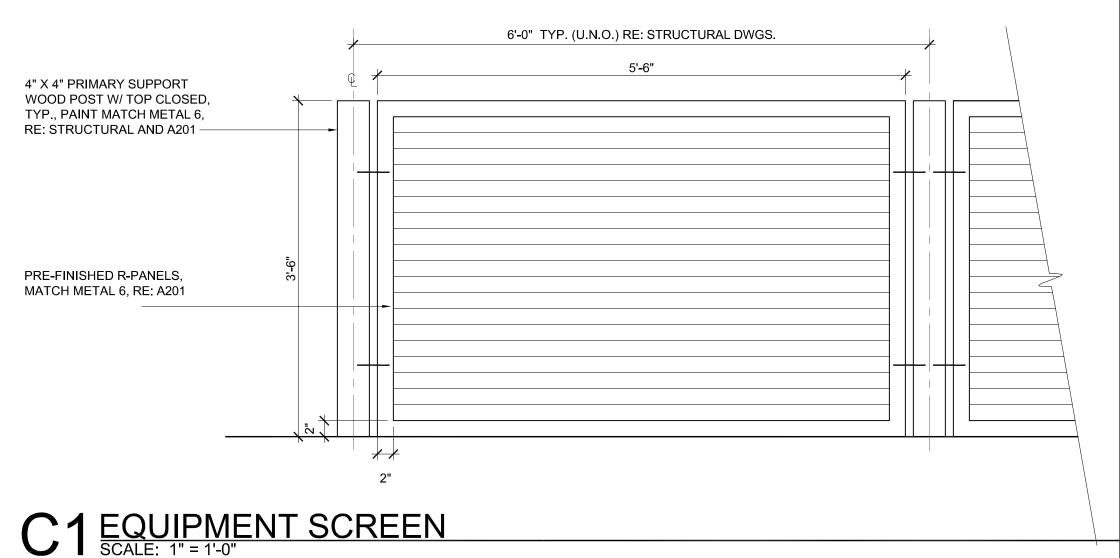
PLAN VIEW

B1 UTILITY SCREEN FENCE - ELEVATION AND SECTION
SCALE: 1" = 1'-0"

POST FOOTING SECTION / ELEVATION

GENERAL SITE NOTES

COORDINATE THE FINAL LOCATION OF SCREEN POSTS WITH RTU MANUFACTURER CLEARANCE REQUIREMENTS



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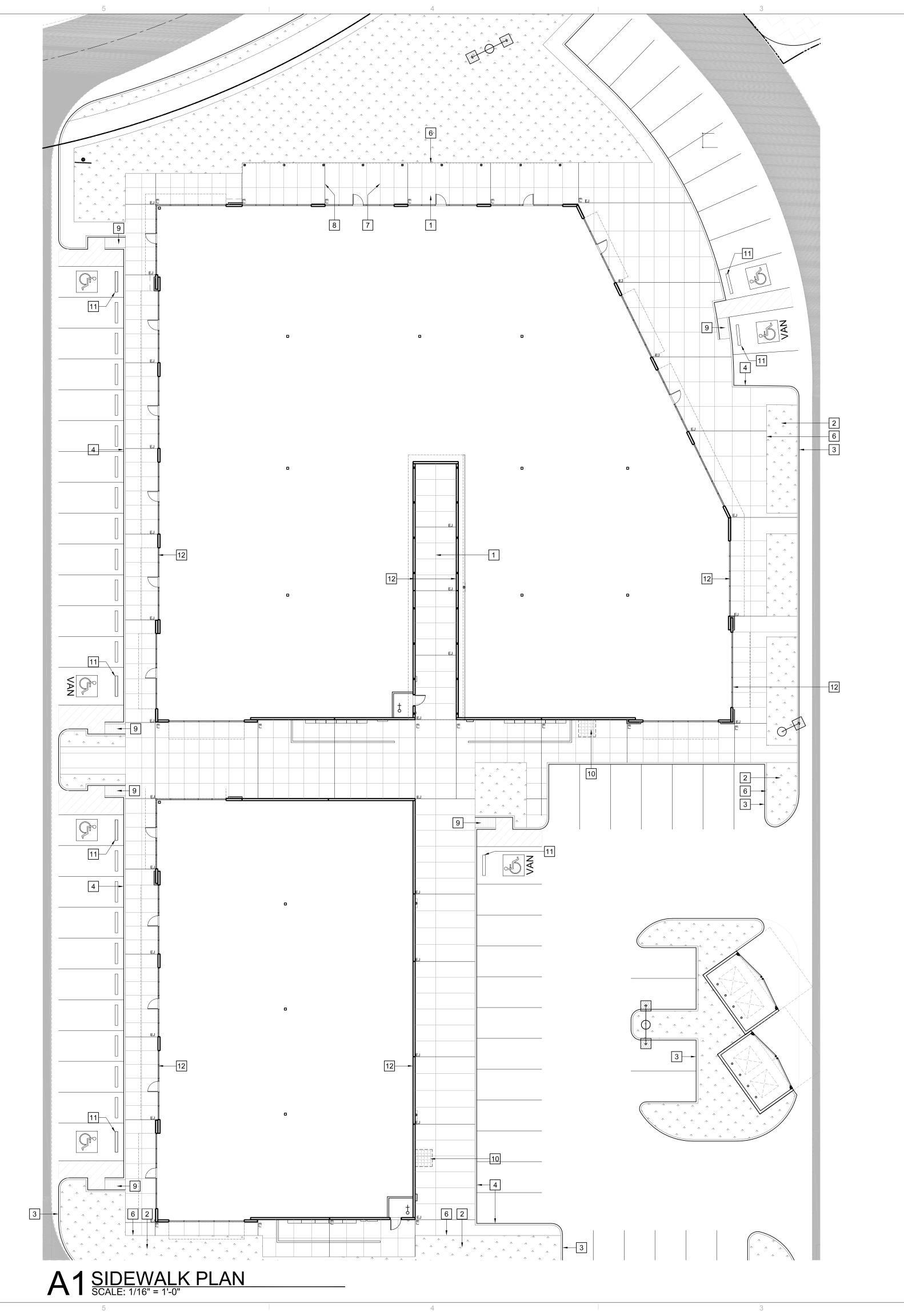
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REFERENCE NUMBER:

TITLE:

SITE DETAILS

DRAWING NUMBER:



SIDEWALK PLAN KEYED NOTES

- 1 CONCRETE SIDEWALK
- 2 LANDSCAPED AREA, RE: LANDSCAPE DRAWINGS
- 3 TYPICAL MONOLITHIC CURB AT PAVING, RE: C15
- 4 TYPICAL MONOLITHIC SIDEWALK CURB AT BUILDINGS, RE: A2/A035
- 5 NOT USED
- 6 TYPICAL THICKENED SIDEWALK EDGE AT PLANTERS, RE: A4/A035
- 7 TYPICAL SIDEWALK EXPANSION JOINT, RE: A1/A035
- 8 TYPICAL SIDEWALK TOOL JOINT, RE: A2/A035
- 9 ACCESSIBLE RAMP, RE: C2/A031 SIM.
- 10 CONCRETE LEAVE OUT FOR FUTURE GAS SERVICE, RE: MEP DWGS
- 11 TYPICAL CONCRETE WHEEL STOP, RE: A3/A035
- 12 TYPICAL ISOLATION JOINT BEWEEN PAVING & STRUCTURAL CONC. RE CIVIL

SIDEWALK PLAN GENERAL NOTES

- IN GENERAL, PAVING CONSTRUCTION SHALL BE GOVERNED BY THE CIVIL DRAWINGS AND BUILDING SIDEWALK CONSTRUCTION SHALL BE GOVERNED BY THE ARCHITECTURAL DRAWINGS.
- REFER TO SHEET A011 FOR MORE INFORMATION.

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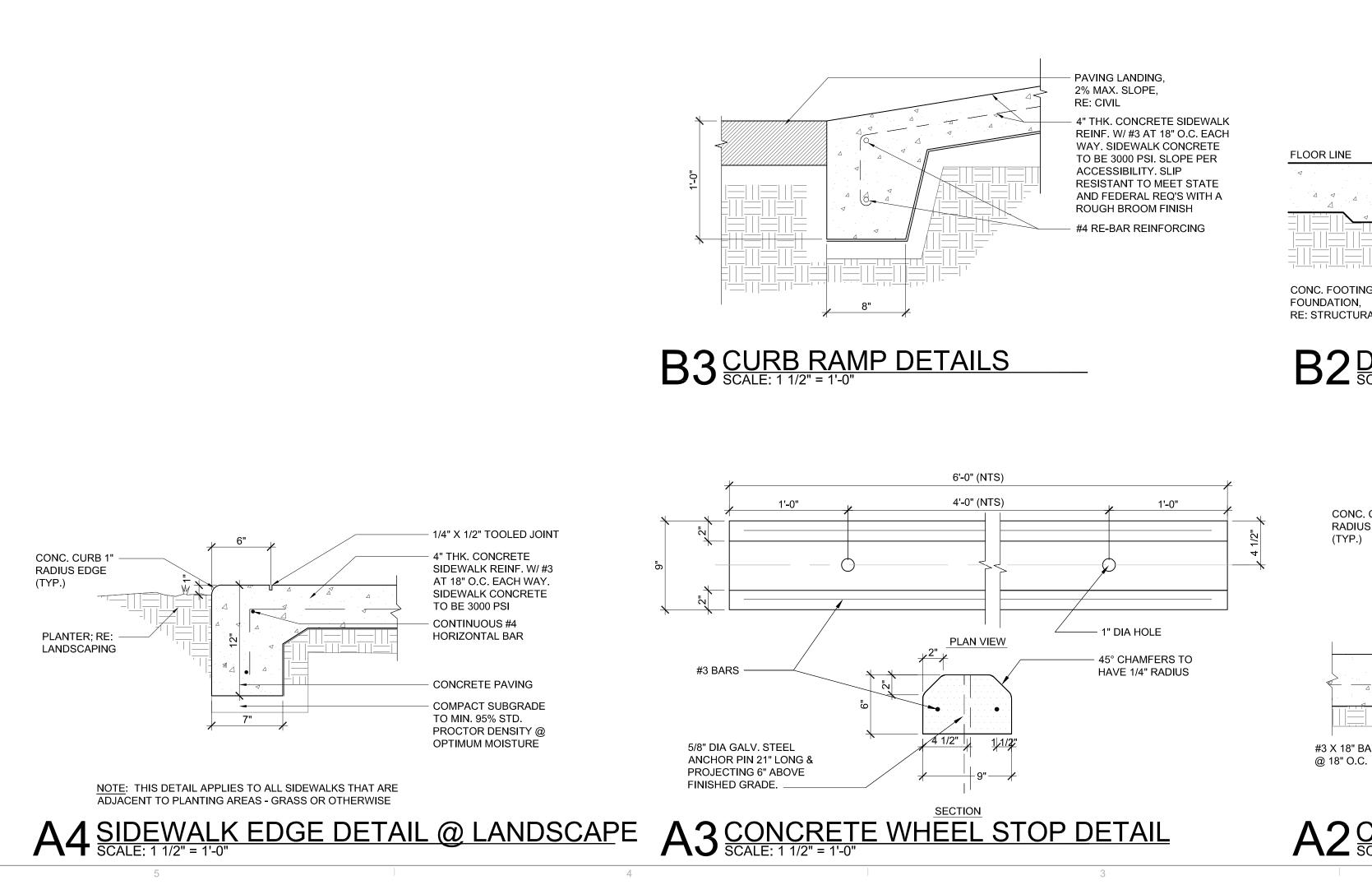
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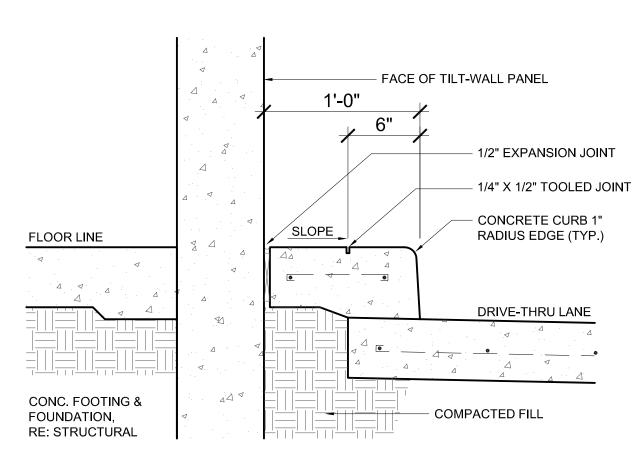
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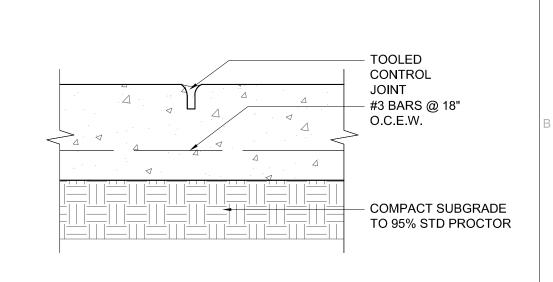
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SIDEWALK PLAN

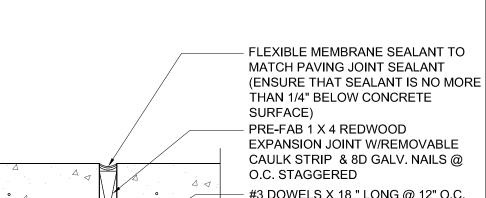
DRAWING NUMBER:







B1 SIDEWALK TOOL JOINT SCALE: 3" = 1'-0" B2 DRIVE THRU CURB TO BLDG. SCALE: 1 1/2" = 1'-0"



#3 DOWELS X 18 " LONG @ 12" O.C. - #3 BARS @ 18" O.C.E.W. CARDBOARD TUBE AT ONE END.

- COMPACT SUBGRADE

TO 95% STD PROCTOR

DRAWN: CHECKED:

PROJECT NAME AND ADDRESS:

PAD A SITE WORK

MAGNOLIA, TX 77354

REFERENCE NUMBER:

MAGNOLIA VILLAGE RETAIL CENTER

38860 SPUR 149/ 38870 SPUR 149

SIDEWALK DETAILS

DRAWING NUMBER:

A035

CONC. CURB 1" RADIUS EDGE (TYP.) 1/4" X 1/2" TOOLED JOINT - 4" THK. CONCRETE SIDEWALK REINF. W/ #3 AT 18" O.C. EACH WAY. SIDEWALK CONCRETE TO BE 3000 PSI CONTINUOUS #4 HORIZONTAL BAR CONCRETE PAVING

COMPACT SUBGRADE TO MIN. 95% STD. PROCTOR DENSITY @ #3 X 18" BARS -OPTIMUM MOISTURE

A2 CURB DETAIL @ SIDEWALK
SCALE: 1 1/2" = 1'-0"

A 1 SIDEWALK EXPAN. JOINT SCALE: 3" = 1'-0"

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CIVIL:

LJA Engineering 1904 W Grand Parkway N. Suite 100 Houston, TX 77449 Phone (713) 451 2861

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Michael Faraj

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STRUCTURAL:

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Brett Gehring

Salas O'Brien 10903 W. Sam Houston Parkway N. Suite 900 Houston, TX 77064 Phone (281) 664-1900 Israel Moreno

OWNER:

GC Magnolia, L.P.

788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024

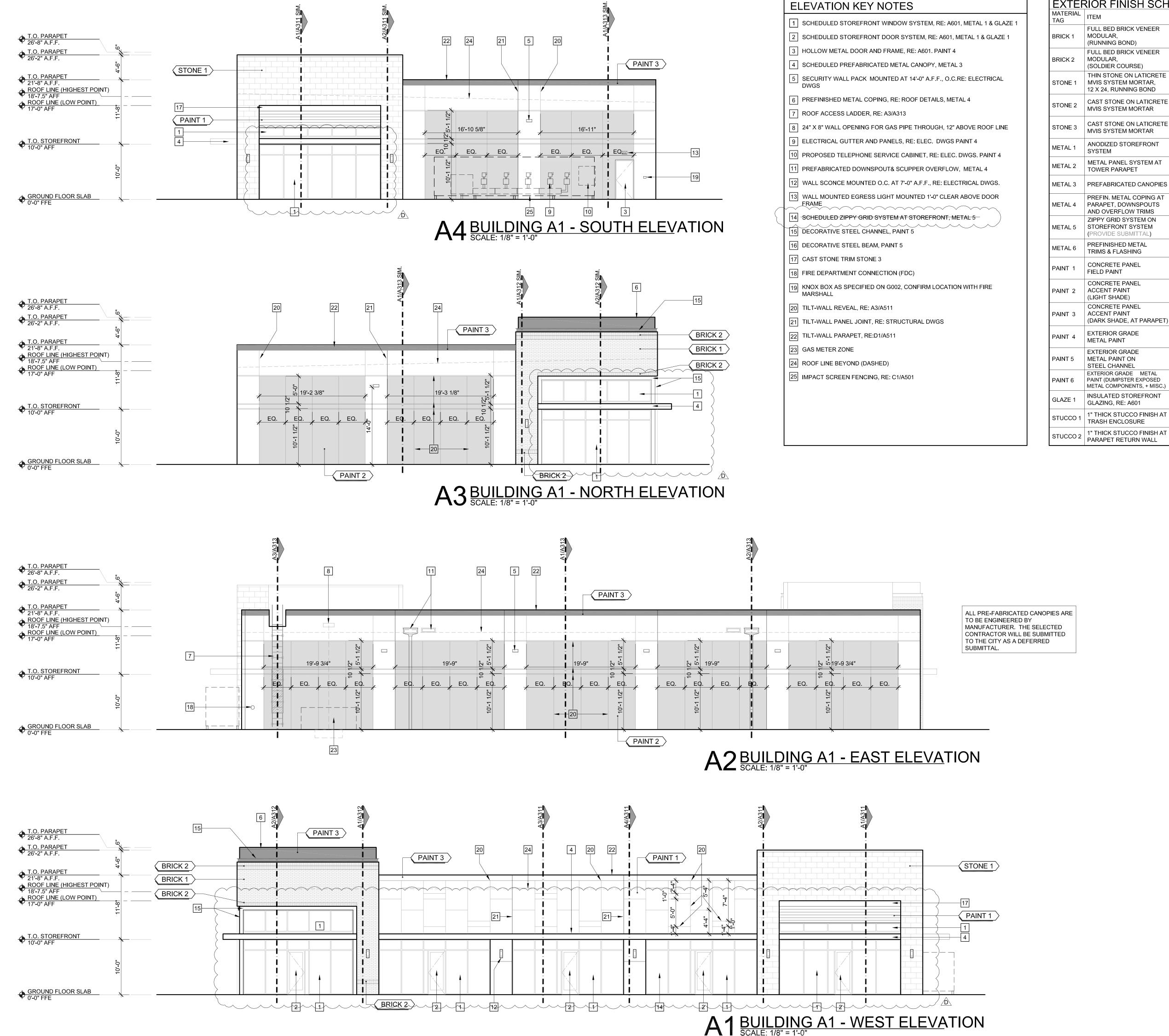
OWNER'S

REPRESENTATIVE: Gulf Coast Commercial Group 788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024 Phone (713) 412-5873 Email: david.green@gulfcoastcg.com David Green

NO. DATE

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EXTERIOR FINISH SCHEDULE STYLE/COLOR: FULL BED BRICK VENEER DOVE GREY (VEVOUR) UPCHURCH MORTAR: **KIMBROUGH** (RUNNING BOND) SPECTRUM WHITE-N/S **FULL BED BRICK VENEER** DOVE GREY (VEVOUR) UPCHURCH MORTAR: **KIMBROUGH** (SOLDIER COURSE) SPECTRUM WHITE-N/S THIN STONE ON LATICRETE MONACO SHORES UPCHURCH MVIS SYSTEM MORTAR, MORTAR: KIMBROUGH 12 X 24, RUNNING BOND SPECTRUM WHITE-N/S COLOR: NATURAL CAST STONE ON LATICRETE MORTAR: MVIS SYSTEM MORTAR SPECTRUM WHITE-N/S CAST STONE ON LATICRETE COLOR: MATCH TO SITE WORKS **MVIS SYSTEM MORTAR** STONE 1 ANODIZED STOREFRONT SYSTEM KAWNEER DARK BRONZE METAL PANEL SYSTEM AT BERRIDGE DARK BRONZE **TOWER PARAPET** (OR EQUAL) AVADEK PREFABRICATED CANOPIES DARK BRONZE (OR EQUAL) PREFIN. METAL COPING AT BERRIDGE PARAPET, DOWNSPOUTS DARK BRONZE (OR EQUAL) AND OVERFLOW TRIMS LJA Engineering ZIPPY GRID SYSTEM ON STYLE: "ORIGINAL" STOREFRONT SYSTEM ZIPPY GRID DARK BRONZE (TO MATCH STOREFRONT (PROVIDE SUBMITTAL) Brett Gehring BERRIDGE PREFINISHED METAL DARK BRONZE (OR EQUAL) TRIMS & FLASHING STRUCTURAL: **COLOR: SW 7014** SHERWIN CONCRETE PANEL EIDER WHITE FIELD PAINT WILLIAMS TEXTURE: MEDIUM CONCRETE PANEL COLOR: SW 7043 SHERWIN ACCENT PAINT WORLDLY GRAY WILLIAMS (LIGHT SHADE) TEXTURE: MEDIUM **CONCRETE PANEI** COLOR: SW 7675 SHERWIN ACCENT PAINT SEAL SKIN WILLIAMS (DARK SHADE, AT PARAPET) TEXTURE: MEDIUM SHERWIN **COLOR TO MATCH EXTERIOR GRADE** METAL PAINT WILLIAMS PAINT 2 EXTERIOR GRADE SHERWIN COLOR: SW 7675 METAL PAINT ON WILLIAMS SEAL SKIN STEEL CHANNEL EXTERIOR GRADE METAL COLOR TO MATCH SHERWIN PAINT (DUMPSTER EXPOSED WILLIAMS METAL 4 METAL COMPONENTS, + MISC.) VITRO GLASS SOLARBAN 70XL INSULATED STOREFRONT GLAZING, RE: A601 (OR EQUAL) (CLEAR + CLEAR) 1" THICK STUCCO FINISH AT TRASH ENCLOSURE DRYVIT **COLOR TO MATCH** (OR EQUAL) PAINT 1 DRYVIT **COLOR TO MATCH**

(OR EQUAL)

PAINT 3

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OWNER'S REPRESENTATIVE: Gulf Coast Commercial Group 788 W. Sam Houston Parkway N. Suite 206 Houston, TX 77024 Phone (713) 412-5873 Email: david.green@gulfcoastcg.cor David Green

	NO.	DATE	REVISION ISSUE
		05.18.23	ISSUE FOR PERMIT
В	B	07/18/23	CITY COMMENTS
	Ô	08/15/23	CITY COMMENTS
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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A1 38860 SPUR 149 MAGNOLIA, TX 77354

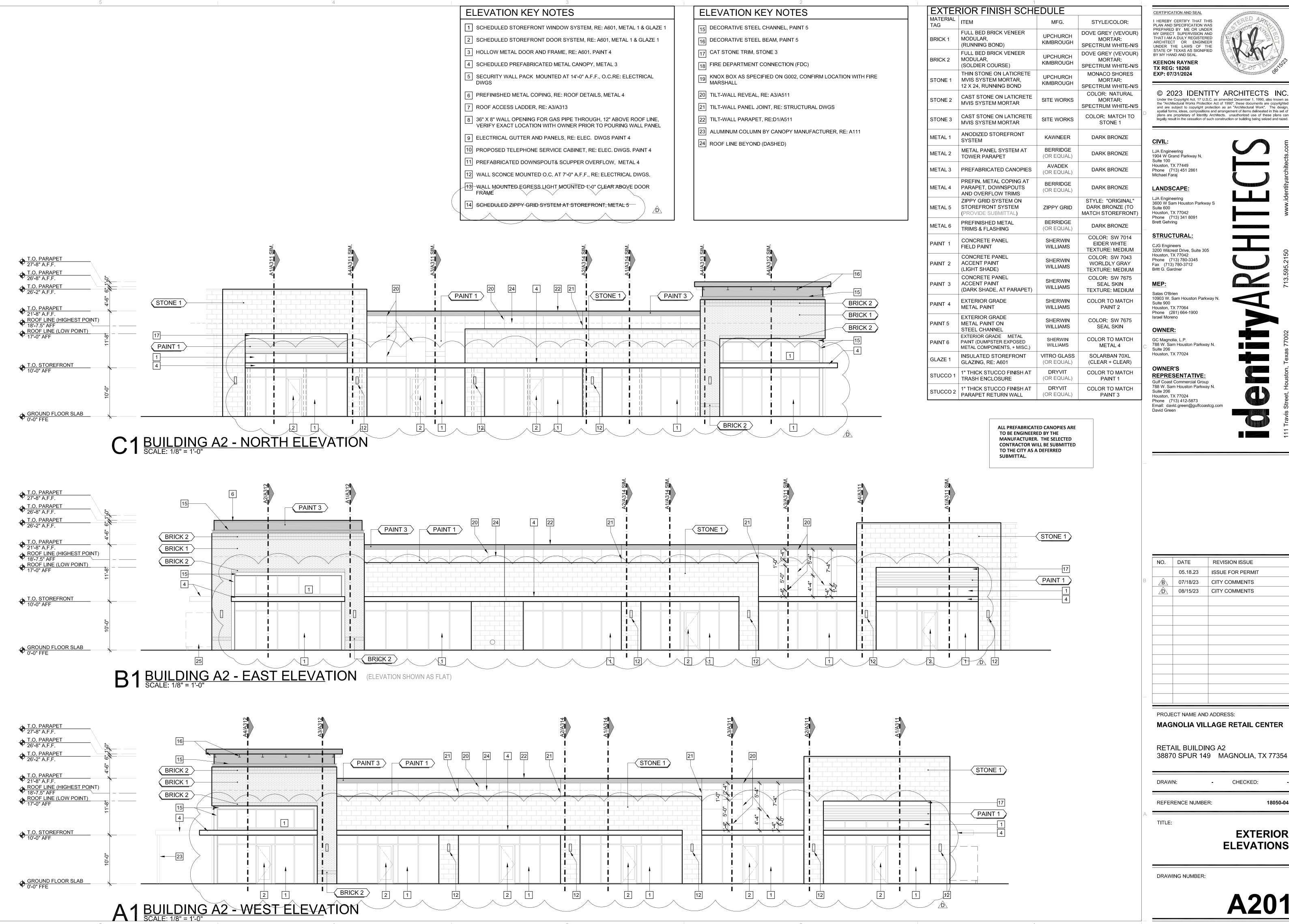
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NO. DATE REVISION ISSUE ISSUE FOR PERMIT CITY COMMENTS 07/18/23 08/15/23 CITY COMMENTS

PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

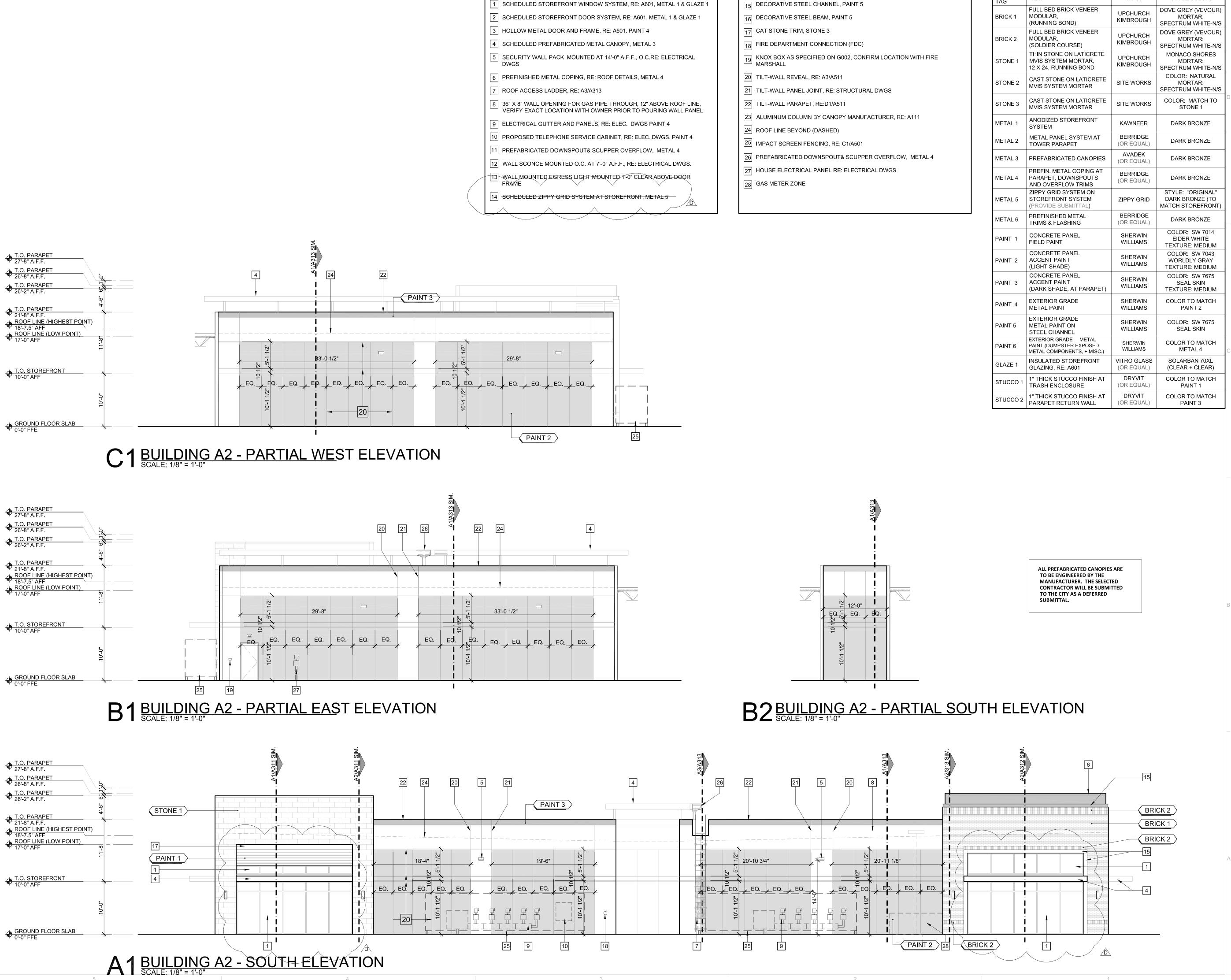
RETAIL BUILDING A2 38870 SPUR 149 MAGNOLIA, TX 77354

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EXTERIOR ELEVATIONS

DRAWING NUMBER:



ELEVATION KEY NOTES

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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A2 38870 SPUR 149 MAGNOLIA, TX 77354

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REFERENCE NUMBER:

TITLE:

Suite 206

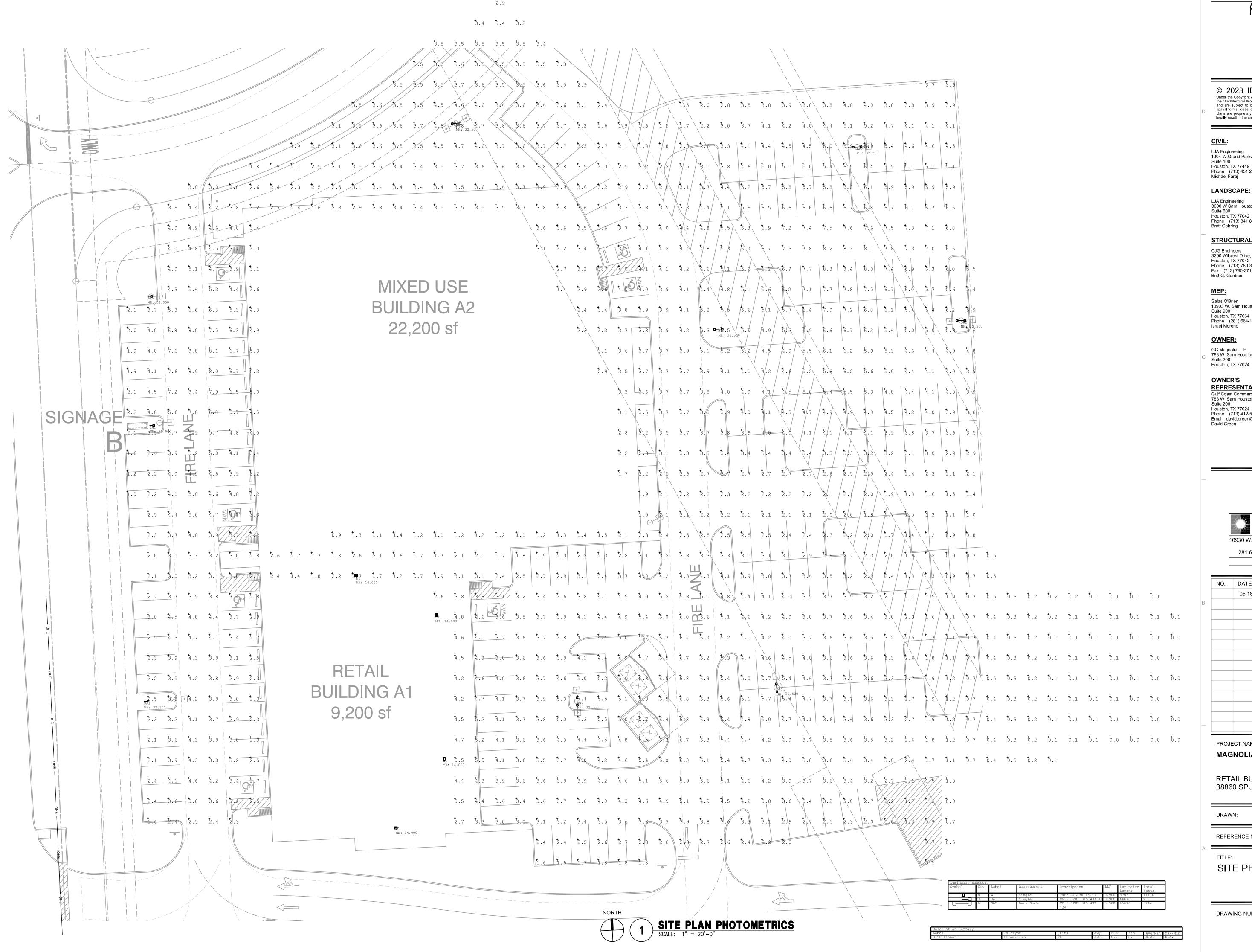
David Green

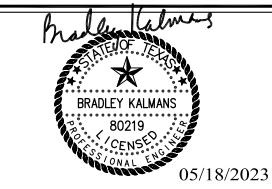
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> 0930 W. Sam Houston Parkway N., Suite 900 Houston, Texas 77064

281.664.1900 | Registration No. F-4111

Project No. 2023-01217-00

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	05.18.23	ISSUE FOR PERMIT		
PROJECT NAME AND ADDRESS:				

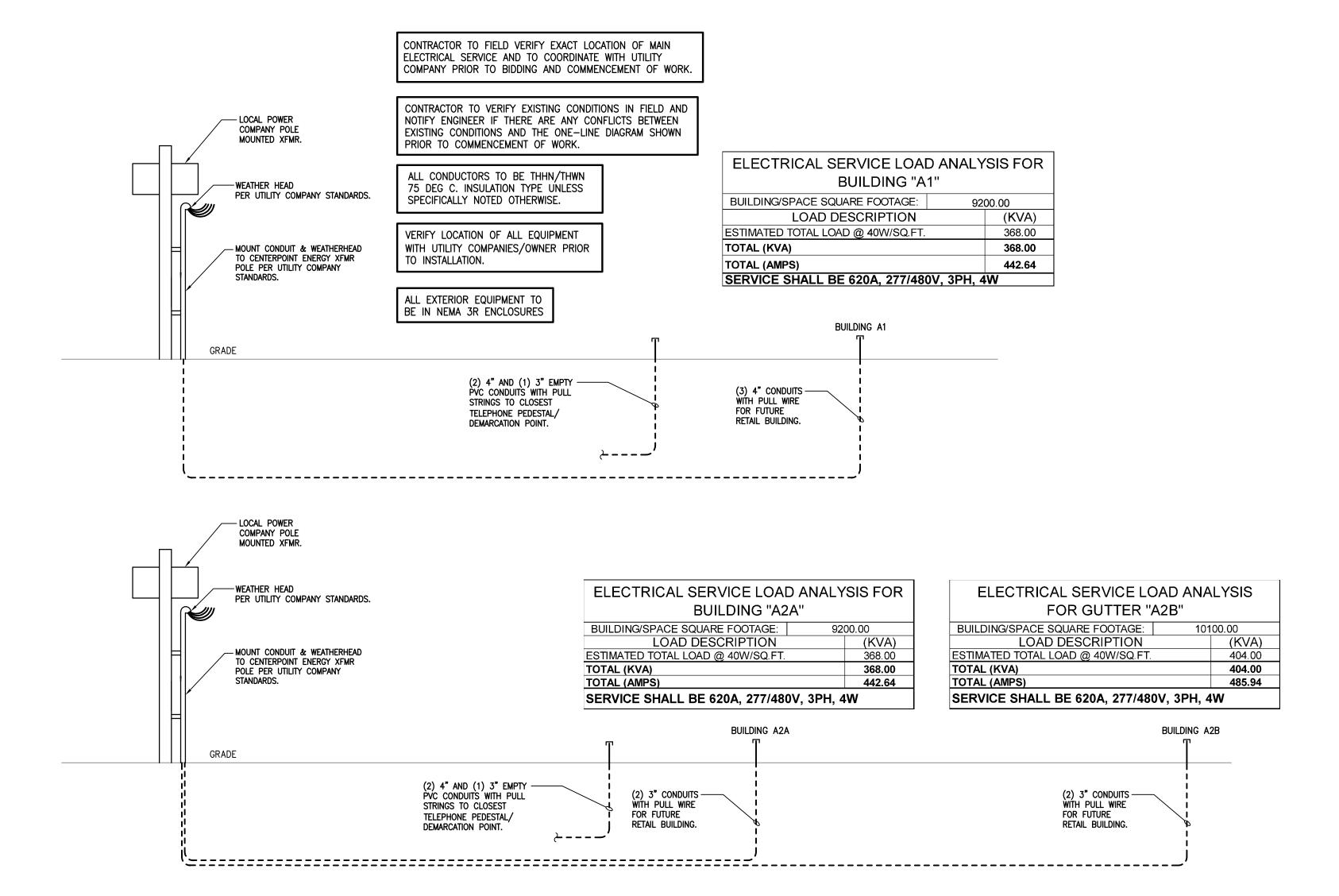
MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A1 38860 SPUR 149 MAGNOLIA, TX 77354

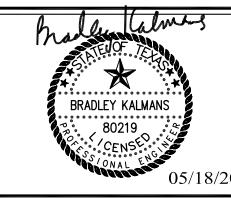
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SITE PHOTOMETRICS



ELECTRICAL ONE LINE DIAGRAM



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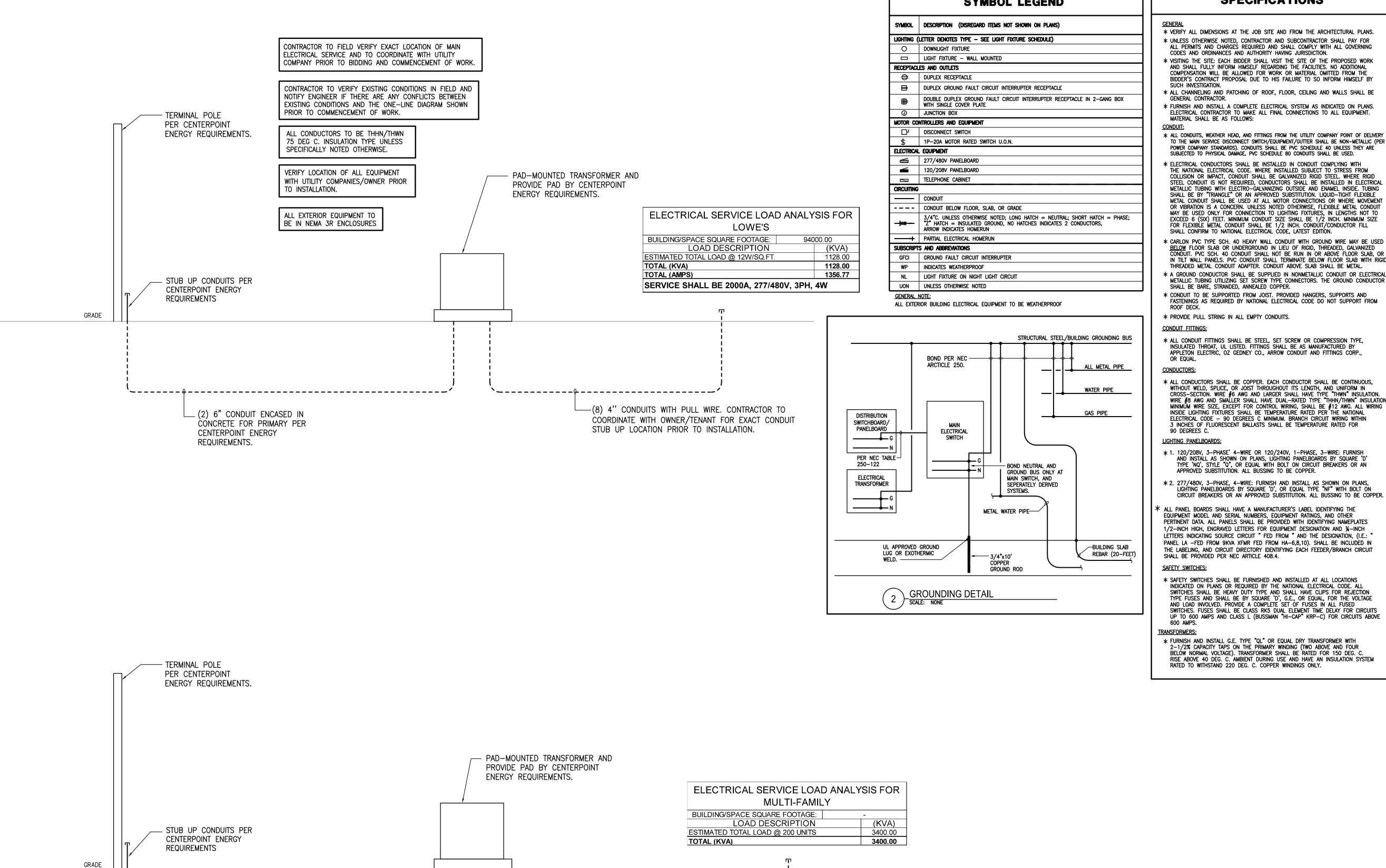
PAD A SITE WORK 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

REFERENCE NUMBER:

ELECTRICAL NOTES AND ONE-LINE DIAGRAM.

DRAWING NUMBER:

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 $_{\perp}$ (2) 6" CONDUIT ENCASED IN CONCRETE FOR PRIMARY PER

CENTERPOINT ENERGY

REQUIREMENTS.

SYMBOL LEGEND

SPECIFICATIONS

- * VERIFY ALL DIMENSIONS AT THE JOB SITE AND FROM THE ARCHITECTURAL PLANS. * UNLESS OTHERWISE NOTED, CONTRACTOR AND SUBCONTRACTOR SHALL PAY FOR ALL PERMITS AND CHARGES REQUIRED AND SHALL COMPLY WITH ALL GOVERNING
- CODES AND ORDINANCES AND AUTHORITY HAVING JURISDICTION. * VISITING THE SITE: EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND SHALL FULLY INFORM HIMSELF REGARDING THE FACILITIES. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR WORK OR MATERIAL OMITTED FROM THE BIDDER'S CONTRACT PROPOSAL DUE TO HIS FAILURE TO SO INFORM HIMSELF BY
- * ALL CHANNELING AND PATCHING OF ROOF, FLOOR, CEILING AND WALLS SHALL BE GENERAL CONTRACTOR. * FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS INDICATED ON PLANS.
- ELECTRICAL CONTRACTOR TO MAKE ALL FINAL CONNECTIONS TO ALL EQUIPMENT. MATERIAL SHALL BE AS FOLLOWS:
- * ALL CONDUITS. WEATHER HEAD, AND FITTINGS FROM THE UTILITY COMPANY POINT OF DELIVERY TO THE MAIN SERVICE DISCONNECT SWITCH/EQUIPMENT/GUTTER SHALL BE NON-METALLIC (PER POWER COMPANY STANDARDS). CONDUITS SHALL BE PVC SCHEDULE 40 UNLESS THEY ARE SUBJECTED TO PHYSICAL DAMAGE, PVC SCHEDULE 80 CONDUITS SHALL BE USED.
- * ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN CONDUIT COMPLYING WITH THE NATIONAL ELECTRICAL CODE. WHERE INSTALLED SUBJECT TO STRESS FROM COLLISION OR IMPACT, CONDUIT SHALL BE GALVANIZED RIGID STEEL. WHERE RIGID STEEL CONDUIT IS NOT REQUIRED, CONDUCTORS SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING WITH ELECTRO-GALVANIZING OUTSIDE AND ENAMEL INSIDE. TUBING SHALL BE BY "TRIANGLE" OR AN APPROVED SUBSTITUTION. LIQUID-TIGHT FLEXIBLE METAL CONDUIT SHALL BE USED AT ALL MOTOR CONNECTIONS OR WHERE MOVEMENT OR VIBRATION IS A CONCERN. UNLESS NOTED OTHERWISE. FLEXIBLE METAL CONDUI MAY BE USED ONLY FOR CONNECTION TO LIGHTING FIXTURES, IN LENGTHS NOT TO EXCEED 6 (SIX) FEET. MINIMUM CONDUIT SIZE SHALL BE 1/2 INCH. MINIMUM SIZE FOR FLEXIBLE METAL CONDUIT SHALL BE 1/2 INCH. CONDUIT/CONDUCTOR FILL SHALL CONFIRM TO NATIONAL ELECTRICAL CODE, LATEST EDITION.
- k Carlon PVC TYPE SCH. 40 HEAVY WALL CONDUIT WITH GROUND WIRE MAY BE USED BELOW FLOOR SLAB OR UNDERGROUND IN LIEU OF RIGID, THREADED, GALVANIZED CONDUIT. PVC SCH. 40 CONDUIT SHALL NOT BE RUN IN OR ABOVE FLOOR SLAB, OR IN TILT WALL PANELS. PVC CONDUIT SHALL TERMINATE BELOW FLOOR SLAB WITH RIGID THREADED METAL CONDUIT ADAPTER. CONDUIT ABOVE SLAB SHALL BE METAL. * A GROUND CONDUCTOR SHALL BE SUPPLIED IN NONMETALLIC CONDUIT OR ELECTRICAL
- SHALL BE BARE, STRANDED, ANNEALED COPPER. * CONDUIT TO BE SUPPORTED FROM JOIST, PROVIDED HANGERS, SUPPORTS AND FASTENINGS AS REQUIRED BY NATIONAL ELECTRICAL CODE DO NOT SUPPORT FROM

* PROVIDE PULL STRING IN ALL EMPTY CONDUITS.

* ALL CONDUIT FITTINGS SHALL BE STEEL, SET SCREW OR COMPRESSION TYPE, INSULATED THROAT, UL LISTED. FITTINGS SHALL BE AS MANUFACTURED BY APPLETON ELECTRIC, OZ GEDNEY CO., ARROW CONDUIT AND FITTINGS CORP.,

* ALL CONDUCTORS SHALL BE COPPER. EACH CONDUCTOR SHALL BE CONTINUOUS, WITHOUT WELD, SPLICE, OR JOIST THROUGHOUT ITS LENGTH, AND UNIFORM IN CROSS-SECTION. WIRE #6 AWG AND LARGER SHALL HAVE TYPE "THWN" INSULATION. WIRE #8 AWG AND SMALLER SHALL HAVE DUAL-RATED TYPE "THHN/THWN" INSULATION. MINIMUM WIRE SIZE, EXCEPT FOR CONTROL WIRING, SHALL BE #12 AWG. ALL WIRING INSIDE LIGHTING FIXTURES SHALL BE TEMPERATURE RATED PER THE NATIONAL ELECTRICAL CODE - 90 DEGREES C MINIMUM. BRANCH CIRCUIT WIRING WITHIN

LIGHTING PANELBOARDS:

- * 1. 120/208V, 3-PHASE' 4-WIRE OR 120/240V, 1-PHASE, 3-WIRE: FURNISH AND INSTALL AS SHOWN ON PLANS, LIGHTING PANELBOARDS BY SQUARE 'D' TYPE 'NQ', STYLE "Q", OR EQUAL WITH BOLT ON CIRCUIT BREAKERS OR AN APPROVED SUBSTITUTION. ALL BUSSING TO BE COPPER.
- * 2. 277/480V, 3-PHASE, 4-WIRE: FURNISH AND INSTALL AS SHOWN ON PLANS, LIGHTING PANELBOARDS BY SQUARE 'D', OR EQUAL TYPE "NF" WITH BOLT ON CIRCUIT BREAKERS OR AN APPROVED SUBSTITUTION. ALL BUSSING TO BE COPPER.
- * ALL PANEL BOARDS SHALL HAVE A MANUFACTURER'S LABEL IDENTIFYING THE EQUIPMENT MODEL AND SERIAL NUMBERS, EQUIPMENT RATINGS, AND OTHER PERTINENT DATA. ALL PANELS SHALL BE PROVIDED WITH IDENTIFYING NAMEPLATES 1/2-INCH HIGH, ENGRAVED LETTERS FOR EQUIPMENT DESIGNATION AND 1/4-INCH LETTERS INDICATING SOURCE CIRCUIT "FED FROM" AND THE DESIGNATION, (I.E.: PANEL LA -FED FROM 9KVA XFMR FED FROM HA-6,8,10). SHALL BE INCLUDED IN THE LABELING, AND CIRCUIT DIRECTORY IDENTIFYING EACH FEEDER/BRANCH CIRCUIT SHALL BE PROVIDED PER NEC ARTICLE 408.4.

SAFETY SWITCHES:

* SAFETY SWITCHES SHALL BE FURNISHED AND INSTALLED AT ALL LOCATIONS INDICATED ON PLANS OR REQUIRED BY THE NATIONAL ELECTRICAL CODE. ALL SWITCHES SHALL BE HEAVY DUTY TYPE AND SHALL HAVE CLIPS FOR REJECTION TYPE FUSES AND SHALL BE BY SQUARE 'D', G.E., OR EQUAL, FOR THE VOLTAGE AND LOAD INVOLVED. PROVIDE A COMPLETE SET OF FUSES IN ALL FUSED SWITCHES. FUSES SHALL BE CLASS RK5 DUAL ELEMENT TIME DELAY FOR CIRCUITS UP TO 600 AMPS AND CLASS L (BUSSMAN "HI-CAP" KRP-C) FOR CIRCUITS ABOVE

TRANSFORMERS:

* FURNISH AND INSTALL G.E. TYPE "QL" OR EQUAL DRY TRANSFORMER WITH 2-1/2% CAPACITY TAPS ON THE PRIMARY WINDING (TWO ABOVE AND FOUR BELOW NORMAL VOLTAGE). TRANSFORMER SHALL BE RATED FOR 150 DEG. C. RISE ABOVE 40 DEG. C. AMBIENT DURING USE AND HAVE AN INSULATION SYSTEM RATED TO WITHSTAND 220 DEG. C. COPPER WINDINGS ONLY.

1. mins * **BRADLEY KALMANS** 80219

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Email: david.green@gulfcoastcg.com



Houston, Texas 77064 281.664.1900 | Registration No. F-4111 Project No. 2023-01217-00

NO.	DATE	REVISION ISSUE
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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

PAD A SITE WORK 38860 SPUR 149/ 38870 SPUR 149 MAGNOLIA, TX 77354

DRAWN:

REFERENCE NUMBER:

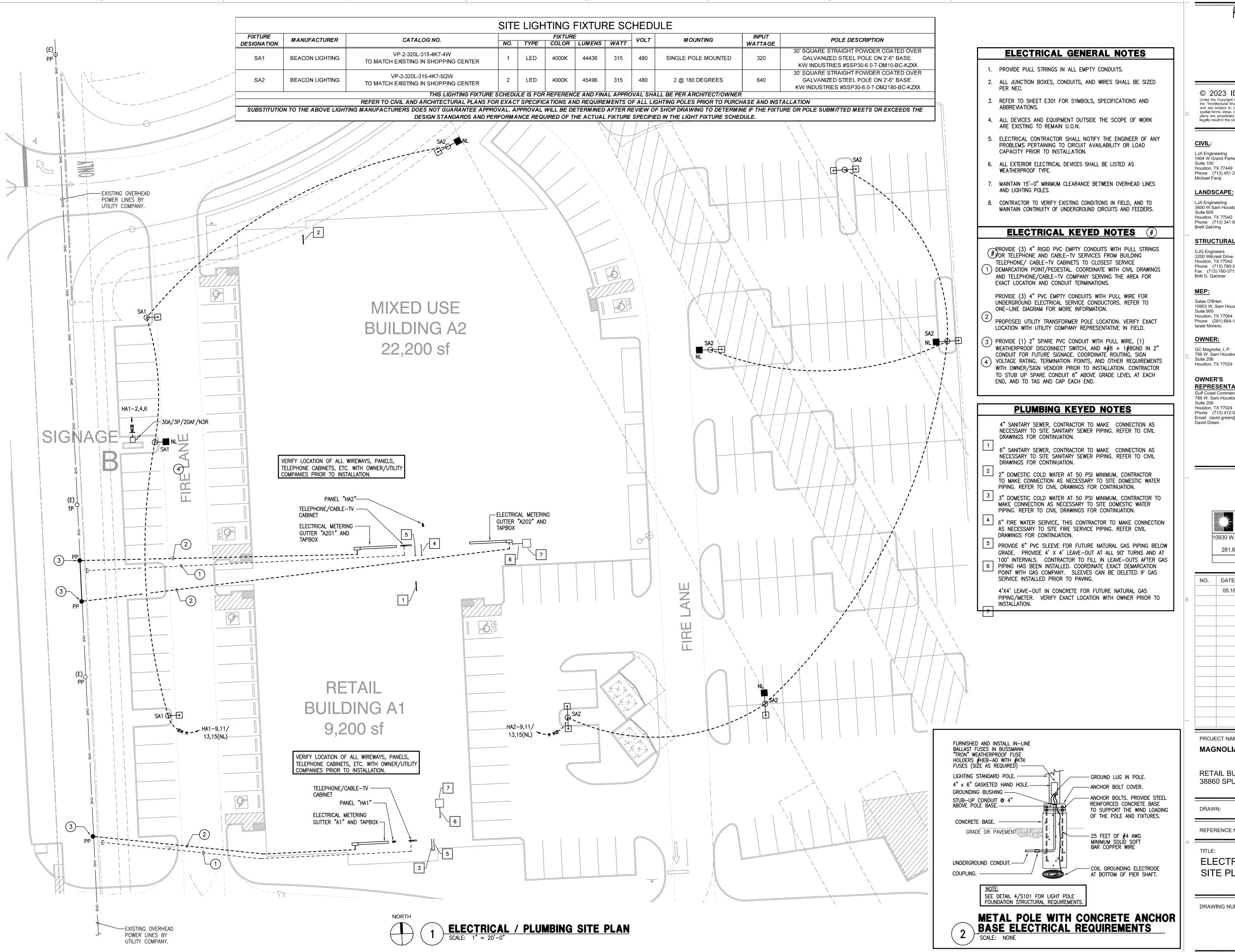
ELECTRICAL SPECIFICATIONS, NOTES AND ONE-LINE

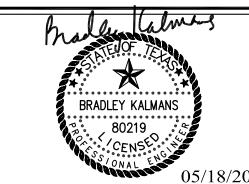
DRAWING NUMBER:

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ELECTRICAL ONE LINE DIAGRAM

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> SALASO'BRIEN 0930 W. Sam Houston Parkway N., Suite 900 Houston, Texas 77064

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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A1 38860 SPUR 149 MAGNOLIA, TX 77354

CHECKED:

REFERENCE NUMBER:

ELECTRICAL / PLUMBING SITE PLAN

DRAWING NUMBER:

EP101

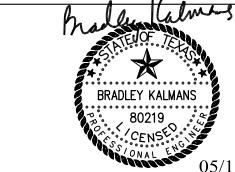
FIRE PROTECTION NOTE:

CONTRACTOR, TO PROVIDE DRAWINGS AND CALCULATIONS FOR AN AUTOMATIC FIRE SPRINKLER SYSTEM FOR THIS BUILDING, TO COMPLY ADDITIONAL INFORMATION.

LICENSED SPRINKLER ENGINEER OR LICENSED SPRINKLER WITH SPACE LAYOUT, NFPA 13, STATE, LOCAL, AND INSURANCE UNDERWRITING AUTHORITIES. REFER TO SPECIFICATIONS FOR

PLUMBING KEYED NOTES

- 4" SANITARY SEWER, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE SANITARY SEWER PIPING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- TWO-WAY EXTERIOR CLEANOUT. COORDINATE EXACT LOCATION WITH OWNER. REFER TO PLUMBING DETAIL
- 3 VENT UP FROM BELOW SLAB. COORDINATE EXACT LOCATION WITH OWNER.
- ROUTE VENT PIPING WITHIN JOIST SPACE. VENT THROUGH ROOF. COORDINATE EXACT LOCATION WITH
- 6" FIRE WATER SERVICE, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE FIRE SERVICE PIPING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 6 6" FIRE WATER ENTRY, REFER TO PLUMBING DETAIL SHEET.
- 7 2" DOMESTIC COLD WATER AT 50 PSI MINIMUM, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE DOMESTIC WATER PIPING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 8 2" DOMESTIC WATER ENTRY, REFER TO PLUMBING DETAIL SHEET.
- 9 ROUTE DOMESTIC COLD WATER IN JOIST SPACE.
 REFER TO PLUMBING DETAIL SHEET FOR TYPICAL PIPE HANGER DETAIL.
- VALVE AND CAP COLD 1-1/2" WATER LINE AT JOIST LEVEL FOR FUTURE CONNECTION. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION.
- PROVIDE 6" PVC SLEEVE FOR FUTURE NATURAL GAS PIPING BELOW GRADE. PROVIDE 4' X 4' LEAVE-OUT AT ALL 90° TURNS AND AT 100' INTERVALS. CONTRACTOR TO FILL IN LEAVE-OUTS AFTER GAS PIPING HAS BEEN INSTALLED. COORDINATE EXACT DEMARCATION POINT WITH GAS COMPANY.
- 12 4'X4' LEAVE-OUT IN CONCRETE FOR FUTURE NATURAL GAS PIPING/ METER. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION.
- DOWNSPOUT TRANSITION TO PIPING BELOW SLAB. REFER TO THE ARCHITECTURAL DRAWING FOR DETAILS.
- STORM SEWER, CONTRACTOR TO MAKE CONNECTION AS NECESSARY TO SITE STORM SEWER PIPING. REFER TO CIVIL DRAWINGS FOR EXACT LOCATION.



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	05.18.23	ISSUE FOR PERMIT
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PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

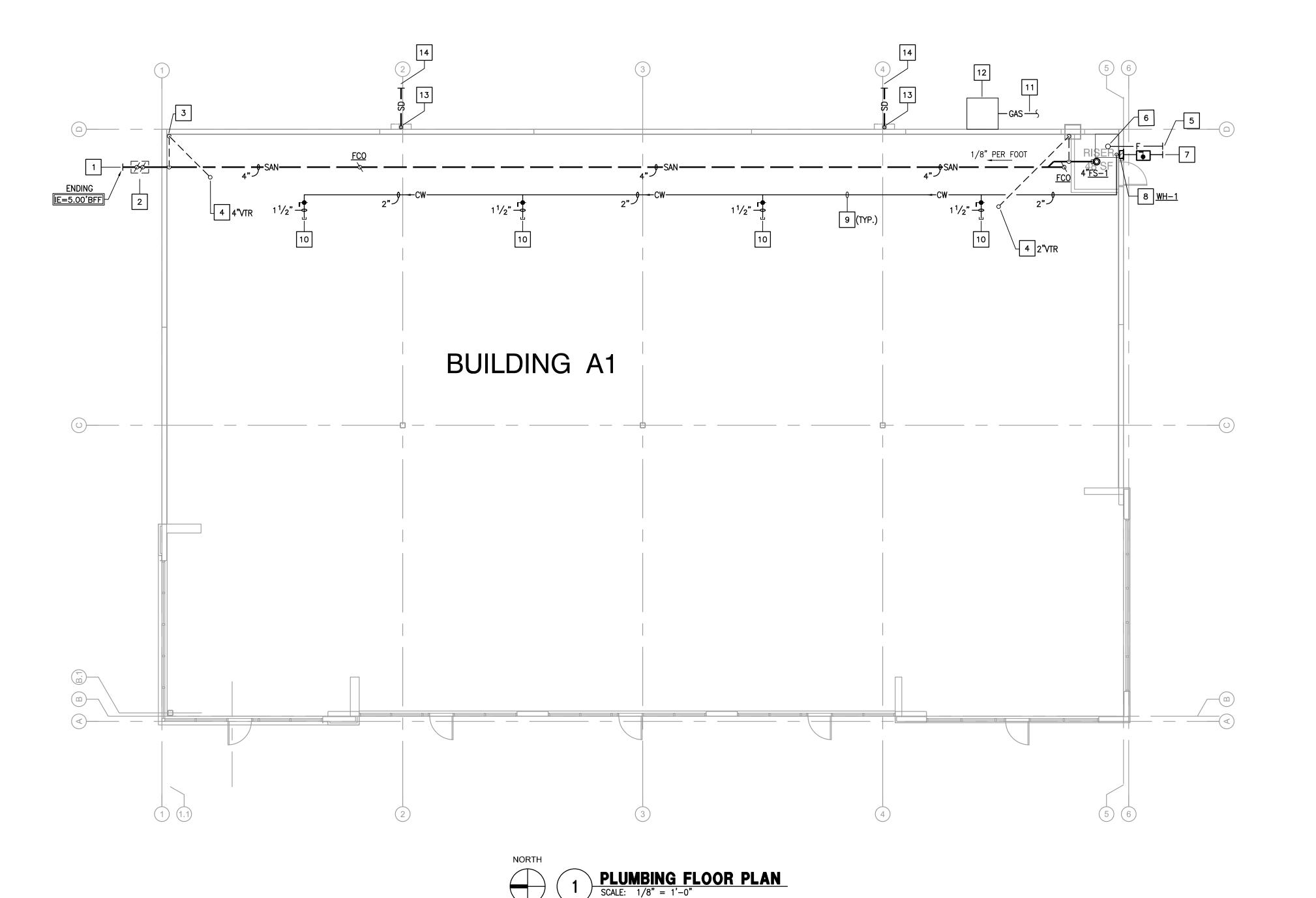
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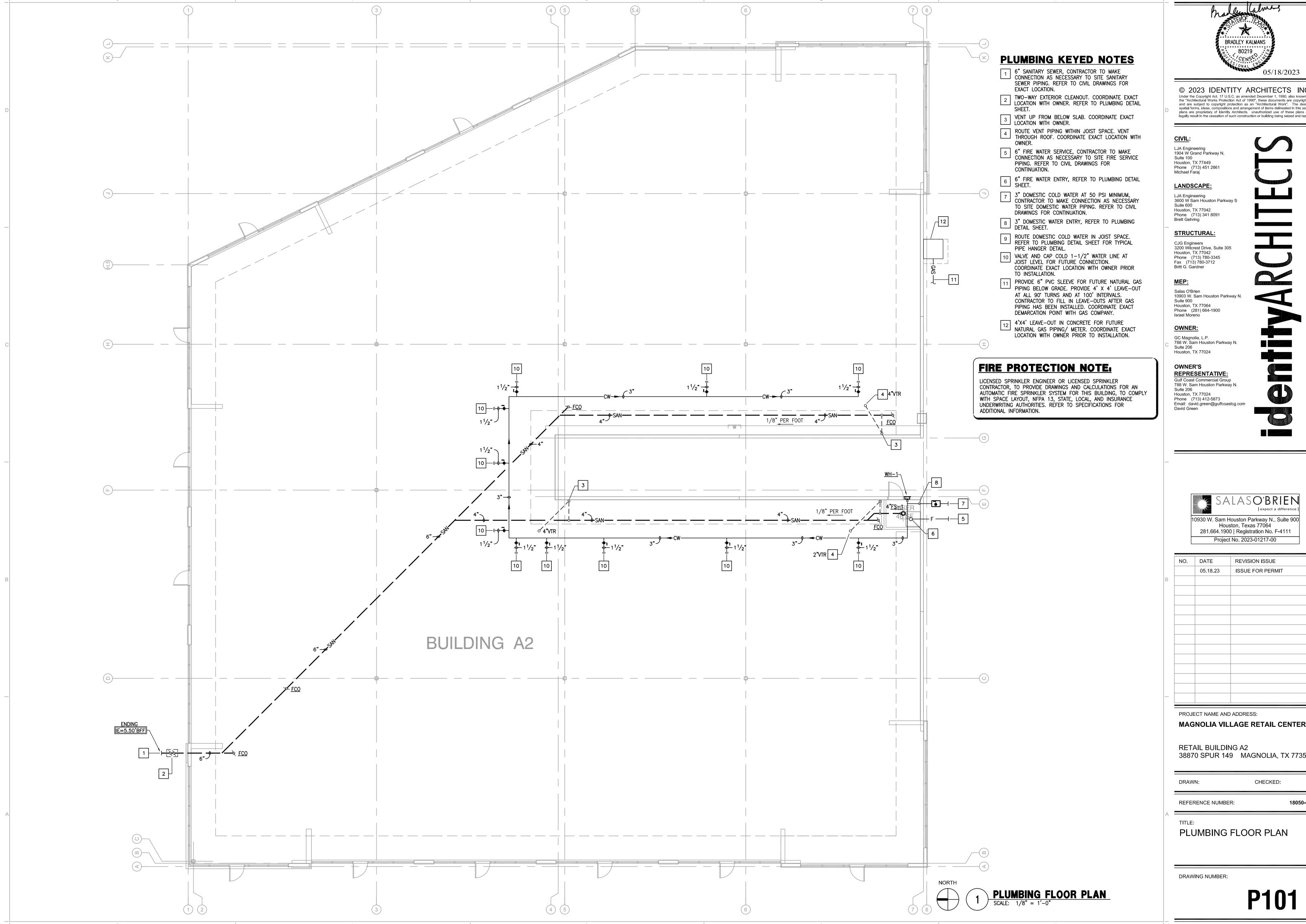
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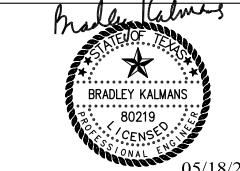
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PLUMBING FLOOR PLAN







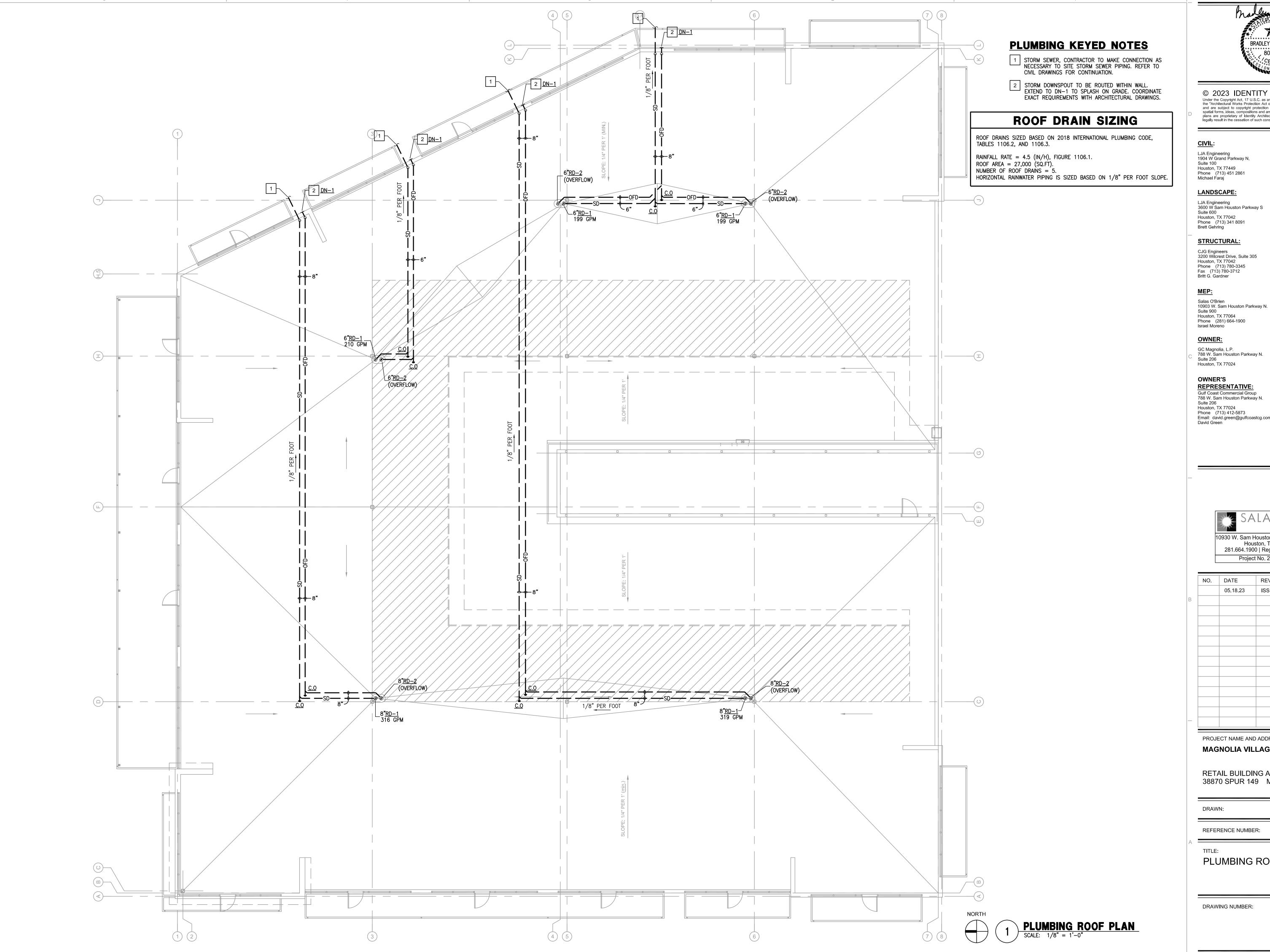
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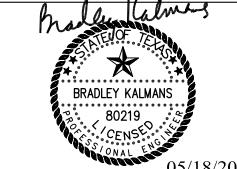
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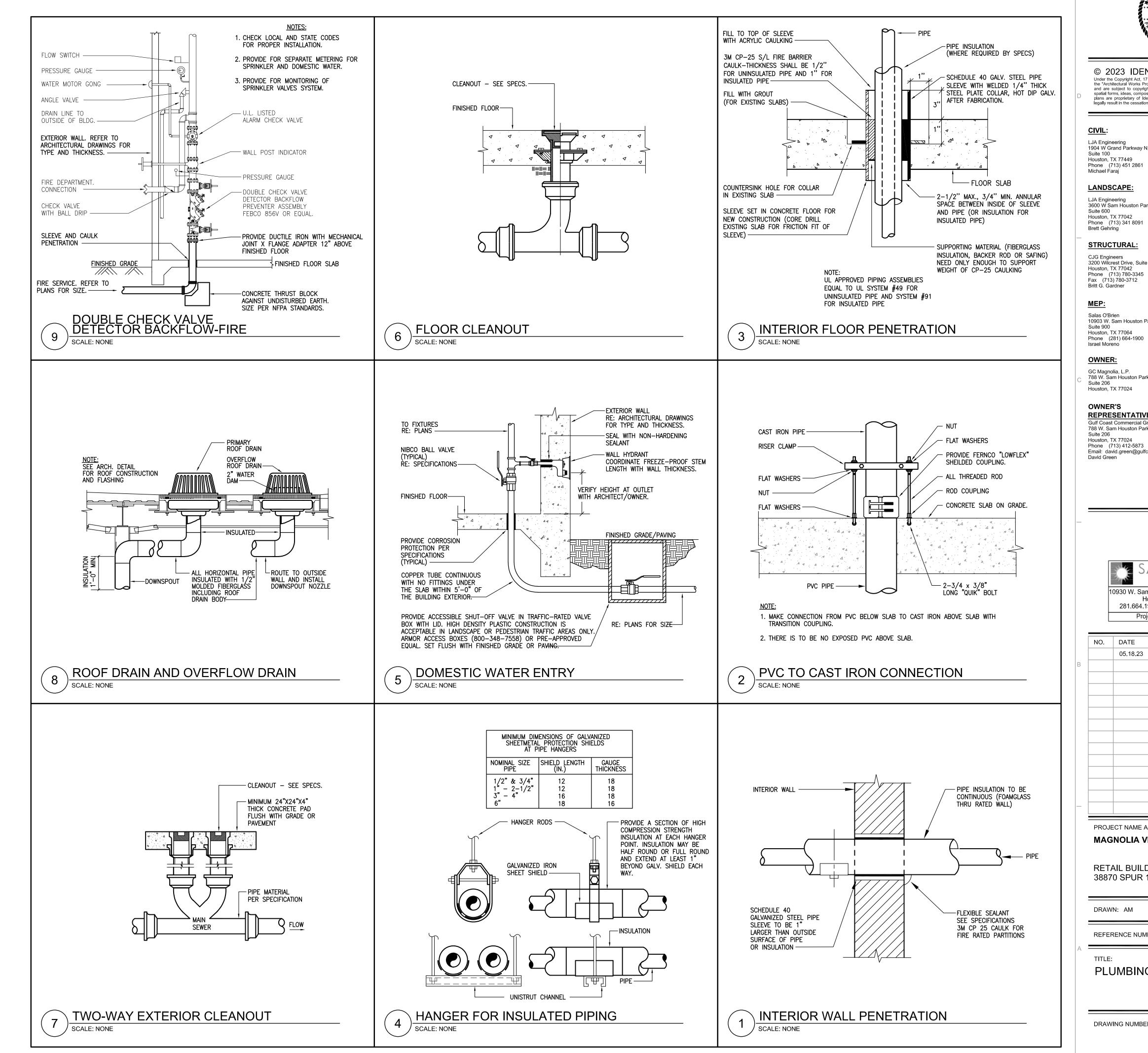
MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A2 38870 SPUR 149 MAGNOLIA, TX 77354

CHECKED:

REFERENCE NUMBER:

PLUMBING ROOF PLAN



(, mans BRADLEY KALMANS 80219 05/18/2023

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MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A2 38870 SPUR 149 MAGNOLIA, TX 77354

DRAWN: AM CHECKED:

REFERENCE NUMBER:

PLUMBING DETAILS

DRAWING NUMBER:

P301

F	PLUMBING LEGEND
SYMBOL	DESCRIPTION
——— SAN ———	SANITARY OR WASTE PIPING ABOVE GRADE (SAN)
— — SAN — —	SANITARY OR WASTE PIPING BELOW GRADE (SAN)
——— GW ———	GREASE WASTE PIPING ABOVE GRADE (GW)
— — GW — —	GREASE WASTE PIPING BELOW GRADE (GW)
	VENT PIPING ABOVE OR BELOW GRADE (V)
CW	COLD WATER PIPING (CW)
———НW ———	HOT WATER PIPING (HW)
HWR	HOT WATER RETURN PIPING (HWR)
· · ·	PIPING TO BE DEMOLISHED
——— FIRE ———	FIRE PROTECTION PIPING (F)
——FS ——	FIRE SPRINKLING PIPING (FS)
——— GAS ———	NATURAL GAS PIPING (G)
	FLOW DIRECTIONAL ARROW
	SHUT-OFF VALVE
	BALL VALVE (BV)
	HORIZONTAL SWING CHECK
——————————————————————————————————————	UNION
	Y-STRAINER
	PIPING DOWN
	RISE OR DROP PIPING
+0	PIPING UP -OR- PIPING UP & DOWN
	CAP ON END OF PIPE
	CLEANOUT (WALL OR CEILING) (CO)
<u> </u>	FLOOR CLEANOUT (FCO)
— — <u>-</u>	EXTERIOR CLEANOUT WITH 18"x18"x4" CONCRETE PAD (ECO)
	TWO-WAY CLEANOUT (PROVIDE 18"x24"x4" CONCRETE PAD OUTSIDE)
	BRANCH CONNECTION OUT OF TOP
 	BRANCH CONNECTION OUT OF BOTTOM
	BRANCH CONNECTION OUT OF SIDE
*	WYE & 1/8TH BEND BRANCH CONNECTION
P	WYE BRANCH CONNECTION
	HOSE BIBB
123	WALL HYDRANT
1	REFER TO KEYED NOTE
0	FLOOR DRAIN (FD)
D :	FLOOR DRAIN WITH P-TRAP (FD)
\$ G-	FLOOR DRAIN WITH P-TRAP AT 45° ANGLE (FD)
(E)	EXISTING
(N)	NEW
VTR	VENT THRU ROOF
FD	FLOOR DRAIN
FS	FLOOR SINK
<u> </u>	CONNECT NEW TO EXISTING
IE=100.00'	INVERT ELEVATION
1/ <u>4" PER_FOO</u> T	QUARTER OF AN INCH SLOPE
1/8° PER FOOT	1/8TH OF AN INCH SLOPE
1/ <u>16° PER F0</u> 0T	1/16TH OF AN INCH SLOPE
<u>/1\</u>	DELTA CHANGE SYMBOL
NOTE: NOT ALL SYMBOLS N	MAY APPLY TO THIS PROJECT.

PLUMBING GENERAL NOTES

- PRIOR TO BEGINNING CONSTRUCTION, COORDINATE BUILDING BACKFLOW PREVENTION REQUIREMENTS WITH THE LOCAL AUTHORITY HAVING JURISDICTION AND PROVIDE AS
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT EACH OTHER AND ANY MATERIAL OR LABOR CALLED FOR IN ONE SHALL BE FURNISHED AND INSTALLED EVEN THOUGH NOT SPECIFICALLY MENTIONED IN BOTH. ANY MATERIAL OR LABOR WHICH IS NEITHER SHOWN ON THE DRAWINGS NOR CALLED FOR IN THE SPECIFICATIONS, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK, AND WHICH IS USUALLY INCLUDED IN WORK OF SIMILAR CHARACTER, SHALL BE FURNISHED AND INSTALLED AS PART OF
- THE CONTRACTOR SHALL COORDINATE ALL WORK CLOSELY WITH MECHANICAL AND ELECTRICAL EQUIPMENT, DUCTWORK, CONDUIT AND STRUCTURAL ITEMS. SHOULD A CONFLICT OCCUR CONTRACTOR MUST NOTIFY THE ARCHITECT/ ENGINEER PRIOR TO INSTALLING AN ALTERNATE PIPING PLAN.
- ALL WORK, METHODS AND INSTALLATIONS INVOLVED IN THE PLUMBING DESIGN SHALL BE IN ACCORDANCE WITH THE CITY BUILDING CODES, INSPECTION REGULATIONS AND ALL OTHER OFFICIALS HAVING JURISDICTION.
- COORDINATE ROUTING OF ALL BELOW GRADE PIPING WITH GRADE BEAMS. ADJUST INVERT ELEVATIONS OR PIPE ROUTING TO CLEAR GRADE BEAMS.
- 6. DO NOT ROUGH-IN FROM THESE DRAWINGS. REFER TO LATEST ARCHITECTURAL DRAWINGS FOR DIMENSIONED LOCATIONS.
- COORDINATE ALL FIXTURE AND EQUIPMENT LOCATIONS AND CONNECTION REQUIREMENTS
- WITH LATEST ARCHITECTURAL DRAWINGS AND SPECIFICATIONS PRIOR TO ANY ROUGH-INS. PROTECT EQUIPMENT AND WORK FROM DAMAGE DURING HANDLING AND INSTALLATION UNTIL
- REMOVE ALL EXCESS MATERIAL AND DEBRIS AND CLEAN ALL EQUIPMENT UPON COMPLETION
- OF WORK. TOUCH UP WITH PAINT WHERE REQUIRED.
- ALL CONNECTIONS BETWEEN PIPES OF DISSIMILAR MATERIALS SHALL BE MADE WITH DI-ELECTRIC UNIONS. PROVIDE ACCESS PANELS WHERE REQUIRED.

COMPLETION OF CONSTRUCTION.

- EACH VENT SHALL TERMINATE VERTICALLY NOT LESS THAN 6" ABOVE ROOF, MAINTAIN MINIMUM 15'-0" DISTANCE BETWEEN VENT TERMINALS THROUGH ROOF AND ALL FRESH AIR INTAKES, AND A MINIMUM 5'-0" FROM ANY EXTERIOR WALL.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF BID TO DETERMINE CONDITIONS AFFECTING THE WORK. ANY ITEMS WHICH ARE NOT COVERED IN THE BID DOCUMENTS OR ANY PROPOSED SUBSTITUTIONS SHALL BE LISTED SEPARATELY AND QUALIFIED IN THE CONTRACTORS BID. SUBMITTAL OF BID SHALL SERVE AS EVIDENCE OF KNOWLEDGE OF EXISTING CONDITIONS AND ANY MODIFICATIONS WHICH ARE REQUIRED TO MEET THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. FAILURE TO VISIT THE SITE DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN PERFORMANCE OF WORK.
- 13. CONTRACTOR TO PROVIDE (1) YEAR WARRANTY ON ALL ITEMS PROVIDED.

FIRE SPRINKLER SYSTEM

- DESIGN AND PROVIDE LABOR AND MATERIALS FOR THE COMPLETE INSTALLATION OF AN AUTOMATIC WET PIPE FIRE EXTINGUISHING SPRINKLER SYSTEM WITH THE ATTENDANT ACCESSORIES FOR THE INTENDED SPACES, REFER TO PLUMBING DRAWINGS FOR EXACT LOCATION.
- STUDY THE GENERAL, STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS AND FIELD SURVEY THE EXISTING BUILDING IN ORDER TO BECOME FAMILIAR WITH THE BUILDING AND DETAILS AS THEY APPLY TO THE WORK OF THIS SECTION. COOPERATE WITH OTHERS SO THAT THERE WILL BE NO CONFLICT OF SPACE REQUIRED. DUCTWORK AND ELECTRICAL WORK SHALL TAKE PRECEDENCE OVER OTHER WORK, EXCEPT WHERE IT IS ABSOLUTELY NECESSARY TO MAINTAIN COVERAGE PROTECTION.
- THE INSTALLATION OF THE SPRINKLER SYSTEM SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. THE GOVERNING BUILDING CODE, REQUIREMENTS OF NFPA PAMPHLET 13, AND OTHER LOCAL AUTHORITIES EXERCISING
- IT SHALL BE THE FIRE PROTECTION CONTRACTOR'S RESPONSIBILITY, PRIOR TO BID, TO VERIFY PRESSURE AT THE PROJECT SITE BY PERFORMING A FLOW TEST. DETERMINE IF THE AVAILABLE STATIC AND RESIDUAL PRESSURE WILL ADEQUATELY PROVIDE THE FIRE EXTINGUISHING SYSTEM WITH THE NECESSARY PRESSURE OR IF A FIRE PUMP, BREAK TANK AND NECESSARY APPURTENANCES ARE REQUIRED.
- PROVIDE SCHEDULE 10 AND SCHEDULE 40 BLACK STEEL PIPE AND FITTINGS IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA FOR APPLICABLE FIRE PROTECTION SYSTEMS, CONFORM TO ASTM NFPA 13 2002 EDITION TABLE 6.3.1.1. PROVIDE PIPING WITH MALLEABLE IRON, CAST IRON, STEEL WELDED OR SCREWED FITTINGS. VICTAULIC GROOVED FITTINGS MAY BE USED ABOVE GRADE IN ACCESSIBLE LOCATIONS ONLY.
- ALL HEADS SHALL BE UL LISTED AND FM APPROVED, AND COMPLY WITH THE LATEST REQUIREMENTS OF NFPA 13 WITH RESPECT TO ORIFICE SIZE. SPRINKLER HEADS WITH O"RING DESIGN SHALL NOT BE ACCEPTABLE. TYCO MODEL B, FRB, OR APPROVED EQUAL UNLESS STATED OTHERWISE.

PLUMBING SCOPE & SPECIFICATION

THE WORK OF THIS SECTION SHALL INCLUDE, BUT NOT BE LIMITED TO:

A. A DOMESTIC COLD WATER DISTRIBUTION SYSTEM TO SERVE ALL FIXTURES. B. A SANITARY SOIL WASTE AND VENT SYSTEM TO SERVE ALL FIXTURES.

DRAWINGS ARE DIAGRAMMATIC; CONFIRM DIMENSIONS AND LOCATIONS IN THE FIELD, ADVISE OF MAJOR DISCREPANCIES.

GUARANTEE LABOR AND MATERIALS FOR ONE YEAR.

ADHERE TO APPLICABLE LOCAL CODES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THE CITY CODES.

PRODUCE RECORD DRAWINGS.

CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND PAY ALL FEES.

VALVES SHALL BE MANUFACTURED BY NIBCO, HAMMOND, POWELL, STOCKHAM, WATTS OR EQUIVALENT APPROVED BY THE ENGINEER.

BALL VALVES SHALL HAVE CAST BRONZE BODY, BLOWOUT PROOF STEMS, FULL SIZE PORT, 316 STAINLESS STEEL TRIM, TEFLON SEAT AND SEAL AND THRUST WASHERS. VALVES 2" AND SMALLER SHALL BE NIBCO T-585-70-66 OR APPROVED EQUIVALENT.

WHERE VALVES ARE INSTALLED IN INSULATED PIPING, PROVIDE WITH EXTENDED NECK SO VALVE OPERATOR AND STOP PLATE CLEARS THE FULL THICKNESS INSULATION SO THE LEVER OR HANDLE WILL NOT DAMAGE THE INSULATION.

INSTALL VALVES WITH STEMS UPRIGHT OR HORIZONTAL, NOT INVERTED.

INSTALL VALVES FOR SHUT-OFF AND ISOLATING SERVICE AT EACH PIECE OF EQUIPMENT, AT VERTICAL RISERS. AND WHERE SHOWN ON THE DRAWINGS.

PROVIDE ACCESS WHERE VALVES ARE NOT EXPOSED.

UNIONS IN COPPER OR BRASS LINES SHALL BE BRASS, THREADED PATTERN UNIONS.

EXCAVATE TRENCHES FOR UNDERGROUND PIPING TO THE REQUIRED DEPTH.

CUT THE BOTTOM OF THE TRENCH OR EXCAVATION TO UNIFORM GRADE.

SHOULD ROCK BE ENCOUNTERED, EXCAVATE 6" BELOW GRADE, FILL WITH BEDDING MATERIAL (SAND) AND TAMP WELL.

LAY OUT ALIGNMENT OF PIPE TRENCHES TO AVOID OBSTRUCTIONS. PROVIDE ASSURANCE THAT PROPOSED ROUTE OF PIPE WILL NOT INTERFERE WITH BUILDING FOUNDATION BEFORE ANY CUTTING IS BEGUN. SHOULD INTERFERENCE BE FOUND, CONTACT THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

BACKFILL SHALL NOT BE PLACED UNTIL THE WORK HAS BEEN INSPECTED, TESTED AND APPROVED. USE SUITABLE FRIABLE SOILS AS BACKFILL MATERIAL. DO NOT USE PEAT. SILT. MUCK, DEBRIS OR OTHER ORGANIC MATERIALS. DEPOSIT BACKFILL IN UNIFORM LAYERS.

PLACE BACKFILL MATERIAL IN UNIFORM LAYERS, 8" MAXIMUM LOOSE MEASURE. COMPACT TO NOT LESS THAN 95% OF MAXIMUM SOIL DENSITY AS DETERMINED BY ASTM D698 STANDARD

PLUMBING PIPING HANGERS

SUPPORT PIPING TO MAINTAIN LINE AND GRADE, WITH PROVISION FOR EXPANSION AND CONTRACTION. USE APPROVED CLEVIS-TYPE OR TRAPEZE-TYPE HANGERS CONNECTED TO STRUCTURAL MEMBERS OF THE BUILDING. SINGLE PIPE RUNS TO BE SUPPORTED BY APPROVED CLEVIS TYPE HANGERS. MULTIPLE PIPE RUNS TO BE SUPPORTED BY APPROVED TRAPEZE TYPE HANGERS. DO NOT SUPPORT PIPING FROM OTHER PIPING OR STRUCTURAL JOIST BRIDGING. REVIEW STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. WHERE INSULATION OCCURS, DESIGN HANGERS TO PROTECT INSULATION FROM DAMAGE. MAXIMUM VERTICAL SPACING SHALL BE 10 FOOT. MAXIMUM HORIZONTAL SPACING FOR COPPER TUBING 1-1/2" AND SMALLER SHALL BE 6 FOOT AND FOR 2" AND LARGER SHALL BE 10 FOOT. MAXIMUM HORIZONTAL SPACING FOR CAST IRON PIPING SHALL BE

CLEANING, TESTING AND ADJUSTING

THIS CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS, INSTRUCTIONS, AND SUPERVISION REQUIRED IN THE PERFORMANCE OF ALL TESTS. CLEANING AND MAKING NECESSARY ADJUSTMENTS TO OPERATION OF ALL FIXTURES AND EQUIPMENT.

RODDING SEWERS

ALL SANITARY SOIL AND STORM SEWER LINES, BOTH IN THE BUILDING AND OUT SHALL BE RODDED OUT AND FLUSHED OUT AFTER COMPLETION OF CONSTRUCTION AND PRIOR TO FINISH FLOOR BEING INSTALLED. ALL WORK MUST BE COMPLETED PRIOR TO SUBSTANTIAL COMPLETION. ALL FLOOR DRAIN AND CLEANOUT LOCATIONS MUST BE INCLUDED IN THIS WORK

PIPE SLOPE

BUILDING SEWERS SHALL BE RUN IN PRACTICAL ALIGNMENT AND AT A UNIFORM SLOPE OF NOT LESS THAN ONE-FOURTH (1/4) OF AN INCH PER FOOT TOWARD THE POINT OF DISPOSAL. WHEN APPROVED BY THE AUTHORITY HAVING JURISDICTION AND WHERE IT IS IMPRACTICAL, DUE TO THE DEPTH OF THE STREET SEWER OR TO THE STRUCTURAL FEATURES OR TO THE ARRANGEMENT OF ANY BUILDING OR STRUCTURE, TO OBTAIN A SLOPE OF ONE-FOURTH (1/4) OF AN INCH PER FOOT, ANY SUCH PIPE OR PIPING FOUR (4) INCHES THROUGH SIX (6) INCHES MAY HAVE A SLOPE OF NOT LESS THAN ONE-EIGHTH (1/8) INCH PER FOOT AND ANY SUCH PIPE OR PIPING EIGHT (8) INCHES AND LARGER MAY HAVE A SLOPE OF NOT LESS THAN ONE-SIXTEETH (1/16) INCH PER

PIPING INSULATION

ALL COLD WATER PIPING. FITTINGS AND VALVES SHALL BE INSULATED WITH NOMINAL 1" WALL THICKNESS IMCOLOCK PIPE INSULATION, OR AN APPROVED EQUAL HAVING FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DENSITY OF 50 OR LESS WHEN TESTED BY ASTM E-84 METHOD.

ALL HOT WATER AND HOT WATER RETURN PIPING, FITTINGS AND VALVES SHALL BE INSULATED WITH NOMINAL 1" WALL THICKNESS IMCOLOCK RIPE INSULATION, HAVING A CONDUCTIVITY NOT EXCEEDING 0.28 BTU PER inch/h X ft² X °F.

IMCOLOCK PIPE INSULATION MAY BE SLIPPED ONTO THE PIPE PRIOR TO CONNECTION OR APPLIED AFTER THE PIPE IS INSTALLED, AT THE CONTRACTOR'S OPTION. ALL BUTT JOINTS AND MITER JOINTS SHALL BE CLOSED USING IMCOA'S FUSE SEAL JOINING SYSTEM OR FACTORY APPROVED CONTACT ADHESIVE. IMCOLOCK PIPE INSULATION SHALL BE INSTALLED ACCORDING TO THE PROCEDURES OUTLINED BY THE MANUFACTURER.

FITTING COVER INSULATION SHALL BE FABRICATED AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDED PROCEDURES. SWEAT FITTINGS SHALL BE INSULATED WITH MITER CUT PIECES OF IMCOLOCK PIPE INSULATION THE SAME SIZE AS ON ADJACENT PIPING. THREADED FITTINGS SHALL BE INSULATED WITH SLEEVED FITTING COVERS FABRICATED FROM MITER CUT PIECES OF IMCOLOCK PIPE INSULATION ACCORDING TO THE MANUFACTURER'S SLEEVING SIZE RECOMMENDATIONS AND SHALL BE OVERLAPPED 2" AND SEALED TO THE ADJACENT PIPE INSULATION. ALL VALVES SHALL BE INSULATED WITH CUT PIECES OF IMCOLOCK PIPE INSULATIONS. ALL JOINTS AND MITER CUT PIECES ARE TO BE SEALED USING IMCOA'S FUSE SEAL JOINING SYSTEM OR FACTORY APPROVED CONTACT ADHESIVE.

INSTALL THERMAL INSULATION ON CLEAN, DRY SURFACES AFTER ALL TESTING AND INSPECTION IS COMPLETED. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THESE SPECIFICATIONS AND WITH MANUFACTURERS INSTRUCTIONS.

PIPING SLEEVES

ALL COPPER PIPES PASSING THROUGH CONCRETE OR CINDER WALLS AND FLOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED AGAINST EXTERNAL CORROSION BY A PROTECTIVE SHEATHING OR WRAPPING OR OTHER MEANS THAT WILL WITHSTAND ANY REACTION FROM THE CORROSIVE MATERIAL. MINIMUM WALL THICKNESS OF MATERIAL SHALL BE 0.025 TO 0.0059 INCH.

PLUMBING FIXTURES

PROVIDE PLUMBING FIXTURES AS SPECIFIED OR EQUIVALENT APPROVED BY THE ENGINEER.

PIPE MATERIAL LIST

ABOVE GRADE, INSIDE BUILDING

DOMESTIC WATER PIPING

SEAMLESS ASTM B 88 TYPE L COPPER WATER TUBE WITH WROUGHT COPPER FITTINGS, ANSI B16.22. SOLDER MATERIAL SHALL BE 95.5 PERCENT LEAD FREE, ASTM B 32. THE USE OF DRILLED-T CONNECTIONS IS NOT PERMITTED.

SANITARY WASTE AND VENT PIPING

NO-HUB CAST IRON SOIL PIPE AND FITTING SYSTEM CONFORMING TO CISPI STANDARD NO. 301-04A. ELASTOMERIC SEALING SLEEVES SHALL CONFORM TO ASTM STANDARD C 564. COUPLINGS SHALL CONFORM TO CISPI STANDARD 310-04.

STORM PIPING

SERVICE WEIGHT CAST IRON BELL AND SPIGOT SOIL PIPE AND FITTING SYSTEM CONFORMING TO ASTM STANDARD A 74. COMPRESSION GASKETS SHALL CONFORM TO ASTM STANDARD C 564.

BELOW GRADE, INSIDE BUILDING

DOMESTIC WATER PIPING

ASTM B 88 TYPE K COPPER WATER TUBE WITH WROUGHT COPPER FITTINGS, ANSI B16.22. ALL JOINTS SHALL BE BRAZED.

SANITARY WASTE AND VENT PIPING

SCHEDULE 40 DWV POLYVINYL CHLORIDE PIPE AND FITTINGS CONFORMING TO ASTM D-1784-82 WITH SOLVENT WELDED JOINTS.

PLUMBING FIXTURE SPECIFICATION

DESCRIPTION: WALL HYDRANT, CONCEALED BOX TYPE, NON-FREEZE, 3/4" MALE HOSE THREAD

OUTLET, SELF-DRAINING WITH ANTI-SIPHON VACUUM BREAKER, CHROME PLATED BRONZE HEAD CASTING HOUSED WITHIN SATIN FINISH NICKEL BRONZE BOX WITH LOCKING HINGED COVER. LOOSE TEE OPERATING KEY. MIFAB MHY-20. ROUGH-IN: 3/4" COLD WATER. INSTALL WITH BOTTOM OF BOX AT 12" A.F.F. OR AS DIRECTED BY ARCHITECT / OWNER.

DESCRIPTION:

FLOOR CLEANOUT, BOTTOM OUTLET DUCTILE IRON BODY, ADJUSTABLE 6-1/2" DIAMETER NICKEL BRONZE RING AND COVER WITH VANDAL-RESISTANT SCREWS. SIOUX CHIEF 834-64DNRV.

DESCRIPTION:

PVC 9" ROUND FLOOR SINK WITH 4-1/2" DEEP SUMP. ACID RESISTANT. PVC DOME BOTTOM STRAINER, PVC STRAINER WITH VANDAL-RESISTANT SCREWS, AND PVC CLAMPING COLLAR. SIOUX CHIEF 860-W4PD. REFER TO FLOOR PLANS FOR SIZES. COORDINATE FINAL LOCATION WITH ROUGH-IN:

ARCHITECTURAL DRAWINGS.

1. mm * **BRADLEY KALMANS** 80219

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281.664.1900 | Registration No. F-4111

Project No. 2023-01217-00

DATE REVISION ISSUE 05.18.23 ISSUE FOR PERMIT

PROJECT NAME AND ADDRESS: MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A1

38860 SPUR 149 MAGNOLIA. TX 77354

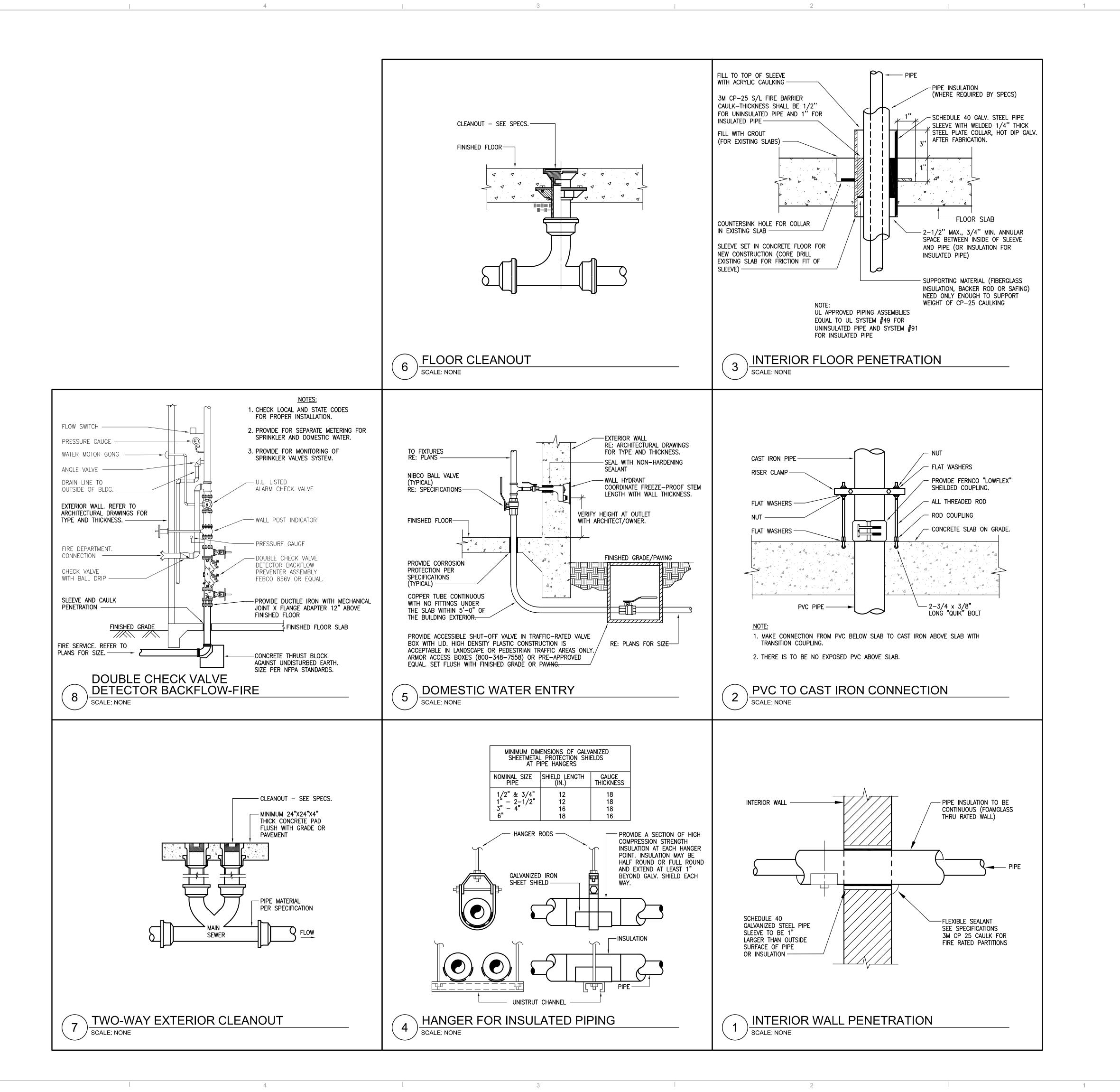
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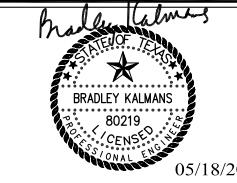
DRAWN: AA

PLUMBING SPECIFICATIONS, NOTES AND LEGEND

DRAWING NUMBER:

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SALASO'BRIEN

[expect a difference]

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Project No. 2023-01217-00

	NO.	DATE	REVISION ISSUE		
		05.18.23	ISSUE FOR PERMIT		
3					
-					
:	PROJECT NAME AND ADDRESS:				

MAGNOLIA VILLAGE RETAIL CENTER

RETAIL BUILDING A1 38860 SPUR 149 MAGNOLIA, TX 77354

REFERENCE NUMBER:

DRAWN: AA

REFERENCE NUM

TITLE:

PLUMBING DETAILS

DRAWING NUMBER:

P30⁻

CHECKED: