

Scott Shelburne, Chairman  
Anne Sundquist, Vice Chairman  
Josh Jakubik, Secretary  
Holly Knee  
Tom Mayhew  
Robert Barker III

City Administrator, Don Doering  
City Attorney, Leonard Schneider  
City Engineer, Tim Robertson  
City Secretary, Christian Gable



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## **NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION**

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### **AGENDA**

#### **WORKSHOP SESSION – REGULAR MEETING**

**THURSDAY, JANUARY 18 – 4:00 P.M.**

Sewall Smith Council Chambers

18111 Buddy Riley Blvd., Magnolia, Texas 77354

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#### **WORKSHOP SESSION AGENDA**

- 1. CALL WORKSHOP SESSION TO ORDER**
  - 2. ROLL CALL AND CERTIFICATION OF QUORUM**
  - 3. WORKSHOP SESSION**
    - a. Presentation for Myrtle Springs Retail by Newman Development Corp.
    - b. Discussion
  - 4. ADJOURN WORKSHOP SESSION**
- 

#### **REGULAR MEETING AGENDA**

- 5. CALL TO ORDER**
    - a. INVOCATION
    - b. PLEDGE OF ALLEGIANCE
    - c. ROLL CALL AND CERTIFICATION OF QUORUM
  - 2. CONSENT AGENDA**

*This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.*

    - a. CONSIDERATION – APPROVAL OF MINUTES**

Consideration and possible action to approve the minutes of the regular meeting held December 21, 2023.
  - 3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC**

*(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).*
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*Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:*  
*a. Statements of specific factual information given in response to an inquiry;*  
*b. A recitation of existing policy in response to an inquiry;*  
*c. A proposal to place the subject on a future agenda.*

**4. ANNOUNCEMENTS**

*(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.*

**5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)**

**6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO SECTION 10, PRELIMINARY PLAT, +/- 17.034 ACRES**

**7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE THE OAKS ON 6<sup>TH</sup> STREET, PRELIMINARY PLAT**

**8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE THE OAKS ON 6<sup>TH</sup> STREET, FINAL PLAT**

**9. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK PARKS PLAN**

**10. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK ESTATES BLVD PHASE 1, PRELIMINARY PLAT, +/- 20.60 ACRES**

**11. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK ESTATES BLVD PHASE 2, PRELIMINARY PLAT, +/- 1.18 ACRES**

**12. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK SECTION 8, PRELIMINARY PLAT, +/- 13.7 ACRES**

**13. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK SECTION 9, PRELIMINARY PLAT, +/- 15.8 ACRES**



**14. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK SECTION 10, PRELIMINARY PLAT, +/- 13.3 ACRES**

**15. FUTURE AGENDA ITEMS**

**16. ADJOURN**

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

**Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.**

**CERTIFICATE**

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, [www.cityofmagnolia.com](http://www.cityofmagnolia.com), in compliance with Chapter 551, Texas Government Code.

DATE \_\_\_\_\_  
TIME \_\_\_\_\_  
TAKEN DOWN \_\_\_\_\_

\_\_\_\_\_  
Christian Gable, City Secretary



Scott Shelburne, Chairman  
Anne Sundquist, Vice Chairman  
Josh Jakubik, Secretary  
Holly Knee  
Tom Mayhew  
Robert Barker III



City Administrator, Don Doering  
City Attorney, Leonard Schneider  
City Engineer, Tim Robertson  
Baxter & Woodman, Mike Kurzy  
City Secretary, Christian Gable

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## MINUTES OF THE PLANNING & ZONING COMMISSION REGULAR MEETING – DECEMBER 21, 2023

A meeting of the Planning & Zoning Commission was held December 21, 2023, beginning at 4:30 pm in the Sewall Smith Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354

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### 1. CALL TO ORDER

Chairman Scott Shelburne called the meeting to order at 4:30 pm.

#### a. INVOCATION

Tom Mayhew delivered the invocation.

#### b. PLEDGE OF ALLEGIANCE

Chairman Shelburne led the Pledge of Allegiance.

#### c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Anne Sundquist, Josh Jakubik, Holly Knee, and Tom Mayhew.

Absent: Robert Barker III.

### 2. CONSENT AGENDA

*This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.*

#### a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the regular meeting held November 16, 2023.

**MOTION: Upon a motion to approve the Meeting Minutes for November 16, 2023, with the correction of the vote counts from “3-0” to “4-0” made by Anne Sundquist and seconded by Tom Mayhew, the Commission members voted, and the motion carried unanimously, 5-0.**

### 3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

*(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).*

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:  
a. Statements of specific factual information given in response to an inquiry;  
b. A recitation of existing policy in response to an inquiry;  
c. A proposal to place the subject on a future agenda.

None

**4. ANNOUNCEMENTS**

*(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.*

None

**5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)**

Chairman Shelburne provided updates regarding construction progress within the Heritage Green development.

**6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE PAINT COLORS IN THE STROLL OVERLAY DISTRICT AT 119 MAGNOLIA BLVD**

Rachel Steele with the 4B Community Development Corporation presented this item, explaining that 4B hosts a business improvement grant to help fund updates to facades for businesses in the City. She explained that several of the Sherwin Williams colors listed in the approved Stroll Palette are discontinued and she presented the proposed façade colors chosen by the applicant.

**MOTION: Upon a motion to approve made by Holly Knee and seconded by Anne Sundquist, the Commission members voted and the motion carried unanimously, 5-0.**

**7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR SHERWIN WILLIAMS**

Chairman Shelburne expressed concern that the proposed signage on the building may not meet the requirements of the Unified Development Code or the Magnolia Village Planned Development, which could impact the building elevations included in the plans.

**MOTION: Upon a motion to approve the site plan for Sherwin Williams pending the approval of signage under the provisions of the Magnolia Village Planned Development Agreement made by Tom Mayhew and seconded by Josh Jakubik, the Commission members voted, and the motion carried unanimously, 5-0.**

**8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MISTER CAR WASH**

Chairman Shelburne and City Engineer Tim Robertson explained the changes made to the landscaping plans since the last meeting.

Chairman Shelburne expressed that he would like to confirm the preferred pattern of canopy tree types along Magnolia Village Drive to ensure consistency.

**MOTION: Upon a motion to approve the site plan for Mister Car Wash contingent upon coordination with developers of Magnolia Village regarding the canopy trees along Magnolia Village Drive made by Josh Jakubik and seconded by Anne Sundquist, the Commission members voted, and the motion carried unanimously, 5-0.**

**9. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR THE OAKS ON 6<sup>TH</sup> STREET**

Louis Faust with Texas Professional Engineering delivered a summary of the response letter that explains changes made to the plans according to comments made at last month's meeting. There was further discussion about drainage requirements.

**MOTION: Upon a motion to approve the site plan for The Oaks on 6<sup>th</sup> Street pending design with minimum level of the finished floor being either one foot above the 100-year flood elevation level or one foot above the natural grade of the lot, whichever is higher, made by Tom Mayhew and seconded by Anne Sundquist, the Commission members voted, and the motion carried unanimously, 5-0.**

**10. FUTURE AGENDA ITEMS**

Stroll Paint Color Palette Update  
The Oaks on 6<sup>th</sup> Street Replat

**11. ADJOURN**

**MOTION: Upon a motion to adjourn made by Anne Sundquist and seconded by Josh Jakubik, the Commission members voted, the motion carried unanimously, and Chairman Shelburne adjourned the meeting at 5:28 pm.**

Planning & Zoning Commission

\_\_\_\_\_  
Scott Shelburne, Chairman

**CERTIFICATION**

I certify this to be a true and correct copy of the minutes of the special meeting of the City of Magnolia Planning and Zoning Commission held on December 21, 2023.

ATTEST:

\_\_\_\_\_  
Christian Gable, City Secretary



November 13, 2023

Mr. Timothy W. Robertson, P.E.  
City of Magnolia City Engineer  
18111 Buddy Riley Blvd.  
Magnolia, TX 77354

Re: Preliminary Plat of Escondido Section 10  
City of Magnolia  
Montgomery County, Texas  
LJA Job No. 2139-3011P.310

Dear Mr. Robertson:

In response to the comments on your review dated October 18, 2023, we offer the following clarifications.

**CITY ENGINEER COMMENTS**

- 1. Provide a 25'x25' visibility triangle at all street intersections.*  
25' radius cutbacks have been provided at all street intersections.
- 2. All easements where utilities are proposed should be noted as utility easements in accordance with the Unified Development Code (UDC).*  
All utility easements have been labeled accordingly.
- 3. All easements where drainage systems are proposed should be noted as drainage easements in accordance with the UDC.*  
There are no drainage easements located on this plat.
- 4. Utility service to and within this plat shall be underground in accordance with the UDC.*  
Noted.
- 5. A homeowner or property owner association will need to be established to assure the maintenance of any common open areas.*  
Noted.
- 6. All print on the plat to be a minimum of 5' on a scale of 1"=50', (0.10").*  
Please clarify if this is a new requirement for all plats. Text shown on previously recorded plats did not meet his requirement.

7. *Sidewalks will need to be constructed for any lot that is adjacent to street right-of-way. Curb ramps shall be constructed with the street construction.*

Noted.

8. *Spelling of the western street should be consistent throughout the plat.*

This comment has been addressed.

9. *Please complete the checklist with the application on each submittal. It is permissible to note an item as "Not Applicable" (i.e. N/A) where appropriate and, when necessary, provide an explanation as to why not applicable.*

This comment has been addressed.

Should you have any questions, please contact me at 713.580.4100.

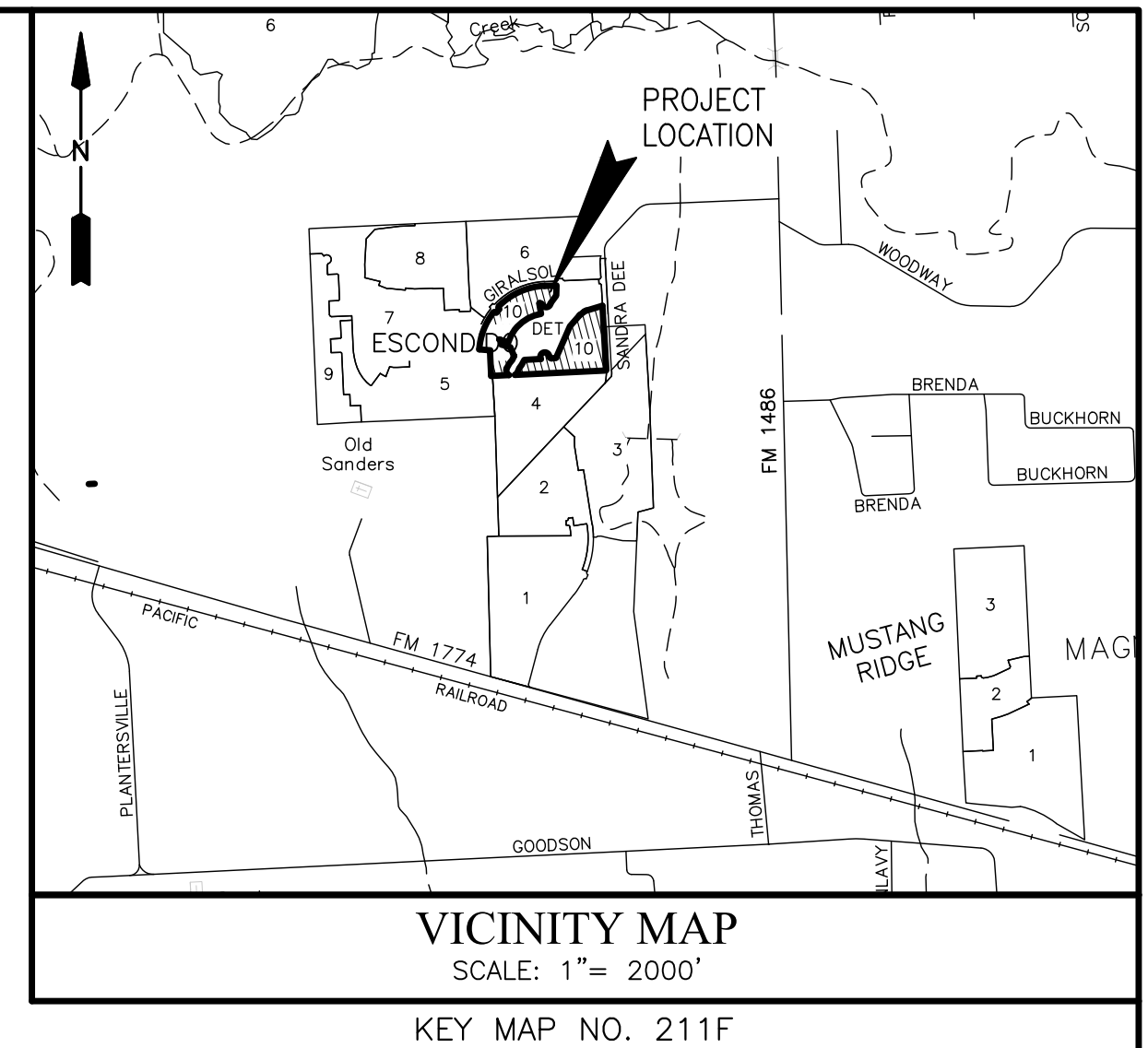
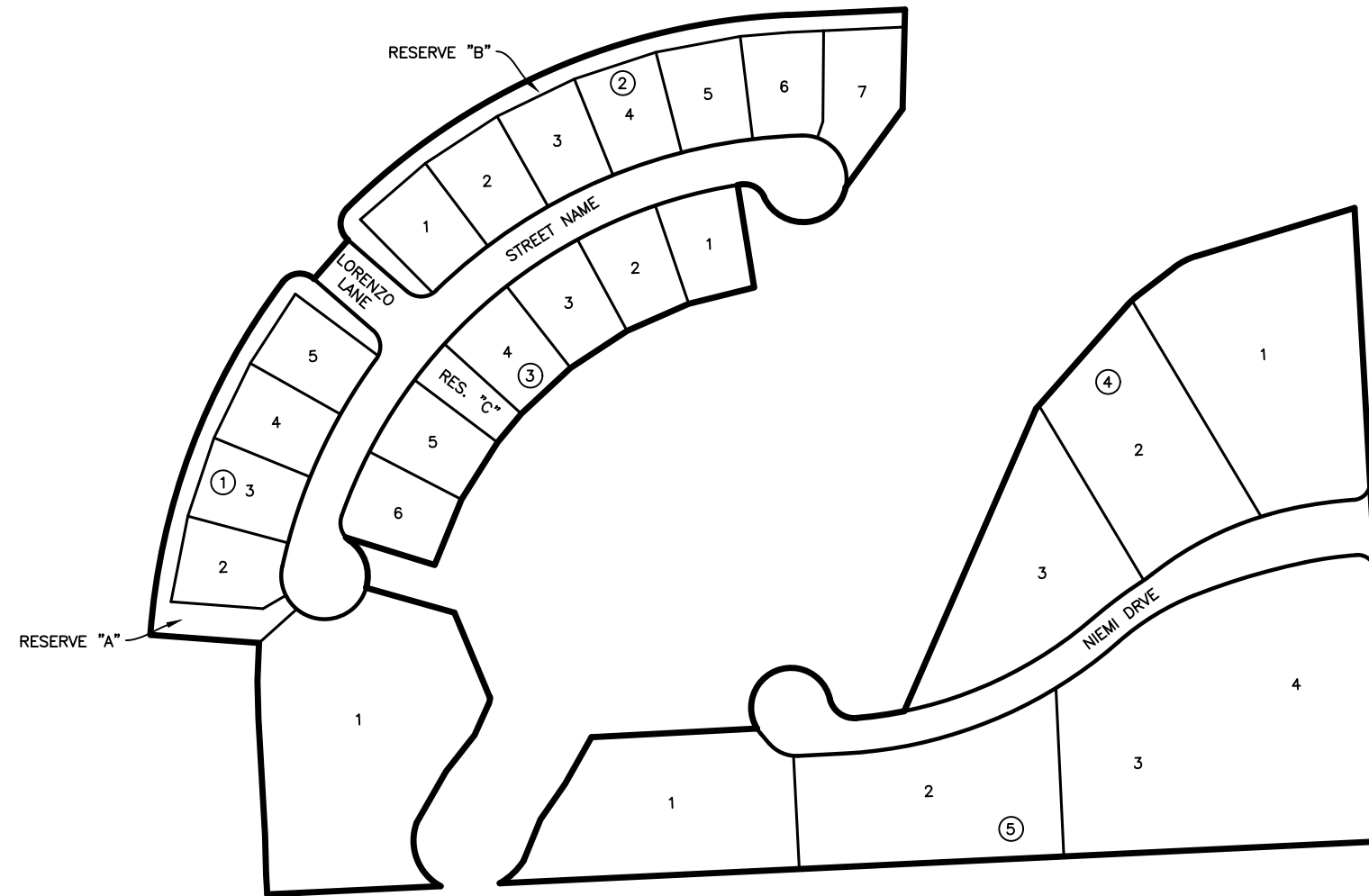
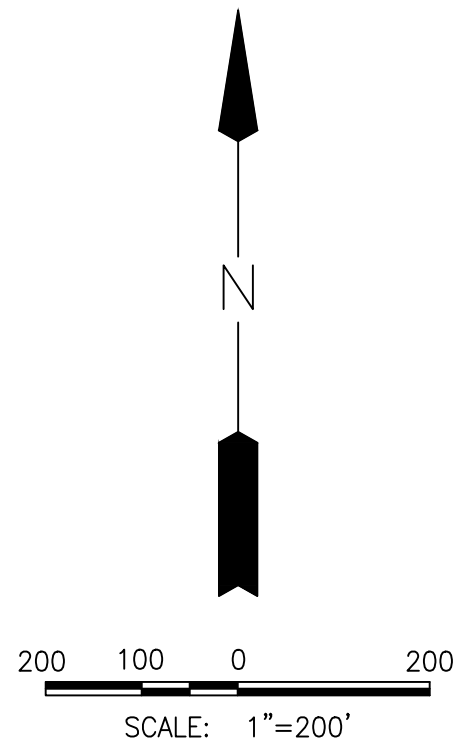
Sincerely,



Zachary Zarse  
Platting Coordinator

ZZ/em

CC: Don Doering, Christian Gable



# PRELIMINARY PLAT ESCONDIDO SECTION 10

A SUBDIVISION OF 17.034 ACRES OF LAND SITUATED IN  
THE JAMES PIERPOINT SURVEY, ABSTRACT 426,  
MONTGOMERY COUNTY, TEXAS.

OWNER: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

DEVELOPER: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

DATE: SEPTEMBER 13, 2023

25 LOTS  
5 BLOCKS  
3 RESERVE  
0.935 ACRES IN RESERVES



SURVEYOR:  
**GBI PARTNERS**  
4724 VISTA ROAD TBP/ELS FIRM #10130300  
PASADENA, TX 77505 GBISurvey@GBISurvey.com  
PHONE: 281-499-4539 www.GBISurvey.com

ENGINEER:  
**LJA Engineering, Inc.**  
3600 W Sam Houston Parkway S Phone 713.953.5200  
Suite 600 Fax 713.953.5026  
Houston, Texas 77042 FRN - F-1386

Date: 13 Nov 2023 10:30 AM  
Path: I:\Projects\PLATTING\2139\FIN\PLT\Escondido Section 10.dwg  
CAD: ZZ MYLAR CHECK: SUR

STATE OF TEXAS  
COUNTY OF MONTGOMERY

I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO SECTION 10, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS ESCONDIDO SECTION 10, LOCATED IN THE JAMES PIERPONT SURVEY, ABSTRACT 426, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

THIS IS TO CERTIFY THAT I, J. ALAN KENT, GENERAL MANAGER, RESPECTIVELY OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ESCONDIDO SECTION 10, HAVE COMPLIED WITH OR WILL COMPLY WITH ALL REGULATIONS HERETOFORE, ON FILE WITH THE MONTGOMERY COUNTY ENGINEER AND ADOPTED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

FURTHER, WE, MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, DO HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP OF LAND A MINIMUM OF FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE, WHICH RESTRICTIONS SHALL RUN WITH THE TITLE OF THE PROPERTY, AND SHALL BE ENFORCEABLE, AT THE OPTION OF MONTGOMERY COUNTY, BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION, AS FOLLOWS:

1. THE DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY, OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY, IS STRICTLY PROHIBITED.
2. DRAINAGE STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18" DIAMETER PIPE CULVERT).

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE ORIGINALLY INTENDED FOR THE CONSTRUCTION OF RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR THE SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY, UNLESS OTHERWISE NOTED.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF ESCONDIDO SECTION 10 WHERE BUILDING SETBACK LINES OR PUBLIC EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY J. ALAN KENT, ITS GENERAL MANAGER THEREUNTO AUTHORIZED, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

MAGNOLIA ESCONDIDO LLC  
A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_  
J. ALAN KENT, GENERAL MANAGER

STATE OF TEXAS  
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J. ALAN KENT, GENERAL MANAGER OF MAGNOLIA ESCONDIDO LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KYLE B. DUCKETT, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT THE ELEVATION BENCHMARK REFLECTED ON THE FACE OF THE PLAT WAS ESTABLISHED AS REQUIRED BY REGULATION; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN FIVE-EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

\_\_\_\_\_  
KYLE B. DUCKETT, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6340

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO SECTION 10 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

\_\_\_\_\_  
SCOTT SHELburne, CHAIRMAN

\_\_\_\_\_  
CHRISTIAN GABLE, INTERIM CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF ESCONDIDO SECTION 10 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

\_\_\_\_\_  
TODD KANA, MAYOR

\_\_\_\_\_  
CHRISTIAN GABLE, INTERIM CITY SECRETARY

I, JEFF JOHNSON, P.E., COUNTY ENGINEER OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS COURT.

I FURTHER CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH REQUIREMENTS FOR INTERNAL SUBDIVISION DRAINAGE AS ADOPTED BY COMMISSIONERS COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OF SUBDIVISION WITHIN THE WATERSHED.

\_\_\_\_\_  
JEFF JOHNSON, P.E.  
COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS COURT OF MONTGOMERY COUNTY, TEXAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
ROBERT C. WALKER  
COMMISSIONER, PRECINCT 1

\_\_\_\_\_  
CHARLIE RILEY  
COMMISSIONER, PRECINCT 2

\_\_\_\_\_  
MARK KEOUGH  
COUNTY JUDGE

\_\_\_\_\_  
JAMES L. NOACK  
COMMISSIONER, PRECINCT 3

\_\_\_\_\_  
MATT GRAY  
COMMISSIONER, PRECINCT 4

STATE OF TEXAS  
COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON \_\_\_\_\_, 2023, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_M., AND DULY RECORDED ON \_\_\_\_\_, 2023, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_M., IN CABINET \_\_\_\_\_ SHEET \_\_\_\_\_, OF RECORD OF \_\_\_\_\_ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

\_\_\_\_\_  
L. BRANDON STEINMANN, CLERK, COUNTY COURT,  
MONTGOMERY COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

OWNERS: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

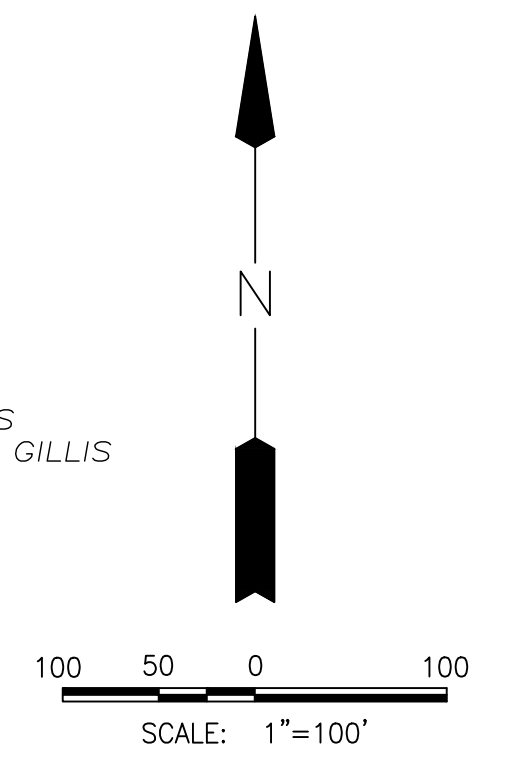
DEVELOPER: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

Date: 13 Nov 2023 10:30:00 AM  
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MYLAR CHECK: SUR  
CAD: ZZ



**LEGEND**

- B.L. INDICATES BUILDING LINE
- STM.S.E. INDICATES STORM SEWER EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- U.E. INDICATES UTILITY EASEMENT
- F.N. INDICATES FILE NUMBER
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- R.O.W. INDICATES RIGHT-OF-WAY
- RES. INDICATES RESERVE
- NO. INDICATES NUMBER
- VOL. INDICATES VOLUME
- PG. INDICATES PAGE
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- ↔ INDICATES STREET NAME CHANGE



REMAINDER OF  
CALLED 131.84 ACRES  
MAGNOLIA ESCONDIDO, LLC  
DOC. NO. 2019108696  
M.C.O.P.R.

PROPOSED SOLEADO WAY  
(50' R.O.W.)

PROPOSED GIRASOL STREET  
(50' R.O.W.)

PROPOSED SANDRA DEE LANE  
(60' R.O.W.)

PROPOSED LORENZO LANE  
(50' R.O.W.)

PROPOSED REMINISCENT LANE  
(50' R.O.W.)

EDMUND RUCKER LANE  
(50. R.O.W.)

GIRASOL STREET  
(50' R.O.W.)

PEARL TRACE LANE  
(50' R.O.W.)

SWAYZE STREET (60' R.O.W.)

LORENZO LANE (60' R.O.W.)

RESERVE "A"

RESERVE "B"

RESERVE "C"

RESERVE "D"

RESERVE "E"

RESERVE "F"

RESERVE "G"

RESERVE "H"

RESERVE "I"

RESERVE "J"

RESERVE "K"

RESERVE "L"

RESERVE "M"

RESERVE "N"

RESERVE "O"

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RESERVE "AK"

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RESERVE "CT"

RESERVE "CU"

RESERVE "CV"

RESERVE "CW"

RESERVE "CX"

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RESERVE "PI"

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RESERVE "PL"

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RESERVE "PR"

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RESERVE "SB"

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RESERVE "SE"

RESERVE "SF"

RESERVE "SG"

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RESERVE "SL"

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RESERVE "SO"

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RESERVE "SQ"

RESERVE "SR"

RESERVE "SS"

RESERVE "ST"

RESERVE "SU"

RESERVE "SV"

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RESERVE "VH"

RESERVE "VI"

RESERVE "VJ"

RESERVE "VK"

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RESERVE "VM"

RESERVE "VN"

RESERVE "VO"

RESERVE "VP"

RESERVE "VQ"

RESERVE "VR"

RESERVE "VS"

RESERVE "VT"

RESERVE "VU"

RESERVE "VV"

RESERVE "VW"

RESERVE "VX"

RESERVE "VY"

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RESERVE "XU"

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RESERVE "XZ"

RESERVE "YA"

RESERVE "YB"

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RESERVE "ZX"

RESERVE "ZY"

RESERVE "ZZ"

ESCONDIDO SECTION 5  
CAB. Z, SHTS. 9923-9926  
M.C.M.R.

ESCONDIDO SECTION 4  
CAB. Z, SHTS. 7864-7867  
M.C.M.R.

CALLLED 3.0445 ACRES  
MAGNOLIA CASTLAND, INC.  
DOC. NO. 99019783  
M.C.O.P.R.

REMAINDER OF  
CALLED 148.435 ACRES  
MAGNOLIA ESCONDIDO, LLC  
DOC. NO. 2018120024  
M.C.O.P.R.

OWNERS: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

DEVELOPER: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

Date: 13 Nov 2023 10:30am  
Path: I:\Projects\PLATTING\2139\FINPLT\Escondido Section 10.dwg  
CAD: ZZ MYLAR CHECK: SUR

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 87°22'29" E	135.67
L2	S 01°28'05" W	114.89
L3	S 35°58'44" W	112.15
L4	S 09°13'22" E	120.00
L5	S 75°58'04" W	77.97
L6	S 66°20'55" W	77.97
L7	S 56°43'47" W	77.97
L8	S 47°06'38" W	77.97
L9	S 39°38'53" W	43.05
L10	S 32°11'08" W	77.97
L11	S 22°19'02" W	82.01
L12	N 72°44'30" W	107.51
L13	S 74°12'55" E	106.16
L14	S 22°38'54" E	104.96
L15	S 24°04'48" W	39.02
L16	S 38°10'09" W	53.39
L17	S 29°47'48" W	68.39
L18	N 03°15'53" W	23.24
L19	N 01°31'13" W	45.02
L20	N 03°13'27" W	135.00
L21	N 01°34'37" W	44.00
L22	N 02°17'26" E	43.88
L23	N 85°43'51" W	126.00
L24	N 41°04'08" E	60.00
L25	N 01°44'38" W	25.00
L26	N 77°38'04" W	25.00
L27	S 48°55'52" E	90.28

LINE TABLE		
LINE	BEARING	DISTANCE
L28	N 48°55'52" W	90.28
L29	N 53°16'33" W	119.51
L30	S 33°05'28" W	95.68
L31	S 25°49'32" W	95.68
L32	S 18°33'36" W	95.68
L33	S 11°08'35" W	100.83
L34	S 60°03'14" W	30.48
L35	S 48°08'57" W	58.63
L36	S 87°22'29" W	134.24
L37	S 85°14'16" W	56.30
L38	S 79°19'56" W	99.25
L39	S 71°47'41" W	99.25
L40	S 64°15'26" W	99.25
L41	S 56°43'11" W	99.25
L42	S 49°10'56" W	99.25
L43	N 44°35'11" W	119.51
L44	S 19°01'27" W	20.00
L45	N 22°16'25" E	51.02
L46	N 34°40'58" E	50.07
L47	N 29°25'37" E	62.11
L48	N 52°24'21" E	54.02
L49	S 86°45'21" W	11.78
L50	S 87°02'46" W	53.81
L51	N 40°38'03" W	15.09
L52	N 49°21'57" E	26.00
L53	S 87°02'46" W	53.81
L54	N 40°38'03" W	15.09

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	25.00'	94°12'20"	41.10	N 01°49'42" W	36.63
C2	775.00'	42°06'01"	569.46	N 66°19'28" E	556.74
C3	50.00'	143°49'33"	125.51	S 83°22'09" W	95.06
C4	25.00'	74°06'32"	32.34	N 61°46'21" W	30.13
C5	585.00'	0°23'45"	4.04	S 80°58'31" W	4.04
C6	25.00'	13°02'20"	5.69	S 48°08'27" E	5.68
C7	50.00'	70°27'16"	61.48	S 19°25'59" E	57.68
C8	80.00'	1°03'34"	1.48	S 23°10'41" E	1.48
C9	20.00'	22°33'01"	7.87	S 12°48'18" W	7.82
C10	60.00'	81°38'53"	85.50	S 20°38'19" E	78.45
C11	775.00'	32°37'44"	441.35	N 20°32'56" E	435.41
C12	25.00'	94°12'20"	41.10	N 83°57'58" E	36.63
C13	610.00'	75°53'25"	807.97	S 50°18'39" W	750.19
C14	25.00'	85°13'11"	37.18	N 88°27'32" E	33.85
C15	635.00'	42°24'25"	469.99	N 67°03'09" E	459.34
C16	50.00'	247°01'34"	215.57	S 31°46'08" W	83.38
C17	585.00'	61°43'28"	630.22	S 50°18'39" W	600.18
C18	25.00'	74°06'32"	32.34	S 17°36'21" E	30.13
C19	50.00'	247°01'34"	215.57	S 68°51'09" W	83.38
C20	635.00'	23°55'23"	265.14	N 24°19'38" E	263.21
C21	25.00'	85°13'11"	37.18	N 06°19'17" W	33.85
C22	80.00'	27°52'15"	38.91	N 46°21'29" E	38.53

BLOCK 1	
LOT NO.	SQ.FT.
1	71,584
2	10,743
3	10,479
4	10,479
5	10,478

BLOCK 2	
LOT NO.	SQ.FT.
1	10,863
2	10,864
3	10,864
4	10,864
5	10,864
6	10,656
7	12,903

BLOCK 3	
LOT NO.	SQ.FT.
1	10,662
2	10,662
3	10,662
4	10,662
5	10,662
6	11,143

BLOCK 4	
LOT NO.	SQ.FT.
1	64,105
2	39,988
3	41,629

BLOCK 5	
LOT NO.	SQ.FT.
1	45,980
2	45,338
3	108,422

NOTES:

- ALL BEARINGS ARE REFERENCED TO THE STATE PLANE GRID COORDINATES, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE FOLLOWING COMBINED ADJUSTMENT FACTOR 0.99996413094.
- PRIMARY BENCHMARK: A 1281 (NGS PID: BL1869) BRASS DISC STAMPED A 1281 1978 LOCATED ALONG THE WEST SIDE OF NICHOLS SAWMILL ROAD, 26 FEET WEST OF PAVEMENT, AND APPROXIMATELY 550 FEET SOUTH OF UNITY PARK DRIVE. PUBLISHED ELEVATION=231.8' NAVD88
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, FILE NO. 2022-0644, DATED SEPTEMBER 29, 2022. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "GBI PARTNERS" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0475G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) AND ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "GBI PARTNERS" AND "LJA ENGINEERING" DO NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- THE PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
- ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT PROPERTY, THE CONDITION OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RESUBDIVIDED IN A RECORDED SUBDIVISION PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.

OWNERS: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

DEVELOPER: MAGNOLIA ESCONDIDO, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
6046 FM 2920, SUITE 512  
SPRING, TEXAS 77379

Date: Nov 13, 2023  
Time: 10:31 AM  
Path: I:\Projects\PLATTING\2139\INPLT\Escondido Section 10.dwg  
CAD: ZZ  
MYLAR CHECK: SUR



### Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

#### CONTACT INFORMATION

**Applicant**

Texas Professional Surveying

Name

Matt Tucker

Street Address

3032 N. Fraizer

City, State Zip

Conroe, TX 77303

Phone

936-756-7447

Fax

plattng@surveyingtexas.com

E-mail

**Architect (if different)**

Name

Street Address

City, State Zip

Phone

Fax

E-mail

**Property Owner (if different)**

RVision Homes, Ltd.

Name

Robert Van Buren

Street Address

21330 Park York Drive

City, State Zip

Katy, TX 77450

Phone

832-563-9292

Fax

bvb440@gmail.com

E-mail

**Engineer/Land Surveyor (if different)**

Texas Professional Engineering, LLC

Name

Louis Faust

Street Address

3032 N Fraizer St.

City, State Zip

Conroe, TX 77303

Phone

936-756-7101

Fax

lfaust@engineeringtexas.com

E-mail

Project Name: The Oaks on 6th Street Subdivision: The Oaks on 6th Street Reviewer: \_\_\_\_\_

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

Being a subdivision of 7.534 Acres situated in the Gamble Dawson Survey, Abstract No. 177, Montgomery County, Texas

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2. Description of proposed property change, including lot numbers, name, etc.

Subdivision attempts to create 12 Lots in 1 Block

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### Required Information

- Three (3) copies of the preliminary plat; minimum 20 in. x 24 in. size in blue or black line
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Title opinion (title search) from a title guaranty company not more than 30 days old
- Three (3) original copies of a letter of transmittal
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
  - The number of lots in the subdivision
  - The size of the parcel
  - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions of right-of-ways, lots, utility easements, open spaces, and buffers
- Required justifications for cul-de-sacs, if cul-de-sacs are proposed
- Three (3) copies of blue or black line prints of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Location and size of proposed parks, playgrounds, civic (including church) or school sites or other special uses of land to be considered for dedication to public use, provided on a separate attached description
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including location of proposed culverts and bridge, provided on a separate utility sheet
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)

Project Name: The Oaks on 6th Street Subdivision: The Oaks on 6th Street Reviewer: \_\_\_\_\_





### Final Plat Application Form

This form shall be submitted with each application for a final plat.

#### CONTACT INFORMATION

**Applicant**

Texas Professional Surveying

Name

Matt Tucker

Street Address

3032 N. Fraizer

City, State Zip

Conroe, TX 77303

Phone

936-756-7447

Fax

plattng@surveyingtexas.com

E-mail

**Architect (if different)**

Name

Street Address

City, State Zip

Phone

Fax

E-mail

**Property Owner (if different)**

RVision Homes, Ltd.

Name

Robert Van Buren

Street Address

21330 Park York Drive

City, State Zip

Katy, TX 77450

Phone

832-563-9292

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bvb440@gmail.com

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**Engineer/Land Surveyor (if different)**

Texas Professional Engineering, LLC

Name

Louis Faust

Street Address

3032 N. Fraizer

City, State Zip

Conroe, TX 77303

Phone

936-756-7101

Fax

lfaust@engineeringtexas.com

E-mail

Project Name: The Oaks on 6th Street Subdivision: The Oaks on 6th Street Reviewer: \_\_\_\_\_

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

Being a subdivision of 7.534 Acres situated in the Gamble Dawson Survey, Abstract No. 177, Montgomery County, Texas

---



---

2. Description of proposed property change, including lot numbers, name, etc.

Subdivision attempts to create 12 Lots in 1 Block

---



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### Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
  - The number of lots in the subdivision
  - The size of the parcel
  - The number of dwelling units proposed (provided on a separated attached description)
  - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
  - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
  - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
  - Utility and access easements
  - Private access easements

Project Name: The Oaks on 6th Street Subdivision: The Oaks on 6th Street Reviewer: \_\_\_\_\_





Z:\PROJECTS\IR15 - R\Vision Homes LTD\IR1523-001-00 7.5-Acre Tract Magnolia2 Design Phase\CAD\Plans\COVER SHEET & INDEX.dwg 12/11/2023 11:45:19 AM

**GENERAL NOTES:**

1. CONSTRUCT WASTEWATER COLLECTION SYSTEMS, WATER LINES AND STORM DRAINAGE IN ACCORDANCE WITH THE LATEST EDITION OF THE PUBLICATIONS STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR THE CITY OF MAGNOLIA. WATER LINE DETAILS, PAVING DETAILS, AND SANITARY SEWER DETAILS PUBLISHED BY CITY OF MAGNOLIA.
2. UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS ONE CALL AT 713-223-467811 OR 800-344-6377 AND LONE STAR NOTIFICATION CENTER AT 900-666-6344 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING WATER, WASTEWATER AND STORM DRAINAGE LINES. DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE CITY OF MAGNOLIA STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR THE CITY OF MAGNOLIA. WATER LINE DETAILS, PAVING DETAILS, AND SANITARY SEWER DETAILS REFERENCED ABOVE, AT NO ADDITIONAL COST.
4. CONTRACTOR SHALL NOTIFY THE OFFICE OF THE CITY ENGINEER IN WRITING 48-HOURS PRIOR TO COMMENCING CONSTRUCTION.
5. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
6. CONTRACTOR SHALL COMPLY WITH LATEST EDITION OF OSHA REGULATIONS AND THE STATE OF TEXAS LAWS CONCERNING EXCAVATION.
7. THE APPROXIMATE LOCATION OF EXISTING UTILITIES ARE GIVEN FOR REFERENCE ONLY. BEFORE COMMENCING THE WORK ON THIS CONTRACT, THE CONTRACTOR SHALL VERIFY BY FIELD INVESTIGATION THE ACTUAL LOCATIONS OF ALL UTILITY FACILITIES WITHIN AND ADJACENT TO THE LIMITS OF THE WORK THAT MAY BE AFFECTED BY THE WORK. CONFLICTS WHICH RESULT DUE TO NEGLIGENCE BY THE CONTRACTOR TO LOCATE, HORIZONTALLY AND VERTICALLY, EXISTING UTILITIES WHICH ARE SHOWN ON THE CONSTRUCTION DRAWINGS, OR WHICH THE CONTRACTOR HAS BEEN GIVEN NOTICE OR HAS KNOWLEDGE, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF REMEDIAL WORK, REMOVAL OF PORTIONS OF THE WORK OR EXTENSIVE DESIGN CHANGES OCCASIONED BY THE FAILURE OF THE CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES AS DESCRIBED ABOVE SHALL BE BORNE BY THE CONTRACTOR. DISTRICT OPERATOR WILL BE PRESENT FOR ALL CONNECTIONS TO EXISTING UTILITIES.

**WATERLINE CONSTRUCTION NOTES**

1. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA RULES AND REGULATIONS, STANDARD SPECIFICATIONS, AND CONSTRUCTION DETAILS.
2. NO PIPE WHICH HAS BEEN USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF DRINKING WATER SHALL BE ACCEPTED OR RELOCATED FOR USE IN ANY PUBLIC DRINKING WATER SUPPLY.
3. ALL 4" THROUGH 12" WATER LINE TO BE AWWA C-900 PVC DR-19 BLUE PRESSURE RATED WATER MAIN WITH 2" AND SMALLER WATER SERVICE LINE TO BE CONTINUOUS CLASS 200' SDR9 POLYETHYLENE TUBING OR TYPE "K" COPPER TUBING CONFORMING TO THE REQUIREMENTS OF ASTM B-88, INSTALLED PER CITY OF MAGNOLIA DETAILS.
4. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. WHERE PREVENTING MOVEMENT OF 16" OF GREATER PIPE NECESSARY DUE TO THRUST, USE RESTRAINED JOINTS.
5. ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
6. ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE PERPENDICULAR AND BE CONSTRUCTED PER CITY OF MAGNOLIA AND TCEQ REGULATIONS.
7. THE MAXIMUM ALLOWABLE LEAD CONTENT OF PIPES, PIPE FITTINGS, PLUMBING FITTINGS, AND FIXTURES IS 0.25 PERCENT.
8. ALL WATER VALVES 2" AND LARGER SHALL BE IRON-BODY, RESILIENT RUBBER SEAT, NON-RISING STEM AND SHALL CONFORM TO AWWA C-509.
9. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EACH 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
10. DECHLORINATION OF DISINFECTING WATER SHALL BE IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARD C655-09 OR MORE RECENT.
11. HYDROSTATIC TESTING. ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA STANDARD CONSTRUCTION SPECIFICATIONS. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.
12. ALL WATER LINES TO HAVE 4" MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEAR TO OTHER UTILITIES AT CROSSINGS UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8" DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
13. CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAP (OR OTHER WISE EFFECTIVELY COVER) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
14. THE CONTRACTOR SHALL NOT PLACE THE PIPE IN WATER OR WHERE IT CAN BE FLOODED WITH WATER OR SEWAGE DURING ITS STORAGE OR INSTALLATION.

**STORM SEWER (POND OUTFALL) CONSTRUCTION NOTES:**

1. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (C-76, CLASS III) OR HIGH PERFORMANCE POLYPROPYLENE PIPE, AND SHALL BE INSTALLED, BEDDED, AND BACK FILLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
2. ALL TRENCH BACKFILL SHALL BE IN 8' LIFTS, WITH TESTS TAKEN AT 100 FOOT INTERVALS IN EACH LIFT, AND MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D-698/AASHTO T99).
3. CIRCULAR AND ELLIPTICAL REINFORCED CONCRETE PIPE SHALL BE INSTALLED USING RUBBER GASKET JOINT CONFORMING TO ASTM C443 AND ASTM C877 RESPECTIVELY. HDPE PIPE SHALL BE JOINED USING A BELL & SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTO M252, AASHTO M294, or ASTM F2308. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE PROTECTIVE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT AVAILABLE FROM THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY. 12" THROUGH 60" NCH (300 TO 1500 MM) DIAMETERS SHALL HAVE AN EXTERIOR BELL WRAP INSTALLED BY THE MANUFACTURER.
4. ALL STORM SEWER PIPES SHALL BE 24" AND LARGER.
5. ALL DITCHES SHALL BE GRADED TO PROPOSED ELEVATIONS TO INSURE PROPER DRAINAGE. ALL OUTFALLS SHALL BE PROPERLY BACKFILLED AND COMPACTED. ALL DISTURBED AREA SHALL BE REGRADED, SEEDDED, AND FERTILIZED.

ALL STORM SEWER, DETENTION FACILITIES, AND DITCHES SHALL BE MAINTAINED BY THE OAKS AT 6TH STREET HOA

NOTE:

CONTRACTOR TO IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWP3) IN ACCORDANCE WITH THE TPDES CGP TXR150900.

**GRADING NOTES :**

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. BEFORE STARTING CONSTRUCTION, CONTRACTOR SHALL VERIFY BENCHMARK ELEVATION AND NOTIFY ENGINEER IF ANY DISCREPANCY AND/OR CONFLICT IS FOUND.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
5. ALL EXISTING CONCRETE PAVING, SIDEWALK, AND CURB DEMOLITION SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. DISPOSAL SHALL BE AT AN APPROVED OFF-SITE, LAWFUL LOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER.
6. CLEARING AND GRUBBING OF ANY AREA AND TREES NOT SHOWN ON THE PLANS IS STRICTLY PROHIBITED.

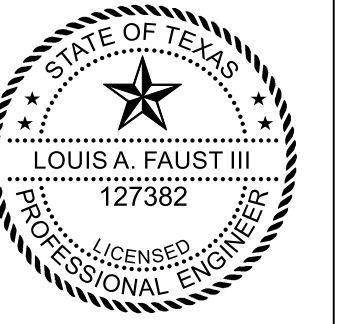
**LOT GRADING NOTES:**

1. LOT AREAS THAT ARE TO RECEIVE FILL SHALL BE PREPARED AS FOLLOWS (NO SEPARATE PAY)
  - A. AREAS THAT ARE TO RECEIVE FILL WILL BE STRIPPED TO A DEPTH OF 3". STRIPPINGS SHALL BE STOCKPILED AND THEN SPREAD EVENLY ON SURFACE OF FILLED AREAS.
  - B. PRIOR TO PLACEMENT OF FILL ON STRIPPED AREAS, THE CONTRACTOR SHALL PROOF ROLL USING A PNEUMATIC ROLLER (12 TON OR APPROVED EQUAL) (NO SEPARATE PAY). SHOULD SOFT UNSTABLE AREAS APPEAR IN THE LOTS, THE CONTRACTOR SHALL REMOVE UNSTABLE MATERIAL AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REPLACE THIS WITH A SUITABLE MATERIAL COMPACTED AS REQUIRED (NO SEPARATE PAY FOR A DEPTH UP TO 2 FEET, UNLESS OTHERWISE NOTED IN BID FORM).
2. LOT FILL SHALL BE PLACED IN MAXIMUM LOOSE LIFTS OF EIGHT INCHES (8") OR LESS AND COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM TO +5% MOISTURE CONTENT AS DETERMINED BY AASHTO TEST METHOD T-99.
3. FINAL PAYMENT SHALL BE CONTINGENT ON THE ENGINEER'S VERIFICATION THAT LOT GRADING IS IN ACCORDANCE WITH THE GRADING PLAN, AND THAT SOIL COMPACTION TESTS WERE PERFORMED AS REQUIRED.
4. ALL LOTS SHALL BE GRADED SO THAT NO PORTION OF ANY LOT SHALL DRAIN ONTO OR ACROSS ANY OTHER LOT, BUT SHALL DRAIN DIRECTLY TO THE PROPOSED DETENTION FACILITY.

**STORM WATER POLLUTION PREVENTION NOTES:**

1. THE APPLICABLE REGULATIONS OF THE FOLLOWING AGENCIES SHALL APPLY AS IF WRITTEN HERE IN THEIR ENTIRETY:
  - 1.1. TCEQ TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
  - 1.2. US EPA UNITED STATES ENVIRONMENTAL PROTECTION AGENCY
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT STORM WATER POLLUTION AND COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE CONTROLLING REGULATORY AGENCIES AS REQUIRED FOR THE PROJECT AND ANY OTHER REQUIREMENTS SET FORTH HEREIN.
3. THE CONTRACTOR SHALL SUBMIT ONE COPY EACH TO THE CITY OF MAGNOLIA AND THE ENGINEER, OR THE DESIGNATED REPRESENTATIVE OF THE ENGINEER, A STORM WATER POLLUTION PREVENTION PLAN (SWP3) WHEN A SWP3 IS REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL ALSO SUBMIT THREE (3) COPIES OF ALL REQUIRED SUPPORTING DOCUMENTS INCLUDING, BUT NOT LIMITED TO, A NOTICE OF INTENT (NOI) AND A NOTICE OF TERMINATION (NOT) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM.
4. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN BASED ON THE ACTUAL CONDITIONS ENCOUNTERED ON THE PROJECT AND SHALL IMPLEMENT THE PLAN AND ANY OTHER REQUIREMENTS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE AREA (ACRES) THAT WILL BE DISTURBED TO PROSECUTE THE WORK REQUIRED FOR THE PROJECT AND TAKE THE APPROPRIATE ACTIONS AS OUTLINED IN THIS SECTION BASED ON THE DISTURBED AREA AS DESCRIBED IN SUBSEQUENT PARAGRAPHS OF THIS SPECIFICATION.

APPROVED BY:	
REVISIONS	
DATE	



*[Signature]*  
12/13/2023

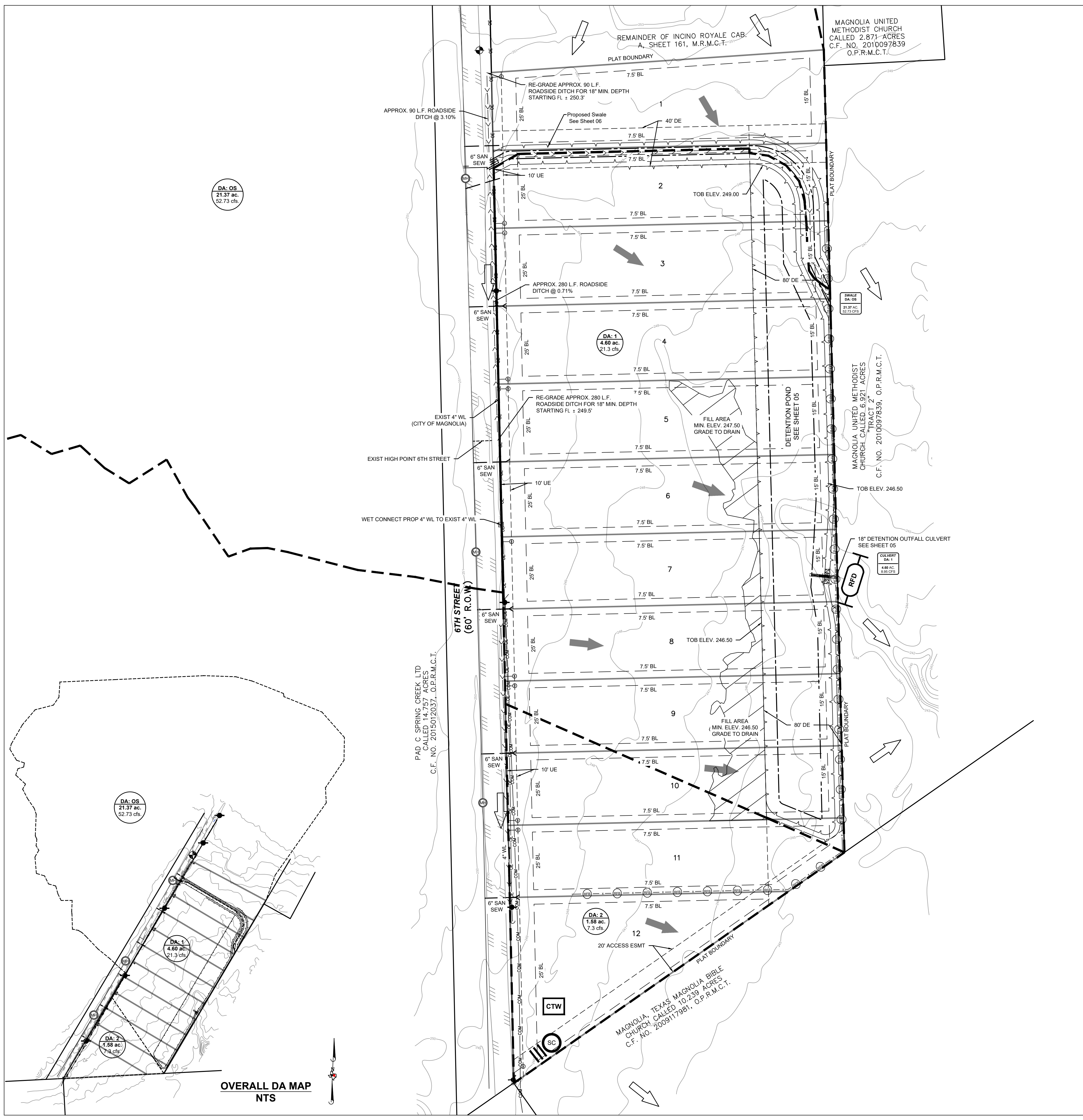
TEXAS PROFESSIONAL ENGINEERING LLC  
F-21819

THE OAKS ON 6TH STREET  
CITY OF MAGNOLIA, TX  
GENERAL CONSTRUCTION NOTES

DESIGNER: LF  
DRAFTING: TJ/RG  
PROJ. MGR: LF  
SCALE: N.T.S.

SHEET  
02 OF 09





**TEMPORARY BENCHMARK "A":**  
 BEING A MAG NAIL SET IN ASPHALT, APPROXIMATELY 54.33' FEET FROM THE SOUTHERN CORNER OF SUBJECT PROPERTY. (AS SHOWN HEREON)  
 ELEVATION = 303.77 FEET NAVD 1988 (2001 ADJUSTMENT)  
 FLOOD ZONE:  
 THE PROPERTY LIES IN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR LEON COUNTY, TEXAS AND UNINCORPORATED AREAS, MAP NUMBER 482890525C, EFFECTIVE DATE NOVEMBER 20, 2013.

**NOTE:**  
 CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO START OF NEW CONSTRUCTION.

**ONE-CALL NOTIFICATION SYSTEM CALL BEFORE YOU DIG!!!**  
 DIAL 811 or 1-(800)-344-6377  
 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION

**SYMBOLS & ABBREVIATIONS**

GV	GATE VALVE	EQP	EDGE OF PAVEMENT	RCP	REINFORCED CONCRETE PIPE
FV	FLUSH VALVE W/ GATE VALVE	ESMT	EASEMENT	REM	REMOVE
MB	MECHANICAL BEND/FITTING	EX	EXISTING	REV	REVERSE
RED	REDUCER	F-F	FACE TO FACE	R/R	RAILROAD
PLC	PLUG & CLAMP W/ BLOW OFF	F.F.	FINISHED FLOOR	RT	RIGHT
SL	SERVICE LEAD W/ WYE	FL	FLOWLINE	RS	SAN SEW SANITARY SEWER
MH	MANHOLE	FM	FORCEMAIN	SF	SQUARE FEET
ST	STACK	FV	FLUSH VALVE	SL	STREET LIGHT
IN	INLET	G	GROUND	SS	SANITARY SEWER
PO	POWER POLE	FV	GATE VALVE	SSE	SANITARY SEWER EASEMENT
SP	STREET SIGN	GW	GLY WIRE	STA	STATION
ADJ	ADJACENT	H.G.L.	HYDRAULIC GRADE LINE	STM	STORM
B-B	BACK TO BACK	HYD.	HYDRANT	STMSE	STORM SEWER EASEMENT
B-OC	BACK OF CURB	I.D.	INSIDE DIAMETER	STD	STANDARD
B.M.	BENCHMARK	IN	INLET	SW	SIDEWALK
B.O.	BLOW OFF	LF	LINEAR FEET	SY	SQUARE YARDS
CMP	CORRUGATED METAL PIPE	LT	LEFT	T.E.	TO BE REMOVED
C.O.	CLEANOUT	MAX	MAXIMUM	TELE	TELEPHONE
CONC.	CONCRETE	MH	MANHOLE	TEMP	TEMPORARY
CY	CUBIC YARD	MIN	MINIMUM	TOC	TOP OF CURB
DE	DRAINAGE EASEMENT	PC	POINT OF CURVATURE	TS&V	TAP SLEEVE & VALVE
DIA	DIAMETER	PCC	POINT OF COMPOUND CURVE	TYP	TYPICAL
DIP	DUSTLE IRON PIPE	PI	POINT OF INTERSECTION	UE	UTILITY EASEMENT
ELEC.	ELECTRIC	PP	PROPOSED	WL	WATERLINE
E-E	EDGE TO EDGE	PT	POINT OF TANGENCY	WLE	WATERLINE EASEMENT
EL	ELEVATION	PVC	POLYVINYL CHLORIDE PIPE	WM	WATER METER
ELEV.	ELEVATION	PVI	POINT OF VERTICAL INTERSECTION	W.S.E.	WATER SURFACE ELEVATION
EOA	EDGE OF ASPHALT	PVT	POINT OF VERTICAL TANGENCY		
EOC	EDGE OF CONCRETE	PVMT	PAVEMENT		
		P.A.E.	PUBLIC ACCESS EASEMENT		
		P.U.E.	PUBLIC UTILITY EASEMENT		
		R	RADIUS		
		R.O.W.	RIGHT-OF-WAY		

**EROSION AND SEDIMENTATION CONTROL NOTES**

- THE APPLICABLE REGULATIONS OF THE FOLLOWING AGENCIES SHALL APPLY AS IF WRITTEN HERE IN THEIR ENTIRETY.
  - TCSD TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
  - US EPA UNITED STATES ENVIRONMENTAL PROTECTION AGENCY
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT STORM WATER POLLUTION AND COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE CONTROLLING REGULATORY AGENCIES AS REQUIRED FOR THE PROJECT AND ANY OTHER REQUIREMENTS SET FORTH HEREIN.
- THE CONTRACTOR SHALL SUBMIT ONE COPY EACH TO THE CITY OF MAGNOLIA AND THE ENGINEER, OR THE DESIGNATED REPRESENTATIVE OF THE ENGINEER, A STORM WATER POLLUTION PREVENTION PLAN (SWPP) WHEN A SWPP IS REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL ALSO SUBMIT THREE (3) COPIES OF ALL REQUIRED SUPPORTING DOCUMENTS INCLUDING, BUT NOT LIMITED TO, A NOTICE OF INTENT (NOI) AND A NOTICE OF TERMINATION (NOT) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN BASED ON THE ACTUAL CONDITIONS ENCOUNTERED ON THE PROJECT AND SHALL IMPLEMENT THE PLAN AND ANY OTHER REQUIREMENTS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE AREA (ACRES) THAT WILL BE DISTURBED TO PROSECUTE THE WORK REQUIRED FOR THE PROJECT AND TAKE THE APPROPRIATE ACTIONS AS OUTLINED IN THIS SECTION BASED ON THE DISTURBED AREA AS DESCRIBED IN SUBSEQUENT PARAGRAPHS OF THIS SPECIFICATION.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATION SHOWN ON PLANS.
- CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS SPECIFIED HEREIN, AT A MINIMUM OF ONCE EVERY CALENDAR DAY.
- CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEM THROUGHOUT THE DURATION OF THE CONTRACT. (NO SEPARATE PAY)
- CONTRACTOR SHALL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, SOLVENTS, FERTILIZERS, AND OTHER POTENTIALLY TOXIC MATERIALS.
- CONTRACTOR SHALL LOCATE FUEL MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. CONTRACTOR SHALL USE SILT FENCING, HAY BALES, OR BERMS AROUND FUEL STORAGE AREAS. (NO SEPARATE PAY)
- CONTRACTOR SHALL ADVISE OWNER IMMEDIATELY, VERBALLY AND IN WRITING, OF ANY FUEL OR TOXIC MATERIAL SPILLS ONTO THE PROJECT/CONSTRUCTION AREA AND THE ACTION TAKEN TO REMEDY THE PROBLEM.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF HIS FUELS, MATERIALS, AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER. (NO SEPARATE PAY)
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE ENVIRONMENTAL LAWS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATELY MAINTAINED SANITARY FACILITIES.
- AT COMPLETION OF THE CONTRACT, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE EROSION AND SEDIMENTATION CONTROL SYSTEM BEFORE RELIEVING CONTRACTOR OF HIS MAINTENANCE RESPONSIBILITIES.
- IF EROSION AND SEDIMENTATION CONTROL SYSTEM IS EXISTING FROM PRIOR CONTRACTS, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE THE EXISTING EROSION AND SEDIMENTATION CONTROL SYSTEM FOR DAMAGE PRIOR TO CONTRACTOR STARTING CONSTRUCTION OF THE CONTRACT. ANY DAMAGE NOTED AT THIS TIME SHALL BE REPAIRED AT OWNER'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STREET CLEANING, ON A DAILY BASIS ALL MUD AND DIRT DEPOSITED ON THE EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY.

**INSTALLATION SEQUENCE**

SWPPP CONTRACTOR:

- Install at start of construction.
- Install x x at designated locations.
- Install other Best Management Practices needed prior to construction.
- Broadcast seeding of disturbed areas after final grading.
- Install rock filter dam or velocity dissipation devices if needed.

**LEGEND**

- 195.0 EXISTING GROUND CONTOUR
- DA-1 0.25 ac 1.0 cfs DRAINAGE AREA NUMBER DRAINAGE AREA IN ACRES PEAK FLOW IN CFS (100-YR)
- DA-2 1.58 ac 7.4 cfs
- DA-3 4.80 ac 21.3 cfs
- DA-4 4.80 ac 21.3 cfs
- DA-5 4.80 ac 21.3 cfs
- DA-6 4.80 ac 21.3 cfs
- DA-7 4.80 ac 21.3 cfs
- DA-8 4.80 ac 21.3 cfs
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- DA-100 4.80 ac 21.3 cfs

**OVERALL DA MAP NTS**

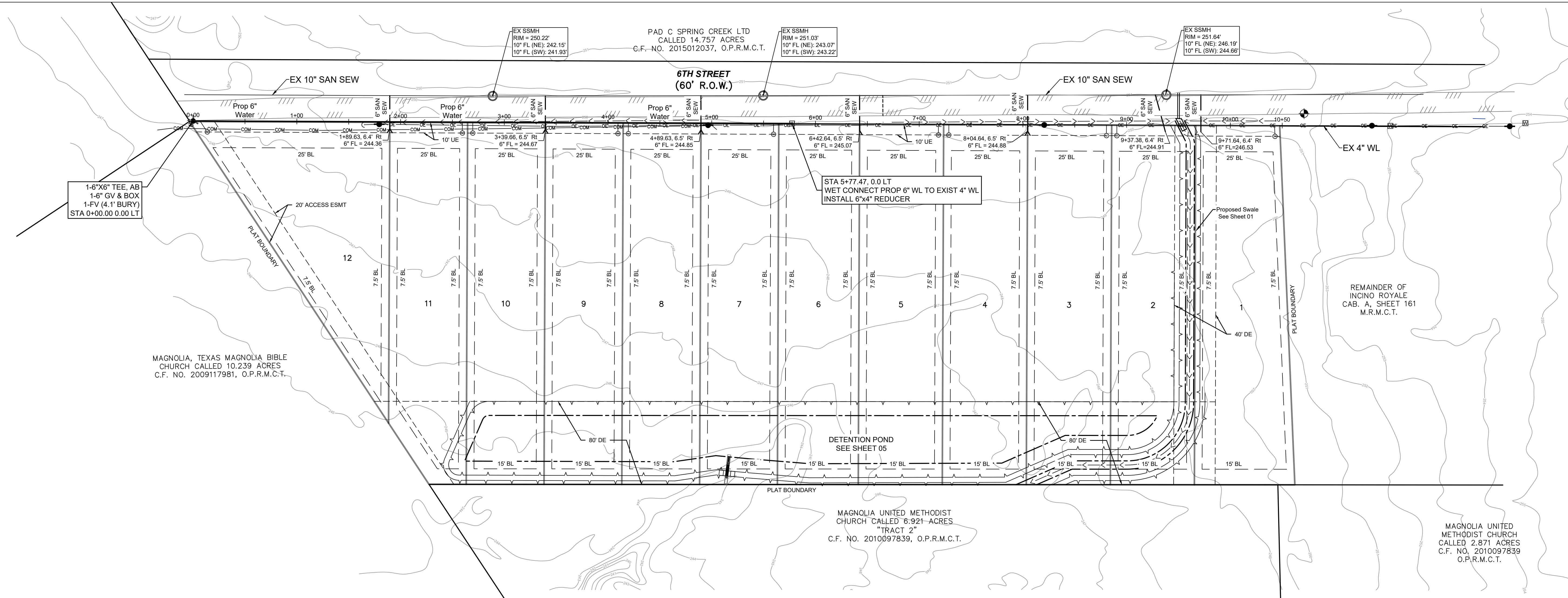
**THE OAKS ON 6TH STREET**  
 CITY OF MAGNOLIA, TX  
 GENERAL CONSTRUCTION LAYOUT - WATER, DRAINAGE, & SWPPP

DESIGNER: LF  
 DRAFTING: TV/RG  
 PROJ. MGR: LF  
 SCALE: 1" = 50'  
 SHEET 03 OF 09


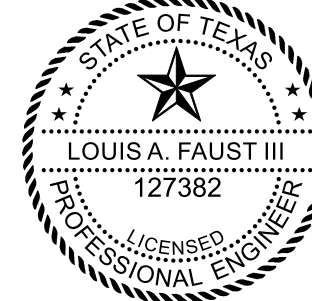
12/13/2023  
 TEXAS PROFESSIONAL ENGINEERING LLC  
 F-21819  
 LOUISA A. FAUST III  
 127382  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS



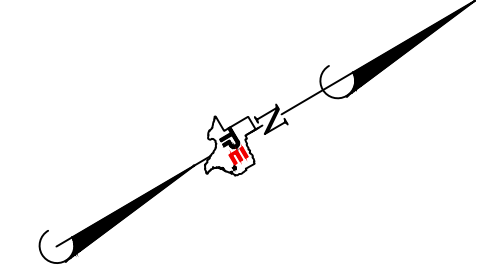
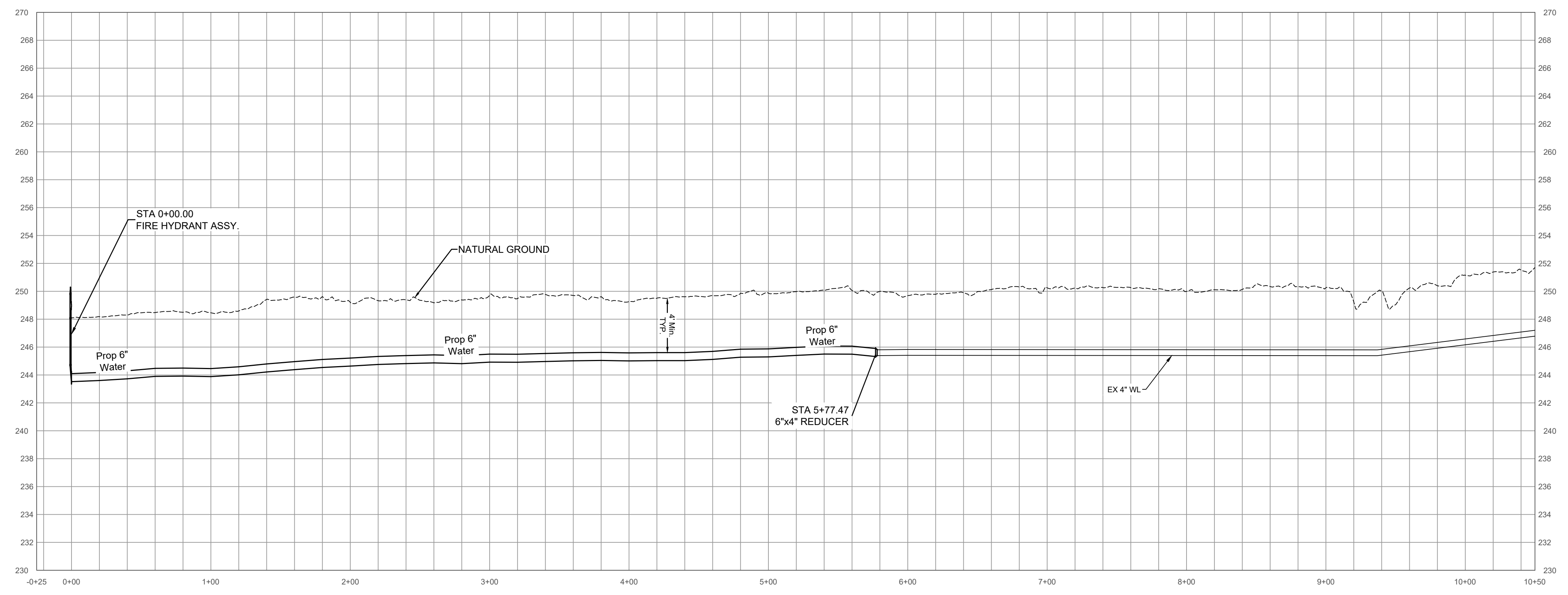
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APPROVED BY:	
REVISIONS:	
DATE:	


  

  
 LOUIS A. FAUST III  
 127382  
 LICENSED PROFESSIONAL ENGINEER  
 12/13/2023

6 WATER



**NOTE:**  
 THE DEVELOPER SHALL HAVE WATER AND SEWER SERVICES INSTALLED TO THE PROPERTY LINE OF EACH LOT IN ACCORDANCE WITH CITY OF MAGNOLIA STANDARDS, INCLUDING, BUT NOT LIMITED TO, PROVIDING ALL MATERIALS AND LABOR TO INSTALL TAPS, SERVICE LINES, METER SETTINGS, METER BOXES, AND PAVEMENT REPAIR TO THE PROPERTY.

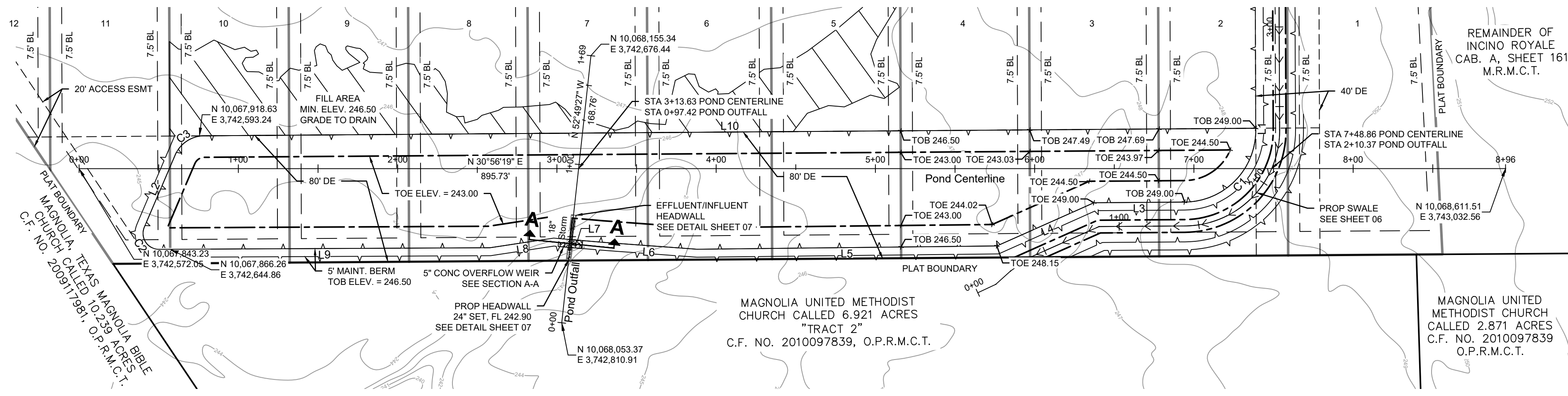
TEXAS PROFESSIONAL ENGINEERING LLC  
 F-21819

THE OAKS ON 6TH STREET  
 CITY OF MAGNOLIA, TX  
 WATERLINE PLAN & PROFILE

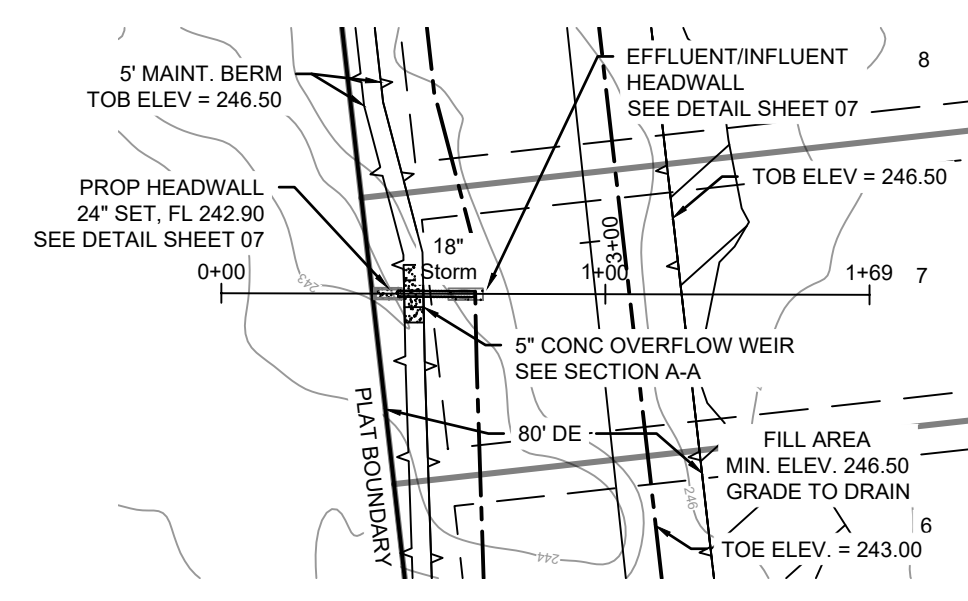
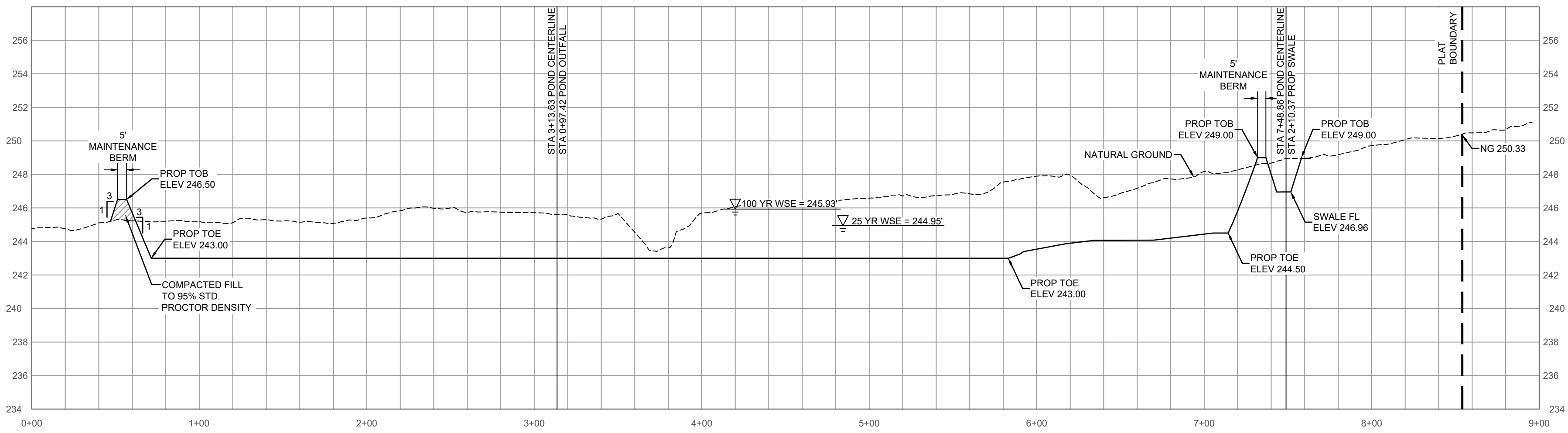
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DRAFTING:	TV/MS
PROJ. MGR:	LF
SCALE:	1" = 50'

SHEET  
**04 OF 09**

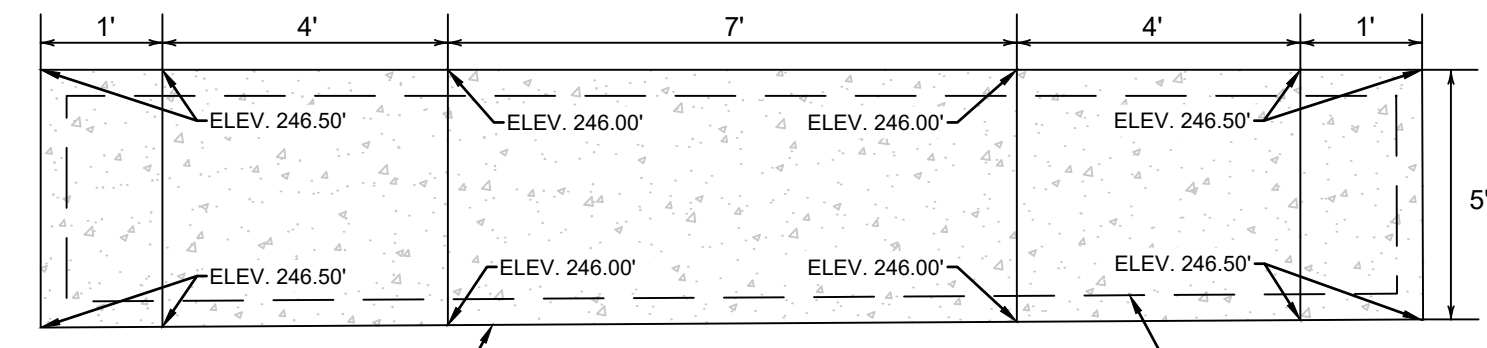
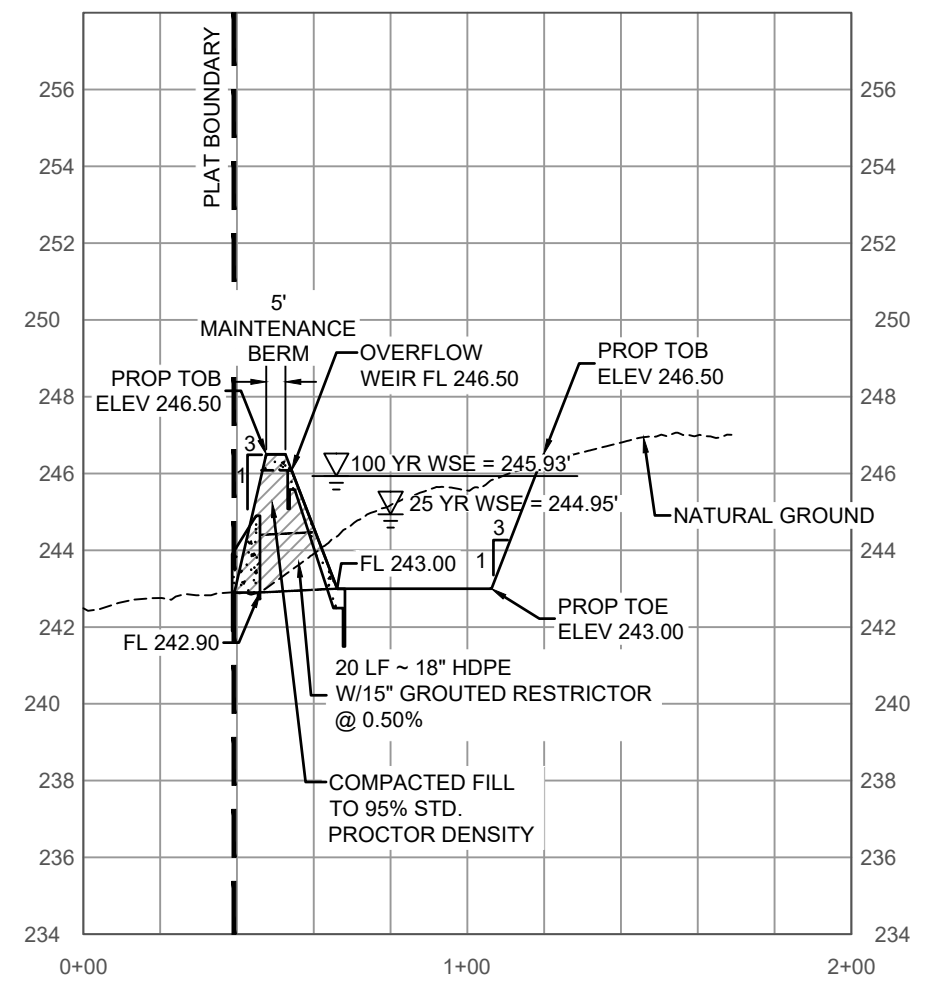




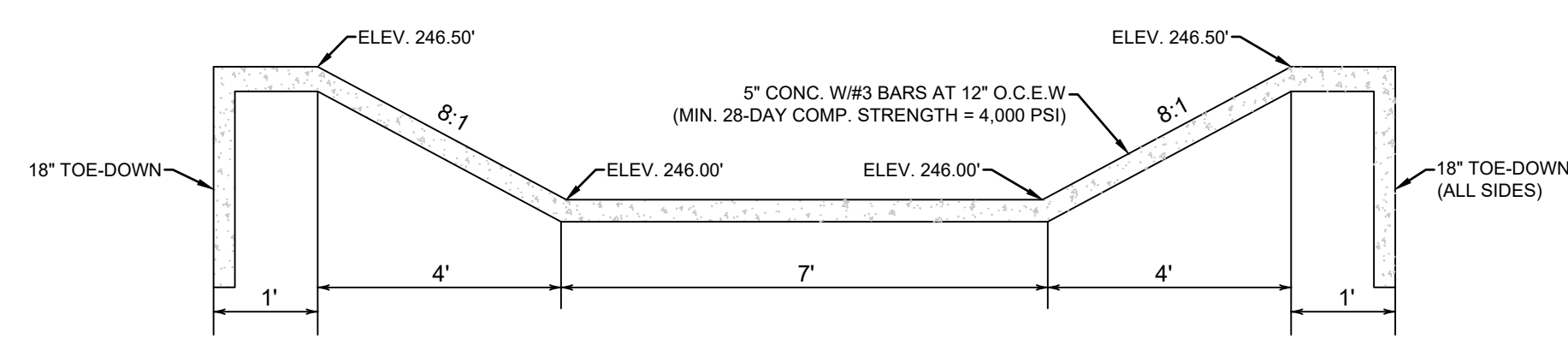
**Pond Centerline**



**Pond Outfall**



**WEIR PLAN  
NTS**



**WEIR CROSS SECTION A-A  
NTS**

**Emergency Overflow Weir**

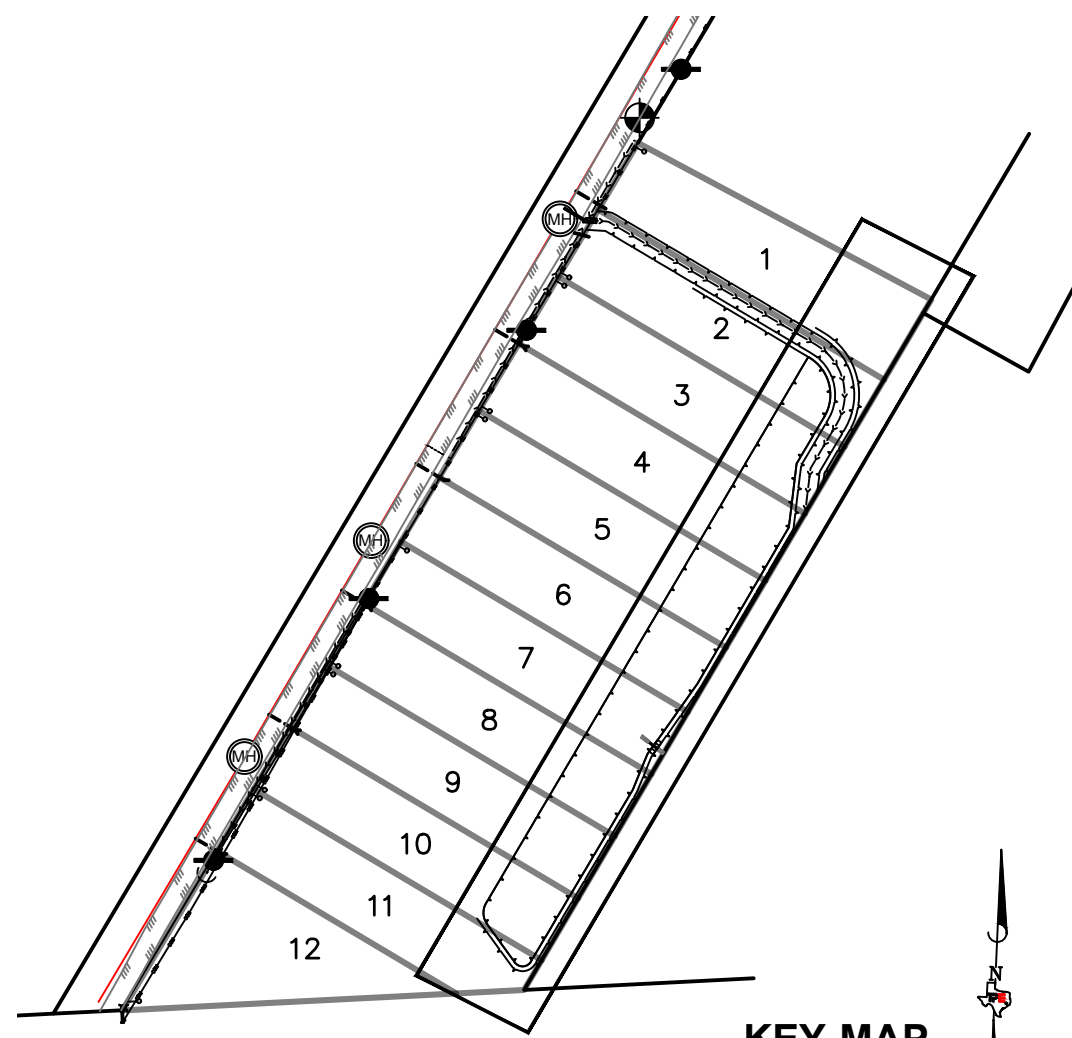
<b>TRAPEZOIDAL</b>	<b>DISCHARGE</b>
Crest Length = 7.00 ft	Method = Known Q
Side Slope, z:1 = 3.00	Known Q = 8.95 cfs
Total Depth = 0.50 ft	
Crest Elevation = 246.00 ft	
Weir Coefficient, Cw = 3.33	

**Weir 1**

DETENTION POND STAGE STORAGE					
POND 1					
Contour	Contour	Depth	Incremental	Cumul.	Cumul.
Elevation	Area		Volume	Volume (cu-ft)	Volume (ac-ft)
243	22,440 sq-ft	N/A	N/A	0.0 cu-ft	N/A
244	28,622 sq-ft	1.00	13,467 cu-ft	25,390 cu-ft	0.58 ac-ft
245	35,331 sq-ft	1.00	16,977 cu-ft	57,661 cu-ft	1.32 ac-ft
246	40,592 sq-ft	1.00	19,631 cu-ft	95,607 cu-ft	2.19 ac-ft
246.5	43,246 sq-ft	0.50	20,954 cu-ft	116,561 cu-ft	Freeboard

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	70.56	45.00	89°50'24"	S14°23'19"E	63.55
C2	19.79	10.00	113°24'57"	S87°22'23"W	16.72
C3	23.20	20.00	66°27'01"	N02°41'38"W	21.92

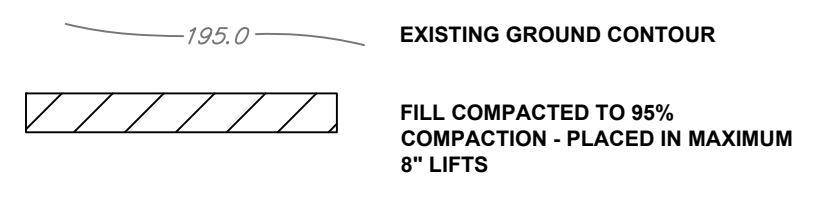
LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S59°18'31"E	1.15
L2	N35°55'08"W	49.18
L3	S30°31'53"W	56.94
L4	S06°55'25"W	66.69
L5	S30°18'55"W	188.25
L6	S35°09'04"W	60.20
L7	S35°51'50"W	30.13
L8	S22°18'15"W	40.42
L9	S30°39'55"W	207.89
L10	N30°31'53"E	660.36



**KEY-MAP  
NTS**

SYMBOLS & ABBREVIATIONS		
Gate Valve	ESMT	EDGE OF PAVEMENT
Flush Valve w/ Gate Valve	EX	EASEMENT
Mechanical Bend/Fitting	F.F.	FACE TO FACE
Reducer	F.F.	FINISHED FLOOR
Plus & Clamp w/ Blow Off	FM	FORCE MAIN
Service Lead w/ Wye	FV	FLUSH VALVE
Manhole	G	GROUND
Stack	GV	GATE VALVE
Inlet	GW	GLY WIRE
Power Pole	H.G.L.	HYDRAULIC GRADE LINE
Street Sign	HYD.	HYDRANT
Adjacent	I.D.	INSIDE DIAMETER
Back to Back	INL	INLET
Back of Curb	LF	LINEAR FEET
Benchmark	LT	LEFT
Blow Off	MAX	MAXIMUM
Centerline	MH	MANHOLE
Corrugated Metal Pipe	MIN	MINIMUM
Control	P	PAVEMENT
Cleanout	PC	POINT OF CURVATURE
Concrete	PCC	POINT OF COMPOUND CURVE
Cubic Yard	PI	POINT OF INTERSECTION
Drainage Easement	PP	POWER POLE
Diameter	PROP	PROPOSED
Dip	PT	POINT OF TANGENCY
Electric	PVC	POLYVINYL CHLORIDE PIPE
Edge to Edge	DIP	DIUSTILE IRON PIPE
Elevation	PVI	POINT OF VERTICAL INTERSECTION
EOA	PVT	POINT OF VERTICAL TANGENCY
EOC	P.V.M.T	PAVEMENT
	P.A.E.	PUBLIC ACCESS EASEMENT
	P.U.E.	PUBLIC UTILITY EASEMENT
	R	RADIUS
	R.O.W.	RIGHT-OF-WAY
	RCP	REINFORCED CONCRETE PIPE
	REM	REMOVE
	REV	REVERSE
	R.R.	RAILROAD
	RT	RIGHT
	SAN SEW	SANITARY SEWER
	SF	SQUARE FEET
	S.L.	STREET LIGHT
	SS	SANITARY SEWER
	SS	SANITARY SEWER EASEMENT
	STA	STATION
	STM	STORM
	STMSE	STORM SEWER EASEMENT
	STD	STANDARD
	SW	SIDEWALK
	SY	SQUARE YARDS
	T.B.R.	TO BE REMOVED
	TELE	TELEPHONE
	TEMP	TEMPORARY
	TOC	TOP OF CURB
	TP	TOP OF PAVEMENT
	TS&V	TAP SLEEVE & VALVE
	T/WALL	TOP OF WALL
	TYP	TYPICAL
	UE	UTILITY EASEMENT
	WL	WATERLINE
	WM	WATERLINE EASEMENT
	WM	WATER METER
	W.S.E	WATER SURFACE ELEVATION
	(A)	RESTRICTED RESERVE
	(1)	BLOCK NUMBERS

**LEGEND**



**TEMPORARY BENCHMARK "A"**  
 BEING A MAG NAIL SET IN ASPHALT, APPROXIMATELY 54.33' FEET FROM THE SOUTHERN CORNER OF SUBJECT PROPERTY. (AS SHOWN HEREON)  
 ELEVATION = 303.77' FEET NAVD 1988 (2001 ADJUSTMENT)  
 FLOOD ZONE:  
 THE PROPERTY LIES IN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR LEON COUNTY, TEXAS AND UNINCORPORATED AREAS, MAP NUMBER 482890525C, EFFECTIVE DATE NOVEMBER 20, 2013.

**NOTE:**  
 CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO START OF NEW CONSTRUCTION.

**ONE-CALL NOTIFICATION SYSTEM  
 CALL BEFORE YOU DIG!!!**  
 DIAL 811 or 1-800-344-8377  
 AT LEAST 48 HOURS BEFORE  
 PROCEEDING WITH ANY EXCAVATION

DATE	
REVISIONS	

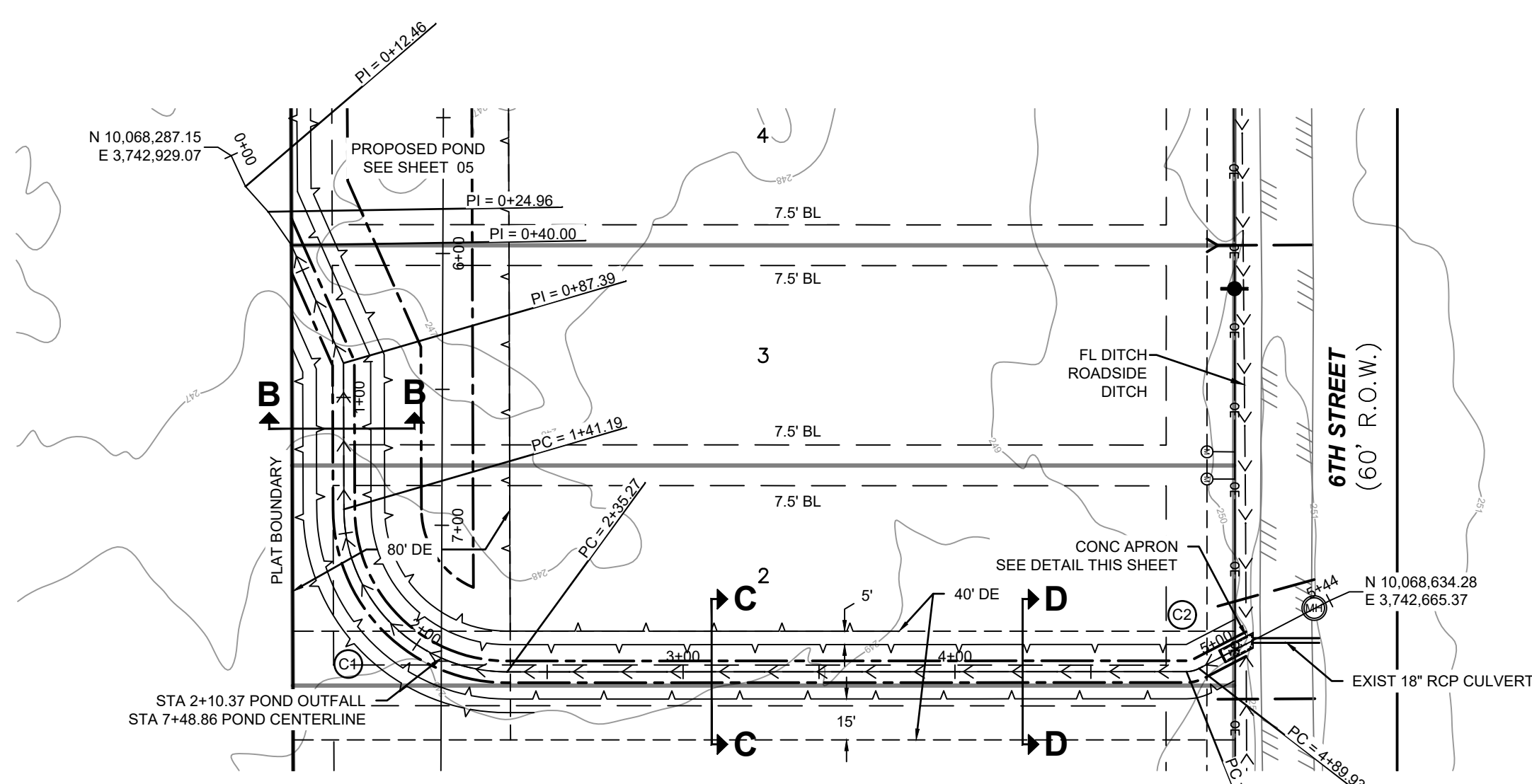
LOUIS A. FAUST III  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 127382  
 12/13/2023

TEXAS PROFESSIONAL ENGINEERING LLC  
 F-21819

THE OAKS ON 6TH STREET  
 CITY OF MAGNOLIA, TX  
 DETENTION POND PLAN & PROFILE



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Curve Data  
 R= 60.00'  
 L= 94.08'  
 Δ= 89°50'24"  
 T= 58.83'  
 PC= 1+41.19  
 PT= 2+35.27

Curve Data  
 R= 10.00'  
 L= 4.79'  
 Δ= 27°23'35"  
 T= 2.44'  
 PC= 4+85.15  
 PT= 4+89.93

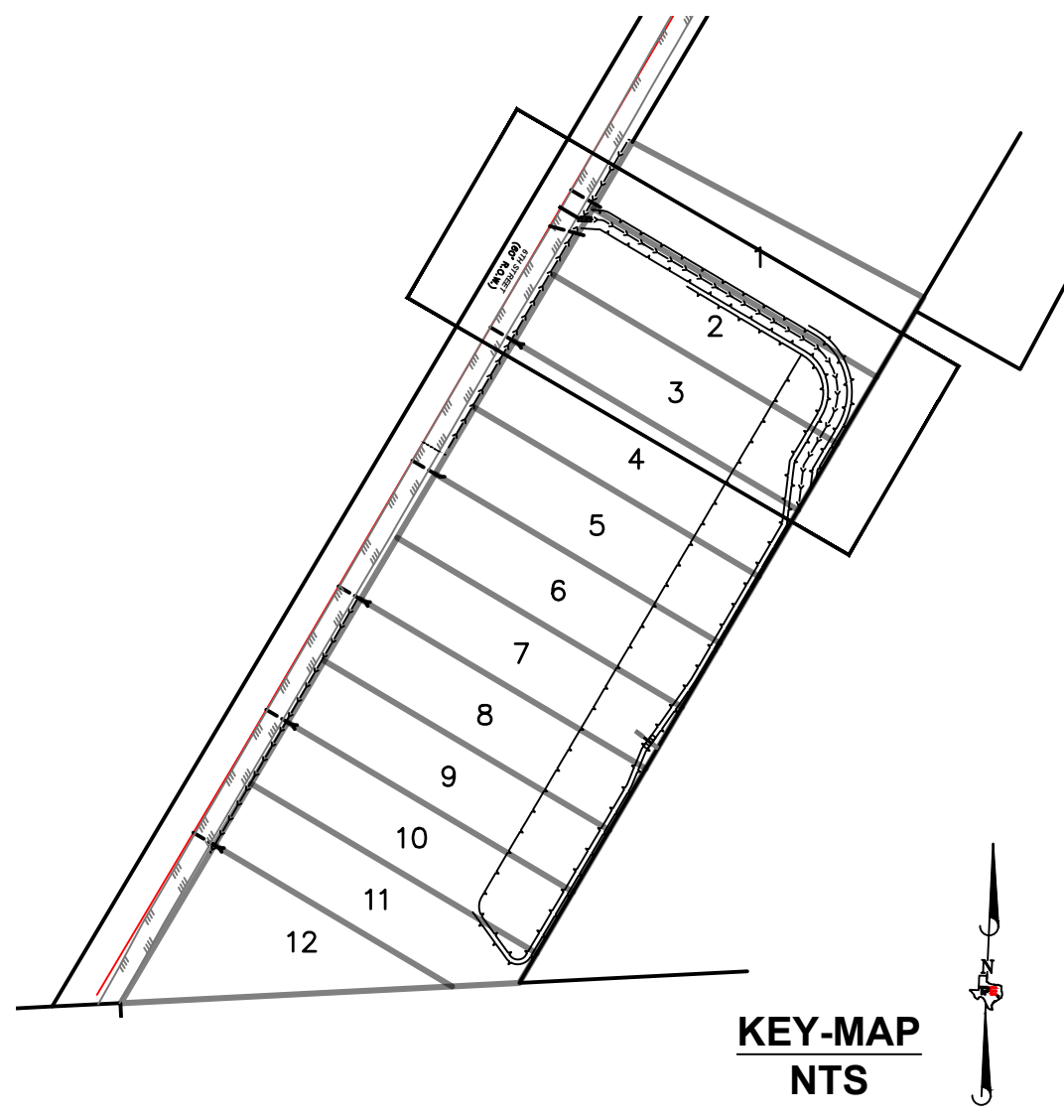
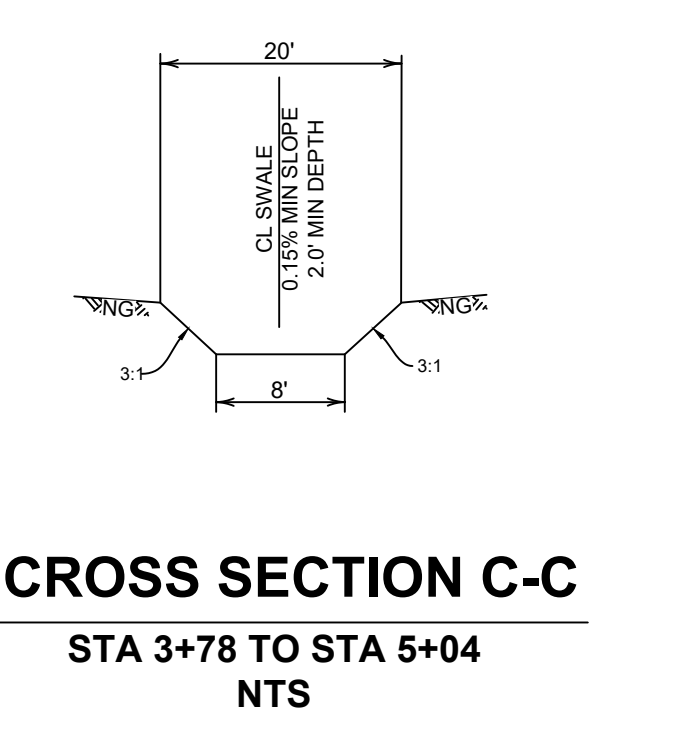
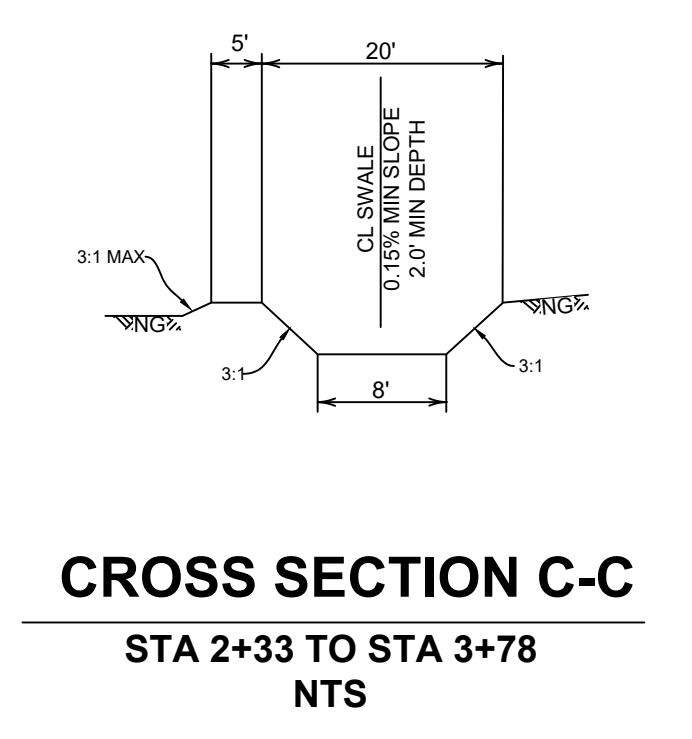
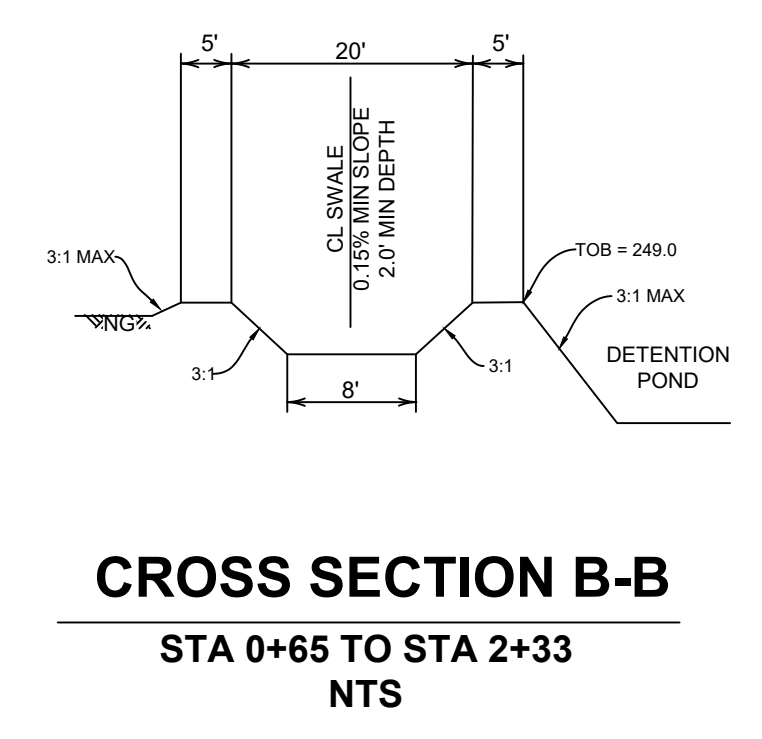
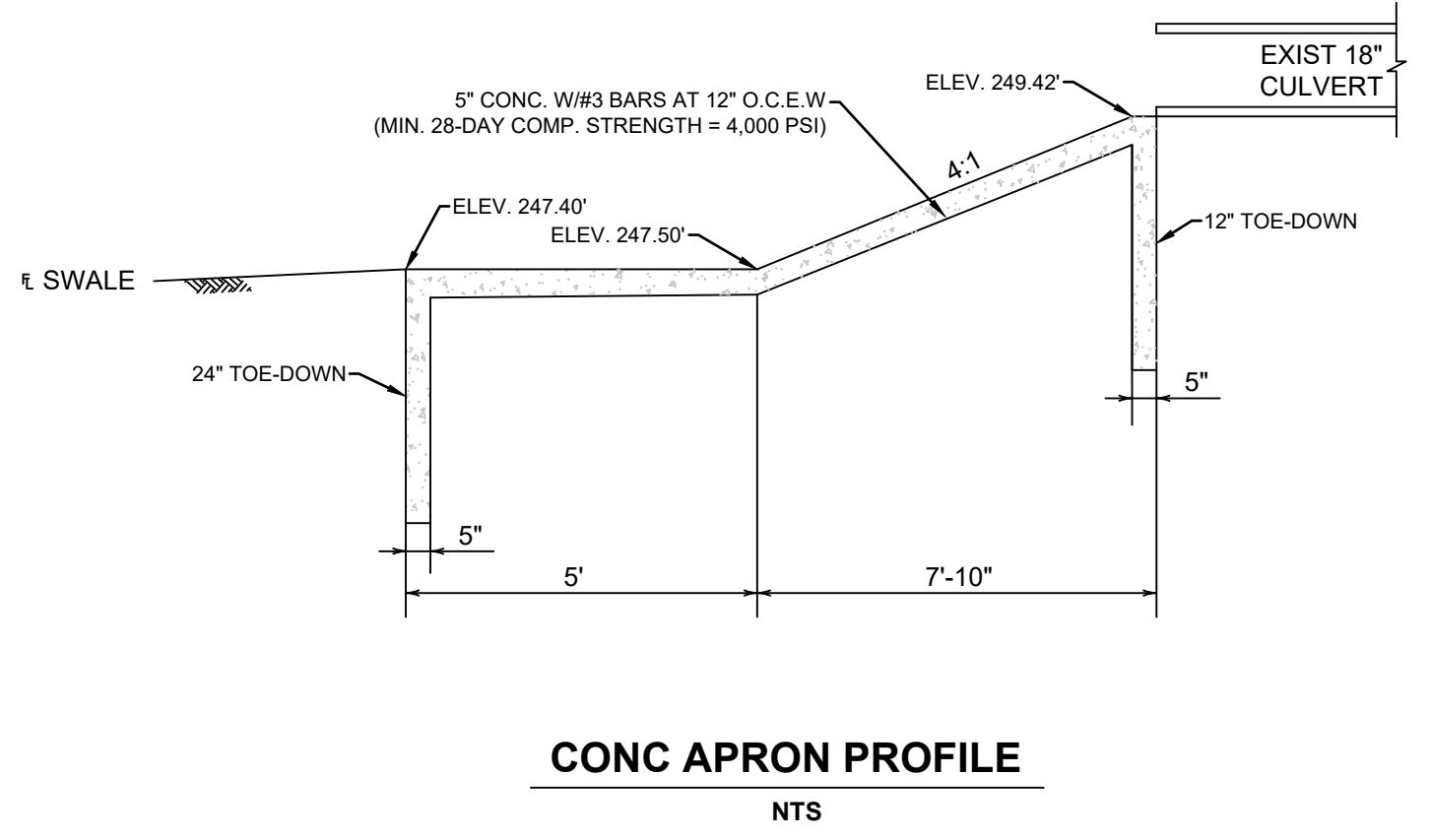
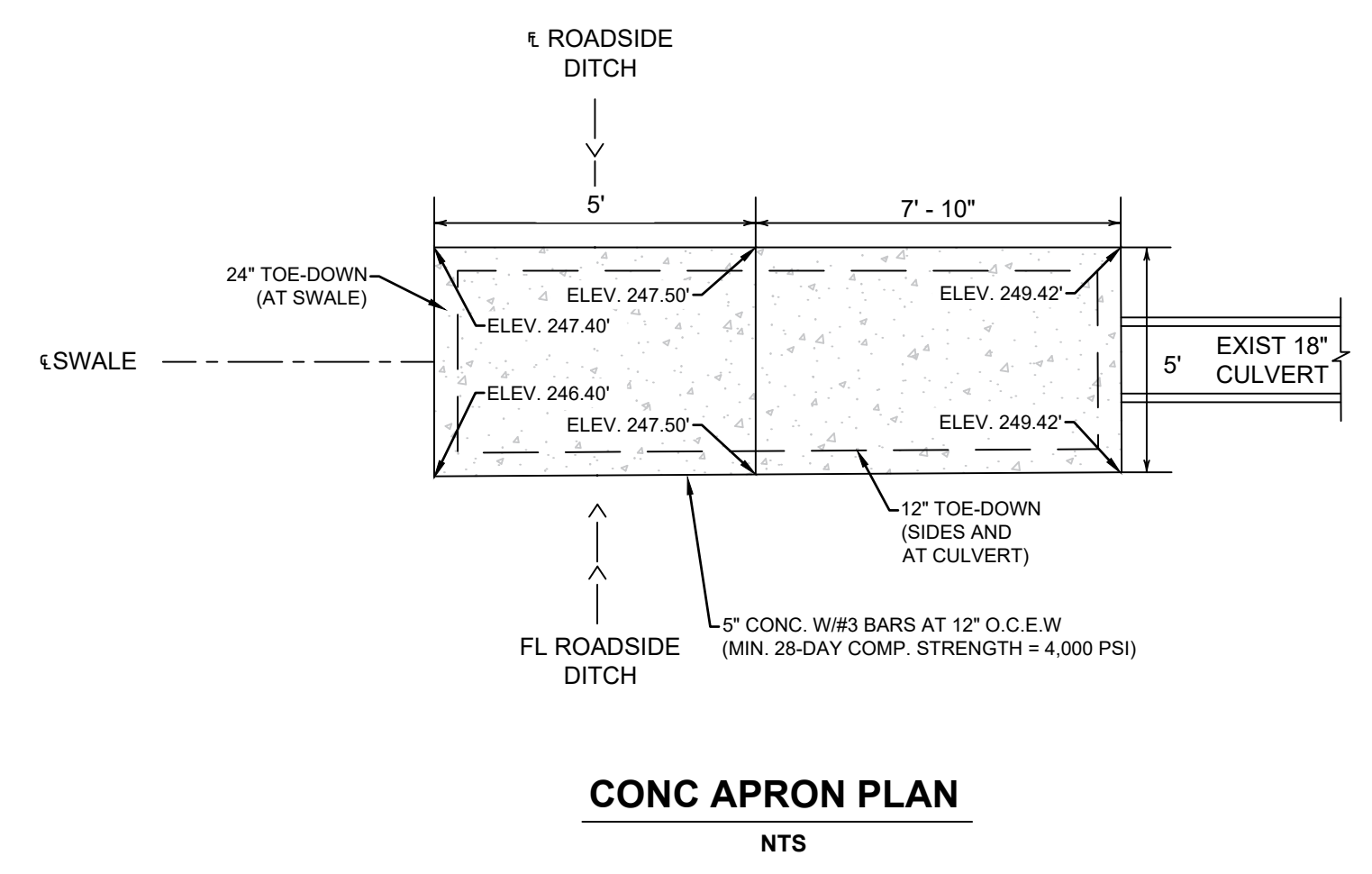
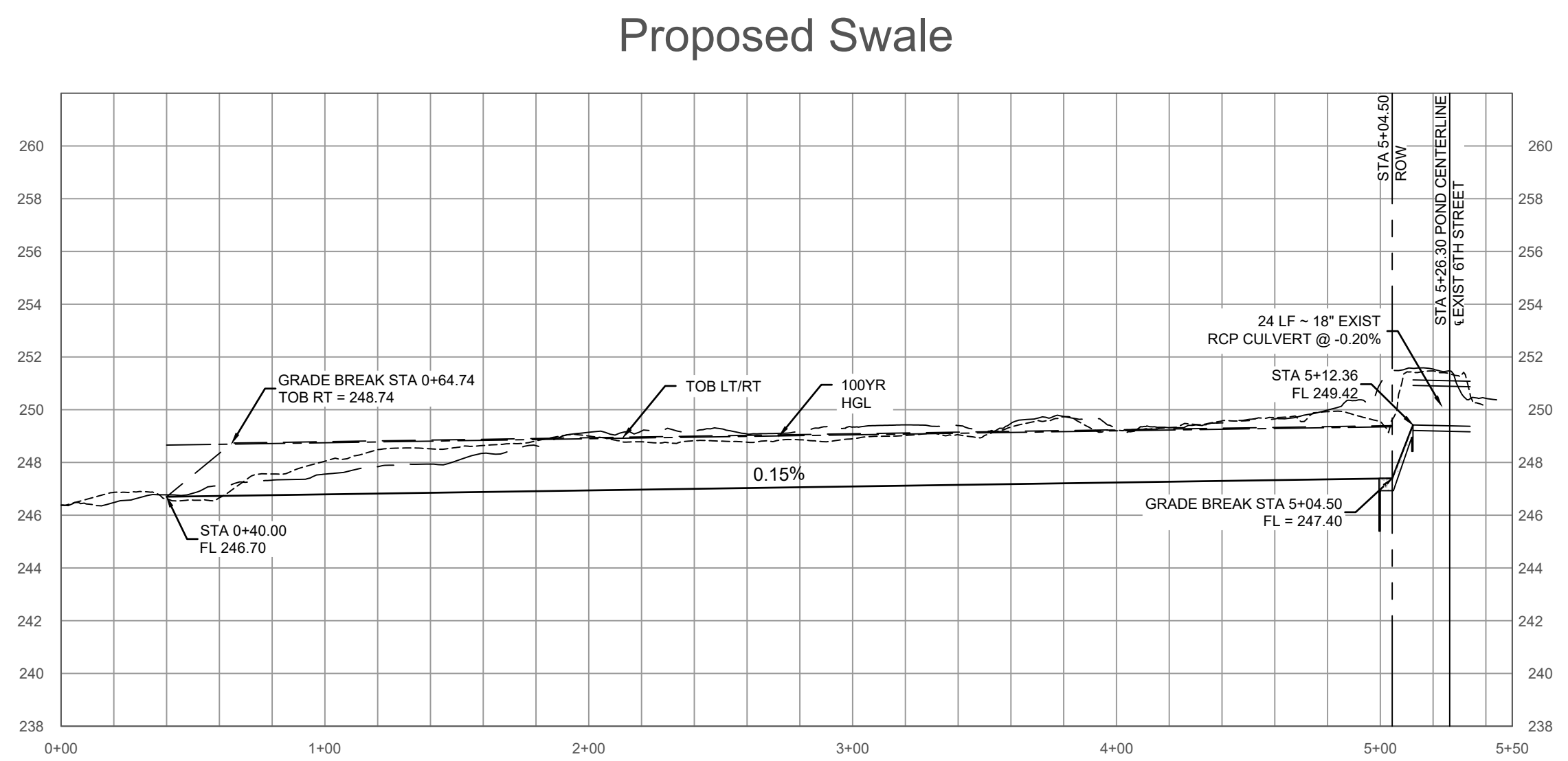
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 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION

**SYMBOLS & ABBREVIATIONS**

GV	GATE VALVE	EOP	EDGE OF PAVEMENT	RCP	REINFORCED CONCRETE PIPE
FLV	FLUSH VALVE W/ GATE VALVE	ESMT	EASEMENT	REM	REMOVE
MB	MECHANICAL BEND/FITTING	EX	EXISTING	REV	REVERSE
R	REDUCER	F.F.	FACE TO FACE	R.R.	RAILROAD
PC	PLUG & CLAMP W/ BLOW OFF	F.F.	FINISHED FLOOR	RT	RIGHT
SL	SERVICE LEAD W/ WYE	FL	FLOWLINE	SS	SAN SEW SANITARY SEWER
M	MANHOLE	FM	FORCE MAIN	SF	SQUARE FEET
S	STACK	FV	FLUSH VALVE	S.L.	STREET LIGHT
I	INLET	G	GROUND	SS	SANITARY SEWER
PP	POWER POLE	FV	GATE VALVE	SSE	SANITARY SEWER EASEMENT
STP	STREET SIGN	GW	GUY WIRE	STA	STATION
ADJ	ADJACENT	H.G.L.	HYDRAULIC GRADE LINE	STM	STORM
B-B	BACK TO BACK	HYD.	HYDRANT	STMSE	STORM SEWER EASEMENT
B.O.C.	BACK OF CURB	I.D.	INSIDE DIAMETER	STD	STANDARD
B.M.	BENCHMARK	INL	INLET	SW	SIDEWALK
B.O.	BLOW OFF	LF	LINEAR FEET	SY	SQUARE YARDS
CL	CENTERLINE	LT	LEFT	T.B.R.	TO BE REMOVED
CMP	CORRUGATED METAL PIPE	MAX	MAXIMUM	TELE	TELEPHONE
CTRL	CONTROL	MH	MANHOLE	TEMP	TEMPORARY
C.O.	CLEANOUT	MIN	MINIMUM	TOC	TOP OF CURB
CONC.	CONCRETE	P	PAVEMENT	TP	TOP OF PAVEMENT
CY	CUBIC YARD	PCC	POINT OF CURVATURE	TS&V	TAP SLERVE & VALVE
DE	DRAINAGE EASEMENT	PI	POINT OF INTERSECTION	TYP	TYPICAL
DIA	DIAMETER	PROP	PROPOSED	UE	UTILITY EASEMENT
DIP	DUCTILE IRON PIPE	PT	POINT OF TANGENCY	WL	WATERLINE
ELEC.	ELECTRIC	PVC	POLYVINYL CHLORIDE PIPE	WLE	WATERLINE EASEMENT
E-E	EDGE TO EDGE	DIP	DIPTILE IRON PIPE	WM	WATER METER
EL	ELEVATION	PVI	POINT OF VERTICAL INTERSECTION	W.S.E	WATER SURFACE ELEVATION
E.O.A.	EDGE OF ASPHALT	PVT	POINT OF VERTICAL TANGENCY		
E.O.C.	EDGE OF CONCRETE	PVMT	PAVEMENT		
		P.A.E.	PUBLIC ACCESS EASEMENT		
		P.U.E.	PUBLIC UTILITY EASEMENT		
		R	RADIUS		
		R.O.W.	RIGHT-OF-WAY		



**LEGEND**

- 195.0 EXISTING GROUND CONTOUR
- FILL COMPACTED TO 95% COMPACTION - PLACED IN MAXIMUM 8" LIFTS

APPROVED BY: \_\_\_\_\_

REVISIONS:

DATE: \_\_\_\_\_

DESIGNER: LF

DRAFTING: TJ/RG

PROJ. MGR: LF

SCALE: 1" = 50' 1" = 5' V.

SHEET 06 OF 09

THE OAKS ON 6TH STREET  
 CITY OF MAGNOLIA, TX  
 PROPOSED SWALE PLAN & PROFILE

LOUIS A. FAUST III  
 LICENSED PROFESSIONAL ENGINEER  
 127382

TEXAS PROFESSIONAL ENGINEERING LLC  
 F-21819

12/13/2023



PIPE DIAM.	MIN. TRENCH WIDTH
12" (300mm)	30"
15" (375mm)	34"
18" (450mm)	39"
24" (600mm)	48"
30" (750mm)	56"
36" (900mm)	64"
42" (1050mm)	72"
48" (1200mm)	80"
60" (1500mm)	96"

**NOTES:**

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS." LATEST ADDITION. NATIVE SOILS SHALL BE OF ADEQUATE STIFFNESS TO WITHSTAND A VERTICAL CUT WITHOUT MATERIAL SLOUGHING, DUE TO THE FINAL SET STRENGTH. CEMENT STABILIZED SAND (CSS) SHALL BE COMPACTED TO 85% SPD OR GREATER. SEE NOTES 7 AND 9 REGARDING SET STRENGTH.
- RECOMMENDED TRENCH WIDTHS ARE LISTED IN TABLE 1 PER ASTM D2321. THESE VALUES ARE BASED ON PROVIDING SUFFICIENT SPACE BETWEEN THE PIPE O.D. AND THE TRENCH WALL SUCH THAT WORKING ROOM FOR COMPACTION EQUIPMENT IS PROVIDED WITHOUT DAMAGING THE PIPE OR TRENCH WALL INTEGRITY. NARROWER TRENCHES MAY BE POSSIBLE BASED ON THE COMPACTION EQUIPMENT.
- CSS SHALL HAVE A MIX DESIGN OF ADEQUATE FINAL STRENGTH TO CARRY ALL LIVE AND DEAD LOADING BUT ALLOW FOR ANY FUTURE EXCAVATION. TYPICAL 1 DAY COMPRESSIVE STRENGTHS RANGE BETWEEN 50 AND 100 PSI. MIX DESIGNS CAN VARY BASED ON THE CEMENT, ASH, SOIL, ADMIXTURES, AND WATER RATIO AND SHALL BE DESIGNED AND DEFINED BY THE ENGINEER OF RECORD. THE AMERICAN CONCRETE INSTITUTE (ACI) REPORT ACI 230.1R-09 IS ONE RESOURCE THAT PROVIDES MIX DESIGNS BASED ON DIFFERENT CLASSIFICATIONS OF SOIL.
- CSS SHOULD NOT BE PLACED WHEN TEMPERATURES ARE BELOW 40°F. AGAINST FROZEN TRENCH MATERIAL OR WHEN APPRECIABLE PRECIPITATION IS FORECASTED DURING PLACEMENT.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CSS, OR CLASS II OR PER ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 12"-24" DIAMETER PIPE (300mm-600mm); 6" (150mm) FOR 30"-60" (750mm-1500mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED.
- FINAL BACKFILL: THE CSS BACKFILL SHALL BE ALLOWED TO CURE AT LEAST 4 HOURS TO REACH AN INITIAL SET STRENGTH PRIOR TO PLACING SOIL ABOVE THE PIPE EMBEDMENT. ADDITIONAL CURE TIME MAY BE REQUIRED BASED ON THE OVERALL FINAL FILL HEIGHT (SEE NOTE 9).
- MINIMUM COVER: MINIMUM COVER, H, IS 12" (300mm) THROUGH 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
- MAXIMUM COVER: MAXIMUM COVER, H, IS BASED ON A MINIMUM 4HR SET TIME OF THE CSS BACKFILL PRIOR TO ANY SOIL PLACEMENT ABOVE THE BACKFILL ENVELOPE. FILL HEIGHTS UP TO 15FT ARE SUITABLE FOR ALL DIAMETERS. LONGER SET TIME MAY ALLOW FOR GREATER FILL HEIGHTS. CONTACT AN ADS REPRESENTATIVE FOR GUIDANCE; SET TIME LESS THAN 4HR MAY RESULT IN HIGHER THAN EXPECTED DEFLECTION AND IMPACT LONG-TERM PERFORMANCE.

2	INITIAL BACKFILL	JAB	04/02/20	
REV	DESCRIPTION	BY	DATE	CHKD

**ADS** ADVANCED DRAINAGE SYSTEMS, INC.  
4646 TRILANAN BLVD HILLIARD, OHIO 43026  
DRAWING NUMBER: STD-101K

**GENERAL NOTES:**

- REINFORCING STEEL SHALL BE PLACED WITH THE CENTER OF THE OUTSIDE LAYER OF BARS 3" FROM THE SURFACE OF THE CONCRETE.
- ALL REINFORCING STEEL SHALL BE NO. 4, GRADE 60.
- ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- FOR PIPE DIAMETER SEE PLAN AND PROFILE SHEET.
- "D" = INTERNAL PIPE DIAMETER.
- O.C.E.W. = ON CENTER EACH WAY.

**STORM WATER SYSTEM EFFLUENT / INFLUENT HEADWALL FOR DETENTION PONDS**

Revision Date: 03/03/2020  
STRM-33

Approved By: *[Signature]*

**NOTES:**

- ALL SERVICE LINES SHALL BE 4" SDR-26 PVC PIPE.
- SERVICE TAPS ON VITRIFIED CLAY PIPE SHALL BE MADE WITH A 4" Y" TAP SADDLE DICKEY MODEL No YTD400003 OR EQUAL. A 4" ETCO ADAPTER DICKEY MODEL No 442 ZE 0420000 OR APPROVED EQUAL SHALL BE USED TO ADAPT FROM THE ABOVE TAP SADDLE TO 4" SDR-26 PVC PIPE.
- SERVICE TAPS ON DUCTILE IRON PIPE SHALL BE MADE WITH A 4" PVC SADDLE AS MANUFACTURED BY GPK PRODUCTS OF FARGO, ND OR EQUAL.
- SERVICE CONNECTIONS FOR PVC PIPE SHALL BE MADE WITH SERVICE WYES OF THE SAME ASTM DESIGNATION AS THE MAIN LINE.
- BID ITEMS FOR SERVICE WYES SHALL INCLUDE WYES FOR 6" THROUGH 15" PIPE AND SADDLES FOR 18" AND LARGER DIAMETER PIPES.
- ALL SERVICE WYES AND PVC SERVICE LINES SHALL BE ENCASED IN SAND OR GRAVEL WITH FINES.

**Magnolia TEXAS**  
CITY OF MAGNOLIA  
18111 BUDDY RILEY BOULEVARD  
MAGNOLIA, TEXAS 77354

**SANITARY SEWER SERVICE CONNECTION (TYP)**

DETAIL NO. SAN-014  
EFFECTIVE DATE: 8/3/2022

**NOTES:**

- EACH PORTION OF THE SANITARY SEWER PIPE WITHIN NINE FEET OF THE WATER LINE MUST BE ENCASED IN A CASING PIPE.
- THE CASING PIPE MUST BE CONSTRUCTED OF AT LEAST 150 PSI PRESSURE CLASS AND IS SEALED AT BOTH ENDS WITH MANUFACTURED WATER-TIGHT SEAL.
- THE CASING PIPE SHALL BE AT LEAST TWO NOMINAL SIZES LARGER THAN THE SANITARY SEWER PIPE. THE CARRIER PIPE SHALL BE SUPPORTED BY SPACERS AT A MAXIMUM OF FIVE-FOOT INTERVALS.
- AS AN ALTERNATE TO ENCASED SANITARY SEWER PIPE, A SANITARY SEWER PIPE THAT MEETS THE FOLLOWING SPECIFICATIONS CAN BE CONSTRUCTED WITHOUT CASING: SANITARY SEWER PIPE CONSTRUCTED OF AT LEAST 150 PSI PRESSURE CLASS, CORROSION-RESISTANT, NON-BRITTLE PIPE AND USES MANUFACTURER-APPROVED ADAPTERS, GASKETED JOINTS, COMPRESSION JOINTS, AND OTHER NON-BONDED JOINTS MUST BE DESIGNED TO SEAL AT ATMOSPHERIC PRESSURE.
- SANITARY SEWER PIPE CONSTRUCTED WITHOUT CASING SHALL BE LOCATED AT LEAST SIX VERTICAL FEET BETWEEN THE OUTSIDES OF THE SANITARY SEWER PIPE AND THE WATER LINE, CENTERED ON THE CROSSING, AND BE AT LEAST 18 FEET LONG.
- A SANITARY SEWER PIPE CONSTRUCTED OF ANY MATERIAL, OR PIPE WITH A PRESSURE CLASS OF LESS THAN 150 PSI, SHALL HAVE AT LEAST TWO FEET OF SEPARATION BETWEEN THE OUTSIDES OF THE PIPES AND BE ENCASED IN CEMENT-STABILIZED SAND. BACKFILL CEMENT STABILIZED SAND SHALL INCLUDE AT LEAST 160 POUNDS OF CEMENT FOR EVERY CUBIC YARD OF SAND. CEMENT STABILIZED SAND SHALL BE PLACED AT LEAST BEGINNING ONE-FOURTH PIPE DIAMETER BELOW THE PIPE TO ONE FULL PIPE DIAMETER ABOVE THE TOP OF THE SANITARY SEWER PIPE, OR 12 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE, WHICHEVER IS GREATER.

**Magnolia TEXAS**  
CITY OF MAGNOLIA  
18111 BUDDY RILEY BOULEVARD  
MAGNOLIA, TEXAS 77354

**SANITARY SEWER AND WATER LINE CROSSING SPECIFICATIONS**

DETAIL NO. SAN-013  
EFFECTIVE DATE: 8/3/2022

APPROVED BY: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_  
DATE: \_\_\_\_\_

**TEXAS PROFESSIONAL ENGINEERING**  
LOUISA A. FAUST III  
127382  
EFFECTIVE DATE: 12/13/2023

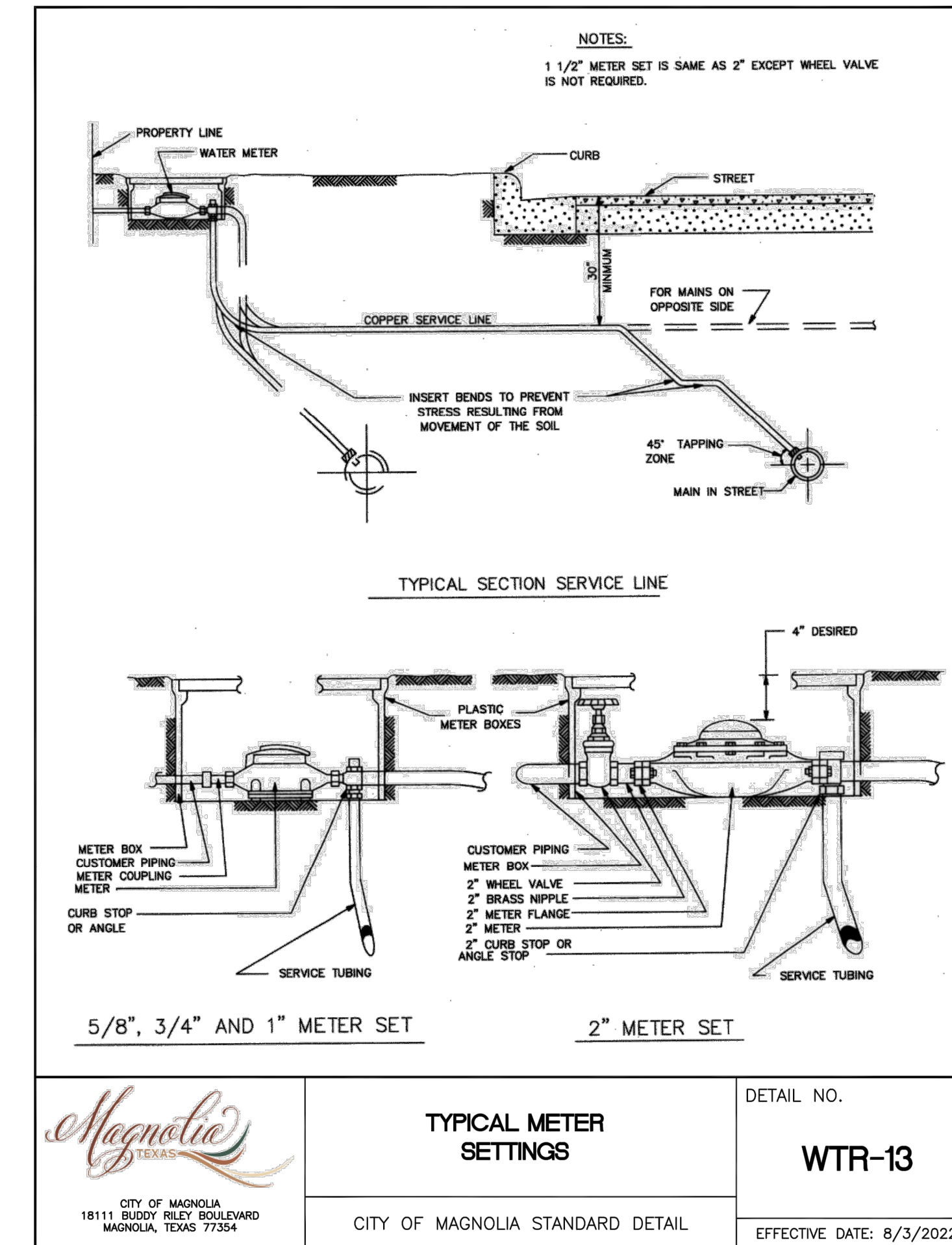
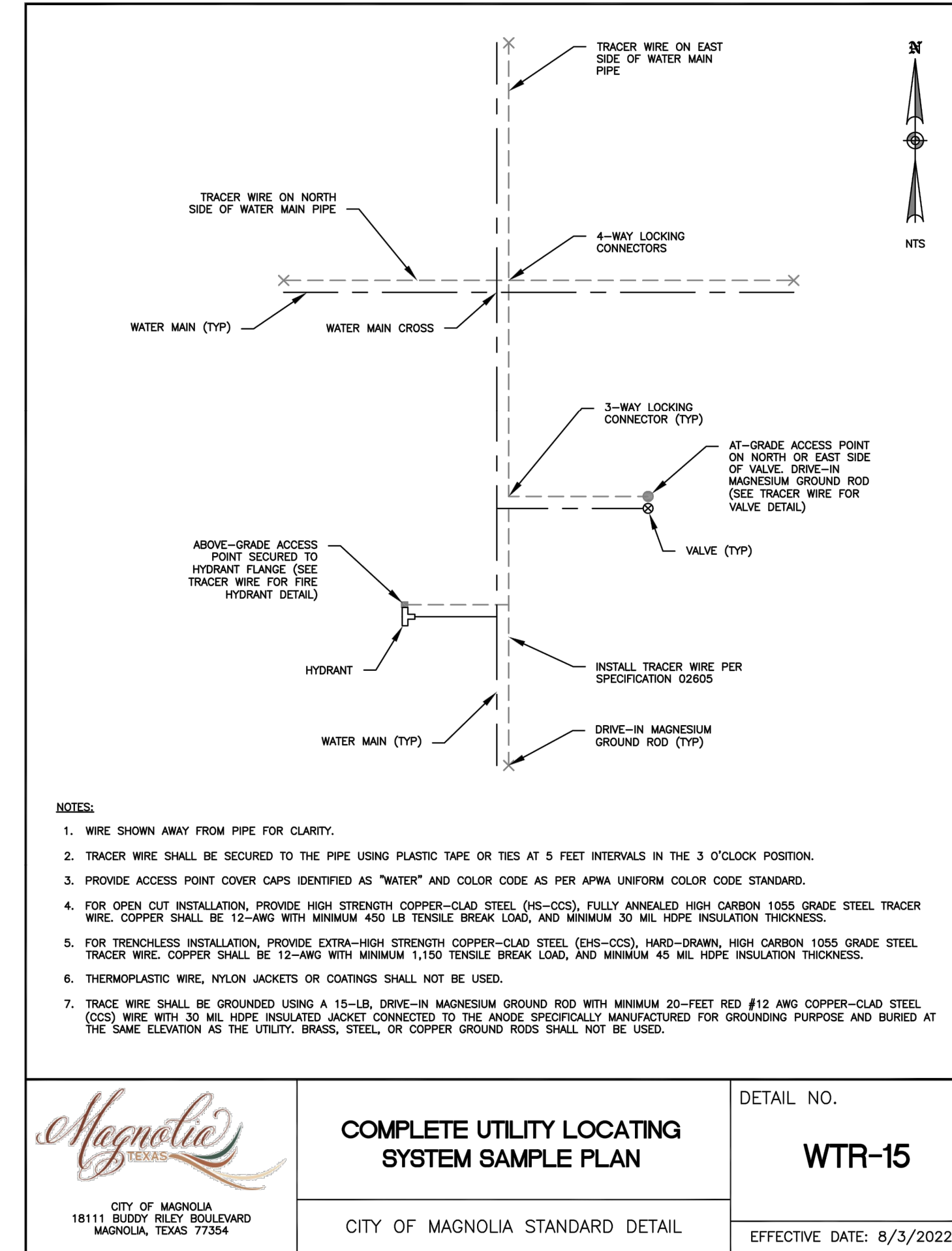
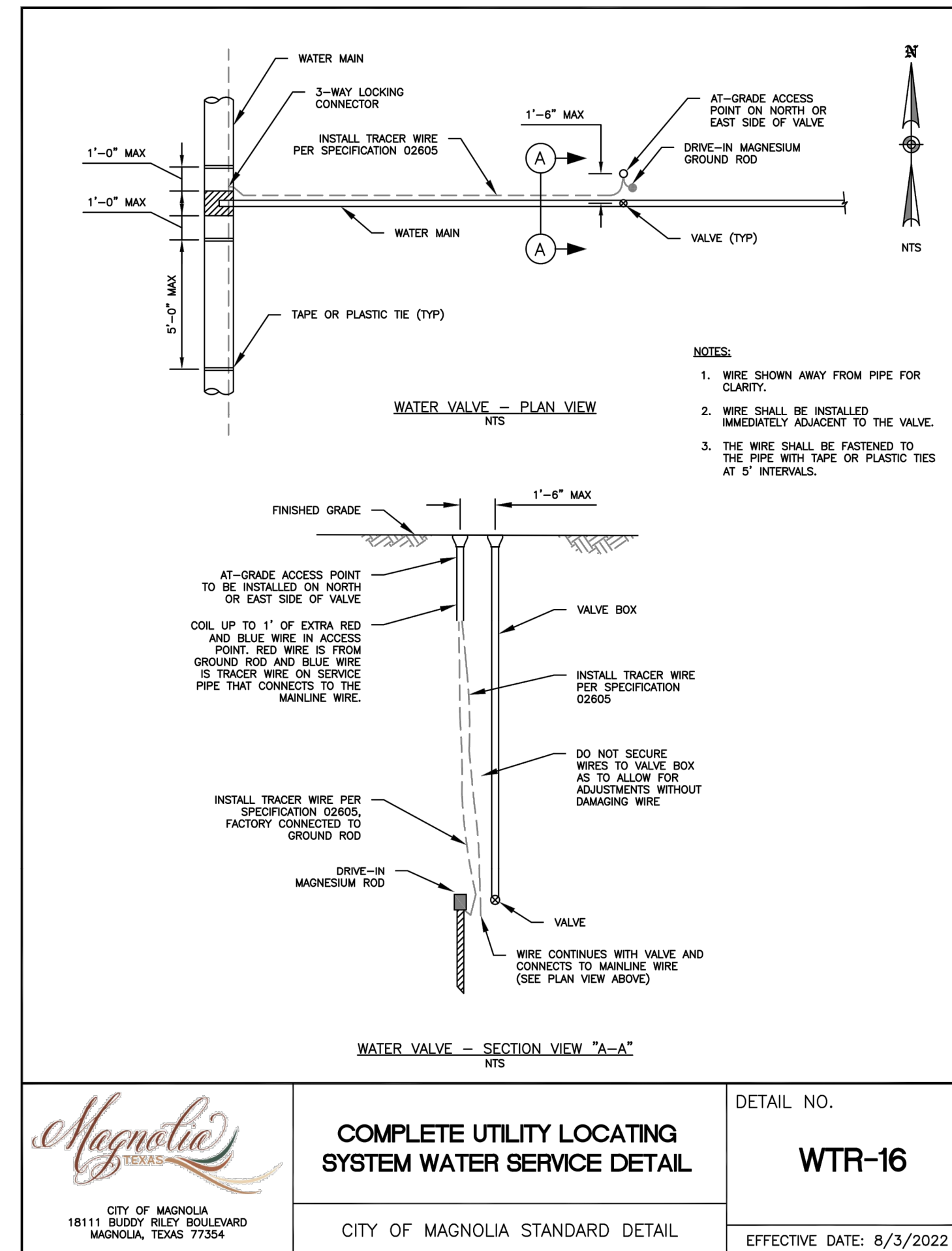
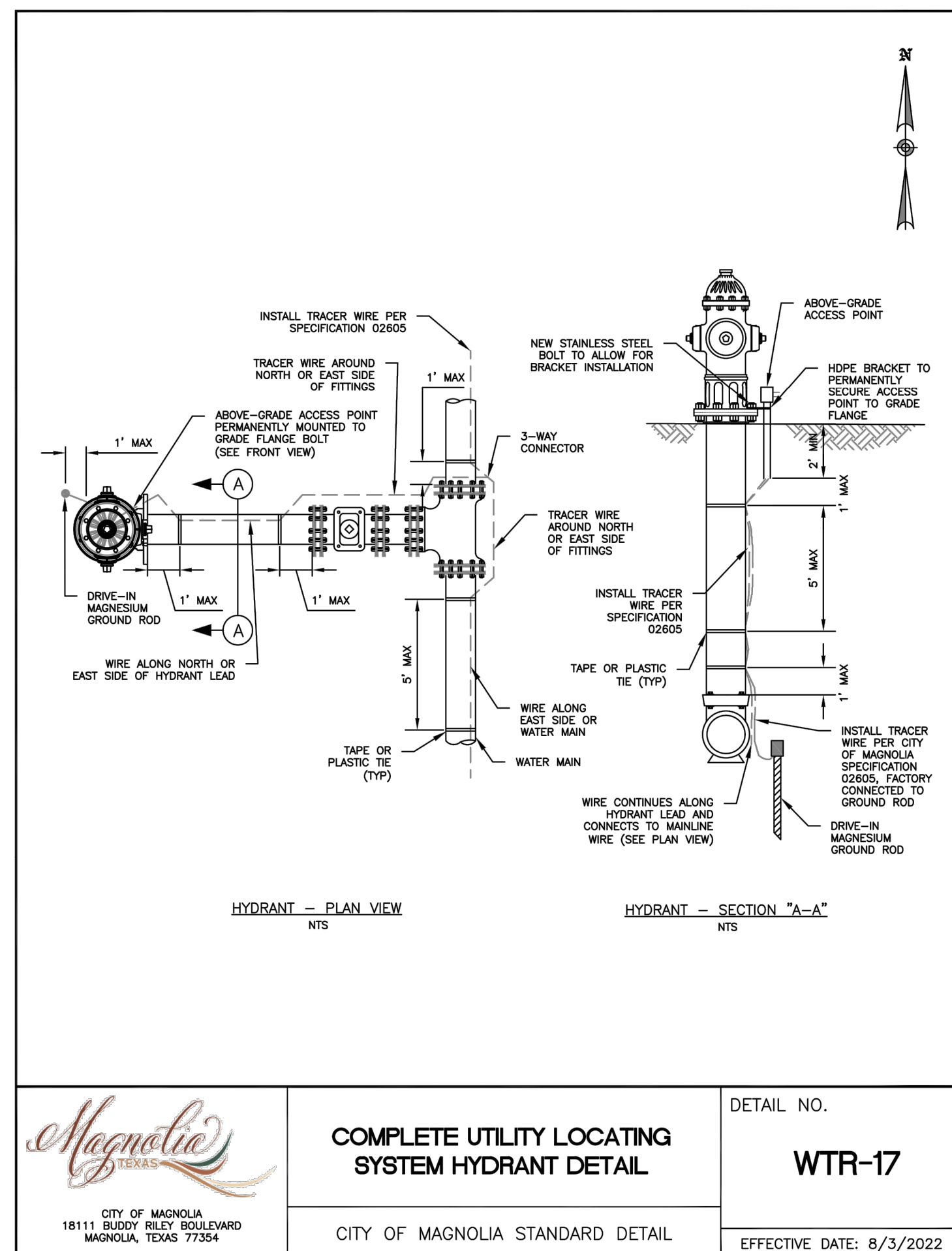
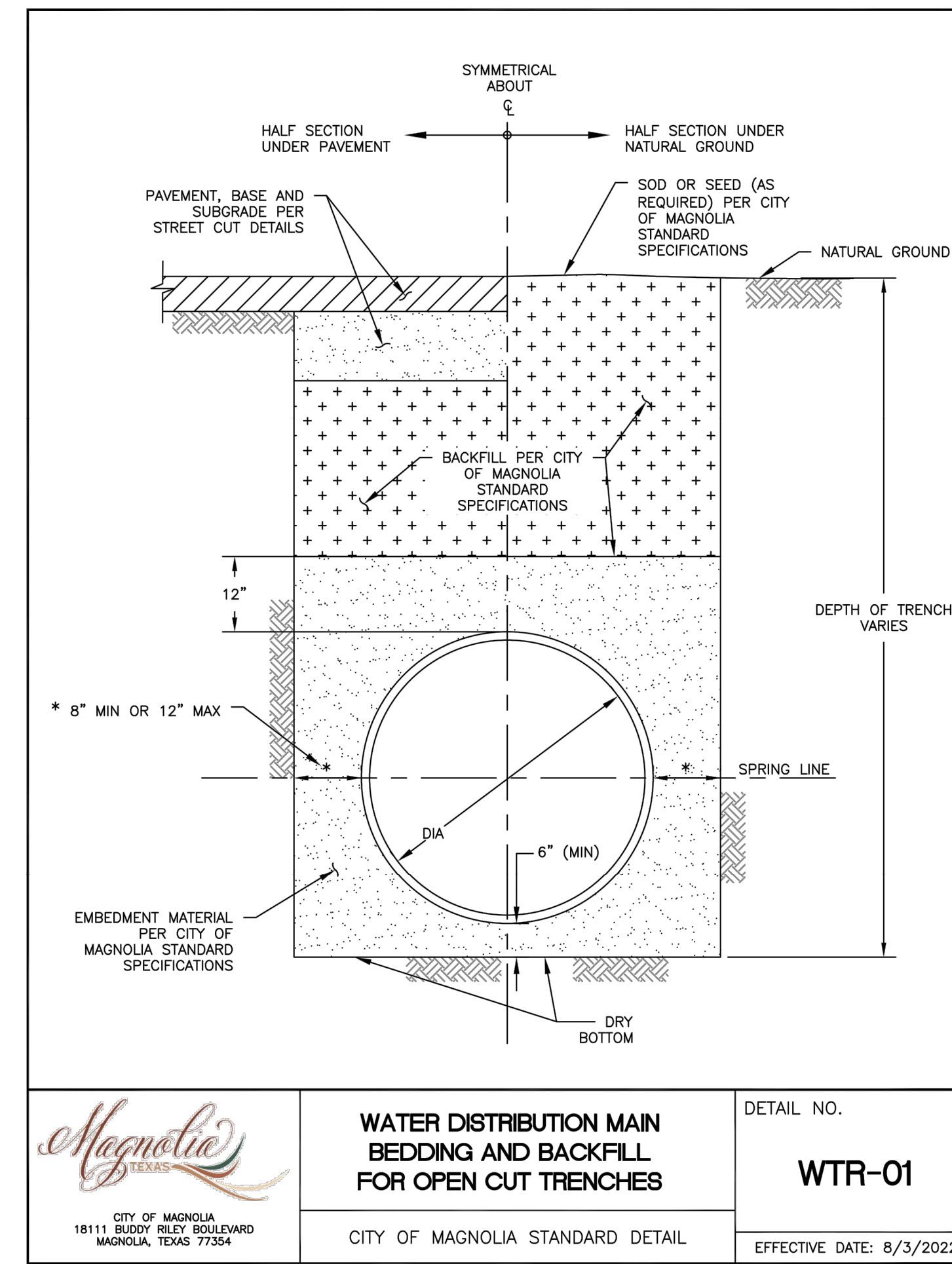
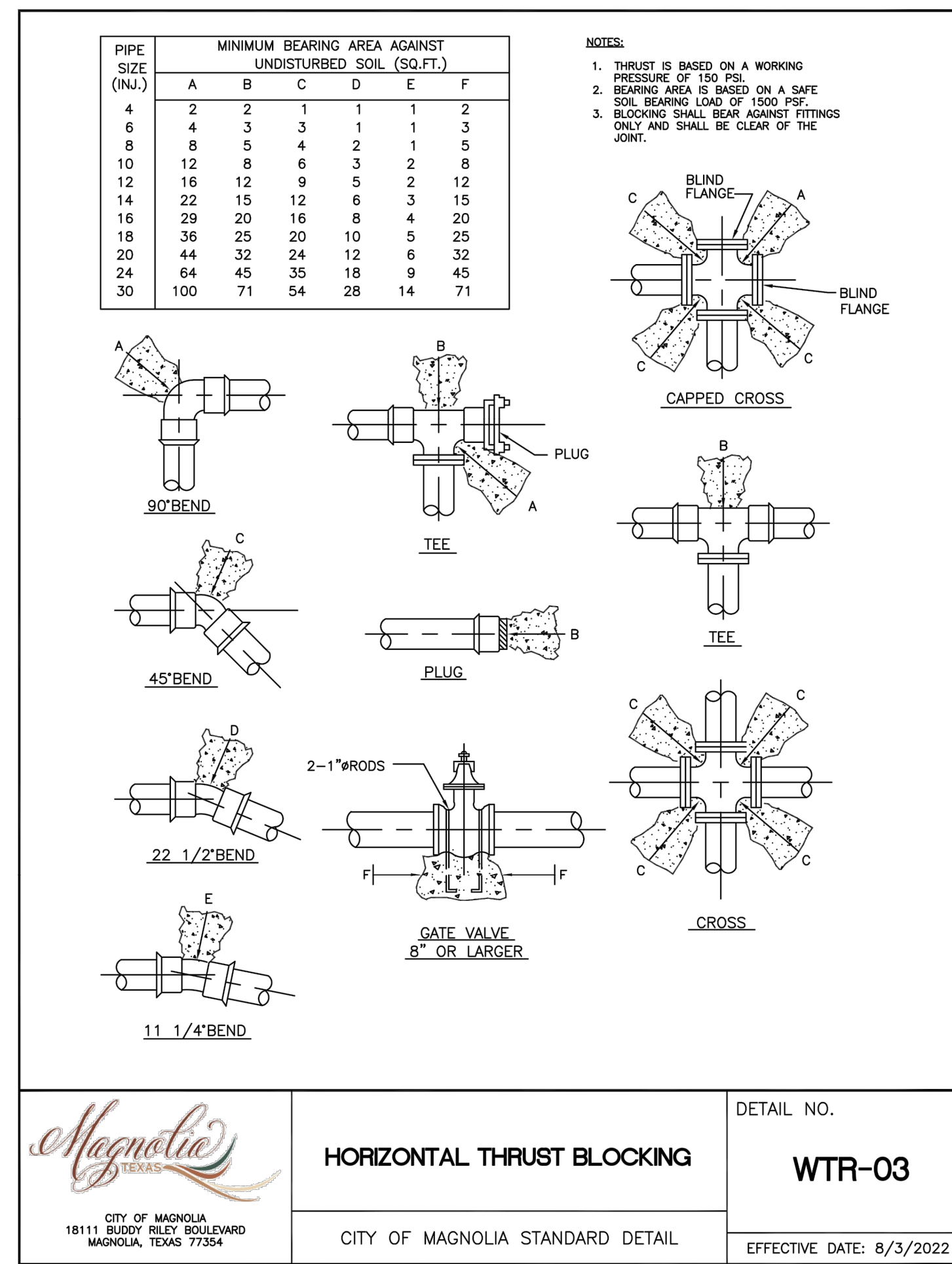
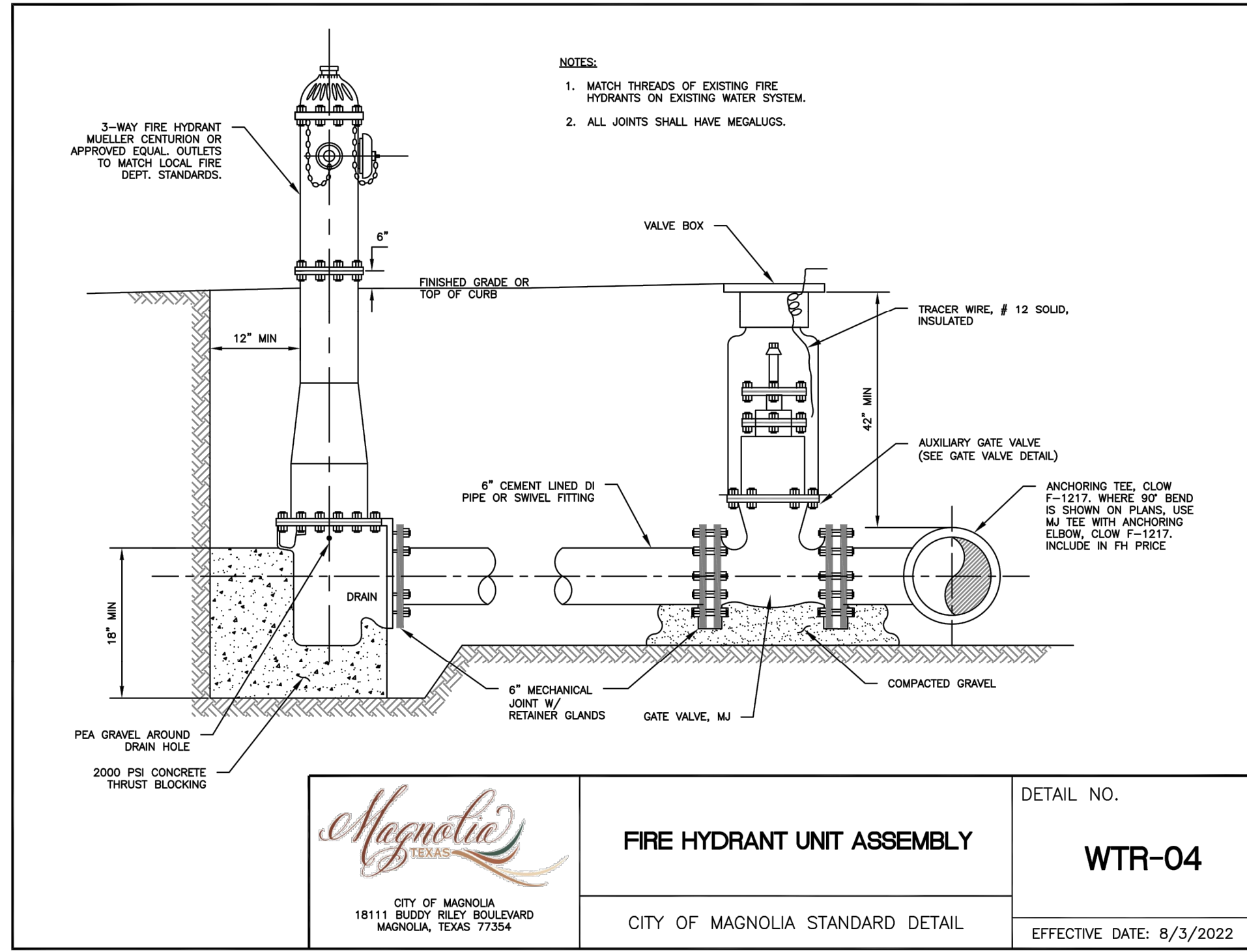
**TEXAS PROFESSIONAL ENGINEERING LLC**  
F-21819

DESIGNER: LF  
DRAWING: TV/RS  
PROJ. MGR.: LF  
SCALE: \_\_\_\_\_

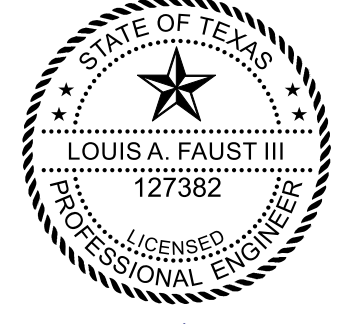
SHEET 07 OF 09

THE OAKS ON 6TH STREET  
CITY OF MAGNOLIA, TX  
STORM SEWER AND SANITARY SEWER DETAILS





APPROVED BY:	
REVISIONS:	
DATE:	

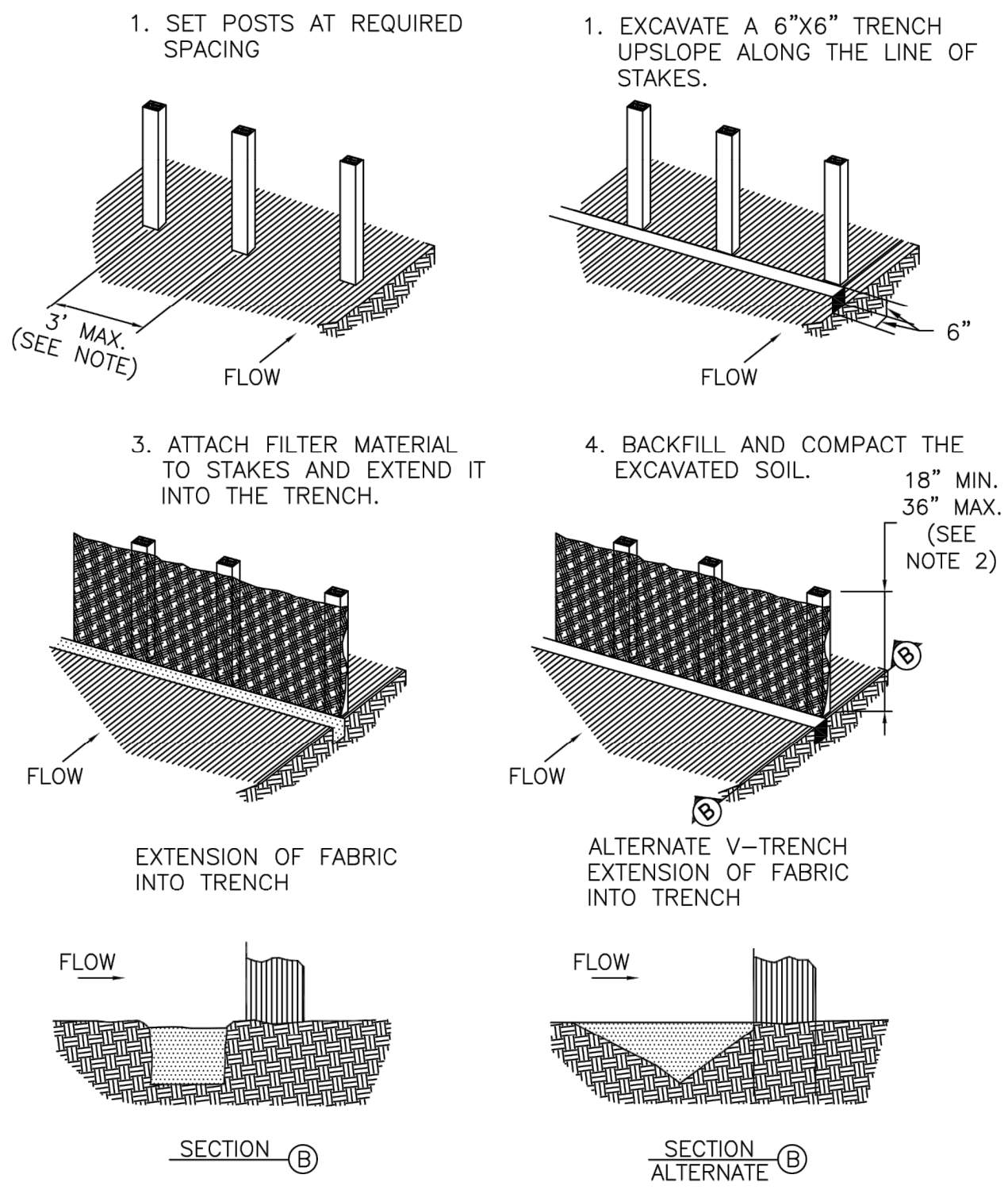


12/13/2023

TEXAS PROFESSIONAL ENGINEERING LLC F-21819

THE OAKS ON 6TH STREET  
 CITY OF MAGNOLIA, TX  
 WATERLINE DETAILS

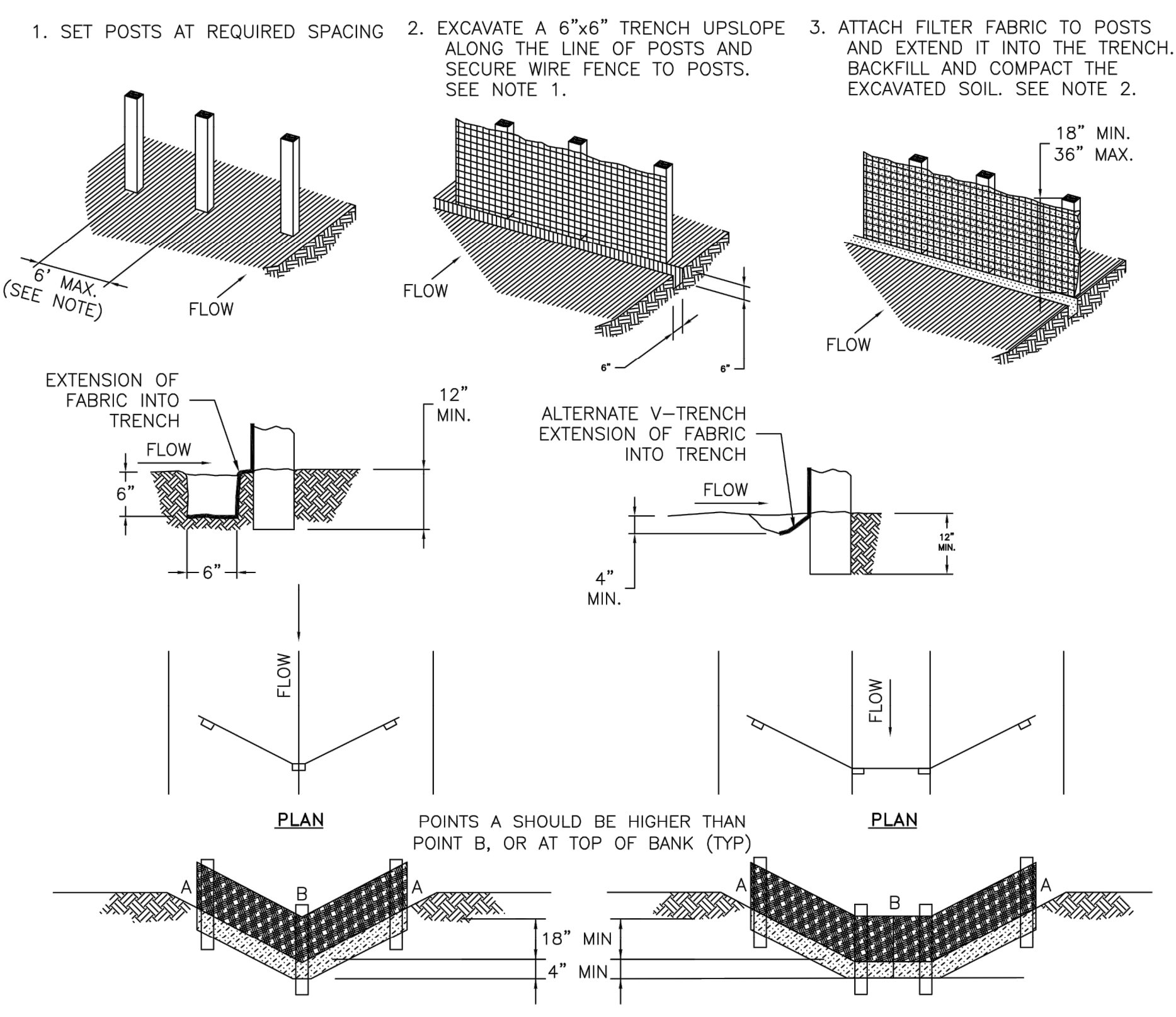




**CONSTRUCTION NOTES:**

- 2-INCH THICK BY 2 INCH WOODEN STAKES TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED A MIN OF 8 INCHES. IF PREASSEMBLED BARRIER WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 8 FEET MAX.
- ATTACH FILTER FABRIC TO WOODEN STAKES.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE POSTS, AND FOLDED.
- REMOVE SEDIMENT DEPOSIT WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.

**FILTER FABRIC BARRIER** SYMBOL

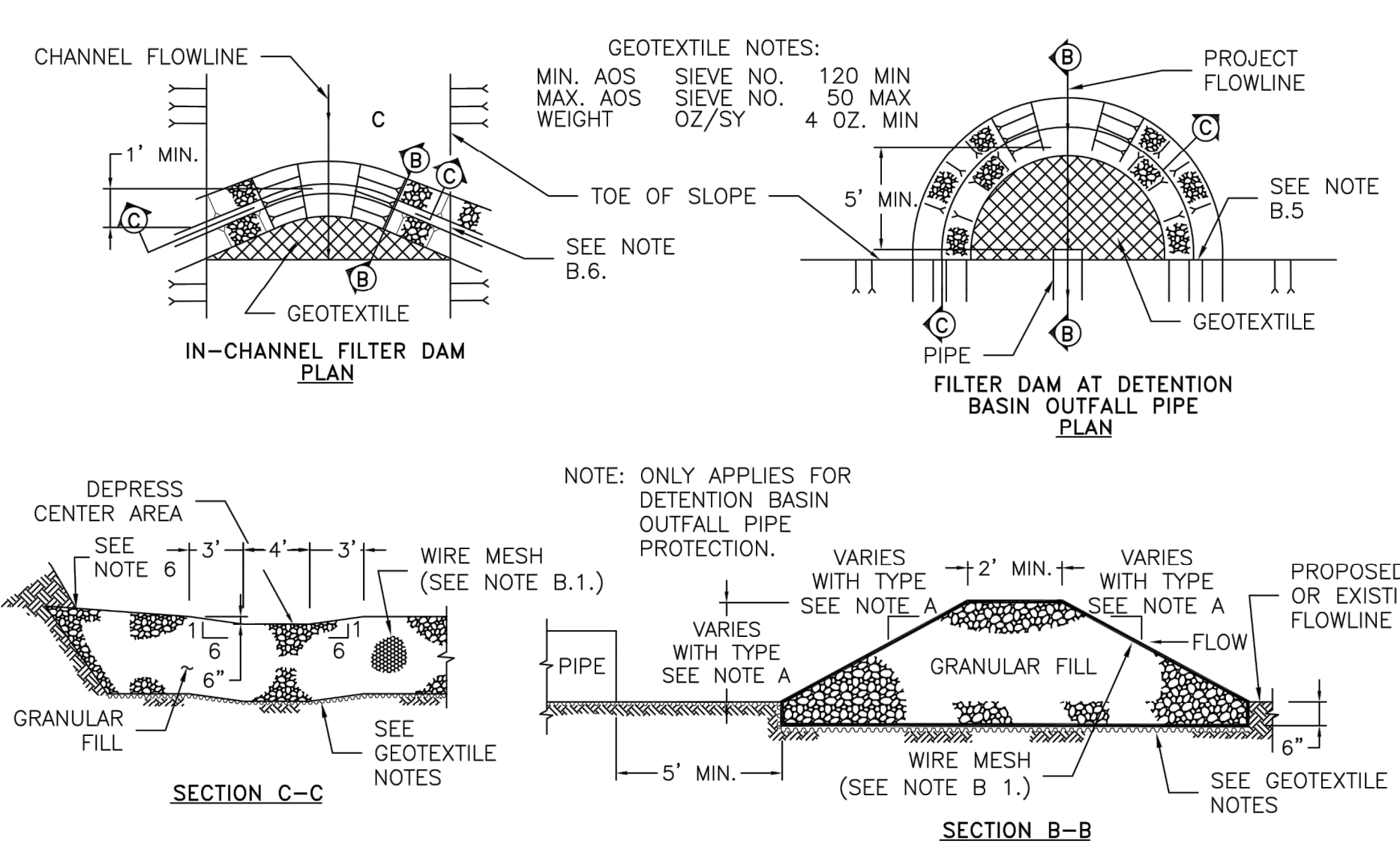


**"V-DITCH" SECTION/ELEVATION**      **TRAPEZOIDAL SECTION/ELEVATION**

**GENERAL NOTES:**

- SECURELY FASTEN MESH FENCING TO POSTS WITH STAPLES OR TIE WIRES.
- SECURELY FASTEN FILTER FABRIC TO MESH FENCING, WITH TIES SPACED EVERY 24 INCHES AT TOP AND MIDSECTION.
- WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, OVERLAP 6 INCHES AT A POST, FOLD TOGETHER, AND ATTACH TO A POST.
- REMOVE SEDIMENT DEPOSITS WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.

**REINFORCED FILTER FABRIC BARRIER** SYMBOL



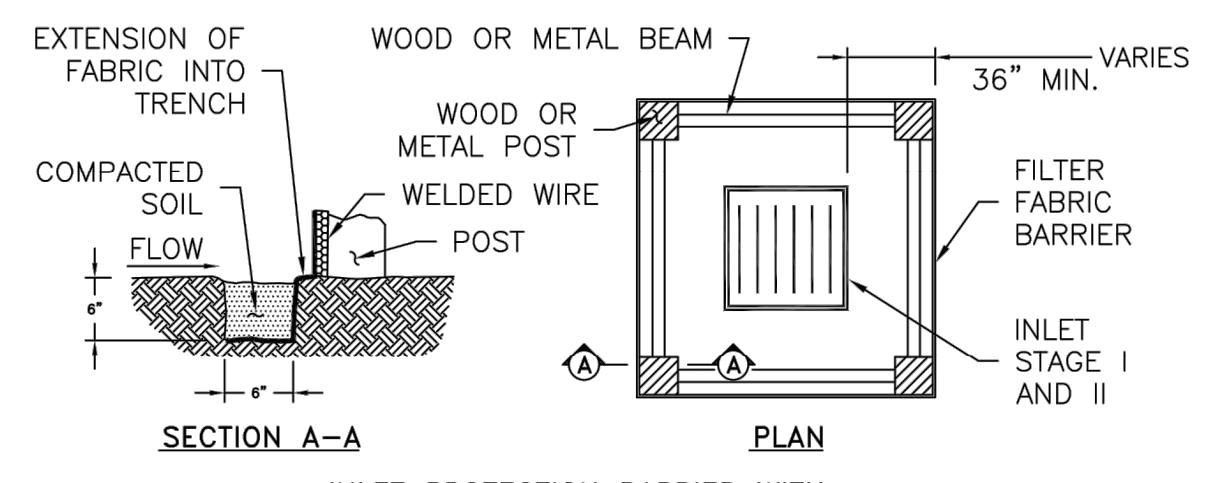
**A. TYPES OF FILTER DAMS**

- TYPE 1 (NON-REINFORCED)**
  - HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
  - TOP WIDTH - 2 FEET (MINIMUM).
  - SLOPES - 2:1 (MAXIMUM).
- TYPE 2 (REINFORCED)**
  - HEIGHT - 18-36 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
  - TOP WIDTH - 2 FEET (MINIMUM).
  - SLOPES - 2:1 (MAXIMUM).
- TYPE 3 (REINFORCED)**
  - HEIGHT - 36-48 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
  - TOP WIDTH - 2 FEET (MINIMUM).
  - SLOPES - 3:1 (MAXIMUM).
- TYPE 4 (GABION)**
  - HEIGHT - 30 INCHES (MINIMUM). MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
  - TOP WIDTH - 2 FEET (MINIMUM).
- TYPE 5. AS SHOWN ON THE PLANS.**

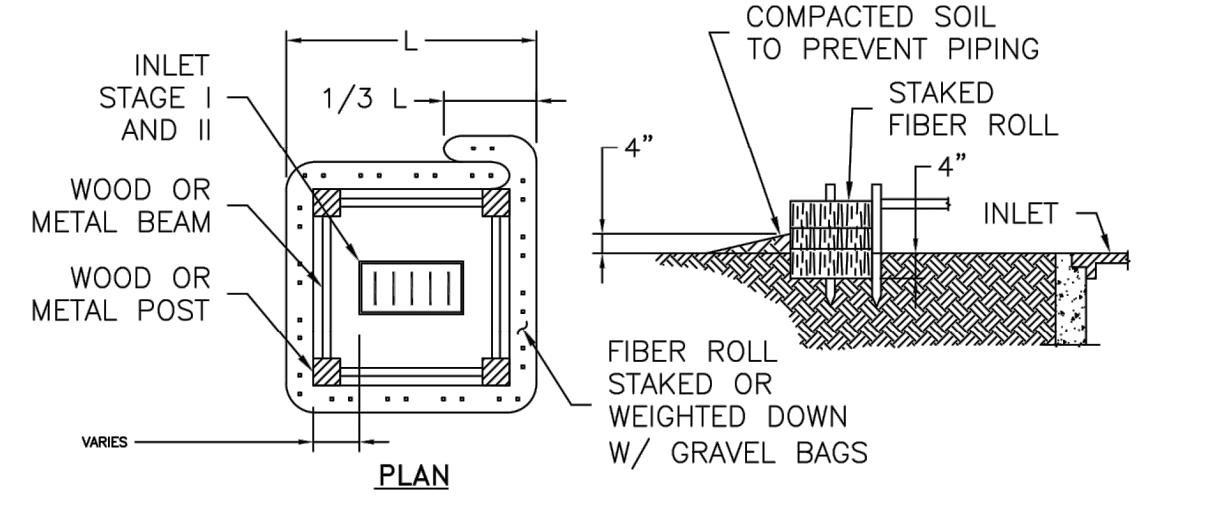
**B. CONSTRUCT FILTER DAMS ACCORDING TO THE FOLLOWING CRITERIA UNLESS SHOWN OTHERWISE ON THE PLANS.**

- TYPE 2 AND 3 FILTER DAMS: SECURE WITH 20 GAUGE GALVANIZED WOVEN WIRE MESH WITH 1 INCH DIAMETER HEXAGONAL OPENINGS.
- PLACE GRANULAR FILL ON THE WIRE MESH TO HEIGHT AND SLOPES SHOWN ON PLANS OR AS SPECIFIED BY THE ENGINEER.
  - 3-5 INCHES FOR ROCK FILTER DAM TYPES 1, 2 AND 4.
  - 4-8 INCHES FOR ROCK FILTER DAM TYPE REFER TO GRANULAR FILL IN SPECIFICATION SECTION No. 02378 RIPRAP AND GRANULAR FILL.
- FOLD WIRE MESH AT UPSTREAM SIDE OVER GRANULAR FILL AND TIGHTLY SECURED TO ITSELF ON THE DOWNSTREAM SIDE USING WIRE TIES OR HOG RINGS.
- IN STREAMS: SECURE OR STAKE MESH TO STREAM BED PRIOR TO AGGREGATE PLACEMENT.
- EMBED ONE FOOT MINIMUM INTO SLOPE AND RAISE ONE FOOT HIGHER THAN CENTER OF DEPRESSED AREA AT SLOPE.

**FILTER DAM** SYMBOL



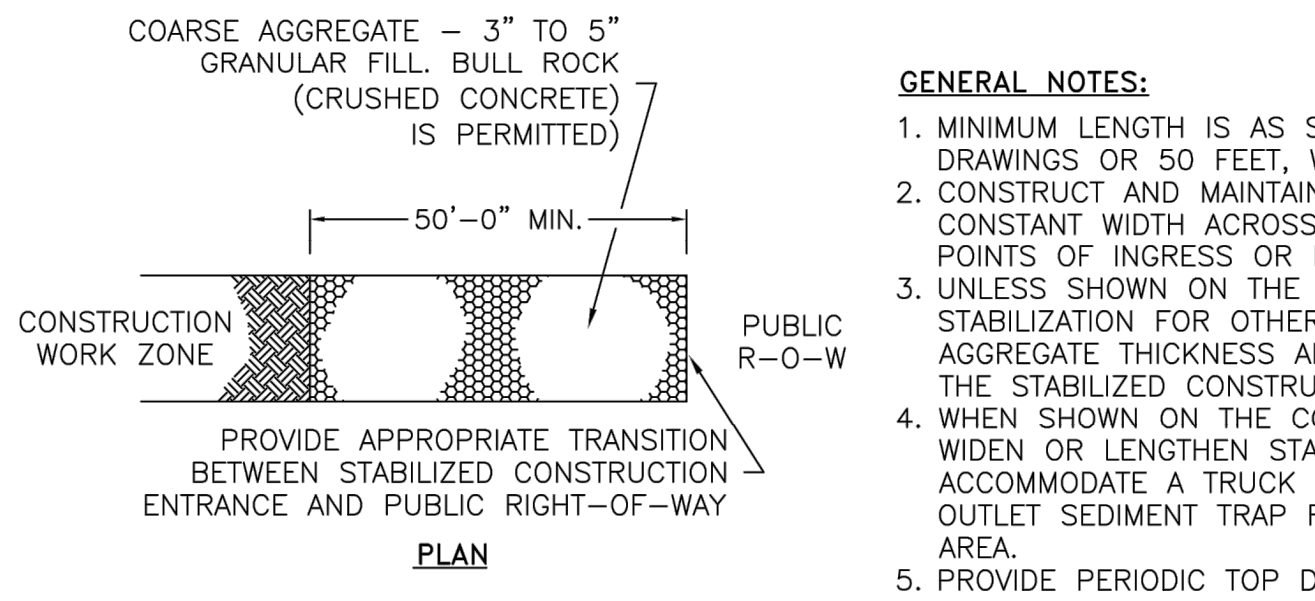
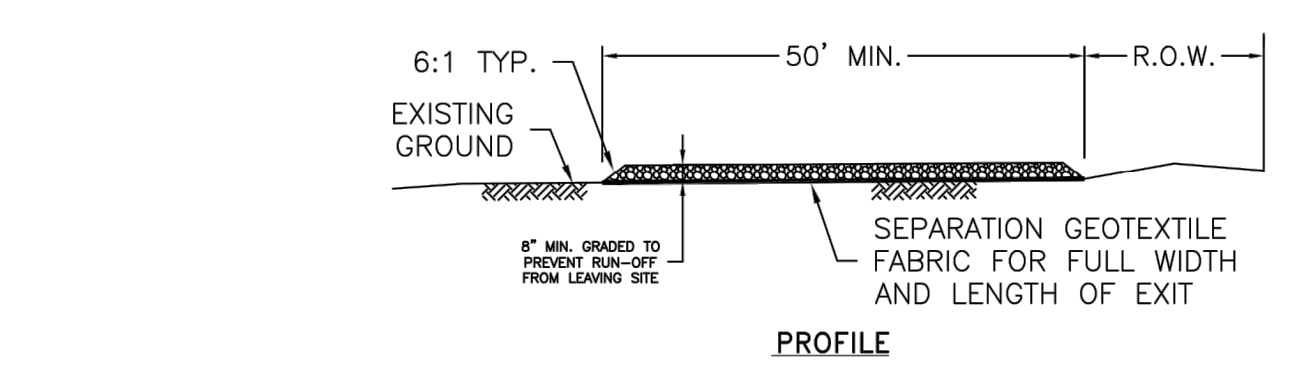
**INLET PROTECTION BARRIER WITH REINFORCED FILTER FABRIC**



**INLET PROTECTION BARRIER WITH FILTER ROLLS**

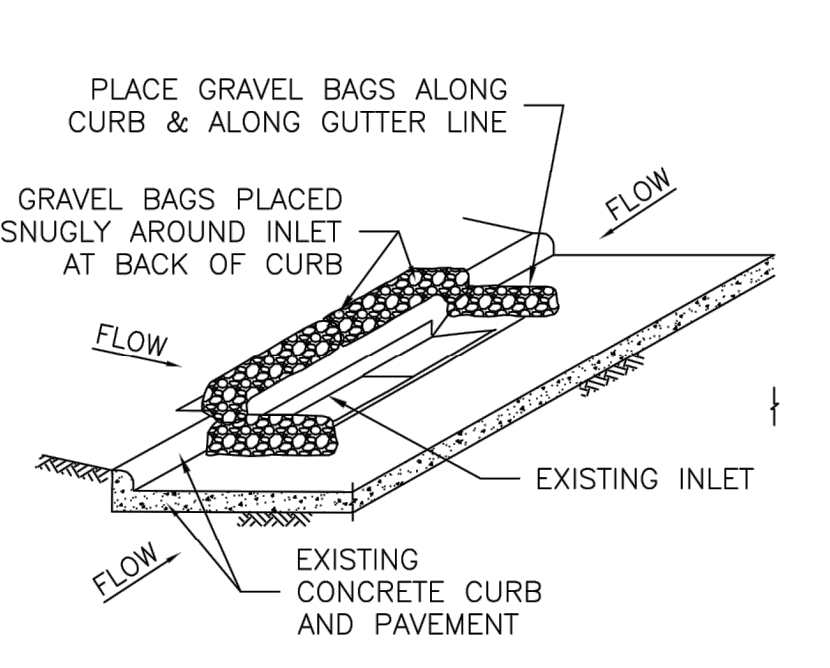
- GENERAL NOTES:**
- FIBER ROLLS WILL BE UTILIZED ONLY WHEN SITE CONDITIONS DO NOT PERMIT THE USE OF FILTER FABRIC BARRIER, AND AS APPROVED BY THE ENGINEER.

**INLET PROTECTION BARRIERS FOR STAGE I INLETS** SYMBOL



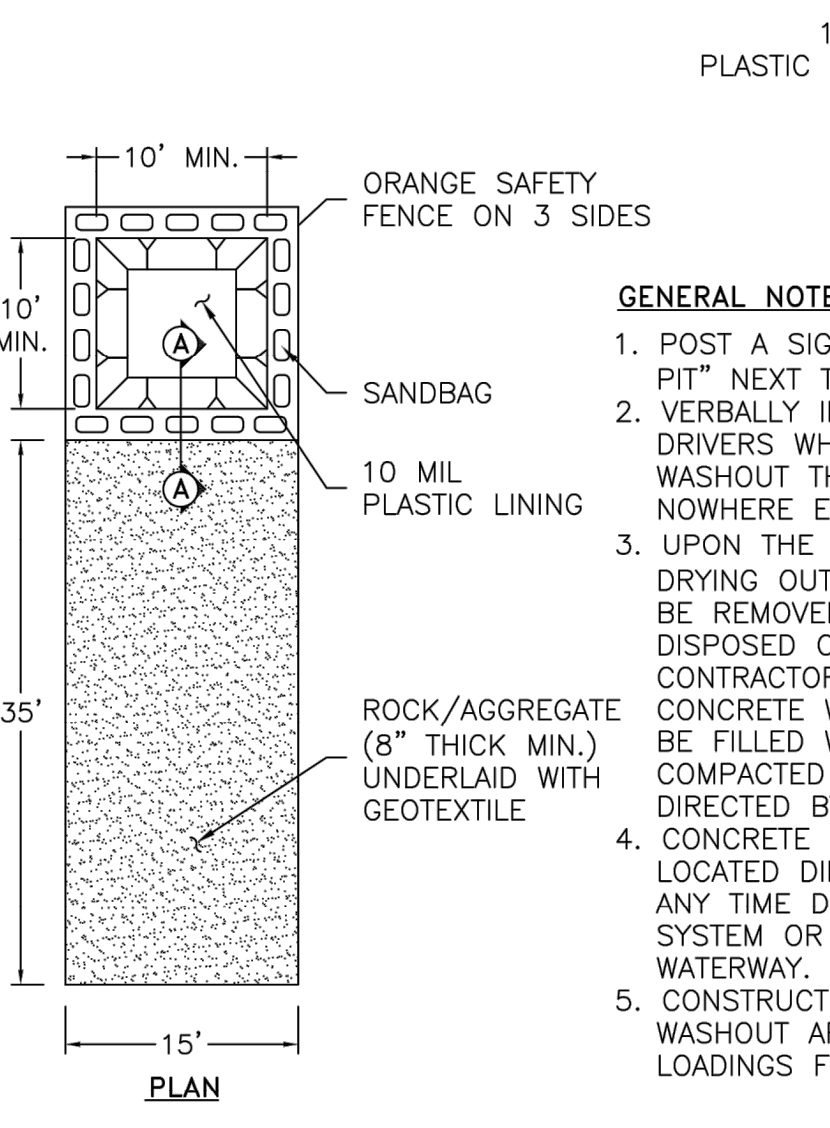
- GENERAL NOTES:**
- MINIMUM LENGTH IS AS SHOWN ON CONSTRUCTION DRAWINGS OR 50 FEET, WHICHEVER IS MORE.
  - CONSTRUCT AND MAINTAIN CONSTRUCTION EXIT WITH CONSTANT WIDTH ACROSS ITS LENGTH, INCLUDING ALL POINTS OF INGRESS OR EGRESS.
  - UNLESS SHOWN ON THE CONSTRUCTION DRAWINGS, STABILIZATION FOR OTHER AREAS WILL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT.
  - WHEN SHOWN ON THE CONSTRUCTION DRAWINGS, WIDEN OR LENGTHEN STABILIZED AREA TO ACCOMMODATE A TRUCK WASHING AREA. PROVIDE OUTLET SEDIMENT TRAP FOR THE TRUCK WASHING AREA.
  - PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL COARSE AGGREGATE TO MAINTAIN THE REQUIRED DEPTH OR WHEN SURFACE BECOMES PACKED WITH MUD.
  - PERIODICALLY TURN AGGREGATE TO EXPOSE A CLEAN DRIVING SURFACE.
  - MINIMUM 14' WIDTH FOR ONE WAY TRAFFIC AND 20' WIDTH FOR TWO WAY TRAFFIC.

**STABILIZED CONSTRUCTION ACCESS** SYMBOL



- GENERAL NOTES:**
- REMOVE SEDIMENT DEPOSIT WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BARRIER.
  - GRAVEL BAGS SHALL NOT BLOCK THROAT OF INLET UNLESS DIRECTED BY ENGINEER.

**INLET PROTECTION BARRIERS FOR STAGE II INLETS** SYMBOL



**GENERAL NOTES:**

- POST A SIGN READING "CONCRETE WASHOUT PIT" NEXT TO THE PIT.
- VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.
- UPON THE CONCRETE SETTING UP (CURING, DRYING OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACTED TO IN-SITU CONDITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.
- CONCRETE WASHOUT PITS SHALL NOT BE LOCATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE, DITCH, OR WATERWAY.
- CONSTRUCT ENTRY ROAD AND BOTTOM OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.

**CONCRETE TRUCK WASHOUT AREA** SYMBOL

NO.	REVISIONS	DATE	NAME

*Magnolia TEXAS*  
CITY OF MAGNOLIA  
18111 BLOODY RILEY BOULEVARD  
MAGNOLIA, TEXAS 77354

PROJECT TITLE:	
SHEET DESCRIPTION:	STORM WATER POLLUTION PREVENTION DETAILS
DRAWN BY:	JLS CITY OF MAGNOLIA STANDARD DETAIL
CHECKED BY:	REG. EFFECTIVE DATE: 8/3/2022 NO SCALE SHEET XX OF XX

APPROVED BY: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 DATE: \_\_\_\_\_

THE OAKS ON 6TH STREET  
 CITY OF MAGNOLIA, TX  
 STORM WATER POLLUTION PREVENTION PLAN DETAILS

DESIGNER: LE  
 DRAFTING: TV/RS  
 PROJ. MGR: LE  
 SCALE: \_\_\_\_\_

SHEET  
 09 OF 09

TFP TEXAS PROFESSIONAL ENGINEERING  
 LOUISA FAUST III  
 LICENSED PROFESSIONAL ENGINEER  
 127382  
 12/13/2023  
 TEXAS PROFESSIONAL ENGINEERING LLC  
 F-21819





## Site Plan/Site Work Permit Application

This form shall be submitted with each application for a  
Non Residential Site Work Permit including Subdivisions and Commercial sites.

### CONTACT INFORMATION

---

#### Applicant

Katy Harris / LJA Engineering, Inc.

Name

3600 W Sam Houston Pkwy S, Ste. 600

Street Address

Houston, TX 77042

City, State Zip

713-657-6008

Phone

kharris@lja.com

E-mail

#### Architect (if different)

n/a

Name

n/a

Street Address

n/a

City, State Zip

n/a

Phone

n/a

E-mail

#### Property Owner (if different)

Forestar (USA) Real Estate Group

Name

3355 W Alabama St, Ste. 210

Street Address

Houston, TX 77098

City, State Zip

713-457-1698

Phone

zachevans@forestar.com

E-mail

#### Engineer/Land Surveyor (if different)

n/a

Name

n/a

Street Address

n/a

City, State Zip

n/a

Phone

n/a

E-mail



**PROPERTY PROFILE**

---

Property ID# on tax statement R237636 0449-00-00141

Site Address  
n/a

---

Legal Description John B. Richards Survey, A-449

(Subdivision) n/a (Lot) n/a (Block) n/a

Subdivision Section, if applicable \_\_\_\_\_

Current Zoning n/a

Present Use of Property

Single-Family Residential & Undeveloped

---

Proposed Use of the Property

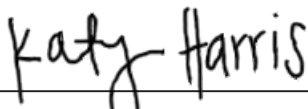
Single-Family Subdivision

---

Total Area of Site 405.3 acres Square Footage of the new or remodeled space \_\_\_\_\_

I, Katy Harris (print or type name), certify with my signature below that the

information included in my submittal packet is complete, true, and correct, to the best of my knowledge.



---

Signature of Applicant

11-30-23

---

Date





**SINGLE FAMILY  
RESIDENTIAL YIELD**

50' x 120'	1,377 Lots	100.0%	±295.6 Ac.
<b>TOTAL</b>	<b>1,377 Lots</b>	<b>100.0%</b>	<b>±295.6 Ac.</b>

**PARK LAND  
DEDICATION REQUIREMENTS**

±6.25 acre per every 1,000 people  
**Required: ±26.1 Ac.**  
**Provided: ±27.3 Ac.** (Parks and 25% of Detention)

**LEGEND**

-  5' Concrete Trail
-  Trail Connection



**PARK ELEMENTS**

- REC-01**
- Recreation Center Facility (Constructed)
  - 4 Trash Containers
  - 2 Grills
  - 8 Picnic Tables
  - 2 Benches
  - 15 Parking Stalls (1 HC)
- PARK-01**
- 2 Benches
  - 1 Trash Container
- PARK-02**
- Dog Run
  - 1 Picnic Table
  - 1 Trash Container
  - 4 Benches
  - Signage
  - 4 Parking Stalls (2 HC)
- PARK-03**
- 1 Trash Container
  - 5 Benches
  - 4 Parking Stalls (1 HC)
- PARK-04**
- 1 Picnic Table
  - 1 Trash Container
  - 6 Benches
  - 4 Parking Stalls (1 HC)
  - 5' Concrete Trail
- PARK-05**
- 1 Trash Container
  - 2 Benches
  - 3 Parallel Parking Spots
- DET-02**
- 5' Concrete Trail
- DET-03**
- 5' Concrete Trail
  - 6 Benches
- DET-04**
- 5' Concrete Trail
- DET-05**
- 5' Concrete Trail
  - 6 Benches

Reference Date: 11.30.2023

Prepared for  
**FORESTAR**

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A Parks Plan for  
**MILL CREEK**  
 ±405.3 Acres of Land  
 Magnolia, Texas  
 Project #: 1019-07002

NORTH



**LJA** PLANNING & LANDSCAPE ARCHITECTURE  
 RELATIONSHIPS | PROCESS | DESIGN



## Mill Creek Park Plan

Magnolia, TX  
11-30-2023

	<b>PARK-01</b>	<b>PARK-02</b>	<b>PARK-03</b>	<b>PARK-04</b>	<b>PARK-05</b>	<b>REC CENTER</b> (Constructed)	<b>Total</b>
Acreage	1.5	3.5	2.1	4.9	0.6	1.6	<b>14.2</b>
<b>Parkland Amenities</b>							
*Paved frontage for all street frontages	✓	✓	✓	✓	✓	✓	
*A sidewalk or trail installed in the park and/or sidewalk installed along all street frontages	✓	✓	✓	✓	✓	✓	
*Utilities Provided	✓	✓	✓	✓	✓	✓	
*Grading of site and grass with irrigation	✓	✓	✓	✓	✓	✓	
*One playscape structure with a minimum capacity of 15 children	✓	✓	✓	✓	✓	✓	
*One covered picnic table, grills, trash containers at a rate of 0.5 per acre of parkland (8 picnic tables/grills/trash containers required)	1 Trash Cont.	1 Picnic Table 1 Trash Cont.	1 Trash Cont.	1 Picnic Table 1 Trash Cont.	1 Trash Cont.	4 Trash Cont. 2 Grills 8 Picnic Tables	<b>21</b>
*Park benches at a rate of two per acre of parkland (33 required benches)	2 Benches	4 Benches	5 Benches	6 Benches	2 Benches	2 Benches	<b>33**</b>
Parking/Additional Provided Amenities	N/A	4 Parking Stalls (2 HC), Dog Run, Signage	4 Parking Stalls (1 HC)	4 Parking Stalls (1 HC), 5' Concrete Trail	3 Parallel Parking Spots	1 Playground, 15 Parking Stalls (1 HC)	

\*Amenity is required by the Utility Agreement.

\*\*Total number of benches includes the 12 benches along trails within DET-03 and DET-05.

	<b>DET-02</b>	<b>DET-03</b>	<b>DET-04</b>	<b>DET-05</b>	<b>Total</b>	<b>Parkland Credit</b> (25% of Detention Area)
Acreage	6.4	19.5	9.3	17.4	<b>52.6</b>	<b>13.1</b>
<b>Dual Park and Detention Reserve Requirement</b>						
Side slopes of a five to one ratio	✓	✓	✓	✓		
Gravity flow or a pumping system	✓	✓	✓	✓		
A bottom with a minimum area of 50 feet by 100 feet in dimension	✓	✓	✓	✓		
Field areas with a level, domed design suitable for field sports	✓	✓	✓	✓		
Hike/bike all-weather trails	5' Concrete Trail	5' Concrete Trail	5' Concrete Trail	5' Concrete Trail		
An average minimum width of 30 feet and a minimum width of 20 feet beyond the top of bank	✓	✓	✓	✓		
Drainage ditches and lake borders with meandering, natural contour appearances	✓	✓	✓	✓		
Park benches		6		6	<b>12</b>	



# Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

## CONTACT INFORMATION

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### Applicant

### Property Owner (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

### Architect (if different)

### Engineer/Land Surveyor (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

**PROPERTY PROFILE**

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Property ID # \_\_\_\_\_

Legal Description \_\_\_\_\_  
(Subdivision) (Lot) (Block)

Current Zoning \_\_\_\_\_

Present Use of Property

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Proposed Use of the Property

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Total Area of Site

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1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

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2. Description of proposed property change, including lot numbers, name, etc.

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\*\*\* **NOTE:** The City of Magnolia will return the Preliminary Plat documents to the applicant as administratively incomplete if the following are not attached for review:

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat Application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- Onelines for all utilities in the project, including the utilities that require easements OR
- An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Preliminary approval from Montgomery County Emergency Communication District
- n/a Traffic Study, if necessary
- If any of the items are not available for any reason, provide a description and the reason why they were not provided: \_\_\_\_\_
- \_\_\_\_\_

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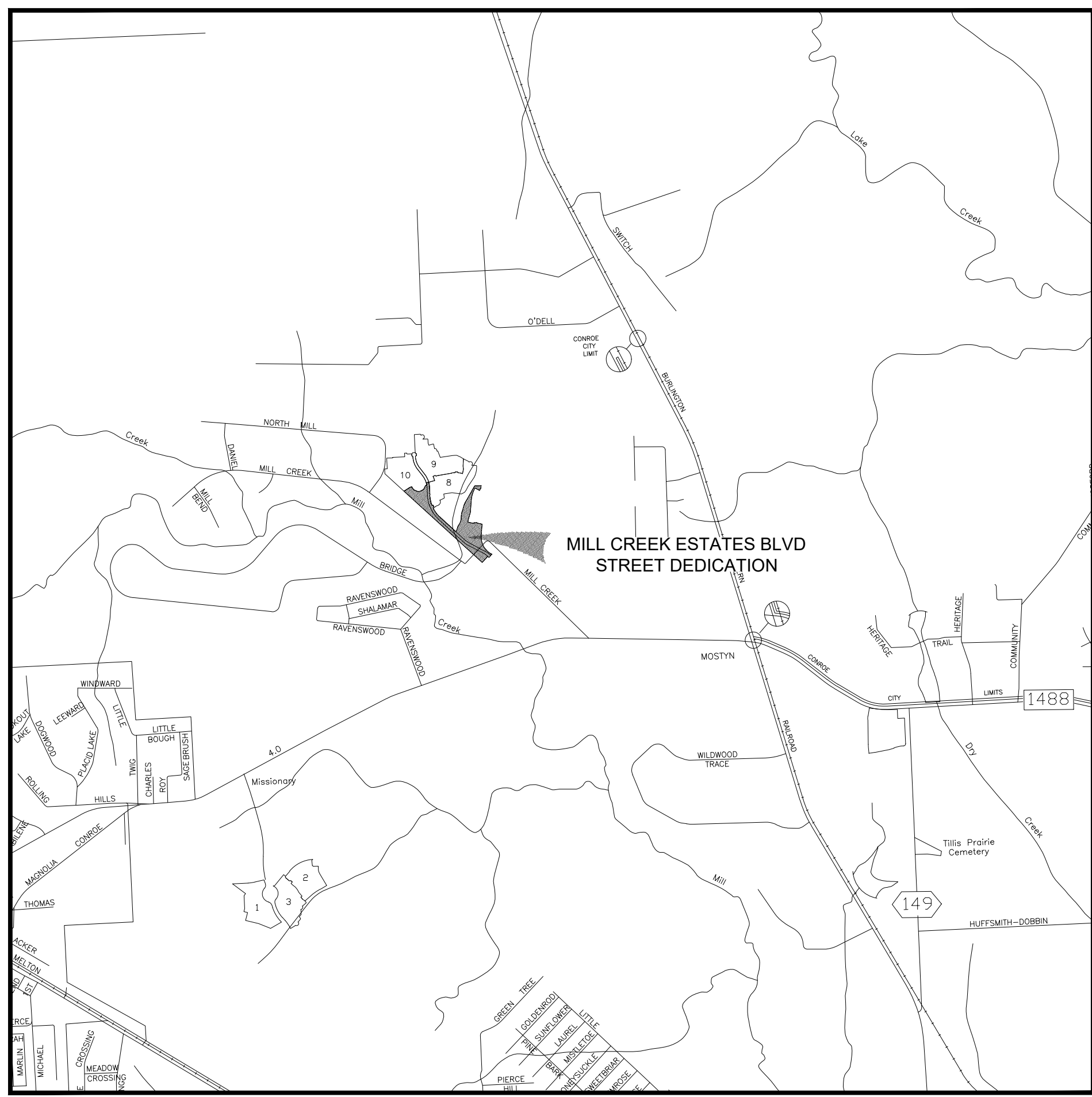
#### Complete List of Items Requested

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- n/a Site plan is approved or in the process of approval through the Planning and Zoning Commission and City Council
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- n/a  Proposed site complies with zoning
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)

Tabulations that include:

- Number of lots in the subdivision
- Size of the parcel
- Total acreage if multiple parcels
- Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (include all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths, and bearings of tangents) of:
  - Right-of-ways, streets, alleys, railroads, lots, open spaces, parks, protected natural resources, and buffers
  - Utility and access easements
  - Private access easements
- Names of proposed streets shown
- Streets that extend existing streets shall be assigned the same name as the existing street
- Preliminary approval from Montgomery County Emergency Communication District
- All block indications, lot numbers, and individual areas are designed by numbers or letters numbered consecutively
- Reserves are labeled as A, B C without numbers
- Accurate location, material, type, and description of all permanent control monuments or mean sea level datum provided
- Location and size of proposed parks, playgrounds, civic (including churches) or school sites, or other special uses of the land to be considered for dedication to public use, provided on a separately attached description
- Proposed generalized use of lots (e.g., mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided in a separately attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including the location of proposed culverts and bridge, provided on a separate utility sheet
- Onelines for all utilities in the project, including the utilities that require easements OR
  - An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Easements for water, sanitary, and storm lines
- n/a  If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased.
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study, if necessary
- Lots meet the minimum or maximum requirements for front, interior, side, and rear building lines and setbacks
- Street dedications with the right of way provided
- Required justifications for cul-de-sacs, if proposed
- Development meets
  - open space ratio
  - maximum gross density
  - parkland dedication
  - parking space requirements
- Anticipated timelines for construction of the improvements shall be provided separately on attached description





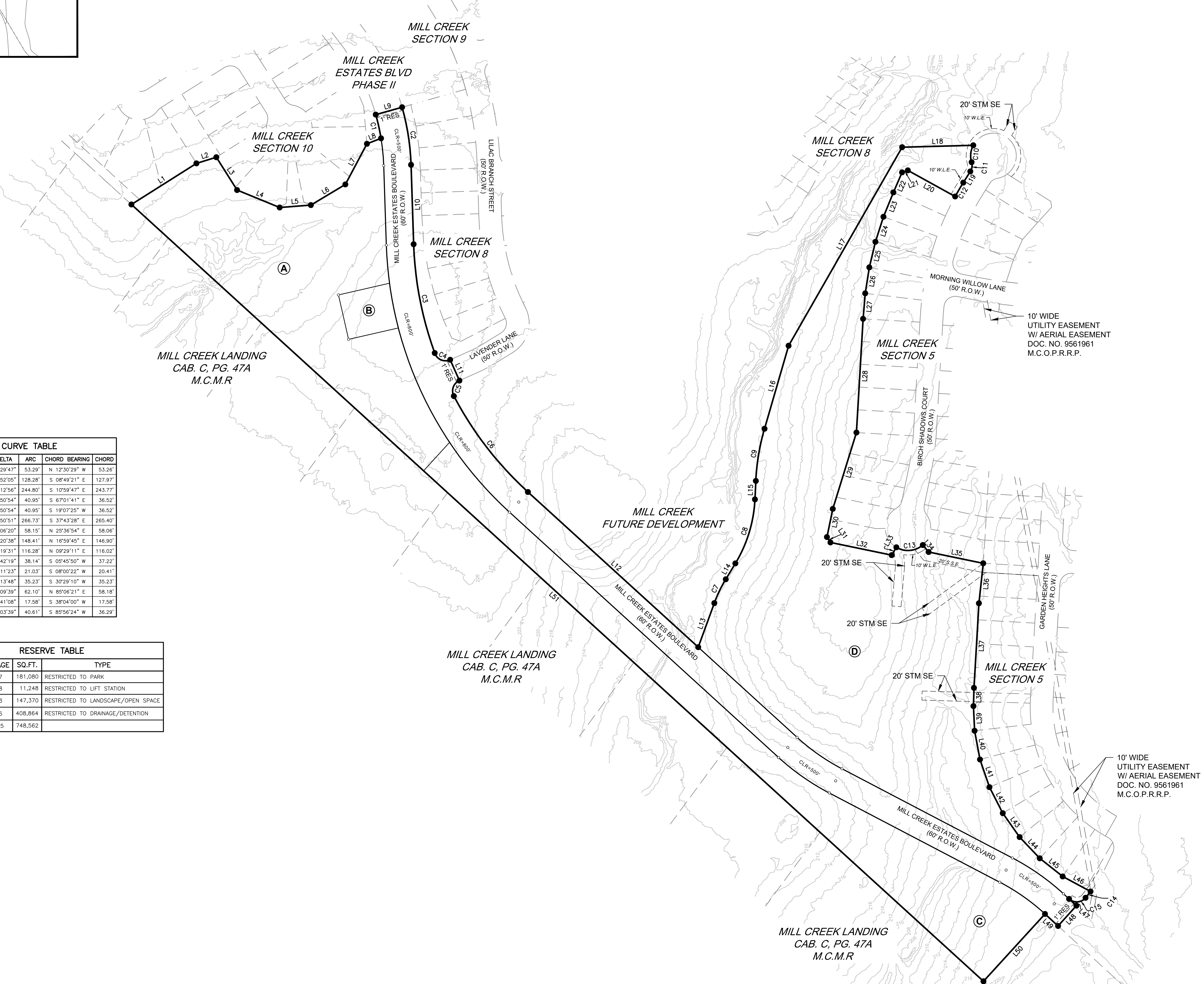
Vicinity Map  
1 inch = 1/2 mile

- GENERAL NOTES:**
- "F" RES. INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE BOUNDARY LINES ARE NOT SHOWN. THE CONDITION OF EACH RESERVE IS SHOWN IN THE ALIQUOT PROPERTY IS SUBDIVISION AS RECORDED IN THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THEREON SHALL REVERT TO AND REMAIN IN THE RESERVATION, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
  - ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
  - ALL STREET INTERSECTION RIGHT-OF-WAY RETURN EACH ARE 25 FEET UNLESS OTHERWISE NOTED.
  - ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CONC. AND OTHER STREETS WITH STYUM SEWER.
  - ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
  - LOTS BACKING OR BOUNDING MILL CREEK RD. ARE HEREBY DENIED DIRECT DRIVEWAY ACCESS TO AND FROM AFORESAID STREET.
  - SINGLE FAMILY RESIDENTIAL SHALL BEAR THE BURDEN OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 800 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT OR ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
  - EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

LINE	BEARING	DISTANCE
L1	N 6°41'38" E	168.86'
L2	N 72°56'57" E	45.61'
L3	S 32°18'22" E	85.12'
L4	S 67°42'27" E	101.09'
L5	N 80°32'51" E	68.71'
L6	N 50°01'08" E	88.14'
L7	N 28°00'56" E	100.94'
L8	N 68°47'30" E	33.18'
L9	N 7°41'37" E	60.00'
L10	S 01°52'18" E	174.32'
L11	S 23°52'58" E	50.00'
L12	S 42°38'53" E	505.57'
L13	N 20°03'44" E	102.92'
L14	N 31°10'54" E	40.89'
L15	N 02°49'25" E	40.61'
L16	N 18°08'36" E	189.71'
L17	N 29°24'48" E	501.24'
L18	N 88°28'32" E	156.30'
L19	S 32°06'53" W	29.08'
L20	N 61°07'44" W	118.53'
L21	S 71°05'48" W	13.44'
L22	S 23°19'19" W	47.93'
L23	S 22°06'59" W	57.70'
L24	S 17°53'00" W	57.69'
L25	S 13°28'29" W	57.69'
L26	S 09°01'59" W	57.69'
L27	S 04°42'29" W	56.10'
L28	S 03°19'52" W	250.00'
L29	S 17°14'52" W	175.41'
L30	S 11°43'14" W	63.12'
L31	S 3°16'46" E	14.14'
L32	S 78°16'46" E	137.25'
L33	N 30°41'10" E	20.00'
L34	S 40°28'29" E	20.00'
L35	S 78°16'46" E	122.26'
L36	S 08°11'37" E	88.22'
L37	S 03°19'52" W	186.04'
L38	S 01°33'09" W	39.97'
L39	S 02°32'30" E	54.22'
L40	S 10°42'15" E	64.15'
L41	S 18°54'46" E	64.15'
L42	S 27°04'18" E	64.15'
L43	S 38°14'49" E	64.15'
L44	S 43°25'20" E	64.15'
L45	S 51°30'52" E	64.15'
L46	S 61°42'19" E	69.44'
L47	S 67°51'46" E	21.78'
L48	S 82°03'00" W	60.06'
L49	N 47°31'58" W	38.97'
L50	S 42°26'04" W	199.95'
L51	N 47°38'53" W	253.18'

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	470.00'	92°24'17"	53.23'	N 12°32'28" E	53.20'
C2	530.00'	135°23'55"	128.28'	S 08°49'21" E	127.97'
C3	770.00'	181°12'56"	244.80'	S 10°59'47" E	243.77'
C4	25.00'	93°50'54"	40.90'	S 67°01'41" E	36.52'
C5	25.00'	93°50'54"	40.90'	S 10°01'25" W	36.52'
C6	770.00'	181°12'56"	244.73'	S 37°43'28" E	245.40'
C7	300.00'	113°08'20"	58.12'	N 22°36'54" E	58.06'
C8	300.00'	282°02'38"	148.41'	N 18°59'45" E	146.80'
C9	500.00'	131°19'31"	116.28'	N 09°29'11" E	116.02'
C10	50.00'	42°42'19"	38.14'	S 02°45'50" W	37.22'
C11	25.00'	48°11'25"	21.05'	S 08°00'23" W	20.41'
C12	625.00'	313°46'37"	35.23'	S 30°29'10" W	35.23'
C13	50.00'	71°09'59"	62.10'	N 80°06'21" E	58.18'
C14	375.00'	2°41'58"	17.58'	S 38°04'00" W	17.58'
C15	25.00'	93°03'39"	40.61'	S 88°58'24" W	36.29'

RESERVE	ACREAGE	SQ. FT.	TYPE
A	4.157	181,080	RESTRICTED TO PARK
B	0.258	11,248	RESTRICTED TO LIGHT STATION
C	3.383	147,370	RESTRICTED TO LANDSCAPE/OPEN SPACE
D	9.386	408,864	RESTRICTED TO DRAINAGE/DETENTION
TOTAL	17.185	748,562	



- LEGEND**
- RES. INDICATES RESERVE
  - B.L. INDICATES BUILDING LINE
  - U.E. INDICATES UTILITY EASEMENT
  - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
  - M.C.O.P.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
  - M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
  - W.L.E. INDICATES WATER LINE EASEMENT
  - STM. S.E. INDICATES STORM SEWER EASEMENT
  - S.S.E. INDICATES SANITARY SEWER EASEMENT
  - R.O.W. INDICATES RIGHT-OF-WAY
  - DOC. NO. INDICATES DOCUMENT NUMBER
  - INDICATES STREETNAME CHANGE

A PRELIMINARY PLAT OF  
**MILL CREEK ESTATES BLVD**  
 STREET DEDICATION PHASE 1

±20.60 ACRES  
 4 RESTRICTED RESERVES IN 2 BLOCKS  
 OUT OF THE  
 JOHN B. RICHARDS SURVEY, A-449  
 CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:  
**FORESTAR (USA) REAL ESTATE GROUP, INC.**  
 3355 W. ALABAMA STE. 1240  
 HOUSTON, TX 77098

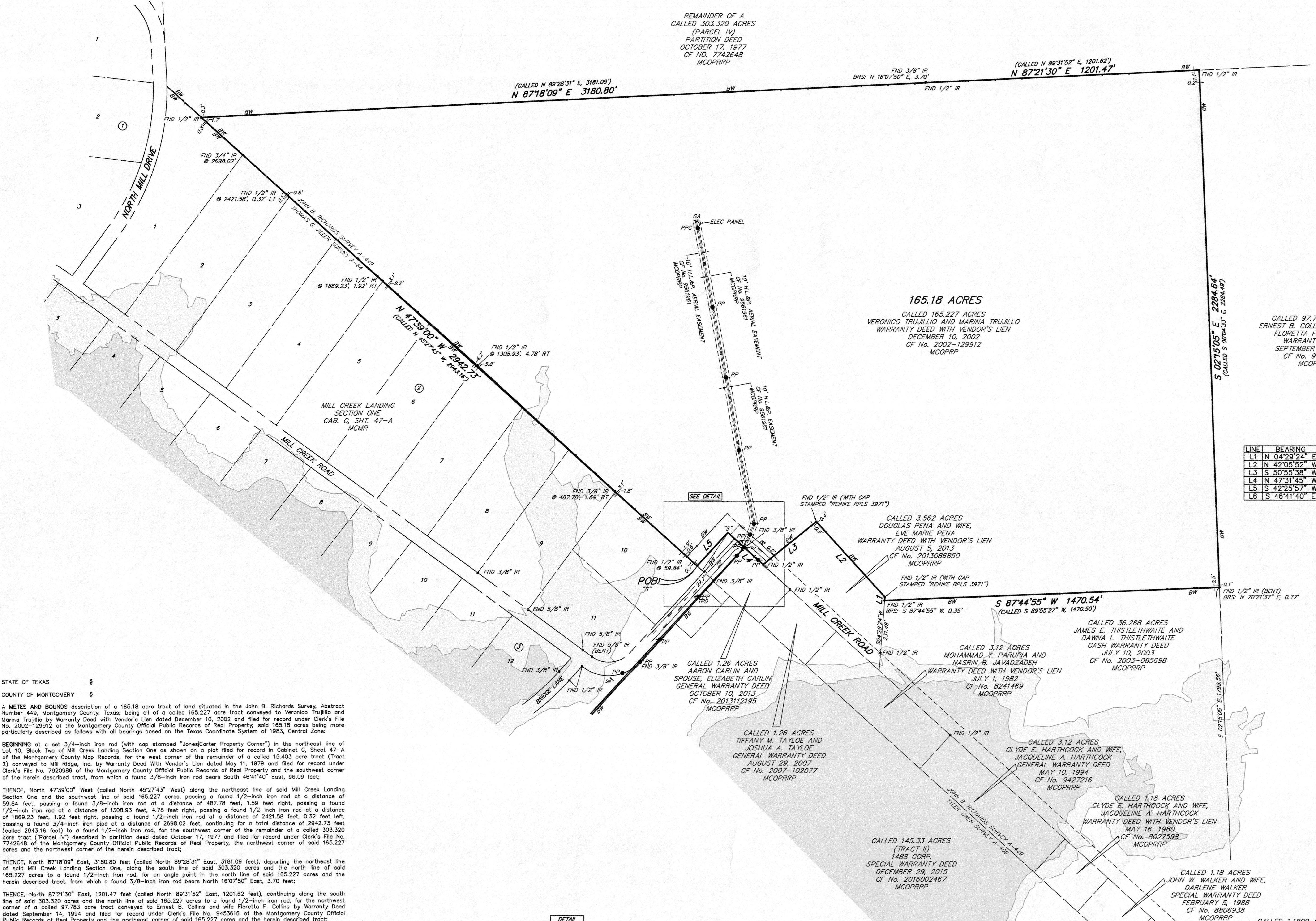
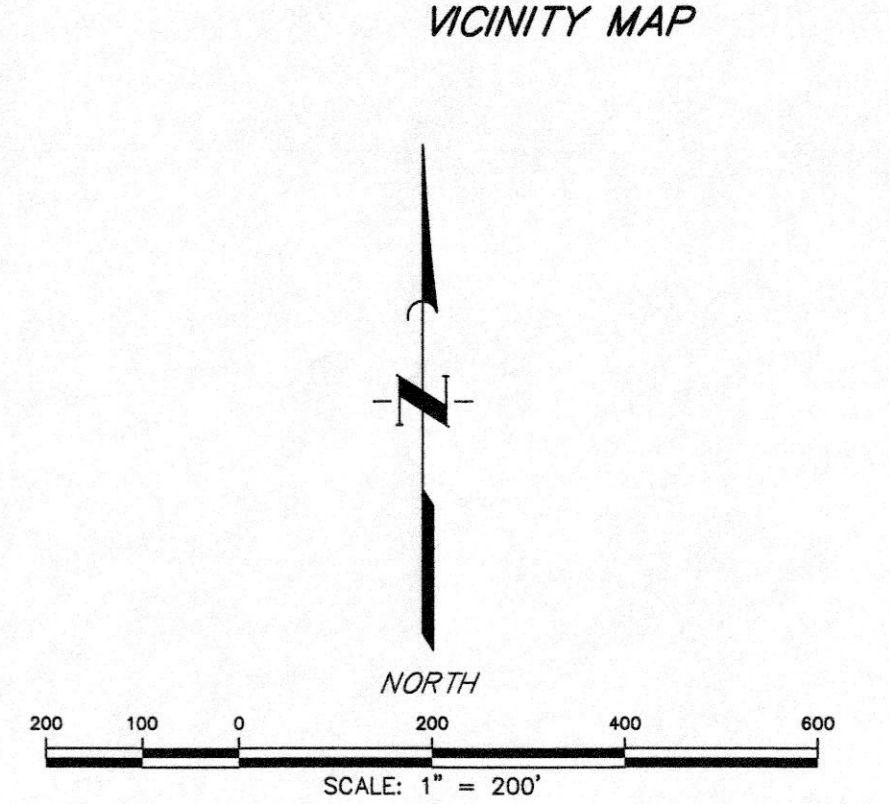
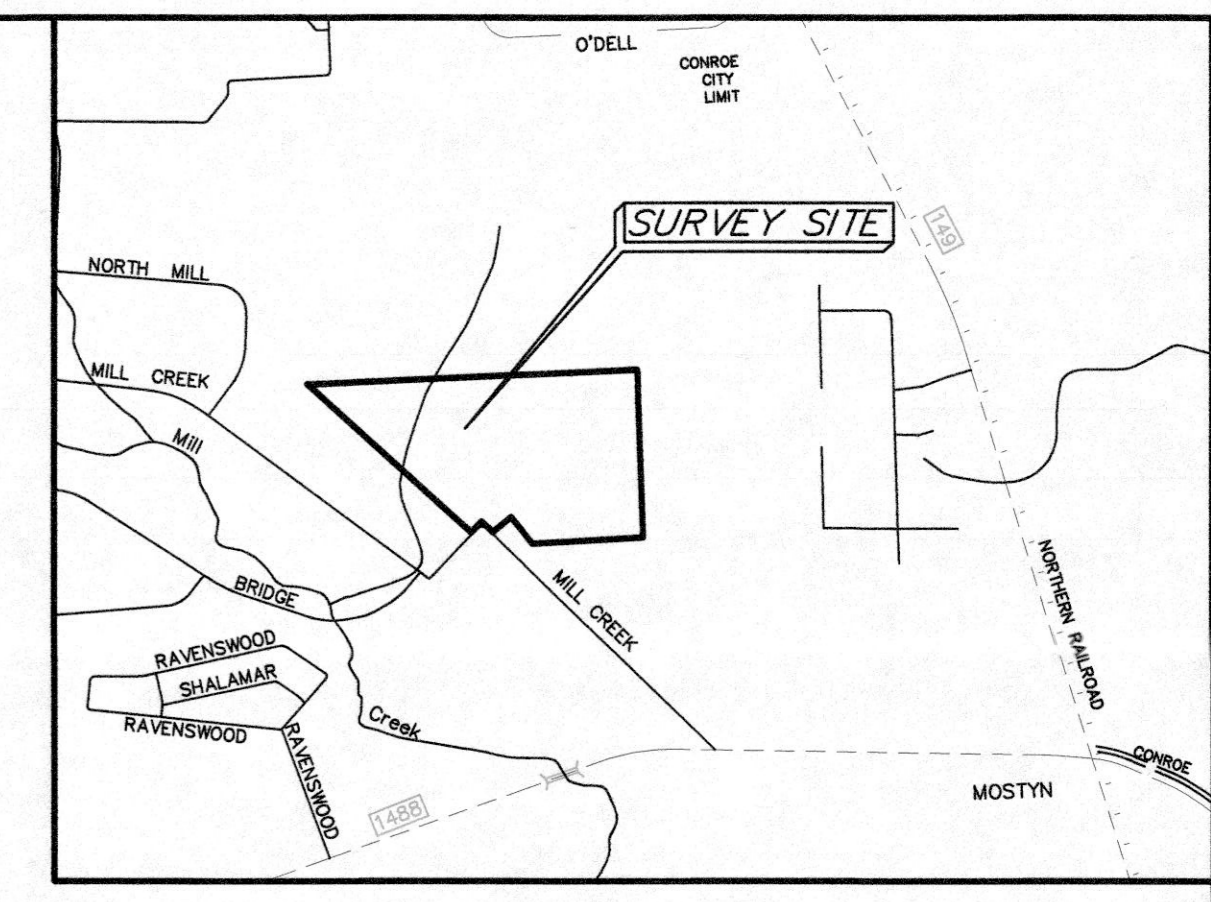
PLANNER:  
**LJA** Planning + Landscape Architecture

3600 W Sam Houston Pkwy S, Suite 600  
 Houston, Texas 77062  
 713.953.5200



DISCLAIMER AND LIMITED WARRANTY  
 THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND SURVEY PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND WHETHER IN WRITING, ORAL, OR BY ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR RELIABILITY TO THE PURPOSES INTENDED THEREIN. NO OTHER FACILITIES, OR OVER OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.





LINE	BEARING	DISTANCE	CALLED	
L1	N 04°29'24\"	E 15.07'	N 06°39'42\"	E 15.10'
L2	N 42°05'52\"	W 448.17'	N 44°00'04\"	W 448.64'
L3	S 50°55'38\"	W 300.42'	S 53°10'21\"	W 300.79'
L4	N 47°31'45\"	W 210.02'	N 45°26'45\"	W 210.02'
L5	S 42°25'57\"	W 199.95'	S 44°30'57\"	W 199.90'
L6	S 46°41'40\"	E 96.09'		

STATE OF TEXAS  
 COUNTY OF MONTGOMERY

A METES AND BOUNDS description of a 165.18 acre tract of land situated in the John B. Richards Survey, Abstract Number 449, Montgomery County, Texas, being all of a called 165.227 acre tract conveyed to Veronica Trujillo and Marina Trujillo by Warranty Deed with Vendor's Lien dated December 10, 2002 and filed for record under Clerk's File No. 2002-129912 of the Montgomery County Official Public Records of Real Property, said 165.18 acres being more particularly described as follows with all bearings based on the Texas Coordinate System of 1983, Central Zone:

**BEGINNING** at a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner") in the northeast line of Lot 10, Block Two of Mill Creek Landing Section One as shown on a plat filed for record in Cabinet C, Sheet 47-14 of the Montgomery County Map Records, for the west corner of the remainder of a called 15.403 acre tract (Tract 2) conveyed to Mill Ridge, Inc. by Warranty Deed With Vendor's Lien dated May 11, 1979 and filed for record under Clerk's File No. 7920986 of the Montgomery County Official Public Records of Real Property and the southwest corner of the herein described tract, from which a found 3/8-inch iron rod bears South 46°41'40" East, 96.09 feet;

**THENCE** North 47°39'00" West (called North 45°27'43" West) along the northeast line of said Mill Creek Landing Section One and the southwest line of said 165.227 acres, passing a found 1/2-inch iron rod at a distance of 59.84 feet, passing a found 3/8-inch iron rod at a distance of 487.78 feet, 1.59 feet right, passing a found 1/2-inch iron rod at a distance of 1308.93 feet, 4.78 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 1/2-inch iron rod at a distance of 1869.23 feet, 1.92 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 3/4-inch iron pipe at a distance of 2698.02 feet, continuing for a total distance of 2942.73 feet (called 2943.16 feet) to a found 1/2-inch iron rod, for the southwest corner of the remainder of a called 303.320 acre tract (Parcel IV) described in partition deed dated October 17, 1977 and filed for record under Clerk's File No. 7742848 of the Montgomery County Official Public Records of Real Property, the northwest corner of said 165.227 acres and the northeast corner of the herein described tract;

**THENCE** North 87°18'09" East, 3180.80 feet (called North 89°28'31" East, 3181.09 feet), departing the northeast line of said Mill Creek Landing Section One, along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for an angle point in the north line of said 165.227 acres and the herein described tract, from which a found 3/8-inch iron rod bears North 16°07'50" East, 3.70 feet;

**THENCE** North 87°21'30" East, 1201.47 feet (called North 89°31'52" East, 1201.62 feet), continuing along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for the northeast corner of a called 97.783 acre tract conveyed to Ernest B. Collins and wife Floretta F. Collins by Warranty Deed dated September 14, 1994 and filed for record under Clerk's File No. 9453616 of the Montgomery County Official Public Records of Real Property and the northeast corner of said 165.227 acres and the herein described tract;

**THENCE** North 02°15'05" East, 2284.64 feet (called South 00°04'33" East, 2284.49 feet), departing the south line of said 303.320 acres, along the west line of said 97.783 acres and the east line of said 165.227 acres to a point, for the northeast corner of a called 36.288 acre tract conveyed to James E. Thistlethwaite and wife, Dawnna L. Thistlethwaite by Cash Warranty Deed dated July 10, 2003 and filed for record under Clerk's File No. 2003-085698 of the Montgomery County Official Public Records of Real Property and the southeast corner of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 02°15'05" East, 1799.56 feet;

**THENCE** South 87°44'55" West, 1470.54 feet (called South 89°55'27" West, 1470.50 feet), departing the west line of said 97.783 acres, along the north line of said 36.288 acres and the south line of said 165.227 acres to a point in the east line of a called 3.562 acre tract conveyed to Douglas Pena and wife, Eve Marie Pena by Warranty Deed with Vendor's Lien dated August 5, 2013 and filed for record under Clerk's File No. 2013086850 of the Montgomery County Official Public Records of Real Property, for the northwest corner of said 36.288 acres and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod bears South 87°44'55" West, 0.35 feet and a found 1/2-inch iron rod bears South 04°29'24" West, 231.48 feet;

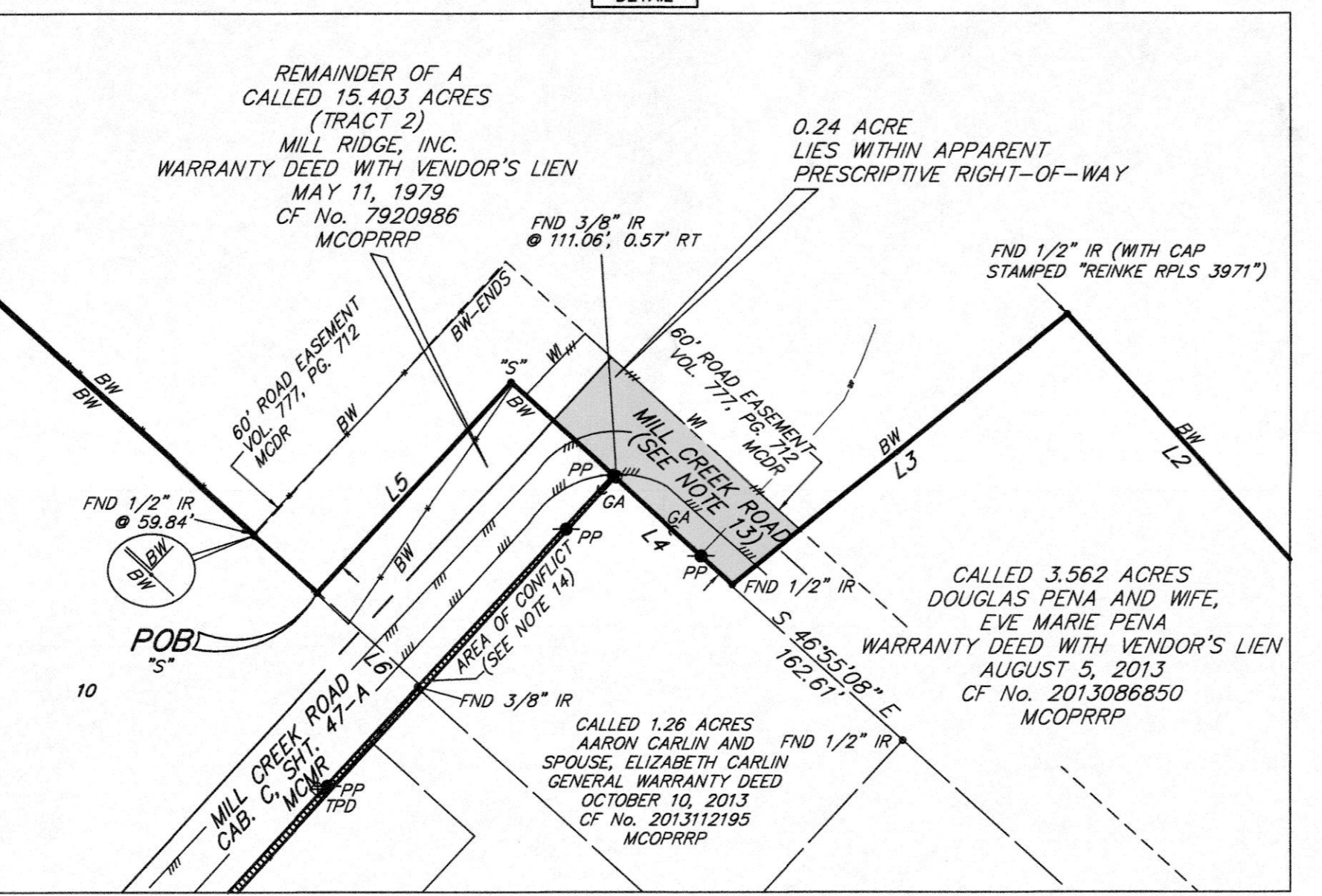
**THENCE** North 04°29'24" East, 15.07 feet (called North 06°39'42" East, 15.10 feet), along the east line of said 3.562 acre and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** North 42°05'52" West, 448.17 feet (called North 40°00'04" West, 448.64 feet) along the northeast line of said 3.562 acres and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

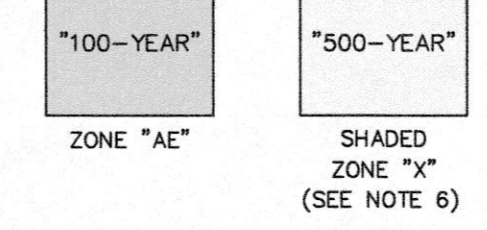
**THENCE** South 50°55'38" West, 300.42 feet (called South 53°10'21" West, 300.79 feet), along the northeast line of a called 1.26 acre tract conveyed to Aaron Carlin and spouse, Elizabeth Carlin by General Warranty Deed dated October 10, 2013 and filed for record under Clerk's File No. 2013112195 of the Montgomery County Official Public Records of Real Property, for the west corner of said 3.562 acre and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod bears South 46°55'08" East, 162.61 feet;

**THENCE** North 47°31'45" West (called North 45°26'45" West), along the northeast line of said 1.26 acres and continuing along the south line of said 165.227 acres, passing a found 3/8-inch iron rod at a distance of 111.06 feet, 0.57 feet right and continuing along the northeast line of said 1.26 acres and the northeast line of said 15.403 acres for a total distance of 210.02 feet to a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner"), for the north corner of said 15.403 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** South 42°25'57" West, 199.95 feet along the northwest line of said 15.403 acres and continuing along the south line of said 165.227 acres to the POINT OF BEGINNING, CONTAINING 165.18 acres of land in Montgomery County, Texas.



- LEGEND**
- BW BARBED WIRE FENCE
  - CF No. CLERK'S FILE NUMBER
  - CAB CABINET
  - FND FOUND
  - GA GUY ANCHOR
  - HL HOUSTON LIGHTING & POWER
  - IR IRON ROD
  - IP IRON PIPE
  - LT LEFT
  - MCMR MONTGOMERY COUNTY MAP RECORDS
  - MCOPRRP MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
  - POB POINT OF BEGINNING
  - PP POWER POLE
  - PRC POWER POLE WITH DOWN CONDUIT
  - RT RIGHT
  - SN SIGN
  - S" SET 3/4-INCH IRON ROD (WITH CAP STAMPED "JONESCARTER PROPERTY CORNER")
  - SHT SHEET
  - TPD TELEPHONE PEDESTAL
  - W WRIGHT IRON FENCE
  - OVERHEAD POWER



GROSS ACREAGE = 165.18 ACRES  
 ACREAGE IN APPARENT PRESCRIPTIVE RIGHT-OF-WAY = 0.24 ACRE  
 TOTAL NET ACREAGE = 165.94 ACRES



Subject to the General Notes shown:  
 To: LPUISA, Inc., Veronica Trujillo, Marina Trujillo, Fidelity National Title Insurance Company and Charter Title Company.  
 We, JonesCarter, acting by and through Russell B. Tarasiewicz, a Registered Professional Land Surveyor, hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.  
 Surveyed: October 10, 2016

**LAND TITLE SURVEY OF 165.18 ACRES OUT OF THE JOHN B. RICHARDS SURVEY, A-449 MONTGOMERY COUNTY, TEXAS OCTOBER 2016**



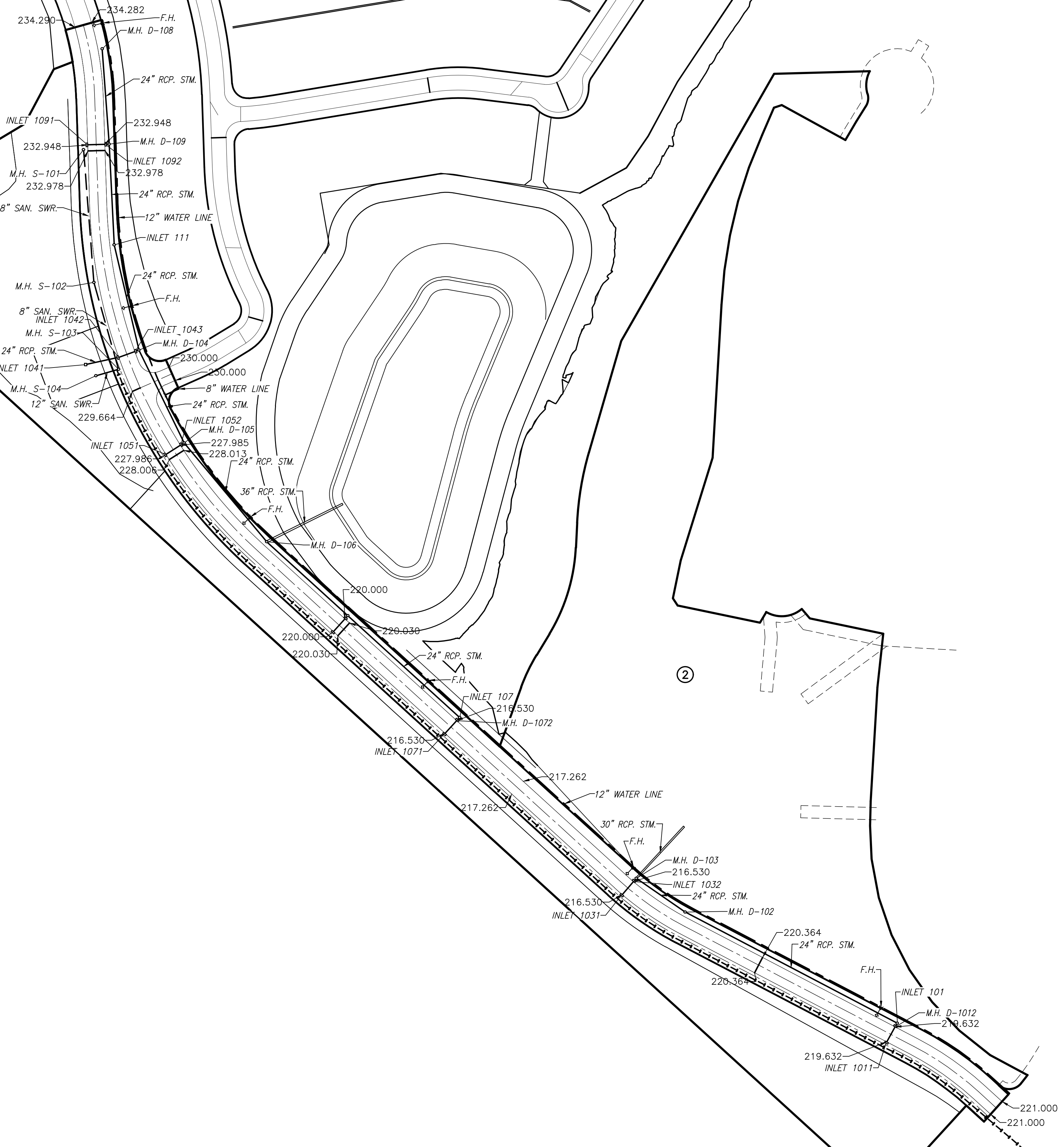
COTTON SURVEYING DIVISION  
 Texas Board of Professional Land Surveying Registration No. 15046106  
 8700 New Trails Drive, Suite 200 - The Woodlands, Texas 77381  
 281.363.4039





①

②



MCEB Ph 1  
1" = 100'



# Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

## CONTACT INFORMATION

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### Applicant

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

### Architect (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

### Property Owner (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

### Engineer/Land Surveyor (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

**PROPERTY PROFILE**

---

Property ID # \_\_\_\_\_

Legal Description \_\_\_\_\_  
(Subdivision) (Lot) (Block)

Current Zoning \_\_\_\_\_

Present Use of Property

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Proposed Use of the Property

---

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Total Area of Site

---

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1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

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2. Description of proposed property change, including lot numbers, name, etc.

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\*\*\* **NOTE:** The City of Magnolia will return the Preliminary Plat documents to the applicant as administratively incomplete if the following are not attached for review:

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat Application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- Onelines for all utilities in the project, including the utilities that require easements OR
- An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Preliminary approval from Montgomery County Emergency Communication District
- n/a Traffic Study, if necessary
- If any of the items are not available for any reason, provide a description and the reason why they were not provided: \_\_\_\_\_
- \_\_\_\_\_

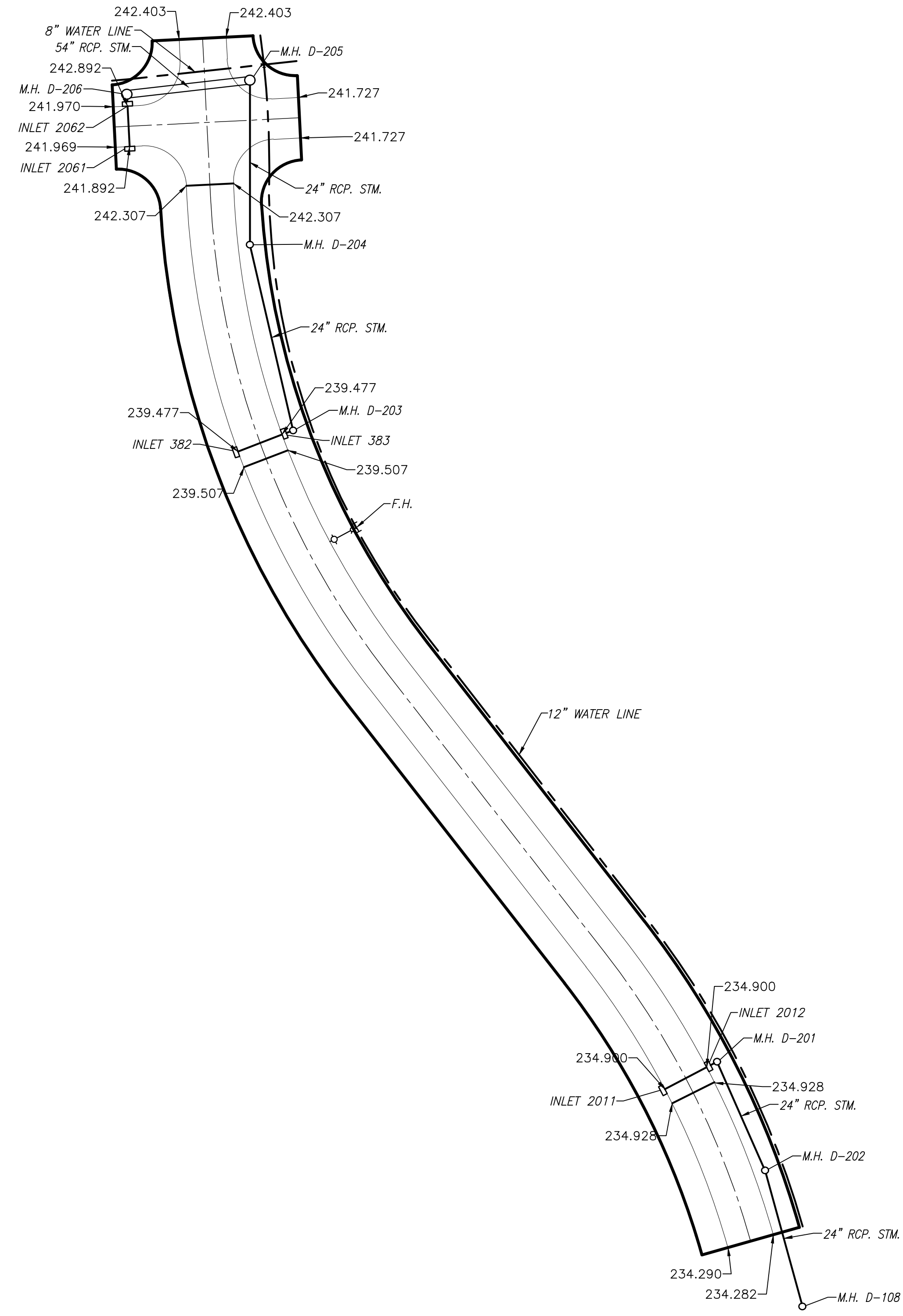
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#### Complete List of Items Requested

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- n/a Site plan is approved or in the process of approval through the Planning and Zoning Commission and City Council
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- n/a  Proposed site complies with zoning
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)

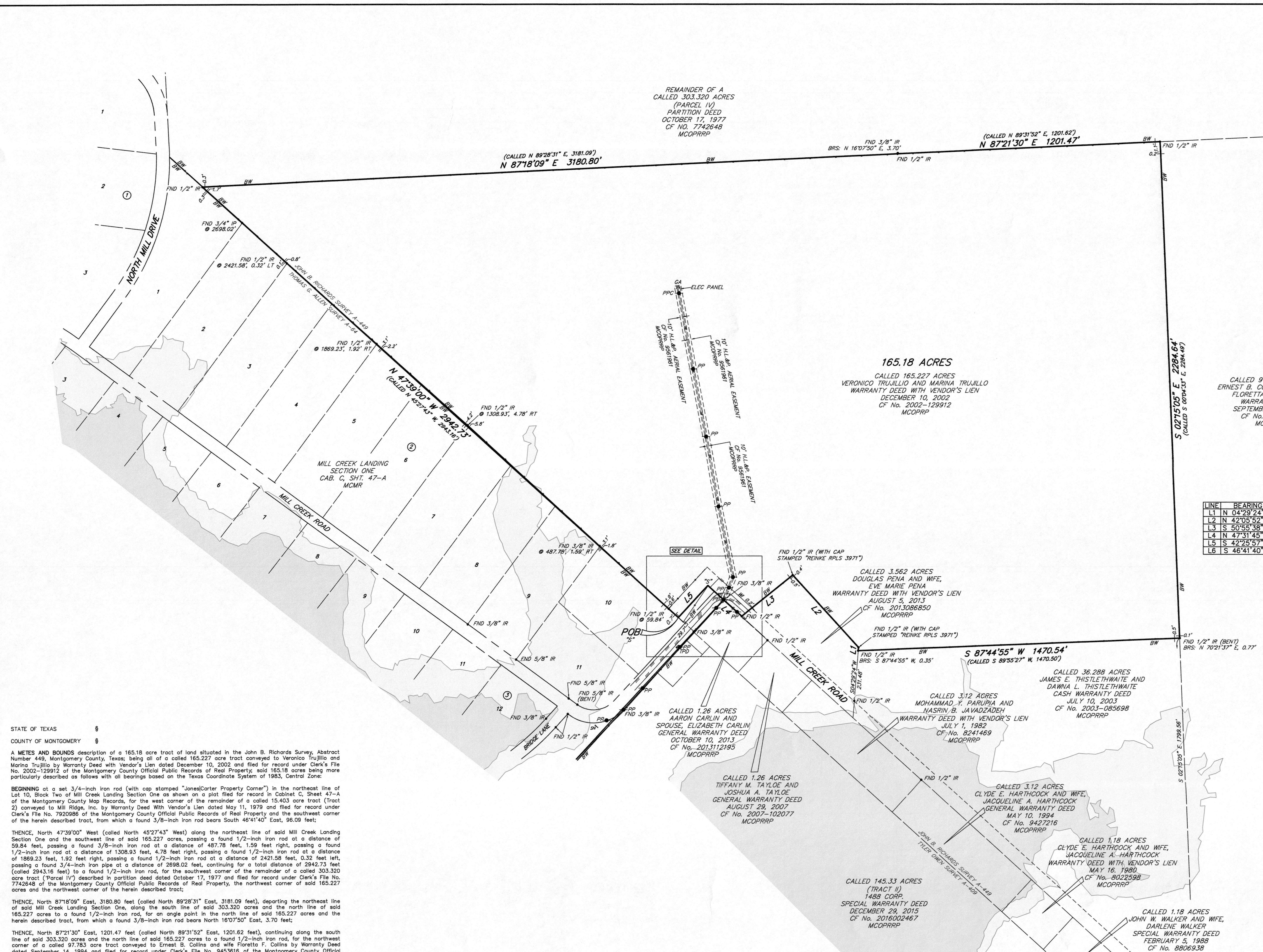
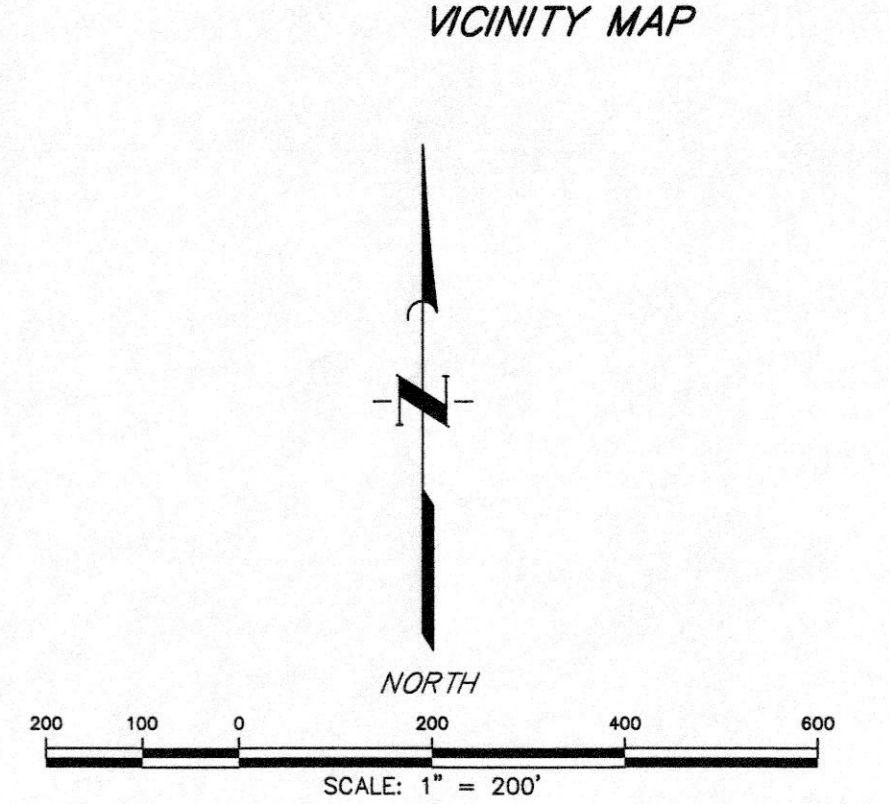
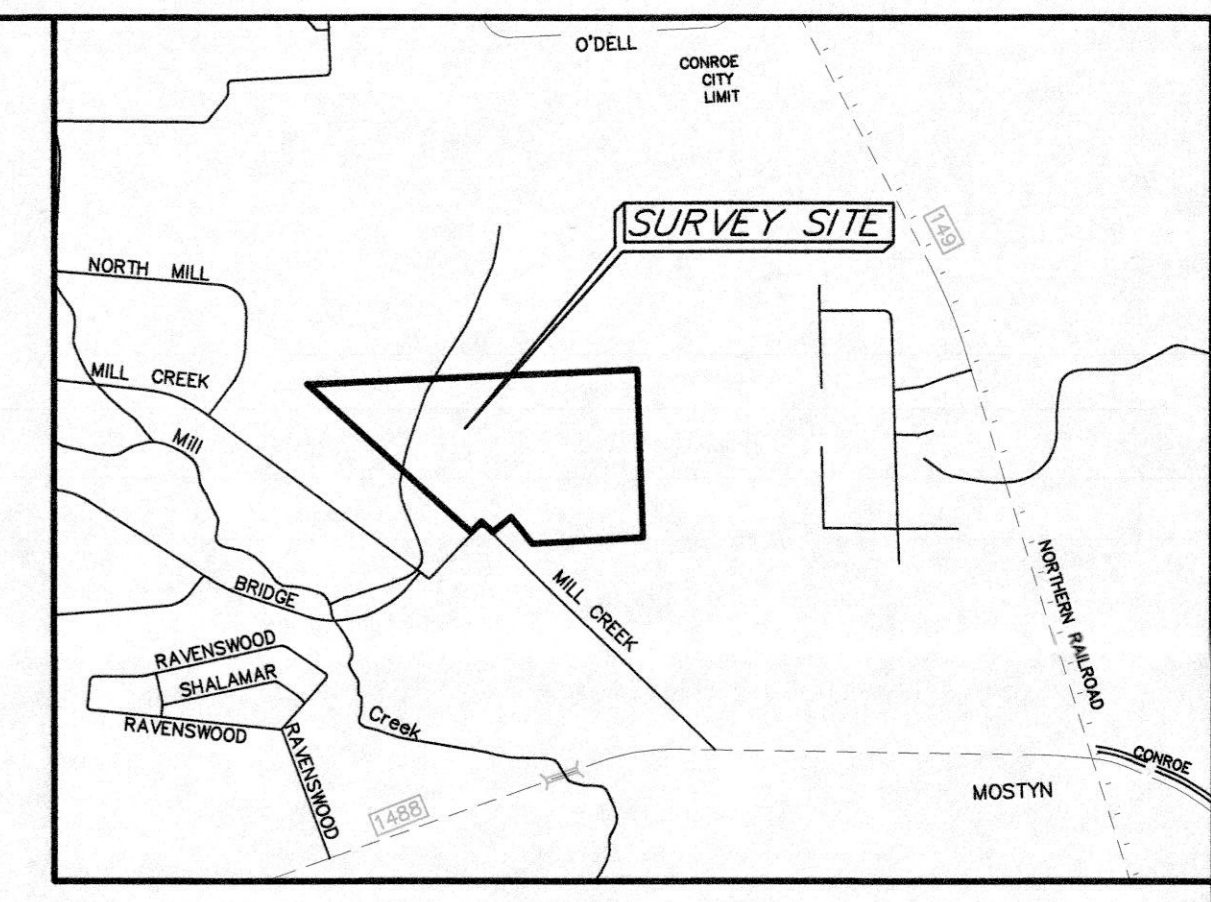
Tabulations that include:

- Number of lots in the subdivision
- Size of the parcel
- Total acreage if multiple parcels
- Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (include all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths, and bearings of tangents) of:
  - Right-of-ways, streets, alleys, railroads, lots, open spaces, parks, protected natural resources, and buffers
  - Utility and access easements
  - Private access easements
- Names of proposed streets shown
- Streets that extend existing streets shall be assigned the same name as the existing street
- Preliminary approval from Montgomery County Emergency Communication District
- All block indications, lot numbers, and individual areas are designed by numbers or letters numbered consecutively
- Reserves are labeled as A, B C without numbers
- Accurate location, material, type, and description of all permanent control monuments or mean sea level datum provided
- Location and size of proposed parks, playgrounds, civic (including churches) or school sites, or other special uses of the land to be considered for dedication to public use, provided on a separately attached description
- Proposed generalized use of lots (e.g., mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided in a separately attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including the location of proposed culverts and bridge, provided on a separate utility sheet
- Onelines for all utilities in the project, including the utilities that require easements OR
  - An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Easements for water, sanitary, and storm lines
- n/a  If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased.
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study, if necessary
- Lots meet the minimum or maximum requirements for front, interior, side, and rear building lines and setbacks
- Street dedications with the right of way provided
- Required justifications for cul-de-sacs, if proposed
- Development meets
  - open space ratio
  - maximum gross density
  - parkland dedication
  - parking space requirements
- Anticipated timelines for construction of the improvements shall be provided separately on attached description



MCEB Ph 2  
1" = 50'





STATE OF TEXAS  
 COUNTY OF MONTGOMERY

A METES AND BOUNDS description of a 165.18 acre tract of land situated in the John B. Richards Survey, Abstract Number 449, Montgomery County, Texas, being all of a called 165.227 acre tract conveyed to Veronica Trujillo and Marina Trujillo by Warranty Deed with Vendor's Lien dated December 10, 2002 and filed for record under Clerk's File No. 2002-129912 of the Montgomery County Official Public Records of Real Property, said 165.18 acres being more particularly described as follows with all bearings based on the Texas Coordinate System of 1983, Central Zone:

**BEGINNING** at a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner") in the northeast line of Lot 10, Block Two of Mill Creek Landing Section One as shown on a plat filed for record in Cabinet C, Sheet 47-14 of the Montgomery County Map Records, for the west corner of the remainder of a called 15.403 acre tract (Tract 2) conveyed to Mill Ridge, Inc. by Warranty Deed With Vendor's Lien dated May 11, 1979 and filed for record under Clerk's File No. 7920986 of the Montgomery County Official Public Records of Real Property and the southwest corner of the herein described tract, from which a found 3/8-inch iron rod bears South 46°41'40" East, 96.09 feet;

**THENCE** North 47°39'00" West (called North 45°27'43" West) along the northeast line of said Mill Creek Landing Section One and the southwest line of said 165.227 acres, passing a found 1/2-inch iron rod at a distance of 59.84 feet, passing a found 3/8-inch iron rod at a distance of 487.78 feet, 1.59 feet right, passing a found 1/2-inch iron rod at a distance of 1308.93 feet, 4.78 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 1/2-inch iron rod at a distance of 1869.23 feet, 1.92 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 3/4-inch iron pipe at a distance of 2698.02 feet, continuing for a total distance of 2942.73 feet (called 2943.16 feet) to a found 1/2-inch iron rod, for the southwest corner of the remainder of a called 303.320 acre tract (Parcel IV) described in partition deed dated October 17, 1977 and filed for record under Clerk's File No. 7742848 of the Montgomery County Official Public Records of Real Property, the northwest corner of said 165.227 acres and the northeast corner of the herein described tract;

**THENCE** North 87°18'09" East, 3180.80 feet (called North 89°28'31" East, 3181.09 feet), departing the northeast line of said Mill Creek Landing Section One, along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for an angle point in the north line of said 165.227 acres and the herein described tract, from which a found 3/8-inch iron rod bears North 16°07'50" East, 3.70 feet;

**THENCE** North 87°21'30" East, 1201.47 feet (called North 89°31'52" East, 1201.62 feet), continuing along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for the northeast corner of a called 97.783 acre tract conveyed to Ernest B. Collins and wife Floretta F. Collins by Warranty Deed dated September 14, 1994 and filed for record under Clerk's File No. 9453616 of the Montgomery County Official Public Records of Real Property and the northeast corner of said 165.227 acres and the herein described tract;

**THENCE** North 02°15'05" East, 2284.64 feet (called South 00°04'33" East, 2284.49 feet), departing the south line of said 303.320 acres, along the west line of said 97.783 acres and the east line of said 165.227 acres to a point, for the northeast corner of a called 36.288 acre tract conveyed to James E. Thistlethwaite and wife, Dawnna L. Thistlethwaite by Cash Warranty Deed dated July 10, 2003 and filed for record under Clerk's File No. 2003-085698 of the Montgomery County Official Public Records of Real Property and the southeast corner of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 02°15'05" East, 1799.96 feet;

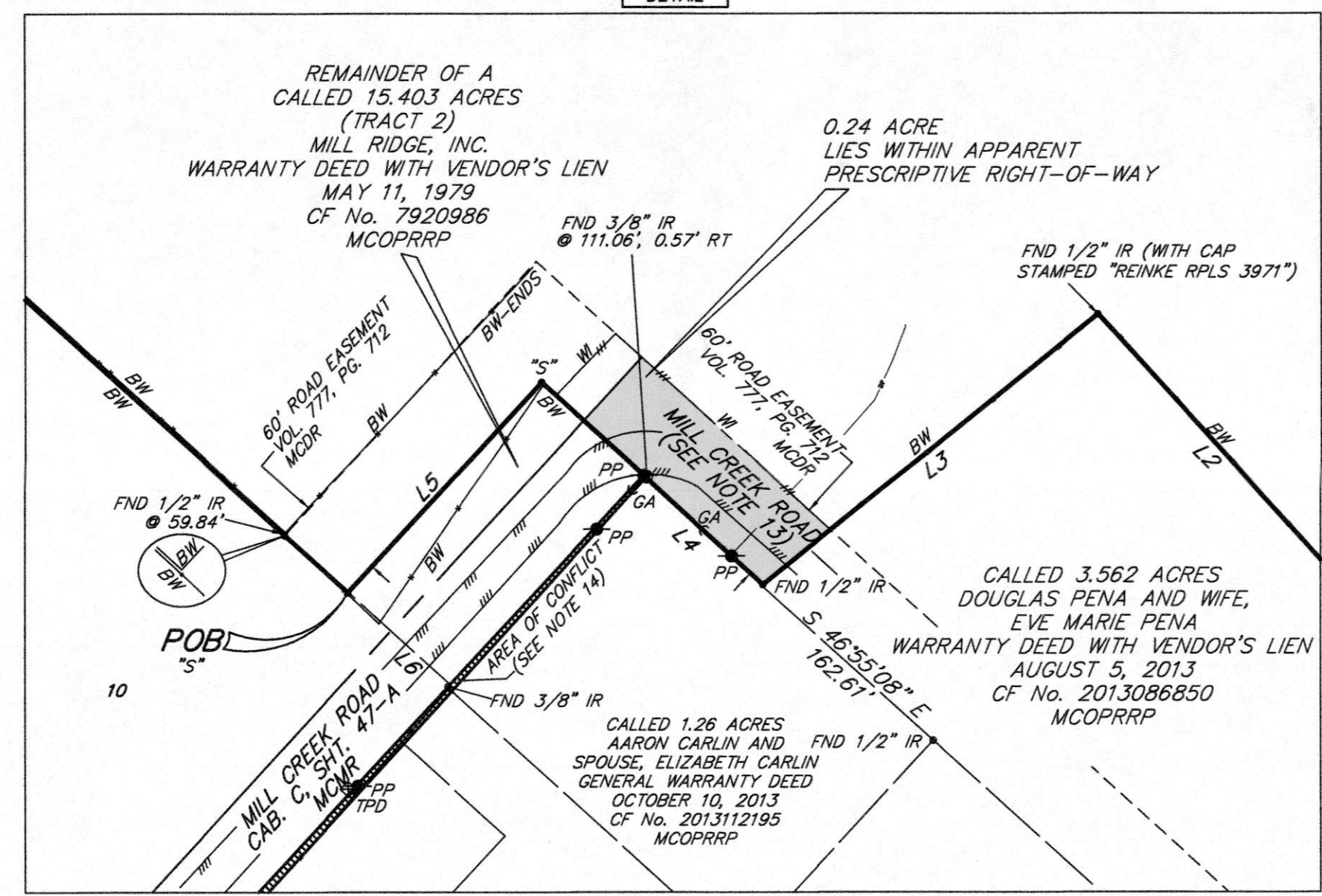
**THENCE** South 87°44'55" West, 1470.54 feet (called South 89°55'27" West, 1470.50 feet), departing the west line of said 97.783 acres, along the north line of said 36.288 acres and the south line of said 165.227 acres to a point in the east line of a called 3.562 acre tract conveyed to Douglas Pena and wife, Eve Marie Pena by Warranty Deed with Vendor's Lien dated August 5, 2013 and filed for record under Clerk's File No. 2013086850 of the Montgomery County Official Public Records of Real Property, for the northwest corner of said 36.288 acres and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 87°44'55" West, 0.35 feet and a found 1/2-inch iron rod bears South 04°29'24" West, 231.48 feet;

**THENCE** North 04°29'24" East, 15.07 feet (called North 06°39'42" East, 15.10 feet), along the east line of said 3.562 acre and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** North 42°05'52" West, 448.17 feet (called North 40°00'04" West, 448.64 feet) along the northeast line of said 3.562 acres and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod in the northeast line of a called 1.26 acre tract conveyed to Aaron Carlin and spouse, Elizabeth Carlin by General Warranty Deed dated October 10, 2013 and filed for record under Clerk's File No. 2013112195 of the Montgomery County Official Public Records of Real Property, for the west corner of said 3.562 acre and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod bears South 46°55'08" East, 162.61 feet;

**THENCE** North 47°31'45" West (called North 45°26'45" West), along the northeast line of said 1.26 acres and continuing along the south line of said 165.227 acres, passing a found 3/8-inch iron rod at a distance of 111.06 feet, 0.57 feet right and continuing along the northeast line of said 1.26 acres and the northeast line of said 15.403 acres for a total distance of 210.02 feet to a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner"), for the north corner of said 15.403 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** South 42°25'57" West, 199.95 feet along the northwest line of said 15.403 acres and continuing along the south line of said 165.227 acres to the POINT OF BEGINNING, CONTAINING 165.18 acres of land in Montgomery County, Texas.



- LEGEND**
- BW BARBED WIRE FENCE
  - CF No. CLERK'S FILE NUMBER
  - CAB CABINET
  - FND FOUND
  - GA GUY ANCHOR
  - HL HOUSTON LIGHTING & POWER
  - IR IRON ROD
  - IP IRON PIPE
  - LT LEFT
  - MCMR MONTGOMERY COUNTY MAP RECORDS
  - MCOPRRP MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
  - POB POINT OF BEGINNING
  - PP POWER POLE
  - PRC POWER POLE WITH DOWN CONDUIT
  - RT RIGHT
  - SN SIGN
  - S" SET 3/4-INCH IRON ROD (WITH CAP STAMPED "JONESCARTER PROPERTY CORNER")
  - SHT SHEET
  - TPD TELEPHONE PEDESTAL
  - W WRIGHT IRON FENCE
  - OVERHEAD POWER

LINE	BEARING	DISTANCE	CALLED
L1	N 04°29'24" E	15.07'	N 06°39'42" E 15.10'
L2	N 42°05'52" W	448.17'	N 44°00'04" W 448.64'
L3	S 50°55'38" W	300.42'	S 53°10'21" W 300.79'
L4	N 47°31'45" W	210.02'	N 45°26'45" W 210.02'
L5	S 42°25'57" W	199.95'	S 44°30'57" W 199.90'
L6	S 46°41'40" E	96.09'	

- GENERAL NOTES:**
- Reference Commitment for Title Insurance issued by Fidelity National Title Insurance Company, counterpaneled by Charter Title Company, G.F. No. 1013004358, having an effective date of December 16, 2015 and an issue date of December 29, 2015. No further research for easements or encumbrances was performed by JonesCarter.
  - According to Item No. 10a of Schedule B of said Commitment for Title Insurance, the tract is subject to terms, conditions and stipulations of that certain surface application on-site wastewater treatment system filed for record under Clerk's File No. 2009-010818 of the Montgomery County Official Public Records of Real Property.
  - Development of the subject tract may require submittal, approval, and/or recording of a plat or replat. Rules and regulations are established by the governmental agency, which has jurisdiction. These rules and regulations may include dedication of setback lines, easements, additional right-of-way, and other matters.
  - Bearings shown hereon are based on the Texas Coordinate System of 1983, Central Zone.
  - This survey does not provide any determination concerning wetlands, fault lines, toxic waste or any other environmental issues. Such matters should be directed by the client or prospective purchaser to an expert consultant.
  - According to Map No. 48339C0480G of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Montgomery County, Texas, dated August 18, 2014, the subject tract is situated within: Shaded Zone "X"; defined as areas determined to be outside the 500-year flood plain; Shaded Zone "X"; defined as areas of 500-year flood; areas of 100-year flood with average depths of less than 1-foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.
  - This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - The location of the flood zone lines shown hereon are based on the geo-referenced shape file obtained from the Federal Emergency Management Agency. JonesCarter assumes no liability as to the accuracy of the flood zone lines.
  - Research for Adjoining Tracts was performed by JonesCarter on October 7, 2016.
  - Fences shown hereon are graphic only, with dimensional ties shown at specific locations where they were physically measured. The fence line may meander between adjacent locations. The dimensions showing the distance between the fence and the property line also indicates which side of the property line the fence is on.
  - The square footage totals as shown hereon are based on the mathematical closure of the courses and distances reflected on this survey. It does not include the tolerances that may be present due to position accuracy of the boundary monuments shown hereon. The square footage shown hereon has an accuracy of ± 719 square feet. This is based on the calculations of area standards and the Manual of Practice for Land Surveying in the State of Texas as published by the Texas Society of Professional Land Surveyors for a 165.18 acre tract of land.
  - The surveyor has not been provided with construction plans showing the location of underground utilities. Underground utilities may exist, which are not shown hereon.
  - This survey has been prepared for the sole purpose of the transaction described in the above referenced Title Commitment and the parties listed thereon. This survey is not to be used for any subsequent transactions.
  - In coordination with the client it was agreed that no interior improvements would be located or shown hereon.
  - The subject tract is encumbered by a paved roadway known as Mill Creek Road and is maintained by Montgomery County. Said roadway lies within a called 60-foot wide easement granted to Barry Kaufman, Trustee by Road Easement dated June 25, 1972 and filed for record under Volume 777, Page 712 of the Montgomery County Deed Records. Mill Creek Road is included in the Road Log maintained by the Montgomery County Engineers Office. The roadway could be considered prescriptive in nature. The hatched area shown hereon is an estimation of the area that might be claimed as prescriptive right-of-way.
  - Area of conflict previously identified by JonesCarter, as shown on Dwg. No. 3635, dated July, 2015.

Subject to the General Notes shown:

To: LPUISA, Inc., Veronica Trujillo, Marina Trujillo, Fidelity National Title Insurance Company and Charter Title Company.

We, JonesCarter, acting by and through Russell B. Tarasiewicz, a Registered Professional Land Surveyor, hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.

Surveyed: October 10, 2016

Russell B. Tarasiewicz  
Registered Professional Land Surveyor  
No. 6575

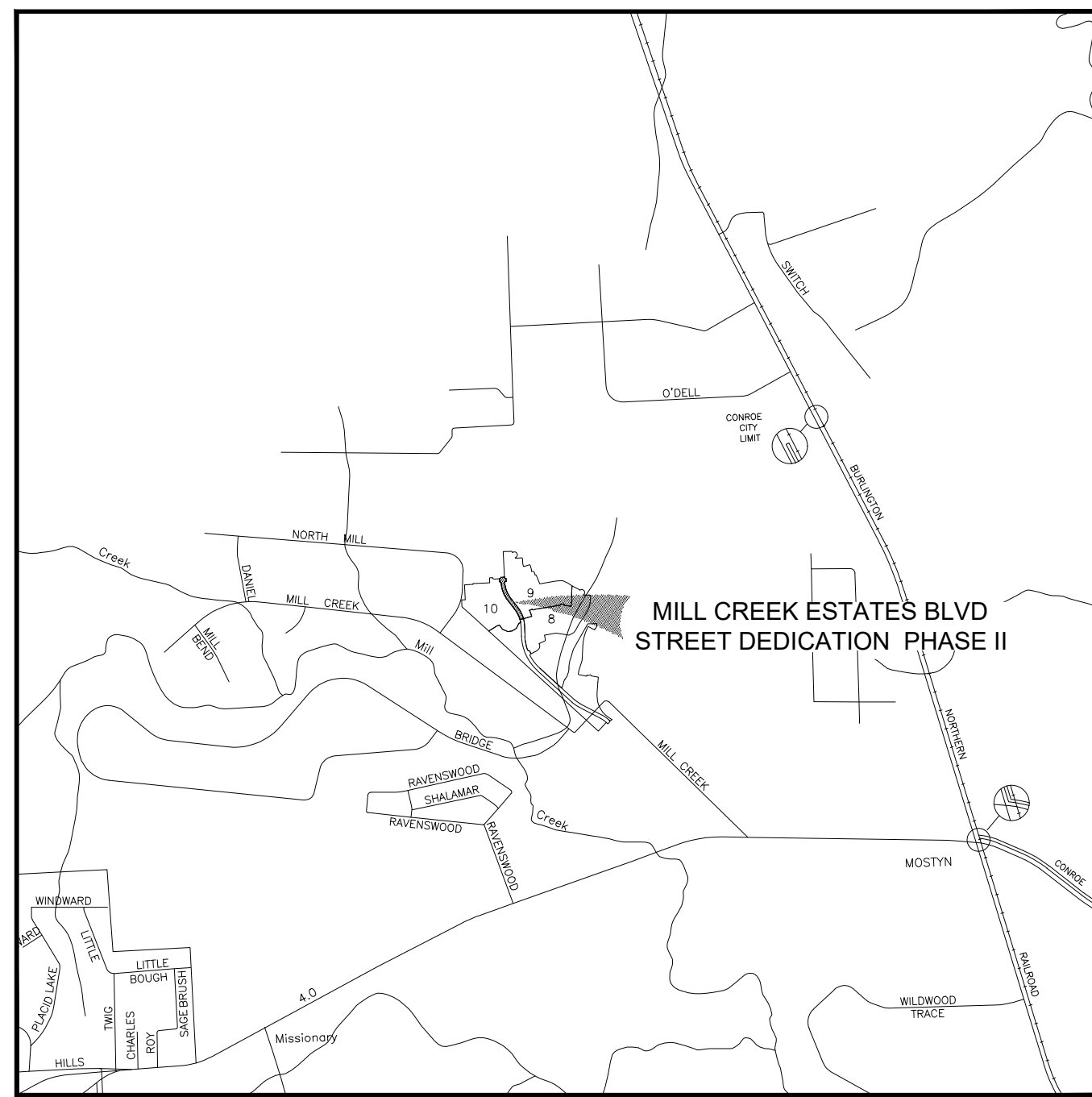
GROSS ACREAGE = 165.18 ACRES  
 ACREAGE IN APPARENT PRESCRIPTIVE RIGHT-OF-WAY = 0.24 ACRE  
 TOTAL NET ACREAGE = 165.94 ACRES

**LAND TITLE SURVEY OF 165.18 ACRES OUT OF THE JOHN B. RICHARDS SURVEY, A-449 MONTGOMERY COUNTY, TEXAS OCTOBER 2016**

**JONES CARTER**

COTTON SURVEYING DIVISION  
 Texas Board of Professional Land Surveying Registration No. 15046106  
 8700 New Trails Drive, Suite 200 - The Woodlands, Texas 77381  
 281.363.4039





Vicinity Map  
1 inch = 1/2 mile

MILL CREEK  
FUTURE DEVELOPMENT

MILL CREEK  
SECTION 9

MYRTLE SPRINGS ROAD  
(50' R.O.W.)

P.O.B.  
X:3754055.00  
Y:10082496.43

FLORAL BLOOM ROAD  
(50' R.O.W.)

MILL CREEK  
SECTION 10

MILL CREEK ESTATES BOULEVARD  
(60' R.O.W.)

LILAC BRANCH STREET  
(50' R.O.W.)

MILL CREEK  
SECTION 9

MILL CREEK  
SECTION 8

MILL CREEK  
ESTATES  
BLVD PH. I

- GENERAL NOTES:
- "1' RES." INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACREAGE TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
  - ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
  - ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
  - ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
  - ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
  - LOTS BACKING OR SIDING MILL CREEK RD. ARE HEREBY DENIED DIRECT DRIVEWAY ACCESS TO AND FROM AFOREMENTIONED STREET.
  - SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
  - EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

- LEGEND
- RES. INDICATES RESERVE
  - B.L. INDICATES BUILDING LINE
  - U.E. INDICATES UTILITY EASEMENT
  - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
  - M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
  - R.O.W. INDICATES RIGHT-OF-WAY
  - DOC. NO. INDICATES DOCUMENT NUMBER
  - ▲▲ INDICATES STREETNAME CHANGE

LINE	BEARING	DISTANCE
L1	N 87°08'51" E	60.00'
L2	S 02°53'16" E	50.00'
L3	S 37°54'10" E	209.78'
L4	S 74°14'37" W	60.00'
L5	N 37°54'10" W	209.78'
L6	N 02°52'51" W	50.00'

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	25.00'	90°00'00"	39.27'	S 47°51'09" E	35.36'
C2	25.00'	90°40'28"	39.56'	S 41°48'37" W	35.56'
C3	470.00'	34°22'33"	281.99'	S 20°42'53" E	277.78'
C4	530.00'	22°08'47"	204.86'	S 26°49'46" E	203.59'
C5	470.00'	1°27'24"	11.95'	N 16°29'05" W	11.95'
C6	470.00'	20°41'22"	169.72'	N 27°33'28" W	168.80'
C7	530.00'	34°30'34"	319.22'	N 20°38'53" W	314.42'
C8	25.00'	89°27'33"	39.03'	N 48°07'22" W	35.19'
C9	25.00'	90°00'00"	39.27'	N 42°08'51" E	35.36'

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER LJA ENGINEERING, INC. NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED, CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR SUITABILITY TO THE PURPOSES INTENDED, OR ANY UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY PROVIDER. ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.

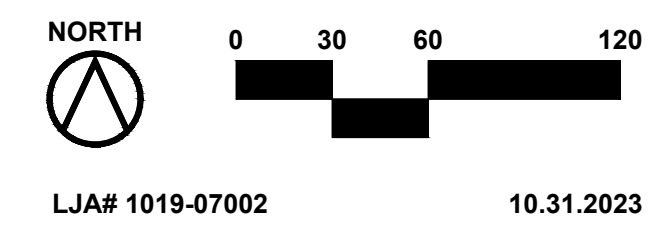
A PRELIMINARY PLAT FOR  
**MILL CREEK ESTATES BLVD**  
STREET DEDICATION PHASE II

±1.18 ACRES  
0 RESTRICTED RESERVES IN 0 BLOCKS

OUT OF THE  
**JOHN B. RICHARDS SURVEY, A-449**  
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:  
**FORESTAR (USA) REAL ESTATE GROUP, INC.**  
3355 W. ALABAMA STE. 1240  
HOUSTON, TX 77098

PLANNER:  
**LJA** Planning +  
Landscape  
Architecture  
3600 W Sam Houston Pkwy S, Suite 600  
Houston, Texas 77042  
713.953.5200



LJA# 1019-07002 10.31.2023



# Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

## CONTACT INFORMATION

---

### Applicant

### Property Owner (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

### Architect (if different)

### Engineer/Land Surveyor (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

**PROPERTY PROFILE**

---

Property ID # \_\_\_\_\_

Legal Description \_\_\_\_\_  
(Subdivision) (Lot) (Block)

Current Zoning \_\_\_\_\_

Present Use of Property

\_\_\_\_\_  
\_\_\_\_\_

Proposed Use of the Property

\_\_\_\_\_  
\_\_\_\_\_

Total Area of Site

\_\_\_\_\_  
\_\_\_\_\_

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Description of proposed property change, including lot numbers, name, etc.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\*\*\* **NOTE:** The City of Magnolia will return the Preliminary Plat documents to the applicant as administratively incomplete if the following are not attached for review:

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat Application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- Onelines for all utilities in the project, including the utilities that require easements OR
- An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Preliminary approval from Montgomery County Emergency Communication District
- n/a Traffic Study, if necessary
- If any of the items are not available for any reason, provide a description and the reason why they were not provided: \_\_\_\_\_
- \_\_\_\_\_

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#### Complete List of Items Requested

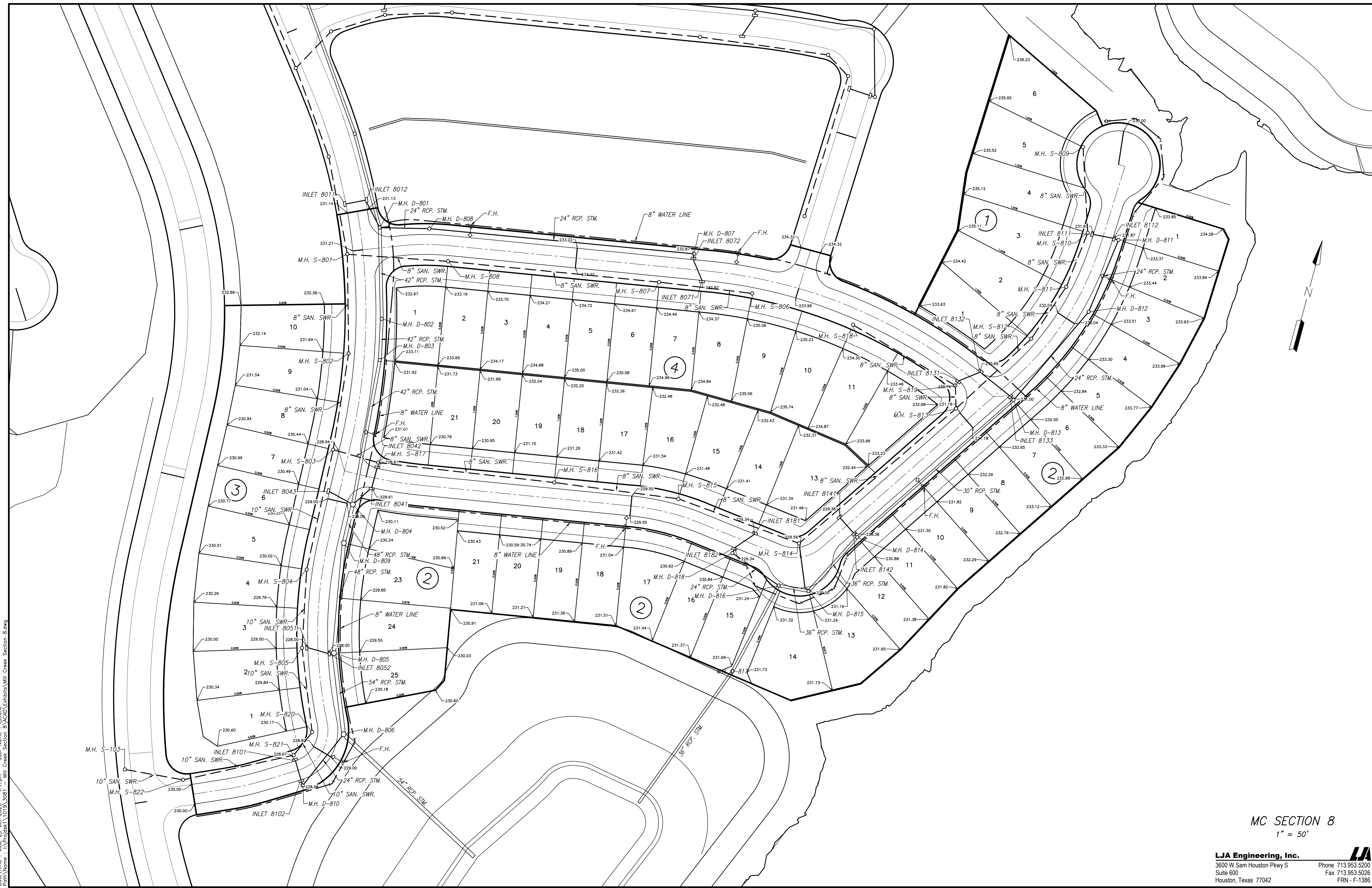
- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- n/a Site plan is approved or in the process of approval through the Planning and Zoning Commission and City Council
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- n/a  Proposed site complies with zoning
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)



Tabulations that include:

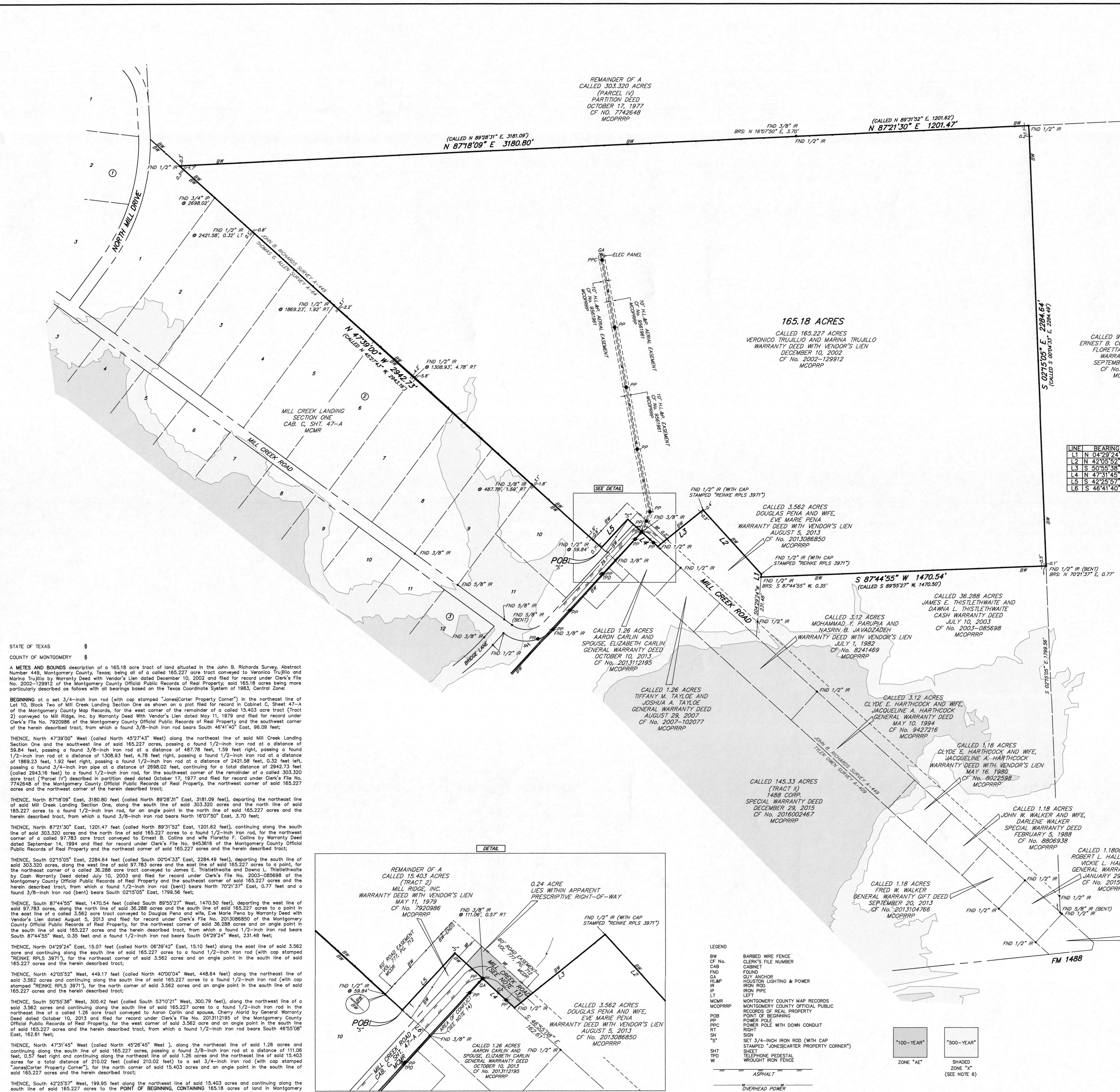
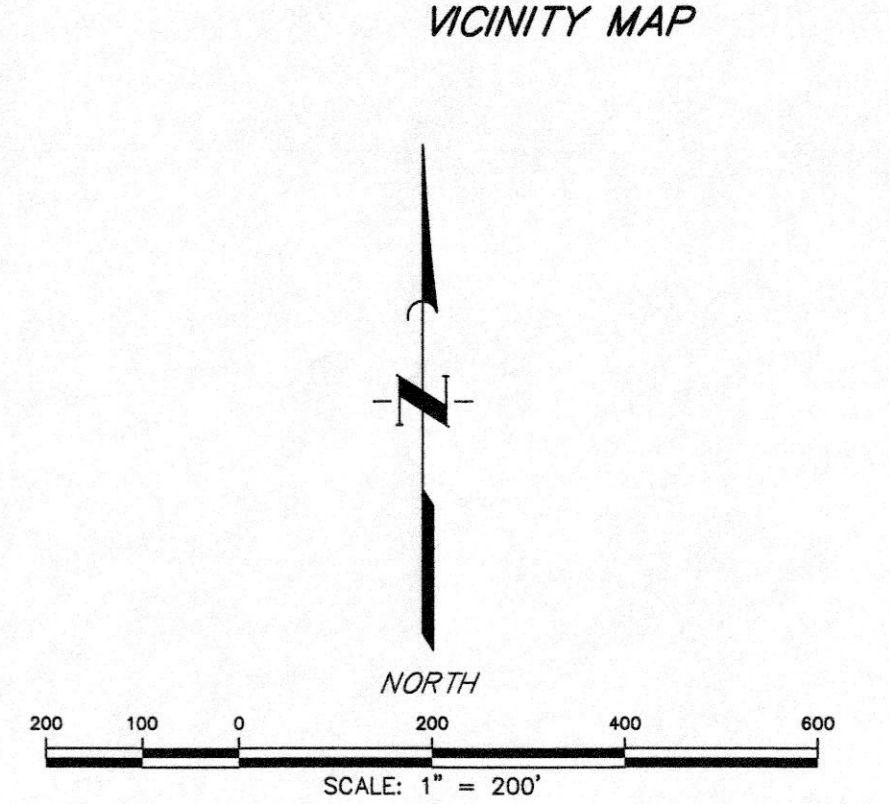
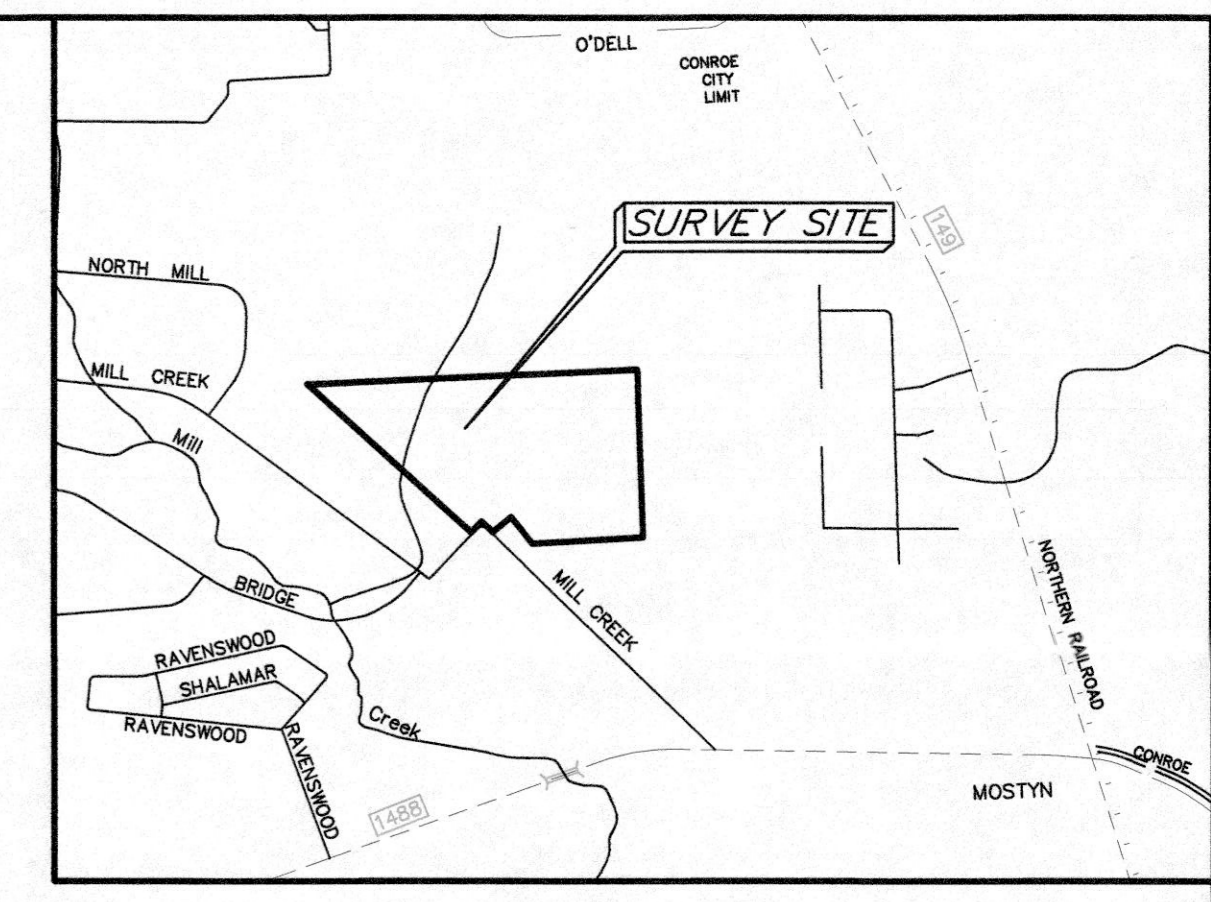
- Number of lots in the subdivision
- Size of the parcel
- Total acreage if multiple parcels
- Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (include all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths, and bearings of tangents) of:
  - Right-of-ways, streets, alleys, railroads, lots, open spaces, parks, protected natural resources, and buffers
  - Utility and access easements
  - Private access easements
- Names of proposed streets shown
- Streets that extend existing streets shall be assigned the same name as the existing street
- Preliminary approval from Montgomery County Emergency Communication District
- All block indications, lot numbers, and individual areas are designed by numbers or letters numbered consecutively
- Reserves are labeled as A, B C without numbers
- Accurate location, material, type, and description of all permanent control monuments or mean sea level datum provided
- Location and size of proposed parks, playgrounds, civic (including churches) or school sites, or other special uses of the land to be considered for dedication to public use, provided on a separately attached description
- Proposed generalized use of lots (e.g., mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided in a separately attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including the location of proposed culverts and bridge, provided on a separate utility sheet
- Onelines for all utilities in the project, including the utilities that require easements OR
  - An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Easements for water, sanitary, and storm lines
- n/a  If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased.
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study, if necessary
- Lots meet the minimum or maximum requirements for front, interior, side, and rear building lines and setbacks
- Street dedications with the right of way provided
- Required justifications for cul-de-sacs, if proposed
- Development meets
  - open space ratio
  - maximum gross density
  - parkland dedication
  - parking space requirements
- Anticipated timelines for construction of the improvements shall be provided separately on attached description

Date: Time: Wed, 25 Oct 2023 - 4:47pm User Name: tjtitone  
Path Name: I:\Projects\1019\_3081 - Mill Creek Section B\CAD\Exhibits Mill Creek Section B.dwg



MC SECTION 8  
1" = 50'





LINE	BEARING	DISTANCE	CALLED	
L1	N 04°29'24\"	E 15.07'	N 06°39'42\"	E 15.10'
L2	N 42°05'52\"	W 448.17'	N 44°00'04\"	W 448.64'
L3	S 50°55'38\"	W 300.42'	S 53°10'21\"	W 300.79'
L4	N 47°31'45\"	W 210.02'	N 45°26'45\"	W 210.02'
L5	S 42°25'57\"	W 199.95'	S 44°30'57\"	W 199.90'
L6	S 46°41'40\"	E 96.09'		

STATE OF TEXAS  
 COUNTY OF MONTGOMERY

A METES AND BOUNDS description of a 165.18 acre tract of land situated in the John B. Richards Survey, Abstract Number 449, Montgomery County, Texas, being all of a called 165.227 acre tract conveyed to Veronica Trujillo and Marina Trujillo by Warranty Deed with Vendor's Lien dated December 10, 2002 and filed for record under Clerk's File No. 2002-129912 of the Montgomery County Official Public Records of Real Property, said 165.18 acres being more particularly described as follows with all bearings based on the Texas Coordinate System of 1983, Central Zone:

**BEGINNING** at a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner") in the northeast line of Lot 10, Block Two of Mill Creek Landing Section One as shown on a plat filed for record in Cabinet C, Sheet 47-14 of the Montgomery County Map Records, for the west corner of the remainder of a called 15.403 acre tract (Tract 2) conveyed to Mill Ridge, Inc. by Warranty Deed With Vendor's Lien dated May 11, 1979 and filed for record under Clerk's File No. 7920986 of the Montgomery County Official Public Records of Real Property and the southwest corner of the herein described tract, from which a found 3/8-inch iron rod bears South 46°41'40" East, 96.09 feet;

**THENCE** North 47°39'00" West (called North 45°27'43" West) along the northeast line of said Mill Creek Landing Section One and the southwest line of said 165.227 acres, passing a found 1/2-inch iron rod at a distance of 59.84 feet, passing a found 3/8-inch iron rod at a distance of 487.78 feet, 1.59 feet right, passing a found 1/2-inch iron rod at a distance of 1308.93 feet, 4.78 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 1/2-inch iron rod at a distance of 1869.23 feet, 1.92 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 3/4-inch iron pipe at a distance of 2698.02 feet, continuing for a total distance of 2942.73 feet (called 2943.16 feet) to a found 1/2-inch iron rod, for the southwest corner of the remainder of a called 303.320 acre tract (Parcel IV) described in partition deed dated October 17, 1977 and filed for record under Clerk's File No. 7742848 of the Montgomery County Official Public Records of Real Property, the northwest corner of said 165.227 acres and the northeast corner of the herein described tract;

**THENCE** North 87°18'09" East, 3180.80 feet (called North 89°28'31" East, 3181.09 feet), departing the northeast line of said Mill Creek Landing Section One, along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for an angle point in the north line of said 165.227 acres and the herein described tract, from which a found 3/8-inch iron rod bears North 16°07'50" East, 3.70 feet;

**THENCE** North 87°21'30" East, 1201.47 feet (called North 89°31'52" East, 1201.62 feet), continuing along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for the northeast corner of a called 97.783 acre tract conveyed to Ernest B. Collins and wife Floretta F. Collins by Warranty Deed dated September 14, 1994 and filed for record under Clerk's File No. 9453616 of the Montgomery County Official Public Records of Real Property and the northeast corner of said 165.227 acres and the herein described tract;

**THENCE** North 02°15'05" East, 2284.64 feet (called South 00°04'33" East, 2284.49 feet), departing the south line of said 303.320 acres, along the west line of said 97.783 acres and the east line of said 165.227 acres to a point, for the northeast corner of a called 36.288 acre tract conveyed to James E. Thistlethwaite and wife, Dawnna L. Thistlethwaite by Cash Warranty Deed dated July 10, 2003 and filed for record under Clerk's File No. 2003-085698 of the Montgomery County Official Public Records of Real Property and the southeast corner of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 02°15'05" East, 1799.96 feet;

**THENCE** South 87°44'55" West, 1470.54 feet (called South 89°55'27" West, 1470.50 feet), departing the west line of said 97.783 acres, along the north line of said 36.288 acres and the south line of said 165.227 acres to a point in the east line of a called 3.562 acre tract conveyed to Douglas Pena and wife, Eve Marie Pena by Warranty Deed with Vendor's Lien dated August 5, 2013 and filed for record under Clerk's File No. 2013086850 of the Montgomery County Official Public Records of Real Property, for the northwest corner of said 36.288 acres and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 1/2-inch iron rod (beet) bears South 87°44'55" West, 0.35 feet and a found 1/2-inch iron rod bears South 04°29'24" West, 231.48 feet;

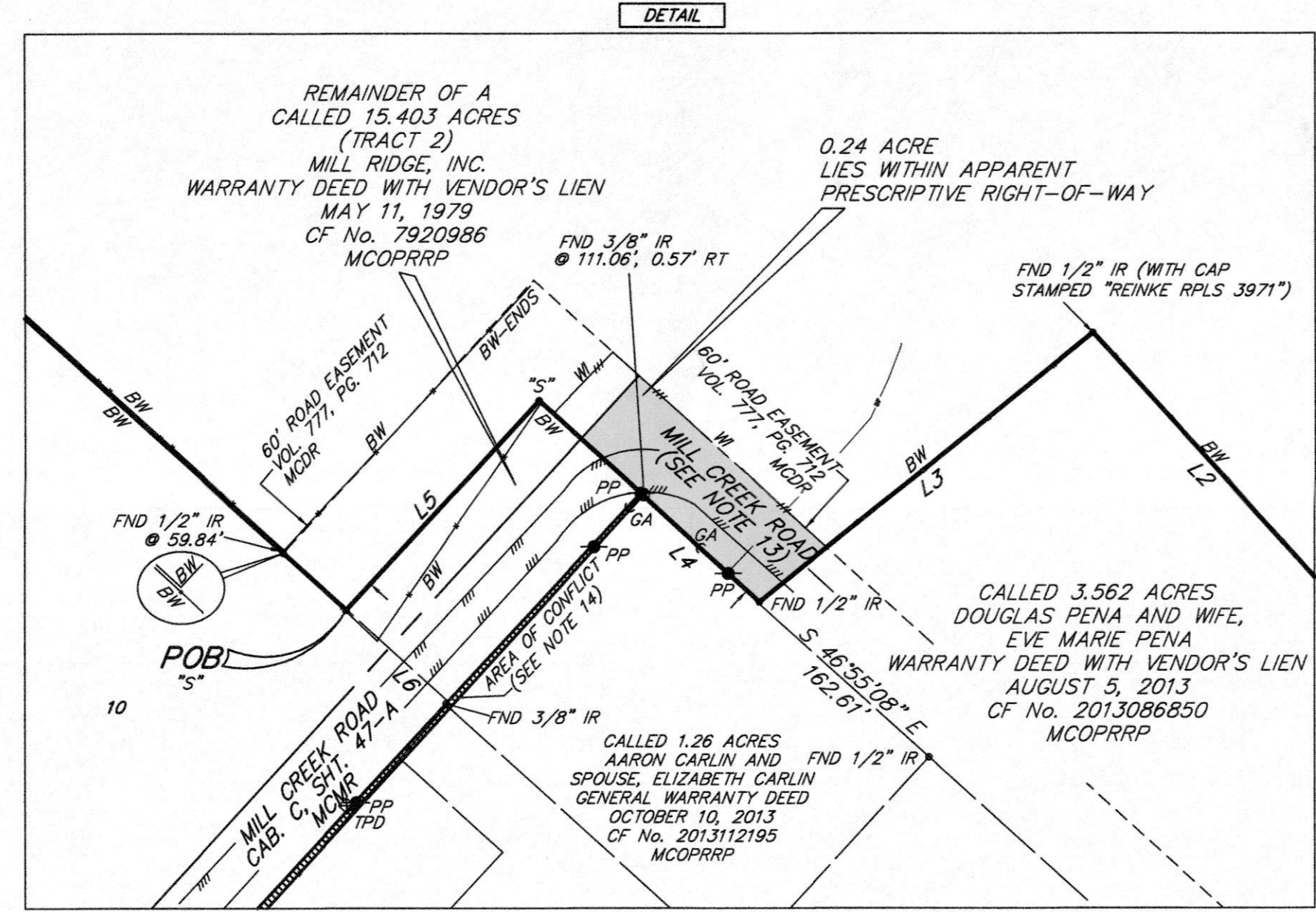
**THENCE** North 04°29'24" East, 15.07 feet (called North 06°39'42" East, 15.10 feet), along the east line of said 3.562 acre and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** North 42°05'52" West, 448.17 feet (called North 40°00'04" West, 448.64 feet) along the northeast line of said 3.562 acres and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** South 50°55'38" West, 300.42 feet (called South 53°10'21" West, 300.79 feet), along the northeast line of a said 3.562 acres and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod in the northeast line of a called 1.26 acre tract conveyed to Aaron Carlin and spouse, Elizabeth Carlin by General Warranty Deed dated October 10, 2013 and filed for record under Clerk's File No. 2013112195 of the Montgomery County Official Public Records of Real Property, for the west corner of said 3.562 acre and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod bears South 46°55'08" East, 162.61 feet;

**THENCE** North 47°31'45" West (called North 45°26'45" West), along the northeast line of said 1.26 acres and continuing along the south line of said 165.227 acres, passing a found 3/8-inch iron rod at a distance of 111.06 feet, 0.57 feet right and continuing along the northeast line of said 1.26 acres and the northeast line of said 15.403 acres for a total distance of 210.02 feet to a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner"), for the north corner of said 15.403 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** South 42°25'57" West, 199.95 feet along the northwest line of said 15.403 acres and continuing along the south line of said 165.227 acres to the POINT OF BEGINNING, CONTAINING 165.18 acres of land in Montgomery County, Texas.



- LEGEND**
- BW BARBED WIRE FENCE
  - CF No. CLERK'S FILE NUMBER
  - CAB CABINET
  - FND FOUND
  - GA GUY ANCHOR
  - HL HOUSTON LIGHTING & POWER
  - IR IRON ROD
  - IP IRON PIPE
  - LT LEFT
  - MCMR MONTGOMERY COUNTY MAP RECORDS
  - MCOPRRP MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
  - POB POINT OF BEGINNING
  - PP POWER POLE
  - PRC POWER POLE WITH DOWN CONDUIT
  - RT RIGHT
  - SN SIGN
  - S" SET 3/4-INCH IRON ROD (WITH CAP STAMPED "JONESCARTER PROPERTY CORNER")
  - SHT SHEET
  - TPD TELEPHONE PEDESTAL
  - W WRIGHT IRON FENCE
  - OVERHEAD POWER



Subject to the General Notes shown:  
 To: LPUISA, Inc., Veronica Trujillo, Marina Trujillo, Fidelity National Title Insurance Company and Charter Title Company.

We, JonesCarter, acting by and through Russell B. Tarasiewicz, a Registered Professional Land Surveyor, hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.

Surveyed: October 10, 2016

Russell B. Tarasiewicz  
 Registered Professional Land Surveyor  
 No. 6575

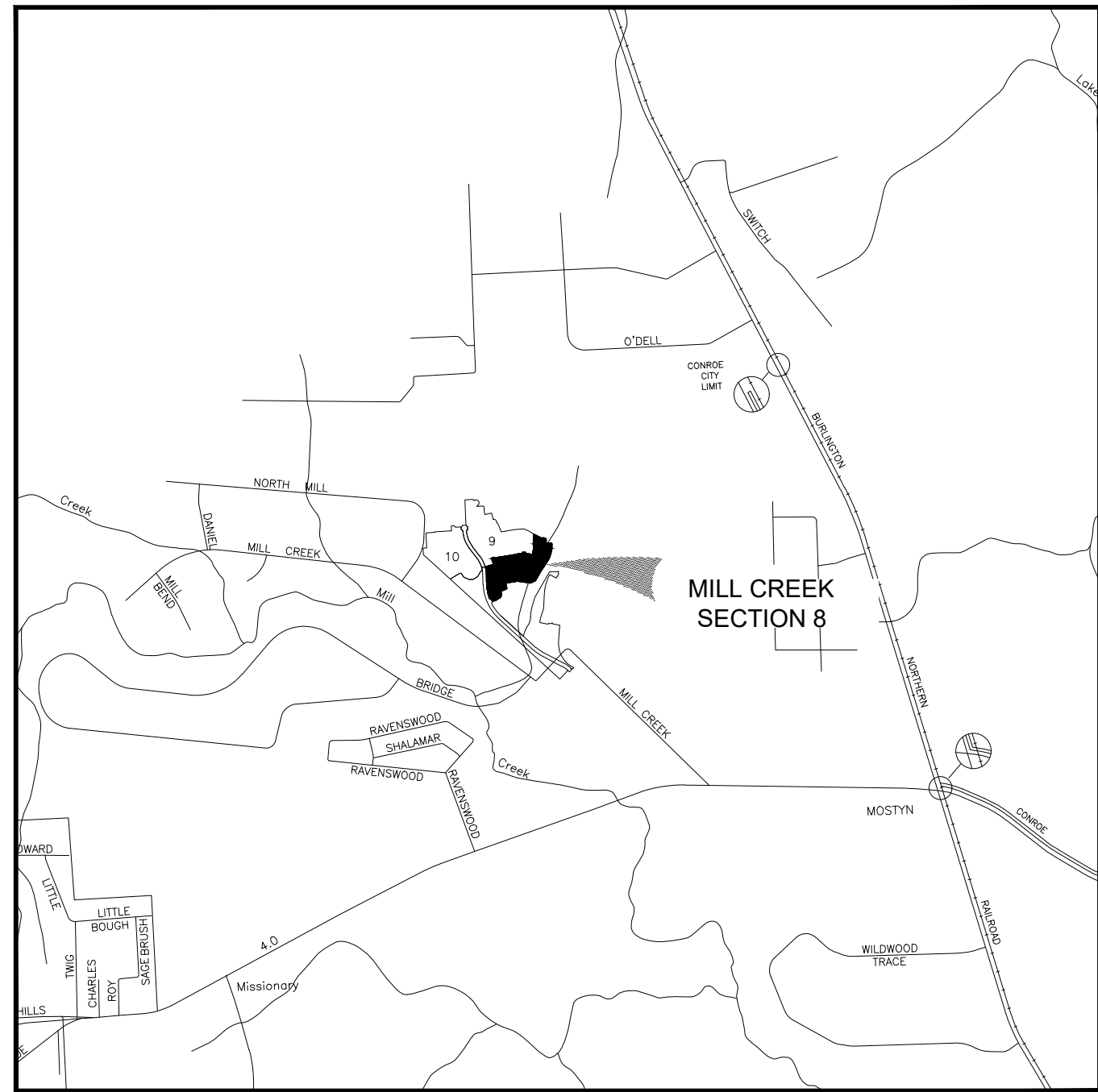
**LAND TITLE SURVEY OF 165.18 ACRES OUT OF THE JOHN B. RICHARDS SURVEY, A-449 MONTGOMERY COUNTY, TEXAS OCTOBER 2016**

**JC JONES CARTER**

COTTON SURVEYING DIVISION  
 Texas Board of Professional Land Surveying Registration No. 15046106  
 8700 New Trails Drive, Suite 200 - The Woodlands, Texas 77381  
 281.363.4039

GROSS ACREAGE = 165.18 ACRES  
 ACREAGE IN APPARENT PRESCRIPTIVE RIGHT-OF-WAY = 0.24 ACRE  
 TOTAL NET ACREAGE = 165.94 ACRES



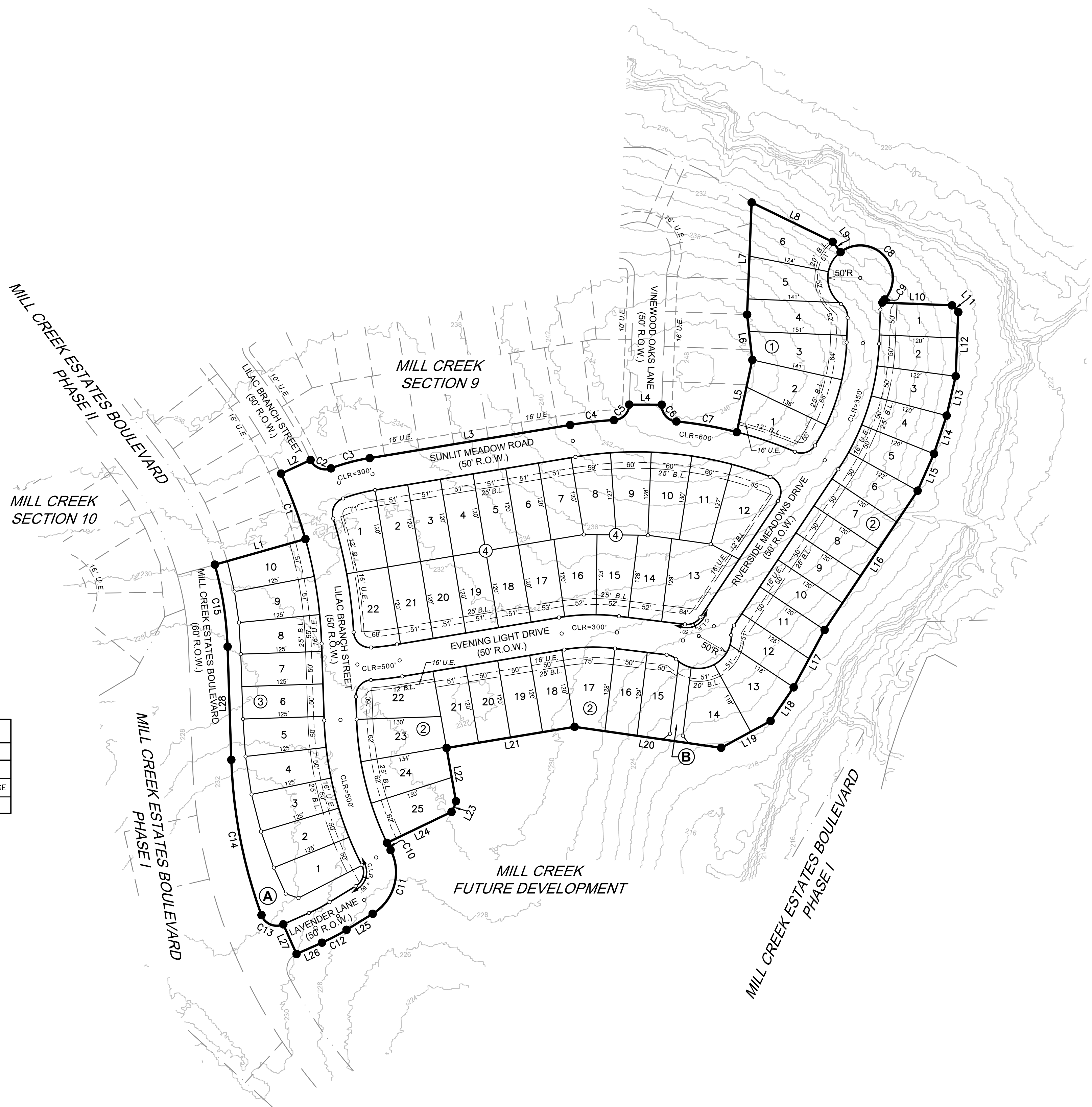


Vicinity Map  
1 inch = 1/2 mile

LINE	BEARING	DISTANCE
L1	N 74°14'37" E	145.00'
L2	N 65°06'23" E	50.00'
L3	N 80°36'41" E	312.82'
L4	S 89°47'07" E	50.03'
L5	N 12°05'26" E	113.91'
L6	N 06°31'04" W	70.26'
L7	N 02°16'53" E	172.90'
L8	S 64°05'06" E	138.79'
L9	S 37°23'03" E	20.00'
L10	S 87°43'07" E	107.45'
L11	S 42°43'07" E	14.14'
L12	S 02°16'53" W	98.96'
L13	S 12°59'53" W	62.21'
L14	S 18°17'08" W	62.04'
L15	S 23°57'20" W	62.17'
L16	S 33°44'04" W	258.01'
L17	S 28°20'28" W	100.44'
L18	S 34°29'48" W	62.86'
L19	S 61°28'49" W	86.56'
L20	N 81°52'26" E	228.19'
L21	S 80°36'41" W	199.83'
L22	S 10°02'41" E	85.54'
L23	S 27°07'12" W	15.94'
L24	S 64°17'05" W	110.35'
L25	S 58°31'53" W	47.28'
L26	S 66°02'52" W	42.96'
L27	N 23°57'08" W	50.00'
L28	N 01°53'18" W	174.32'

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	675.00'	9°08'14"	107.65'	N 20°19'30" W	107.53'
C2	25.00'	85°25'02"	37.27'	S 67°36'08" E	33.91'
C3	325.00'	10°55'20"	61.95'	N 75°09'01" E	61.86'
C4	625.00'	6°13'25"	67.89'	N 83°43'24" E	67.86'
C5	25.00'	84°33'14"	36.89'	N 44°33'30" E	33.64'
C6	25.00'	86°37'17"	37.80'	S 41°01'45" E	34.30'
C7	625.00'	8°41'15"	94.77'	S 79°59'46" E	94.67'
C8	50.00'	169°00'41"	147.49'	S 42°52'42" E	99.54'
C9	25.00'	1°31'50" W	5.78'	S 35°00'07" W	5.77'
C10	475.00'	1°28'32"	12.23'	S 26°27'11" E	12.23'
C11	75.00'	85°43'21"	112.21'	S 15°40'13" W	102.03'
C12	325.00'	7°30'58"	42.63'	S 62°17'22" W	42.60'
C13	25.00'	93°50'54"	40.95'	N 67°01'41" W	36.52'
C14	770.00'	18°12'56"	244.80'	N 10°59'47" W	243.77'
C15	530.00'	13°52'05"	128.28'	N 08°49'21" W	127.97'

RESERVE	ACREAGE	SQ. FT.	TYPE
A	0.432	18,804	RESTRICTED TO LANDSCAPE / OPEN SPACE
B	0.057	2,465	RESTRICTED TO LANDSCAP / OPEN SPACE / DRAINAGE
TOTAL	0.488	21,269	



- GENERAL NOTES:
- "RES" INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACRES TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL, THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
  - ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
  - ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
  - ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
  - ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
  - LOTS BACKING OR SIDING MILL CREEK RD. ARE HEREBY DENIED DIRECT DRIVEWAY ACCESS TO AND FROM AFOREMENTIONED STREET.
  - SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
  - EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

- LEGEND
- RES. INDICATES RESERVE
  - B.L. INDICATES BUILDING LINE
  - U.E. INDICATES UTILITY EASEMENT
  - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
  - R.O.W. INDICATES RIGHT-OF-WAY
  - DOC NO. INDICATES DOCUMENT NUMBER
  - INDICATES STREETNAME CHANGE

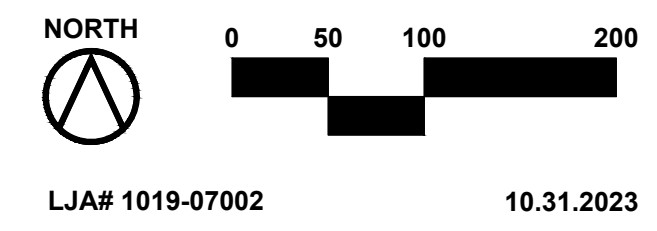
A PRELIMINARY PLAT OF  
**MILL CREEK**  
 SECTION 8

±13.7 ACRES  
 63 LOTS (50' x 120' TYP.) AND  
 2 RESTRICTED RESERVES IN 4 BLOCKS

OUT OF THE  
**JOHN B. RICHARDS SURVEY, A-449**  
 CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:  
**FORESTAR (USA) REAL ESTATE GROUP, INC.**  
 3355 W. ALABAMA STE. 1240  
 HOUSTON, TX 77098

PLANNER:  
**LJA** Planning + Landscape Architecture  
 3600 W Sam Houston Pkwy S, Suite 600  
 Houston, Texas 77042  
 713.953.5200



DISCLAIMER AND LIMITED WARRANTY  
 THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER LJA ENGINEERING, INC. NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR SUITABILITY TO THE PURPOSES INTENDED, OR ANY UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY PROVIDER. ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.



# Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

## CONTACT INFORMATION

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### Applicant

### Property Owner (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

### Architect (if different)

### Engineer/Land Surveyor (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail



**PROPERTY PROFILE**

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Property ID # \_\_\_\_\_

Legal Description \_\_\_\_\_  
(Subdivision) (Lot) (Block)

Current Zoning \_\_\_\_\_

Present Use of Property

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Proposed Use of the Property

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Total Area of Site

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1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

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2. Description of proposed property change, including lot numbers, name, etc.

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\*\*\* **NOTE:** The City of Magnolia will return the Preliminary Plat documents to the applicant as administratively incomplete if the following are not attached for review:

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat Application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- Onelines for all utilities in the project, including the utilities that require easements OR
- An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Preliminary approval from Montgomery County Emergency Communication District
- n/a Traffic Study, if necessary
- If any of the items are not available for any reason, provide a description and the reason why they were not provided: \_\_\_\_\_
- \_\_\_\_\_

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#### Complete List of Items Requested

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- n/a Site plan is approved or in the process of approval through the Planning and Zoning Commission and City Council
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- n/a  Proposed site complies with zoning
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)



Tabulations that include:

- Number of lots in the subdivision
- Size of the parcel
- Total acreage if multiple parcels
- Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (include all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths, and bearings of tangents) of:
  - Right-of-ways, streets, alleys, railroads, lots, open spaces, parks, protected natural resources, and buffers
  - Utility and access easements
  - Private access easements
- Names of proposed streets shown
- Streets that extend existing streets shall be assigned the same name as the existing street
- Preliminary approval from Montgomery County Emergency Communication District
- All block indications, lot numbers, and individual areas are designed by numbers or letters numbered consecutively
- Reserves are labeled as A, B C without numbers
- Accurate location, material, type, and description of all permanent control monuments or mean sea level datum provided
- Location and size of proposed parks, playgrounds, civic (including churches) or school sites, or other special uses of the land to be considered for dedication to public use, provided on a separately attached description
- Proposed generalized use of lots (e.g., mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided in a separately attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including the location of proposed culverts and bridge, provided on a separate utility sheet
- Onelines for all utilities in the project, including the utilities that require easements OR
  - An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Easements for water, sanitary, and storm lines
- n/a  If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased.
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study, if necessary
- Lots meet the minimum or maximum requirements for front, interior, side, and rear building lines and setbacks
- Street dedications with the right of way provided
- Required justifications for cul-de-sacs, if proposed
- Development meets
  - open space ratio
  - maximum gross density
  - parkland dedication
  - parking space requirements
- Anticipated timelines for construction of the improvements shall be provided separately on attached description

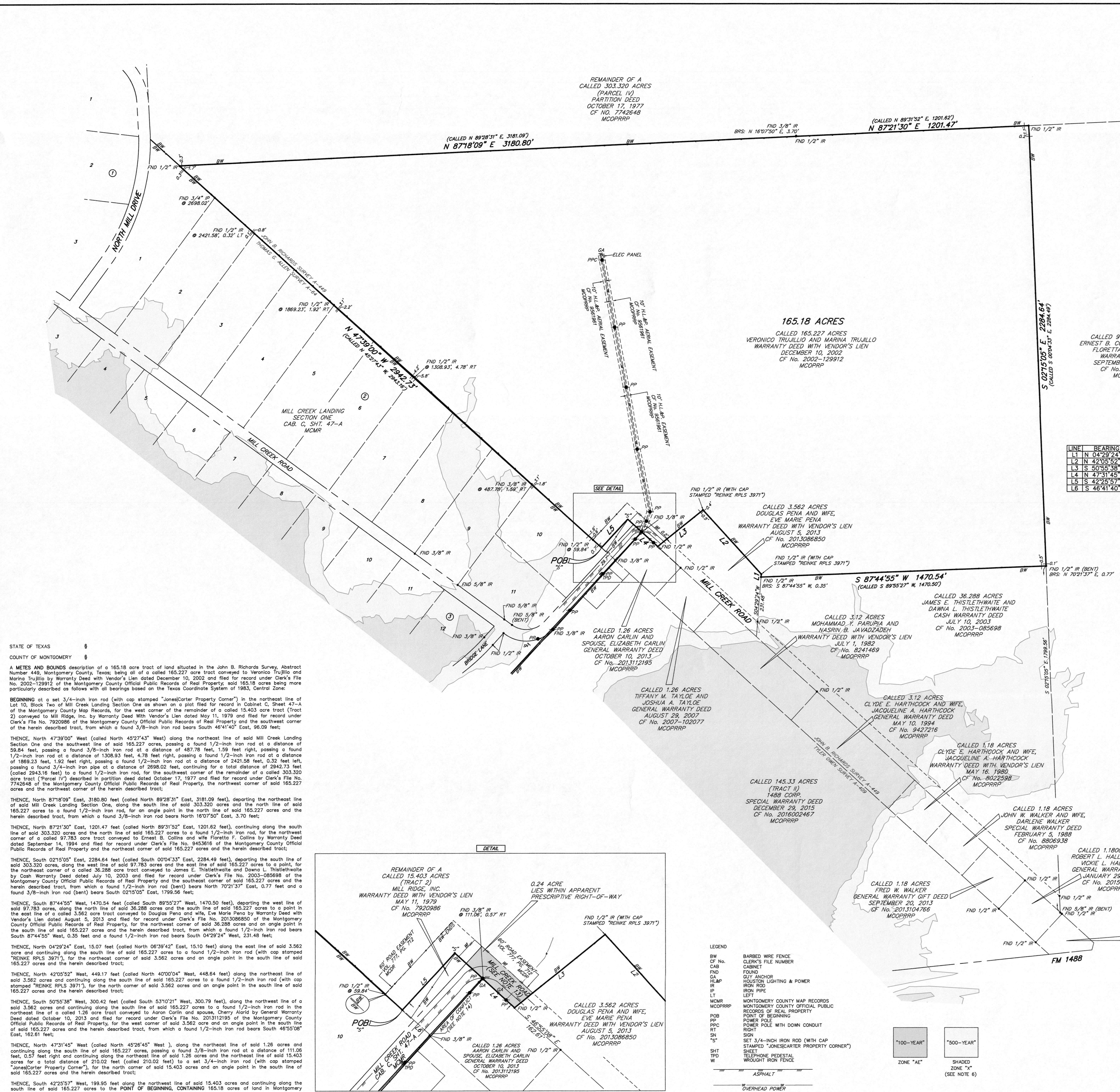
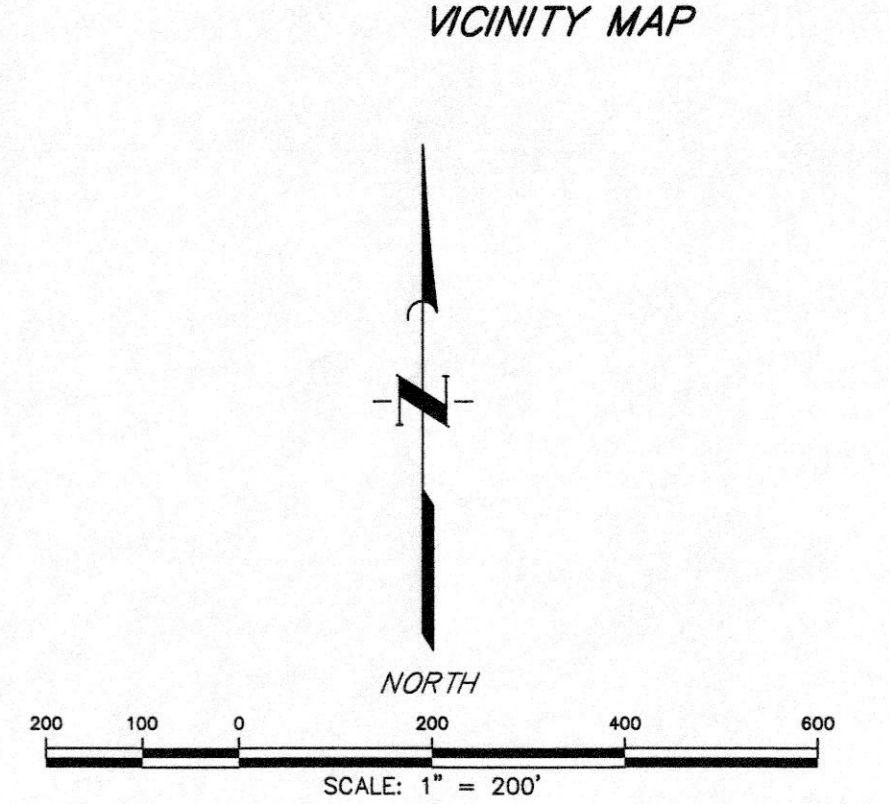
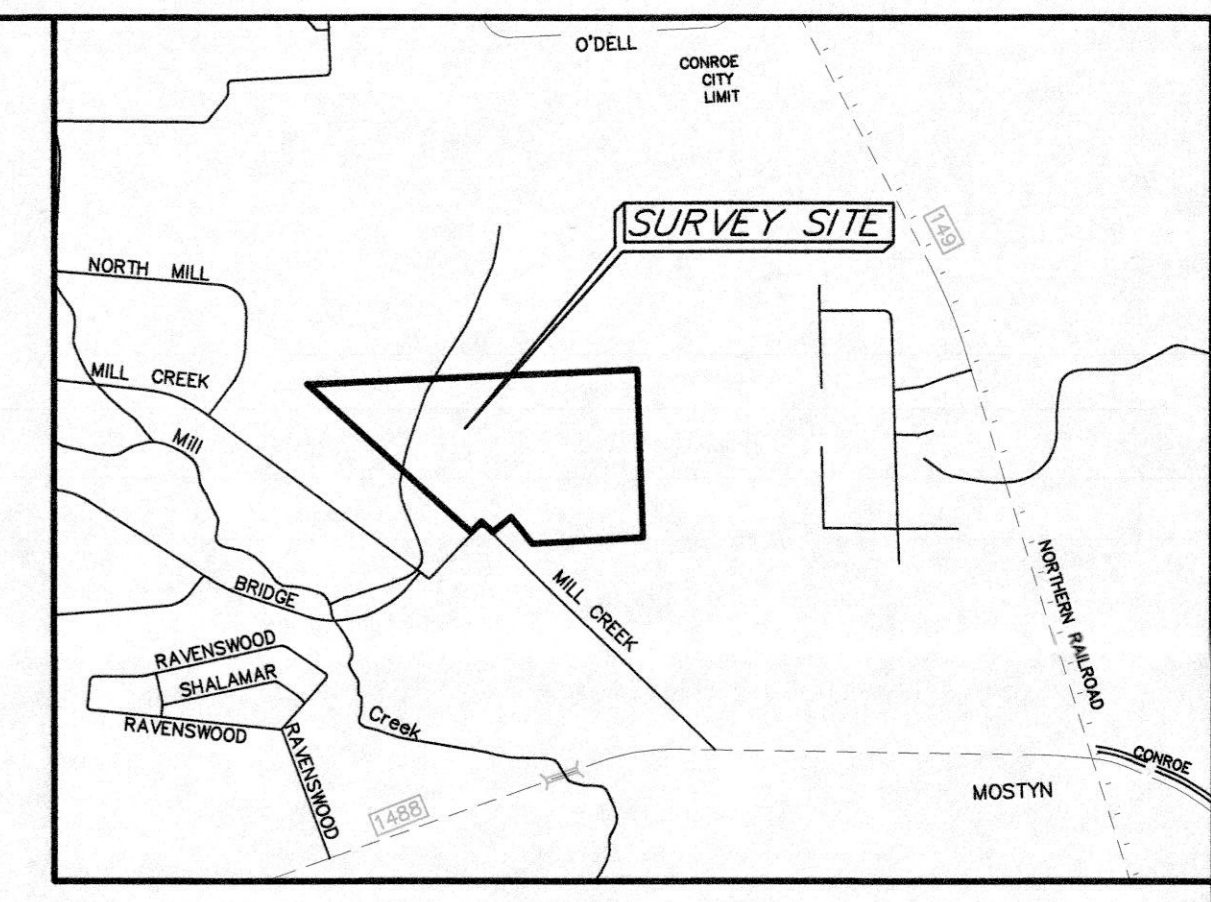


Date: Time: Wed, 25 Oct 2023 - 5:34pm User Name: tjtitone  
Path Name: I:\Projek\1019\_3091 - Mill Creek Section 9\ACAD\Exhibits Mill Creek Section 9.dwg



MC SECTION 9  
1" = 50'





LINE	BEARING	DISTANCE	CALLED	
L1	N 04°29'24\"	E 15.07'	N 06°39'42\"	E 15.10'
L2	N 42°05'52\"	W 448.17'	N 44°00'04\"	W 448.64'
L3	S 50°55'38\"	W 300.42'	S 53°10'21\"	W 300.79'
L4	N 47°31'45\"	W 210.02'	N 45°26'45\"	W 210.02'
L5	S 42°25'57\"	W 199.95'	S 44°30'57\"	W 199.90'
L6	S 46°41'40\"	E 96.09'		

STATE OF TEXAS  
 COUNTY OF MONTGOMERY

A METES AND BOUNDS description of a 165.18 acre tract of land situated in the John B. Richards Survey, Abstract Number 449, Montgomery County, Texas, being all of a called 165.227 acre tract conveyed to Veronica Trujillo and Marina Trujillo by Warranty Deed with Vendor's Lien dated December 10, 2002 and filed for record under Clerk's File No. 2002-129912 of the Montgomery County Official Public Records of Real Property, said 165.18 acres being more particularly described as follows with all bearings based on the Texas Coordinate System of 1983, Central Zone:

**BEGINNING** at a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner") in the northeast line of Lot 10, Block Two of Mill Creek Landing Section One as shown on a plat filed for record in Cabinet C, Sheet 47-14 of the Montgomery County Map Records, for the west corner of the remainder of a called 15.403 acre tract (Tract 2) conveyed to Mill Ridge, Inc. by Warranty Deed With Vendor's Lien dated May 11, 1979 and filed for record under Clerk's File No. 7920986 of the Montgomery County Official Public Records of Real Property and the southwest corner of the herein described tract, from which a found 3/8-inch iron rod bears South 46°41'40" East, 96.09 feet;

**THENCE** North 47°39'00" West (called North 45°27'43" West) along the northeast line of said Mill Creek Landing Section One and the southwest line of said 165.227 acres, passing a found 1/2-inch iron rod at a distance of 59.84 feet, passing a found 3/8-inch iron rod at a distance of 487.78 feet, 1.59 feet right, passing a found 1/2-inch iron rod at a distance of 1308.93 feet, 4.78 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 1/2-inch iron rod at a distance of 1869.23 feet, 1.92 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 3/4-inch iron pipe at a distance of 2698.02 feet, continuing for a total distance of 2942.73 feet (called 2943.16 feet) to a found 1/2-inch iron rod, for the southwest corner of the remainder of a called 303.320 acre tract (Parcel IV) described in partition deed dated October 17, 1977 and filed for record under Clerk's File No. 7742848 of the Montgomery County Official Public Records of Real Property, the northwest corner of said 165.227 acres and the northeast corner of the herein described tract;

**THENCE** North 87°18'09" East, 3180.80 feet (called North 89°28'31" East, 3181.09 feet), departing the northeast line of said Mill Creek Landing Section One, along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for an angle point in the north line of said 165.227 acres and the herein described tract, from which a found 3/8-inch iron rod bears North 16°07'50" East, 3.70 feet;

**THENCE** North 87°21'30" East, 1201.47 feet (called North 89°31'52" East, 1201.62 feet), continuing along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for the northeast corner of a called 97.783 acre tract conveyed to Ernest B. Collins and wife Floretta F. Collins by Warranty Deed dated September 14, 1994 and filed for record under Clerk's File No. 9453616 of the Montgomery County Official Public Records of Real Property and the northeast corner of said 165.227 acres and the herein described tract;

**THENCE** North 02°15'05" East, 2284.64 feet (called South 00°04'33" East, 2284.49 feet), departing the south line of said 303.320 acres, along the west line of said 97.783 acres and the east line of said 165.227 acres to a point, for the northeast corner of a called 36.288 acre tract conveyed to James E. Thistlethwaite and wife, Dawnna L. Thistlethwaite by Cash Warranty Deed dated July 10, 2003 and filed for record under Clerk's File No. 2003-085698 of the Montgomery County Official Public Records of Real Property and the southeast corner of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 02°15'05" East, 1799.96 feet;

**THENCE** South 87°44'55" West, 1470.54 feet (called South 89°55'27" West, 1470.50 feet), departing the west line of said 97.783 acres, along the north line of said 36.288 acres and the south line of said 165.227 acres to a point in the east line of a called 3.562 acre tract conveyed to Douglas Pena and wife, Eve Marie Pena by Warranty Deed with Vendor's Lien dated August 5, 2013 and filed for record under Clerk's File No. 2013086850 of the Montgomery County Official Public Records of Real Property, for the northwest corner of said 36.288 acres and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 87°44'55" West, 0.35 feet and a found 1/2-inch iron rod bears South 04°29'24" West, 231.48 feet;

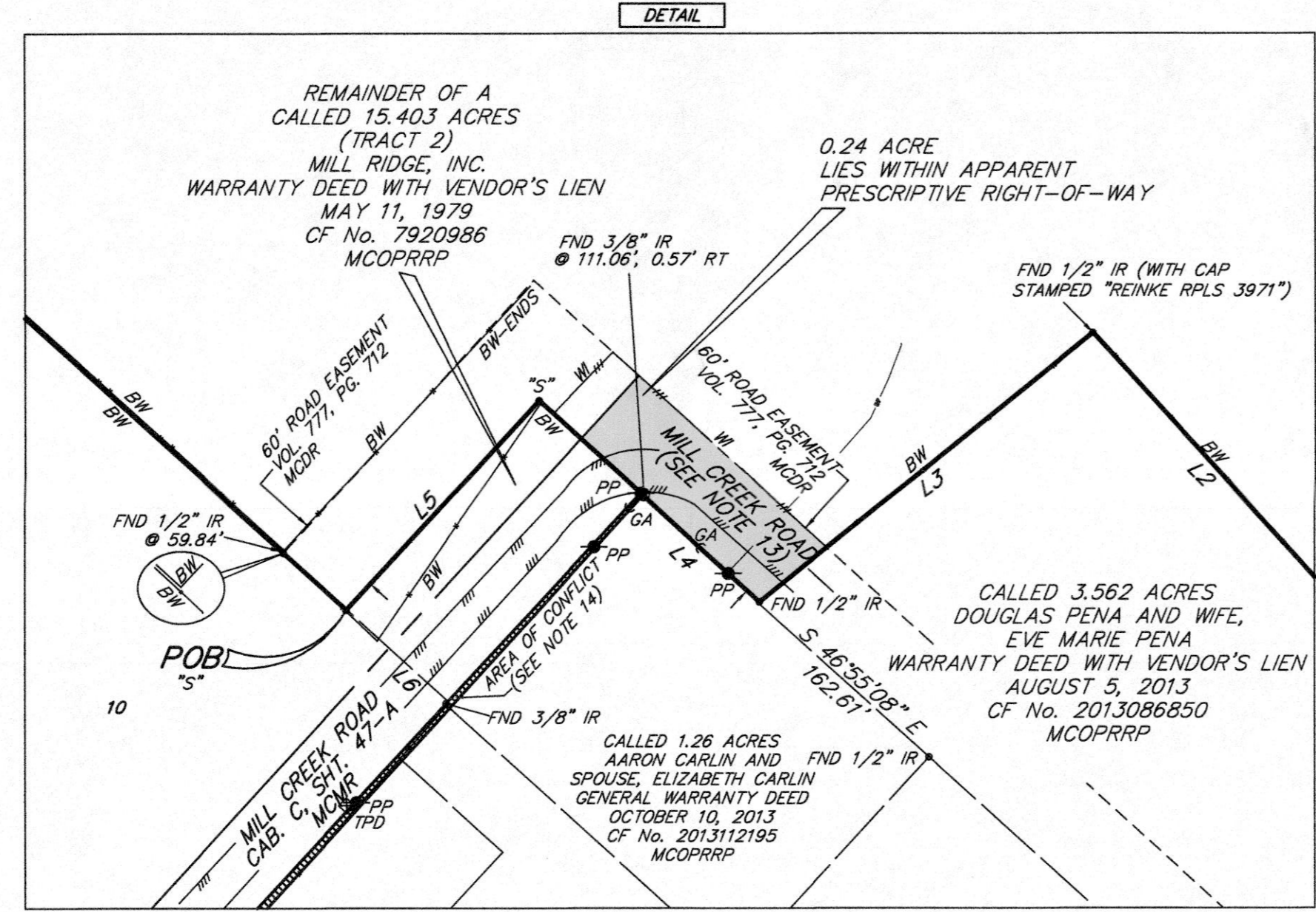
**THENCE** North 04°29'24" East, 15.07 feet (called North 06°39'42" East, 15.10 feet) along the east line of said 3.562 acre and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** North 42°05'52" West, 448.17 feet (called North 40°00'04" West, 448.64 feet) along the northeast line of said 3.562 acres and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** South 50°55'38" West, 300.42 feet (called South 53°10'21" West, 300.79 feet), along the northeast line of a said 3.562 acres and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod in the northeast line of a called 1.26 acre tract conveyed to Aaron Carlin and spouse, Elizabeth Carlin by General Warranty Deed dated October 10, 2013 and filed for record under Clerk's File No. 2013112195 of the Montgomery County Official Public Records of Real Property, for the west corner of said 3.562 acre and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod bears South 46°55'08" East, 162.61 feet;

**THENCE** North 47°31'45" West (called North 45°26'45" West), along the northeast line of said 1.26 acres and continuing along the south line of said 165.227 acres, passing a found 3/8-inch iron rod at a distance of 111.06 feet, 0.57 feet right and continuing along the northeast line of said 1.26 acres and the northeast line of said 15.403 acres for a total distance of 210.02 feet to a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner"), for the north corner of said 15.403 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** South 42°25'57" West, 199.95 feet along the northwest line of said 15.403 acres and continuing along the south line of said 165.227 acres to the POINT OF BEGINNING, CONTAINING 165.18 acres of land in Montgomery County, Texas.



- LEGEND**
- BW BARBED WIRE FENCE
  - CF No. CLERK'S FILE NUMBER
  - CAB CABINET
  - FND FOUND
  - GA GUY ANCHOR
  - HL HOUSTON LIGHTING & POWER
  - IR IRON ROD
  - IP IRON PIPE
  - LT LEFT
  - MCMR MONTGOMERY COUNTY MAP RECORDS
  - MCOPRRP MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
  - POB POINT OF BEGINNING
  - PP POWER POLE
  - PRC POWER POLE WITH DOWN CONDUIT
  - RT RIGHT
  - SH SIGN
  - SN SET 3/4-INCH IRON ROD (WITH CAP STAMPED "JONESCARTER PROPERTY CORNER")
  - SHT SHEET
  - TPD TELEPHONE PEDESTAL
  - W WRIGHT IRON FENCE
  - ASPH ASPHALT
  - OP OVERHEAD POWER
- ZONE "A4" 100-YEAR
- ZONE "X" 500-YEAR (SEE NOTE 6)

- GENERAL NOTES:**
- Reference Commitment for Title Insurance issued by Fidelity National Title Insurance Company, counterpaneled by Charter Title Company, G.F. No. 1013004358, having an effective date of December 16, 2015 and an issue date of December 29, 2015. No further research for easements or encumbrances was performed by JonesCarter.
  - According to Item No. 10a of Schedule B of said Commitment for Title Insurance, the tract is subject to terms, conditions and stipulations of that certain surface application on-site wastewater treatment system filed for record under Clerk's File No. 2009-010818 of the Montgomery County Official Public Records of Real Property.
  - Development of the subject tract may require submittal, approval, and/or recording of a plat or replat. Rules and regulations are established by the governmental agency, which has jurisdiction. These rules and regulations may include dedication of setback lines, easements, additional right-of-way, and other matters.
  - Bearings shown hereon are based on the Texas Coordinate System of 1983, Central Zone.
  - This survey does not provide any determination concerning wetlands, fault lines, toxic waste or any other environmental issues. Such matters should be directed by the client or prospective purchaser to an expert consultant.
  - According to Map No. 48339C0480G of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Montgomery County, Texas, dated August 18, 2014, the subject tract is situated within: Shaded Zone "X"; defined as areas determined to be outside the 500-year flood plain; Shaded Zone "X"; defined as areas of 500-year flood; areas of 100-year flood with average depths of less than 1-foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.
  - This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - The location of the flood zone lines shown hereon are based on the geo-referenced shape file obtained from the Federal Emergency Management Agency. JonesCarter assumes no liability as to the accuracy of the flood zone lines.
  - Research for Adjoining Tracts was performed by JonesCarter on October 7, 2016.
  - Fences shown hereon are graphic only, with dimensional ties shown at specific locations where they were physically measured. The fence line may meander between adjacent locations. The dimensions showing the distance between the fence and the property line also indicates which side of the property line the fence is on.
  - The square footage totals as shown hereon are based on the mathematical closure of the courses and distances reflected on this survey. It does not include the tolerances that may be present due to position accuracy of the boundary monuments shown hereon. The square footage shown hereon has an accuracy of ± 719 square feet. This is based on the calculations of area standards and the Manual of Practice for Land Surveying in the State of Texas as published by the Texas Society of Professional Land Surveyors for a 165.18 acre tract of land.
  - The surveyor has not been provided with construction plans showing the location of underground utilities. Underground utilities may exist, which are not shown hereon.
  - This survey has been prepared for the sole purpose of the transaction described in the above referenced Title Commitment and the parties listed thereon. This survey is not to be used for any subsequent transactions.
  - In coordination with the client it was agreed that no interior improvements would be located or shown hereon.
  - The subject tract is encumbered by a paved roadway known as Mill Creek Road and is maintained by Montgomery County. Said roadway lies within a called 60-foot wide easement granted to Barry Kaufman, Trustee by Road Easement dated June 25, 1972 and filed for record under Volume 777, Page 712 of the Montgomery County Deed Records. Mill Creek Road is included in the Road Log maintained by the Montgomery County Engineers Office. The roadway could be considered prescriptive in nature. The hatched area shown hereon is an estimation of the area that might be claimed as prescriptive right-of-way.
  - Area of conflict previously identified by JonesCarter, as shown on Dwg. No. 3635, dated July, 2015.

Subject to the General Notes shown:

To: LPUISA, Inc., Veronica Trujillo, Marina Trujillo, Fidelity National Title Insurance Company and Charter Title Company.

We, JonesCarter, acting by and through Russell B. Tarasiewicz, a Registered Professional Land Surveyor, hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.

Surveyed: October 10, 2016

Russell B. Tarasiewicz  
Registered Professional Land Surveyor  
No. 6575

GROSS ACREAGE = 165.18 ACRES

ACREAGE IN APPARENT PREScriptive RIGHT-OF-WAY = 0.24 ACRE

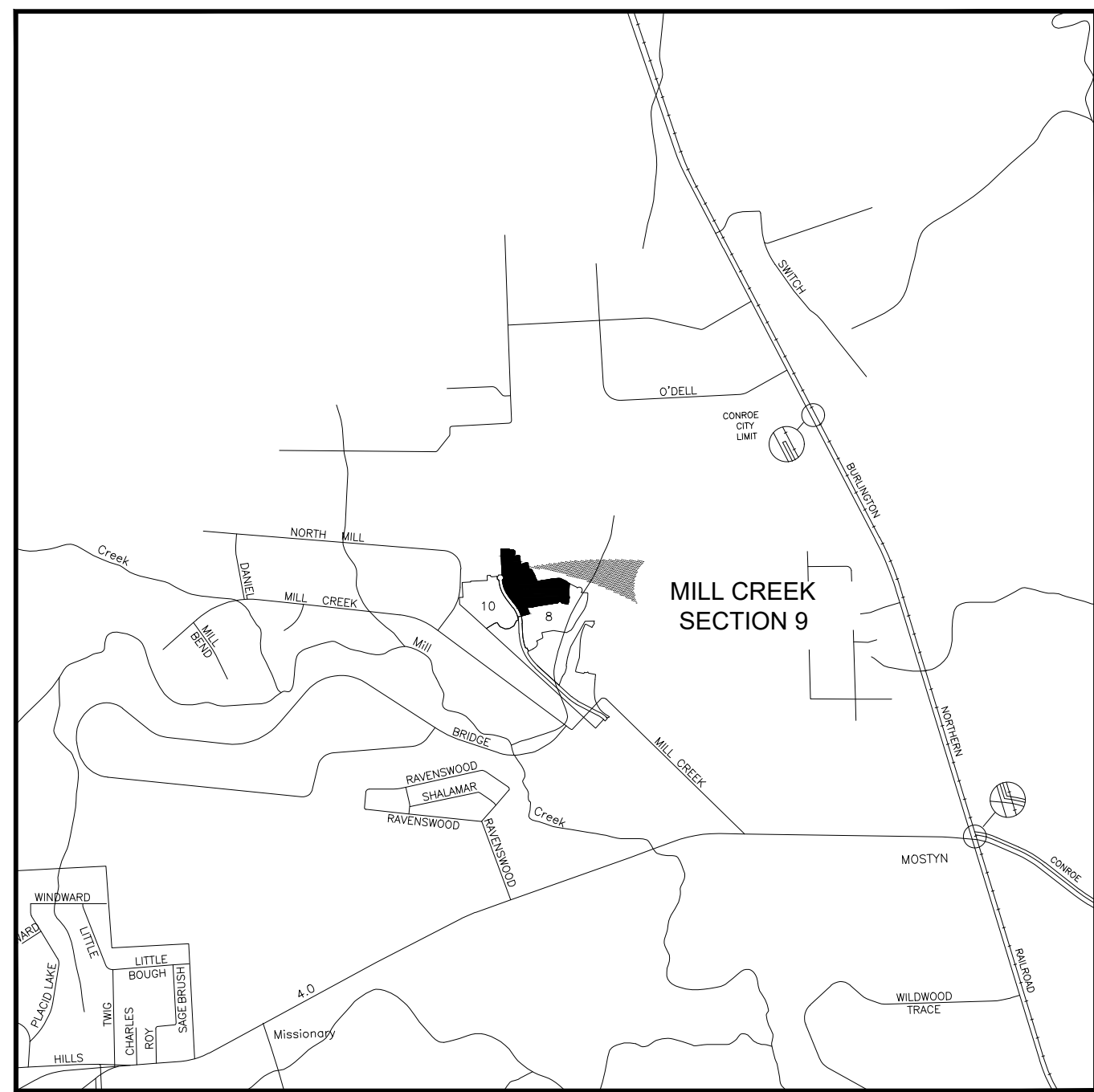
NET NET ACREAGE = 165.94 ACRES

**LAND TITLE SURVEY OF 165.18 ACRES OUT OF THE JOHN B. RICHARDS SURVEY, A-449 MONTGOMERY COUNTY, TEXAS OCTOBER 2016**

**JONES CARTER**

COTTON SURVEYING DIVISION  
 Texas Board of Professional Land Surveying Registration No. 15046106  
 8700 New Trails Drive, Suite 200 - The Woodlands, Texas 77381  
 281.363.4039



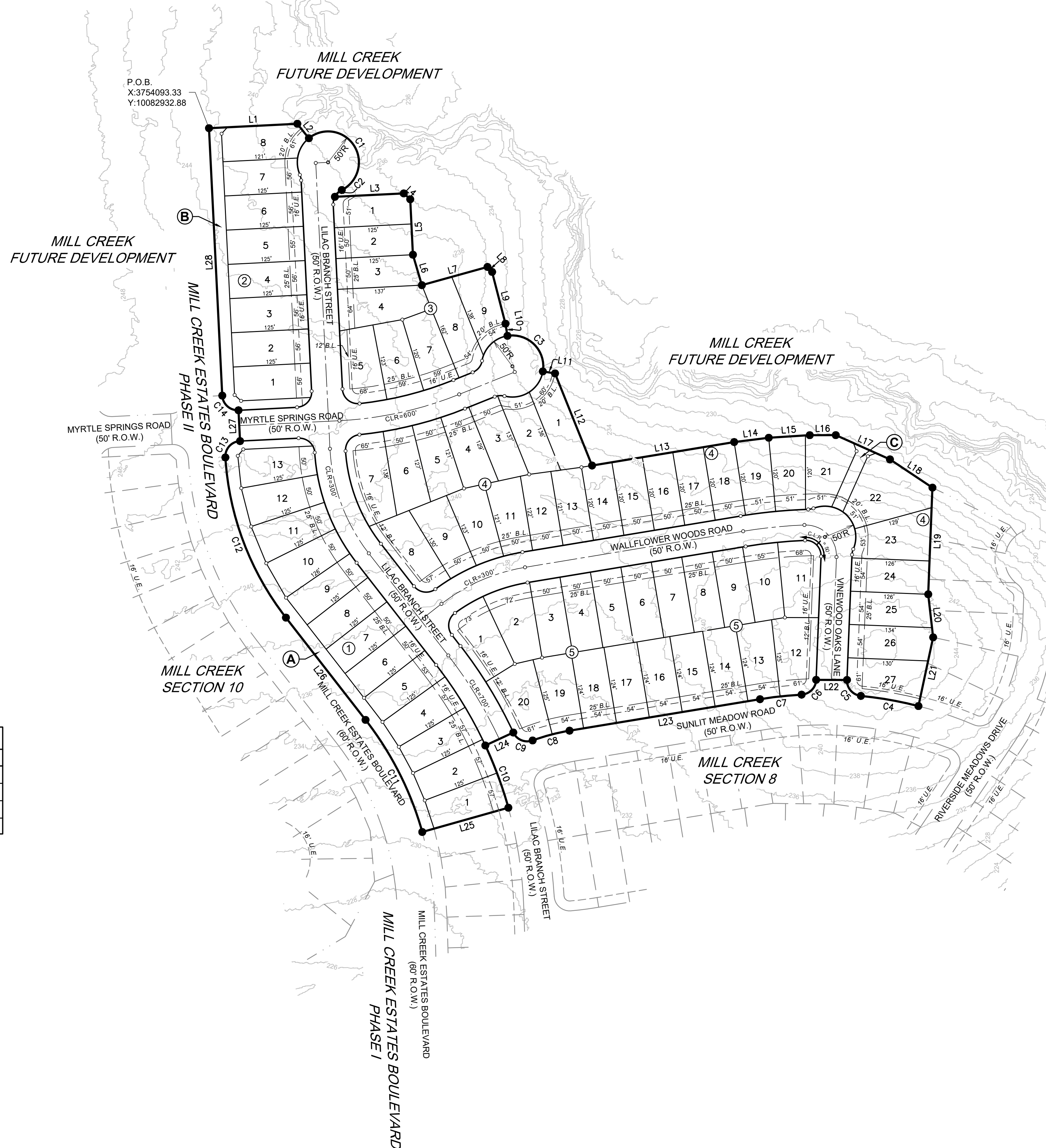


Vicinity Map  
1 inch = 1/2 mile

LINE	BEARING	DISTANCE
L1	N 87°08'51" E	143.36'
L2	S 38°30'38" E	30.00'
L3	N 87°08'51" E	111.71'
L4	S 47°51'09" E	14.14'
L5	S 02°51'09" E	90.00'
L6	S 16°15'45" E	51.40'
L7	N 74°28'06" E	110.38'
L8	S 43°05'00" E	11.08'
L9	S 14°25'18" E	86.56'
L10	S 09°15'38" E	20.00'
L11	S 80°32'29" E	20.00'
L12	S 21°55'10" E	160.93'
L13	N 80°36'41" E	233.42'
L14	N 82°55'47" E	56.48'
L15	N 86°24'17" E	66.50'
L16	N 89°55'25" E	42.25'
L17	S 65°52'58" E	96.14'
L18	S 56°23'56" E	82.81'
L19	S 02°16'53" W	172.90'
L20	S 06°31'04" E	70.26'
L21	S 12°05'26" W	113.91'
L22	N 89°47'07" W	50.03'
L23	S 80°36'41" W	312.82'
L24	S 65°06'23" W	50.00'
L25	S 74°14'37" W	145.00'
L26	N 37°54'10" W	209.78'
L27	N 02°53'16" W	50.00'
L28	N 02°51'09" W	434.00'

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	50.00'	192°04'47"	167.62'	S 32°28'14" E	99.44'
C2	25.00'	36°40'44"	16.00'	S 45°13'48" W	15.73'
C3	50.00'	108°43'09"	94.88'	S 44°54'03" E	81.27'
C4	625.00'	8°41'15"	94.77'	N 79°59'46" W	94.67'
C5	25.00'	86°37'17"	37.80'	N 41°01'45" W	34.30'
C6	25.00'	84°33'14"	36.89'	S 44°33'30" W	33.64'
C7	625.00'	6°13'25"	67.89'	S 83°43'24" W	67.86'
C8	325.00'	10°55'20"	61.95'	S 75°09'01" W	61.86'
C9	25.00'	85°25'02"	37.27'	N 67°36'08" W	33.91'
C10	675.00'	9°08'14"	107.65'	S 20°19'30" E	107.53'
C11	530.00'	22°08'47"	204.86'	N 26°49'46" W	203.59'
C12	470.00'	34°22'33"	281.99'	N 20°42'53" W	277.78'
C13	25.00'	90°40'28"	39.56'	N 41°48'37" E	35.56'
C14	25.00'	90°00'00"	39.27'	N 47°51'09" W	35.36'

RESERVE	ACREAGE	SQ.FT.	TYPE
A	0.366	15,958	RESTRICTED TO LANDSCAPE / OPEN SPACE
B	0.250	10,894	RESTRICTED TO LANDSCAPE / OPEN SPACE
C	0.052	2,263	RESTRICTED TO LANDSCAPE / OPEN SPACE / DRAINAGE
TOTAL	0.668	29,114	



- GENERAL NOTES:
- "RES" INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACRES TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
  - ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
  - ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
  - ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
  - ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
  - LOTS BACKING OR SIDING MILL CREEK RD. ARE HEREBY DENIED DIRECT DRIVEWAY ACCESS TO AND FROM AFOREMENTIONED STREET.
  - SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
  - EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

- LEGEND
- RES. INDICATES RESERVE
  - B.L. INDICATES BUILDING LINE
  - U.E. INDICATES UTILITY EASEMENT
  - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
  - R.O.W. INDICATES RIGHT-OF-WAY
  - DOC NO. INDICATES DOCUMENT NUMBER
  - INDICATES STREETNAME CHANGE

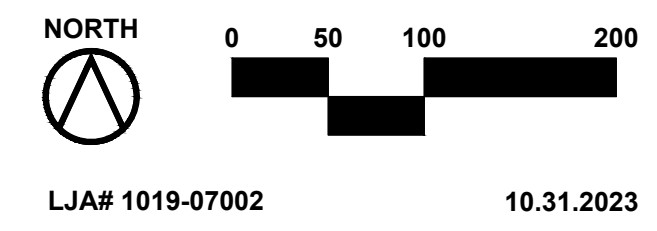
A PRELIMINARY PLAT OF  
**MILL CREEK**  
 SECTION 9

±15.8 ACRES  
 77 LOTS (50' x 120' TYP.) AND  
 3 RESTRICTED RESERVES IN 5 BLOCKS

OUT OF THE  
**JOHN B. RICHARDS SURVEY, A-449**  
 CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:  
**FORESTAR**

PLANNER:  
**LJA** Planning +  
 Landscape  
 Architecture  
 3600 W Sam Houston Pkwy S, Suite 600  
 Houston, Texas 77042  
 713.953.5200



DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER LJA ENGINEERING, INC. NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR SUITABILITY TO THE PURPOSES INTENDED, OR ANY UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY PROVIDER. ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.





# Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

## CONTACT INFORMATION

---

### Applicant

### Property Owner (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

### Architect (if different)

### Engineer/Land Surveyor (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail



**PROPERTY PROFILE**

---

Property ID # \_\_\_\_\_

Legal Description \_\_\_\_\_  
(Subdivision) (Lot) (Block)

Current Zoning \_\_\_\_\_

Present Use of Property

---

---

Proposed Use of the Property

---

---

Total Area of Site

---

---

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

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2. Description of proposed property change, including lot numbers, name, etc.

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\*\*\* **NOTE:** The City of Magnolia will return the Preliminary Plat documents to the applicant as administratively incomplete if the following are not attached for review:

- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat Application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- Onelines for all utilities in the project, including the utilities that require easements OR
- An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Preliminary approval from Montgomery County Emergency Communication District
- n/a Traffic Study, if necessary
- If any of the items are not available for any reason, provide a description and the reason why they were not provided: \_\_\_\_\_
- \_\_\_\_\_

---

#### Complete List of Items Requested

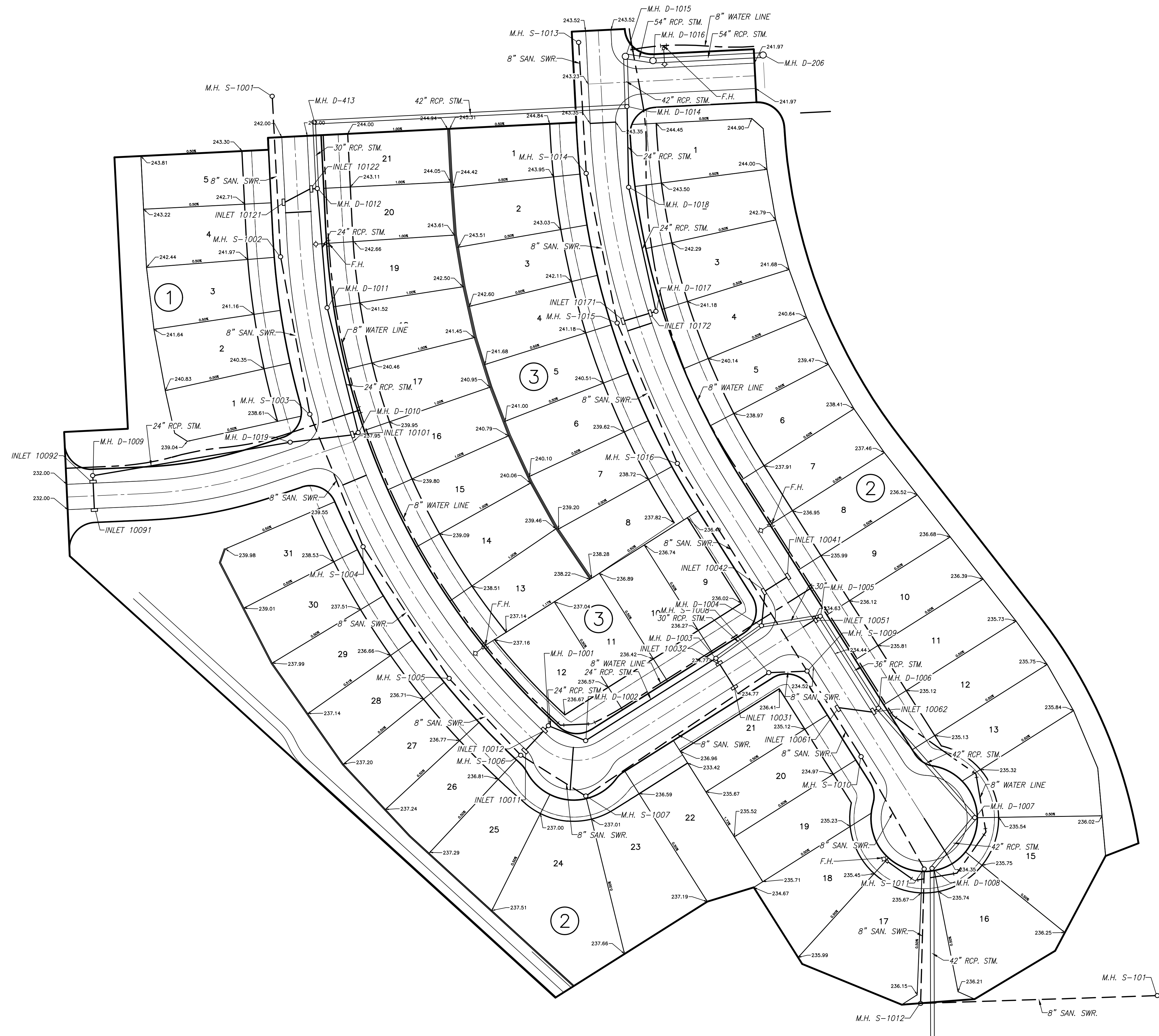
- The plat and all materials requested were uploaded to the Plat, Plan and Permit Portal via: [New Project \(encodeplus.com\)](#)
- n/a Property is approved for zoning
- n/a Site plan is approved or in the process of approval through the Planning and Zoning Commission and City Council
- Electronic pdf plat, minimum 20 inches x 24 inches
- Plat application
- Payment
- Provide a letter of explanation addressing each comment provided with the previous review, if a resubmittal
- Title opinion (title search) from a title guaranty company, not more than 30 days old
- Metes and Bounds
- Development or Utility Agreements, if applicable
- n/a  Proposed site complies with zoning
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)



Tabulations that include:

- Number of lots in the subdivision
- Size of the parcel
- Total acreage if multiple parcels
- Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (include all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths, and bearings of tangents) of:
  - Right-of-ways, streets, alleys, railroads, lots, open spaces, parks, protected natural resources, and buffers
  - Utility and access easements
  - Private access easements
- Names of proposed streets shown
- Streets that extend existing streets shall be assigned the same name as the existing street
- Preliminary approval from Montgomery County Emergency Communication District
- All block indications, lot numbers, and individual areas are designed by numbers or letters numbered consecutively
- Reserves are labeled as A, B C without numbers
- Accurate location, material, type, and description of all permanent control monuments or mean sea level datum provided
- Location and size of proposed parks, playgrounds, civic (including churches) or school sites, or other special uses of the land to be considered for dedication to public use, provided on a separately attached description
- Proposed generalized use of lots (e.g., mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided in a separately attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including the location of proposed culverts and bridge, provided on a separate utility sheet
- Onelines for all utilities in the project, including the utilities that require easements OR
  - An electronic pdf copy of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities, proposed fire hydrants, and natural gas lines.
- Easements for water, sanitary, and storm lines
- n/a  If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased.
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study, if necessary
- Lots meet the minimum or maximum requirements for front, interior, side, and rear building lines and setbacks
- Street dedications with the right of way provided
- Required justifications for cul-de-sacs, if proposed
- Development meets
  - open space ratio
  - maximum gross density
  - parkland dedication
  - parking space requirements
- Anticipated timelines for construction of the improvements shall be provided separately on attached description

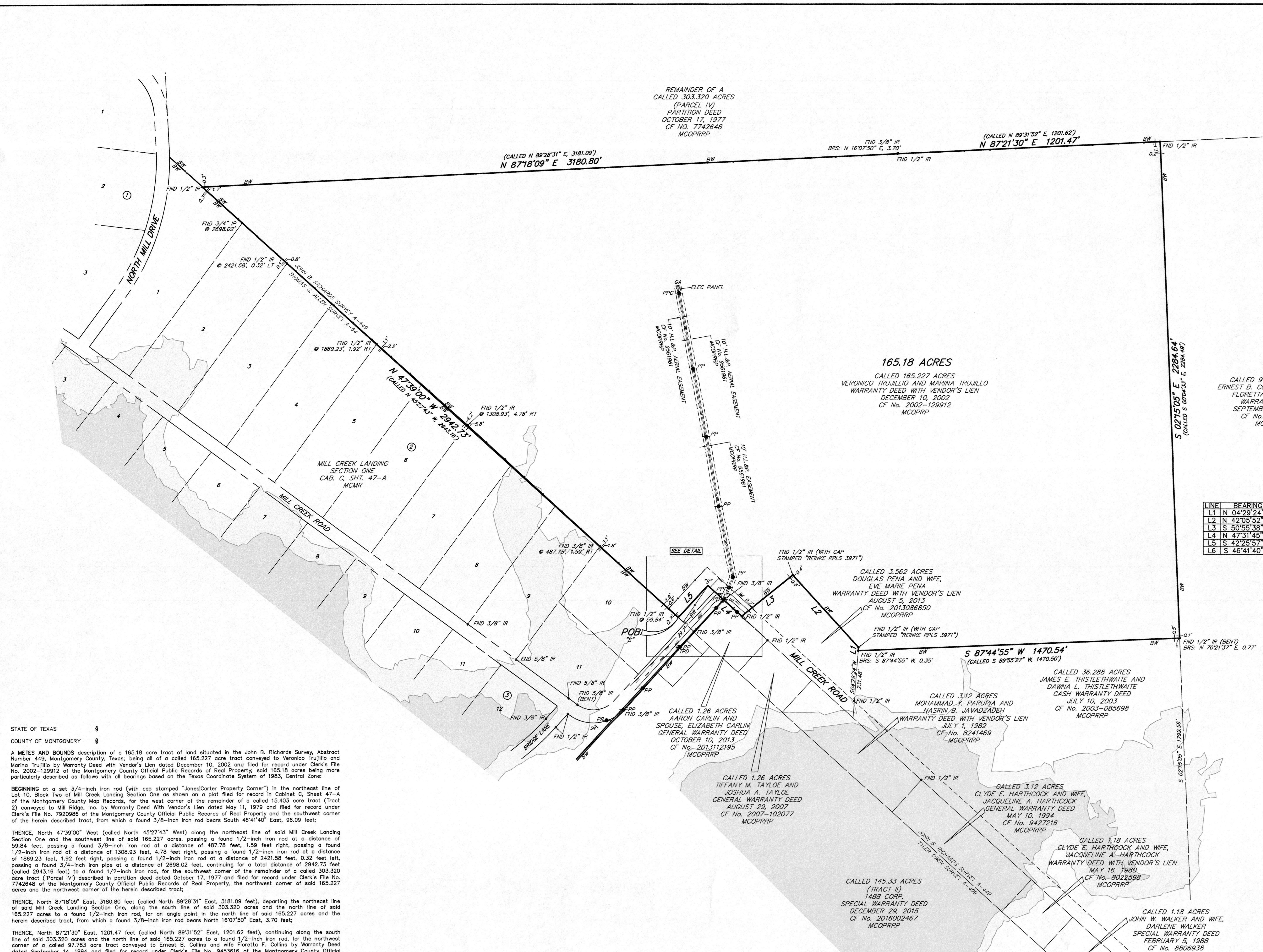
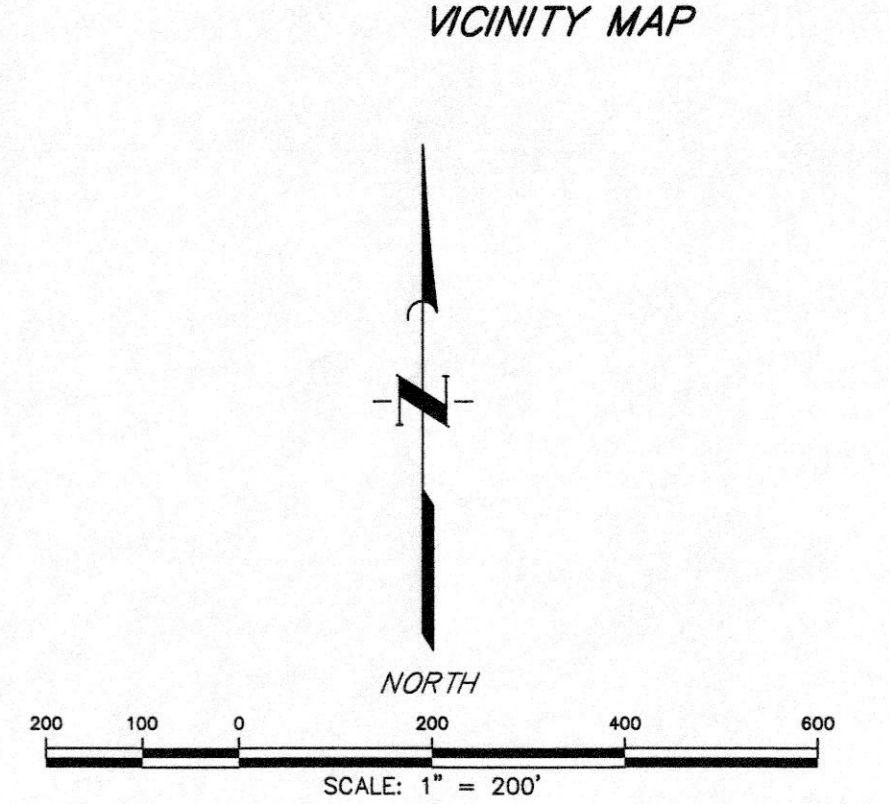
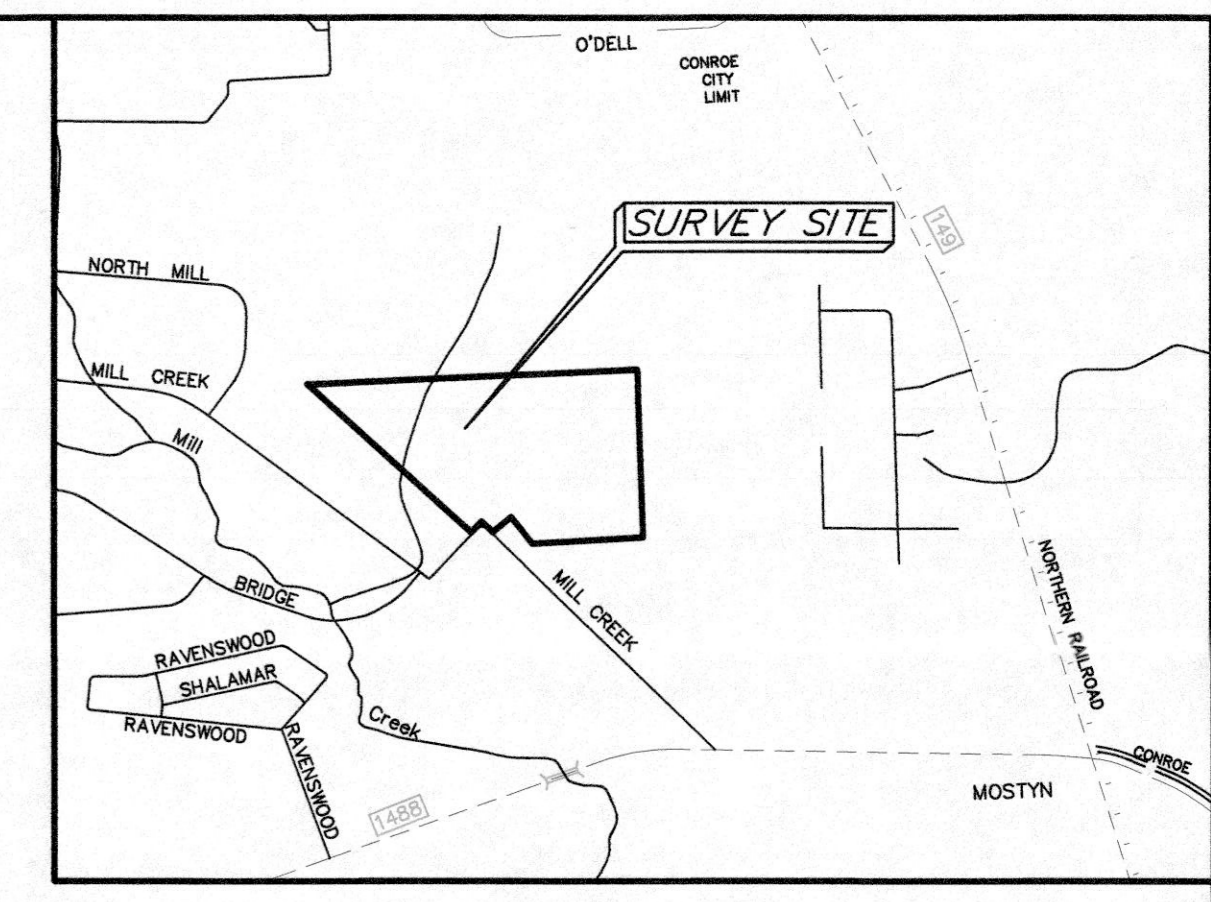




MC SECTION 10  
1" = 50'

Date: Time: Wed, 25 Oct 2023 - 4:56pm User Name: tjtitone  
Path Name: I:\Projek\1019\_3201 - Mill Creek Section 10\ACAD\Exhibits\Mill Creek Section 10.dwg





LINE	BEARING	DISTANCE	CALLED
L1	N 04°29'24" E	15.07'	N 06°39'42" E 15.10'
L2	N 42°05'52" W	448.17'	N 44°00'04" W 448.64'
L3	S 50°55'38" W	300.42'	S 53°10'21" W 300.79'
L4	N 47°31'45" W	210.02'	N 45°26'45" W 210.02'
L5	S 42°25'57" W	199.95'	S 44°30'57" W 199.90'
L6	S 46°41'40" E	96.09'	

STATE OF TEXAS  
 COUNTY OF MONTGOMERY

A METES AND BOUNDS description of a 165.18 acre tract of land situated in the John B. Richards Survey, Abstract Number 449, Montgomery County, Texas, being all of a called 165.227 acre tract conveyed to Veronica Trujillo and Marina Trujillo by Warranty Deed with Vendor's Lien dated December 10, 2002 and filed for record under Clerk's File No. 2002-129912 of the Montgomery County Official Public Records of Real Property, said 165.18 acres being more particularly described as follows with all bearings based on the Texas Coordinate System of 1983, Central Zone:

**BEGINNING** at a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner") in the northeast line of Lot 10, Block Two of Mill Creek Landing Section One as shown on a plat filed for record in Cabinet C, Sheet 47-14 of the Montgomery County Map Records, for the west corner of the remainder of a called 15.403 acre tract (Tract 2) conveyed to Mill Ridge, Inc. by Warranty Deed With Vendor's Lien dated May 11, 1979 and filed for record under Clerk's File No. 7920986 of the Montgomery County Official Public Records of Real Property and the southwest corner of the herein described tract, from which a found 3/8-inch iron rod bears South 46°41'40" East, 96.09 feet;

**THENCE** North 47°39'00" West (called North 45°27'43" West) along the northeast line of said Mill Creek Landing Section One and the southwest line of said 165.227 acres, passing a found 1/2-inch iron rod at a distance of 59.84 feet, passing a found 3/8-inch iron rod at a distance of 487.78 feet, 1.59 feet right, passing a found 1/2-inch iron rod at a distance of 1308.93 feet, 4.78 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 1/2-inch iron rod at a distance of 1869.23 feet, 1.92 feet right, passing a found 1/2-inch iron rod at a distance of 2421.58 feet, 0.32 feet left, passing a found 3/4-inch iron pipe at a distance of 2698.02 feet, continuing for a total distance of 2942.73 feet (called 2943.16 feet) to a found 1/2-inch iron rod, for the southwest corner of the remainder of a called 303.320 acre tract (Parcel IV) described in partition deed dated October 17, 1977 and filed for record under Clerk's File No. 7742848 of the Montgomery County Official Public Records of Real Property, the northwest corner of said 165.227 acres and the northeast corner of the herein described tract;

**THENCE** North 87°18'09" East, 3180.80 feet (called North 89°28'31" East, 3181.09 feet), departing the northeast line of said Mill Creek Landing Section One, along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for an angle point in the north line of said 165.227 acres and the herein described tract, from which a found 3/8-inch iron rod bears North 16°07'50" East, 3.70 feet;

**THENCE** North 87°21'30" East, 1201.47 feet (called North 89°31'52" East, 1201.62 feet), continuing along the south line of said 303.320 acres and the north line of said 165.227 acres to a found 1/2-inch iron rod, for the northeast corner of a called 97.783 acre tract conveyed to Ernest B. Collins and wife Floretta F. Collins by Warranty Deed dated September 14, 1994 and filed for record under Clerk's File No. 9453616 of the Montgomery County Official Public Records of Real Property and the northeast corner of said 165.227 acres and the herein described tract;

**THENCE** North 02°15'05" East, 2284.64 feet (called South 00°04'33" East, 2284.49 feet), departing the south line of said 303.320 acres, along the west line of said 97.783 acres and the east line of said 165.227 acres to a point, for the northeast corner of a called 36.288 acre tract conveyed to James E. Thistlethwaite and wife, Dawnna L. Thistlethwaite by Cash Warranty Deed dated July 10, 2003 and filed for record under Clerk's File No. 2003-085698 of the Montgomery County Official Public Records of Real Property and the southeast corner of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 02°15'05" East, 1799.96 feet;

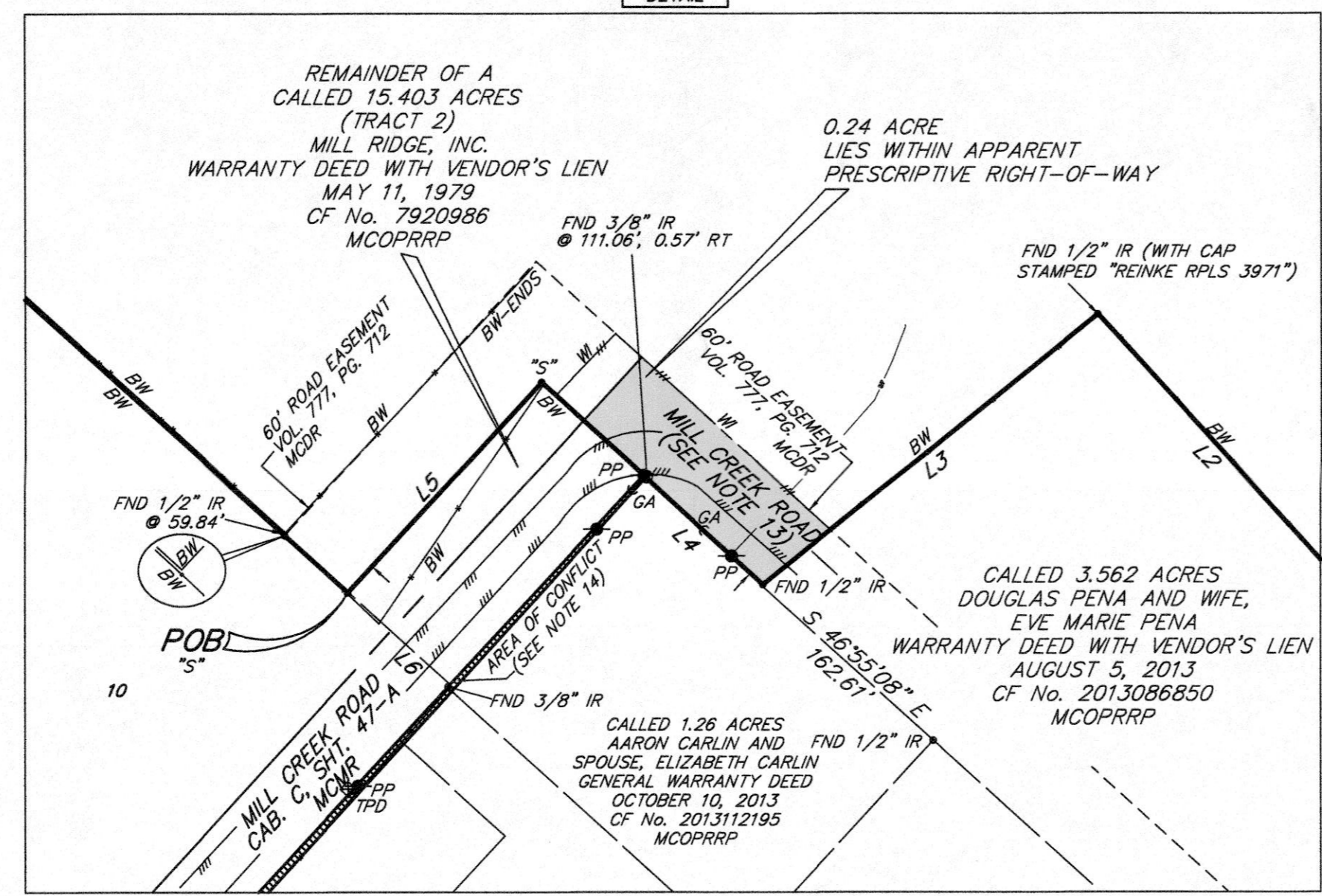
**THENCE** South 87°44'55" West, 1470.54 feet (called South 89°55'27" West, 1470.50 feet), departing the west line of said 97.783 acres, along the north line of said 36.288 acres and the south line of said 165.227 acres to a point in the east line of a called 3.562 acre tract conveyed to Douglas Pena and wife, Eve Marie Pena by Warranty Deed with Vendor's Lien dated August 5, 2013 and filed for record under Clerk's File No. 2013086850 of the Montgomery County Official Public Records of Real Property, for the northwest corner of said 36.288 acres and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod (beet) bears North 70°21'37" East, 0.77 feet and a found 3/8-inch iron rod (beet) bears South 87°44'55" West, 0.35 feet and a found 1/2-inch iron rod bears South 04°29'24" West, 231.48 feet;

**THENCE** North 04°29'24" East, 15.07 feet (called North 06°39'42" East, 15.10 feet), along the east line of said 3.562 acre and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod (with cap stamped "REINKE RPLS 3971"), for the north corner of said 3.562 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** North 42°05'52" West, 448.17 feet (called North 40°00'04" West, 448.64 feet) along the northeast line of said 3.562 acres and continuing along the south line of said 165.227 acres to a found 1/2-inch iron rod in the northeast line of a called 1.26 acre tract conveyed to Aaron Carlin and spouse, Elizabeth Carlin by General Warranty Deed dated October 10, 2013 and filed for record under Clerk's File No. 2013112195 of the Montgomery County Official Public Records of Real Property, for the west corner of said 3.562 acre and an angle point in the south line of said 165.227 acres and the herein described tract, from which a found 1/2-inch iron rod bears South 46°55'08" East, 162.61 feet;

**THENCE** North 47°31'45" West (called North 45°26'45" West), along the northeast line of said 1.26 acres and continuing along the south line of said 165.227 acres, passing a found 3/8-inch iron rod at a distance of 111.06 feet, 0.57 feet right and continuing along the northeast line of said 1.26 acres and the northeast line of said 15.403 acres for a total distance of 210.02 feet to a set 3/4-inch iron rod (with cap stamped "JonesCarter Property Corner"), for the north corner of said 15.403 acres and an angle point in the south line of said 165.227 acres and the herein described tract;

**THENCE** South 42°25'57" West, 199.95 feet along the northwest line of said 15.403 acres and continuing along the south line of said 165.227 acres to the POINT OF BEGINNING, CONTAINING 165.18 acres of land in Montgomery County, Texas.



REMAINDER OF A CALLED 15.403 ACRES (TRACT 2) MILL RIDGE, INC. WARRANTY DEED WITH VENDOR'S LIEN MAY 11, 1979 CF No. 7920986 MCOOPRRP

0.24 ACRE LIES WITHIN APPARENT PREScriptive RIGHT-OF-WAY

CALLLED 3.562 ACRES DOUGLAS PENA AND WIFE, EVE MARIE PENA WARRANTY DEED WITH VENDOR'S LIEN AUGUST 5, 2013 CF No. 2013086850 MCOOPRRP

CALLLED 1.26 ACRES AARON CARLIN AND SPOUSE, ELIZABETH CARLIN GENERAL WARRANTY DEED OCTOBER 10, 2013 CF No. 2013112195 MCOOPRRP

CALLLED 1.26 ACRES TIFFANY M. TAYLOR AND JOSHUA A. TAYLOR GENERAL WARRANTY DEED AUGUST 29, 2007 CF No. 2007-102077 MCOOPRRP

CALLLED 3.12 ACRES MOHAMMAD Y. PARUPIA AND NASRIN B. JAVADZADEH WARRANTY DEED WITH VENDOR'S LIEN JULY 1, 1992 CF No. 8241469 MCOOPRRP

CALLLED 3.12 ACRES CLYDE E. HARTHOOCK AND WIFE, JACQUELINE A. HARTHOOCK GENERAL WARRANTY DEED MAY 10, 1994 CF No. 9422216 MCOOPRRP

CALLLED 1.18 ACRES CLYDE E. HARTHOOCK AND WIFE, JACQUELINE A. HARTHOOCK WARRANTY DEED WITH VENDOR'S LIEN MAY 16, 1980 CF No. 8022598 MCOOPRRP

CALLLED 1.18 ACRES JOHN W. WALKER AND WIFE, DARLENE WALKER SPECIAL WARRANTY DEED FEBRUARY 5, 1983 CF No. 8806938 MCOOPRRP

CALLLED 1.18 ACRES JOHN W. WALKER AND WIFE, DARLENE WALKER SPECIAL WARRANTY DEED FEBRUARY 5, 1983 CF No. 8806938 MCOOPRRP

CALLLED 1.800 ACRES ROBERT L. HALLMARK AND WICKIE L. HALLMARK GENERAL WARRANTY DEED JANUARY 29, 2015 CF No. 2015008521 MCOOPRRP

CALLLED 0.8149 ACRES (TRACT II) 1488 CORP. SPECIAL WARRANTY DEED AUGUST 17, 2015 CF No. 2015081158 MCOOPRRP

- LEGEND**
- BW BARBED WIRE FENCE
  - CF No. CLERK'S FILE NUMBER
  - CAB CABINET
  - FND FOUND
  - GA GUY ANCHOR
  - IRON IRON ROD
  - IRP IRON PIPE
  - LT LEFT
  - MCMR MONTGOMERY COUNTY MAP RECORDS
  - MCOOPRRP MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
  - POB POINT OF BEGINNING
  - PP POWER POLE
  - PPC POWER POLE WITH DOWN CONDUIT
  - RT RIGHT
  - SN SIGN
  - S" SET 3/4-INCH IRON ROD (WITH CAP STAMPED "JONESCARTER PROPERTY CORNER")
  - SHT SHEET
  - TPD TELEPHONE PEDESTAL
  - W WRIGHT IRON FENCE
  - OVERHEAD POWER

"100"-YEAR  
 ZONE "A"

"500"-YEAR  
 SHADED ZONE "X"  
 (SEE NOTE 6)

GROSS ACREAGE = 165.18 ACRES  
 ACREAGE IN APPARENT PREScriptive RIGHT-OF-WAY = 0.24 ACRE  
 TOTAL NET ACREAGE = 165.94 ACRES



**LAND TITLE SURVEY OF 165.18 ACRES OUT OF THE JOHN B. RICHARDS SURVEY, A-449 MONTGOMERY COUNTY, TEXAS OCTOBER 2016**

**JC JONES CARTER**  
 COTTON SURVEYING DIVISION  
 Texas Board of Professional Land Surveying Registration No. 15046106  
 8700 New Trails Drive, Suite 200 - The Woodlands, Texas 77381  
 281.363.4039

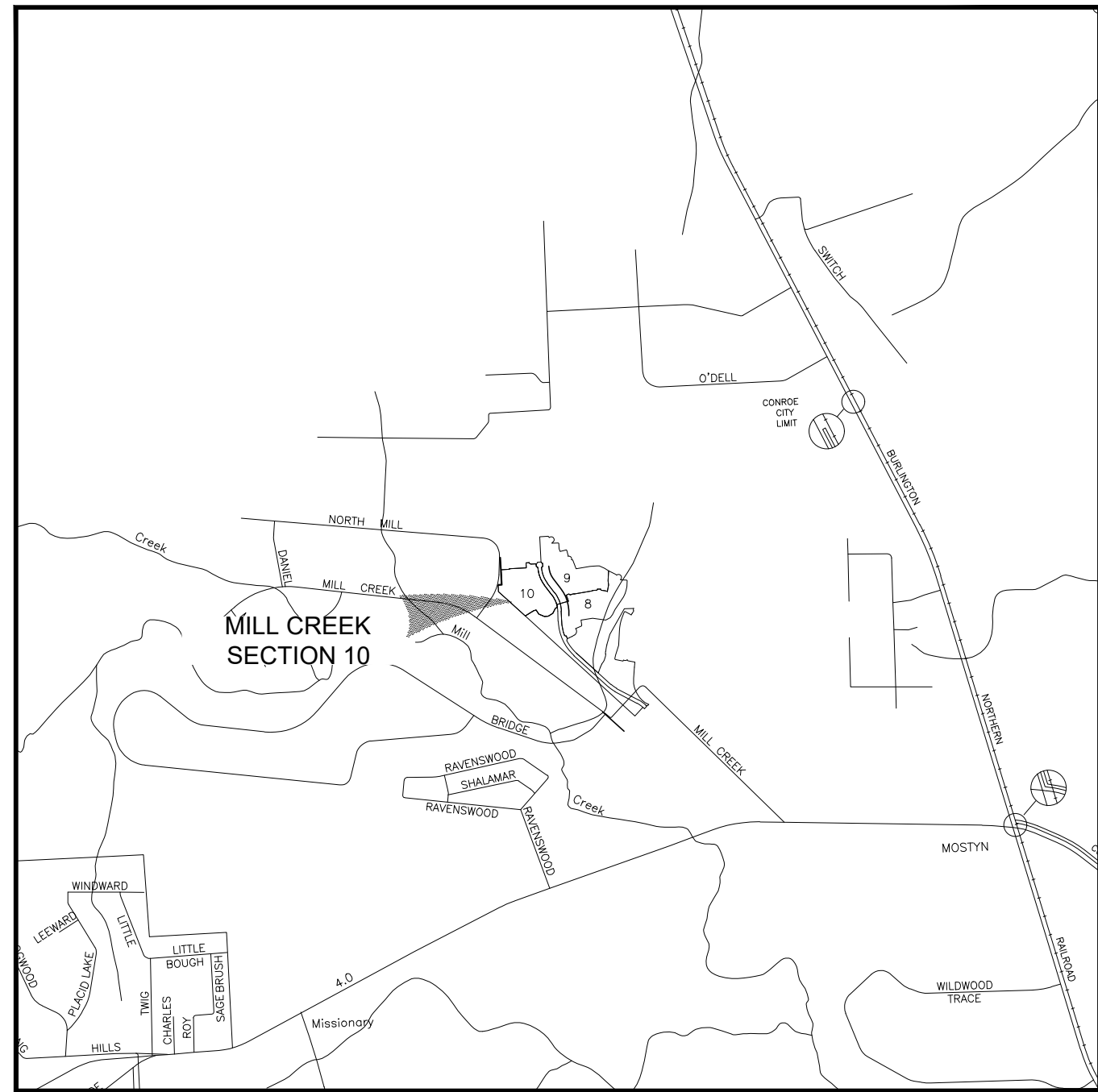
Subject to the General Notes shown:  
 To: LPUISA, Inc., Veronica Trujillo, Marina Trujillo, Fidelity National Title Insurance Company and Charter Title Company.

We, JonesCarter, acting by and through Russell B. Tarasiewicz, a Registered Professional Land Surveyor, hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.

Surveyed: October 10, 2016

- GENERAL NOTES:**
- Reference Commitment for Title Insurance issued by Fidelity National Title Insurance Company, counterpaneled by Charter Title Company, G.F. No. 1013004358, having an effective date of December 16, 2015 and an issue date of December 29, 2015. No further research for easements or encumbrances was performed by JonesCarter.
  - According to Item No. 10a of Schedule B of said Commitment for Title Insurance, the tract is subject to terms, conditions and stipulations of that certain surface application on-site wastewater treatment system filed for record under Clerk's File No. 2009-010818 of the Montgomery County Official Public Records of Real Property.
  - Development of the subject tract may require submittal, approval, and/or recording of a plat or replat. Rules and regulations are established by the governmental agency, which has jurisdiction. These rules and regulations may include dedication of setback lines, easements, additional right-of-way, and other matters.
  - Bearings shown hereon are based on the Texas Coordinate System of 1983, Central Zone.
  - This survey does not provide any determination concerning wetlands, fault lines, toxic waste or any other environmental issues. Such matters should be directed by the client or prospective purchaser to an expert consultant.
  - According to Map No. 48339C0480G of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Montgomery County, Texas, dated August 18, 2014, the subject tract is situated within: Shaded Zone "X"; defined as areas determined to be outside the 500-year flood plain; Shaded Zone "X"; defined as areas of 500-year flood; areas of 100-year flood with average depths of less than 1-foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.
  - This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
  - The location of the flood zone lines shown hereon are based on the geo-referenced shape file obtained from the Federal Emergency Management Agency. JonesCarter assumes no liability as to the accuracy of the flood zone lines.
  - Research for Adjoining Tracts was performed by JonesCarter on October 7, 2016.
  - Fences shown hereon are graphic only, with dimensional ties shown at specific locations where they were physically measured. The fence line may meander between said measured locations. The dimensions showing the distance between the fence and the property line also indicates which side of the property line the fence is on.
  - The square footage totals as shown hereon are based on the mathematical closure of the courses and distances reflected on this survey. It does not include the tolerances that may be present due to position accuracy of the boundary monuments shown hereon. The square footage shown hereon has an accuracy of ± 719 square feet. This is based on the calculations of area standards and the Manual of Practice for Land Surveying in the State of Texas as published by the Texas Society of Professional Land Surveyors for a 165.18 acre tract of land.
  - The surveyor has not been provided with construction plans showing the location of underground utilities. Underground utilities may exist, which are not shown hereon.
  - This survey has been prepared for the sole purpose of the transaction described in the above referenced Title Commitment and the parties listed thereon. This survey is not to be used for any subsequent transactions.
  - In coordination with the client it was agreed that no interior improvements would be located or shown hereon.
  - The subject tract is encumbered by a paved roadway known as Mill Creek Road and is maintained by Montgomery County. Said roadway lies within a called 60-foot wide easement granted to Barry Kaufman, Trustee by Road Easement dated June 25, 1972 and filed for record under Volume 777, Page 712 of the Montgomery County Deed Records. Mill Creek Road is included in the Road Log maintained by the Montgomery County Engineers Office. The roadway could be considered prescriptive in nature. The hatched area shown hereon is an estimation of the area that might be claimed as prescriptive right-of-way.
  - Area of conflict previously identified by JonesCarter, as shown on Dwg. No. 3635, dated July, 2015.



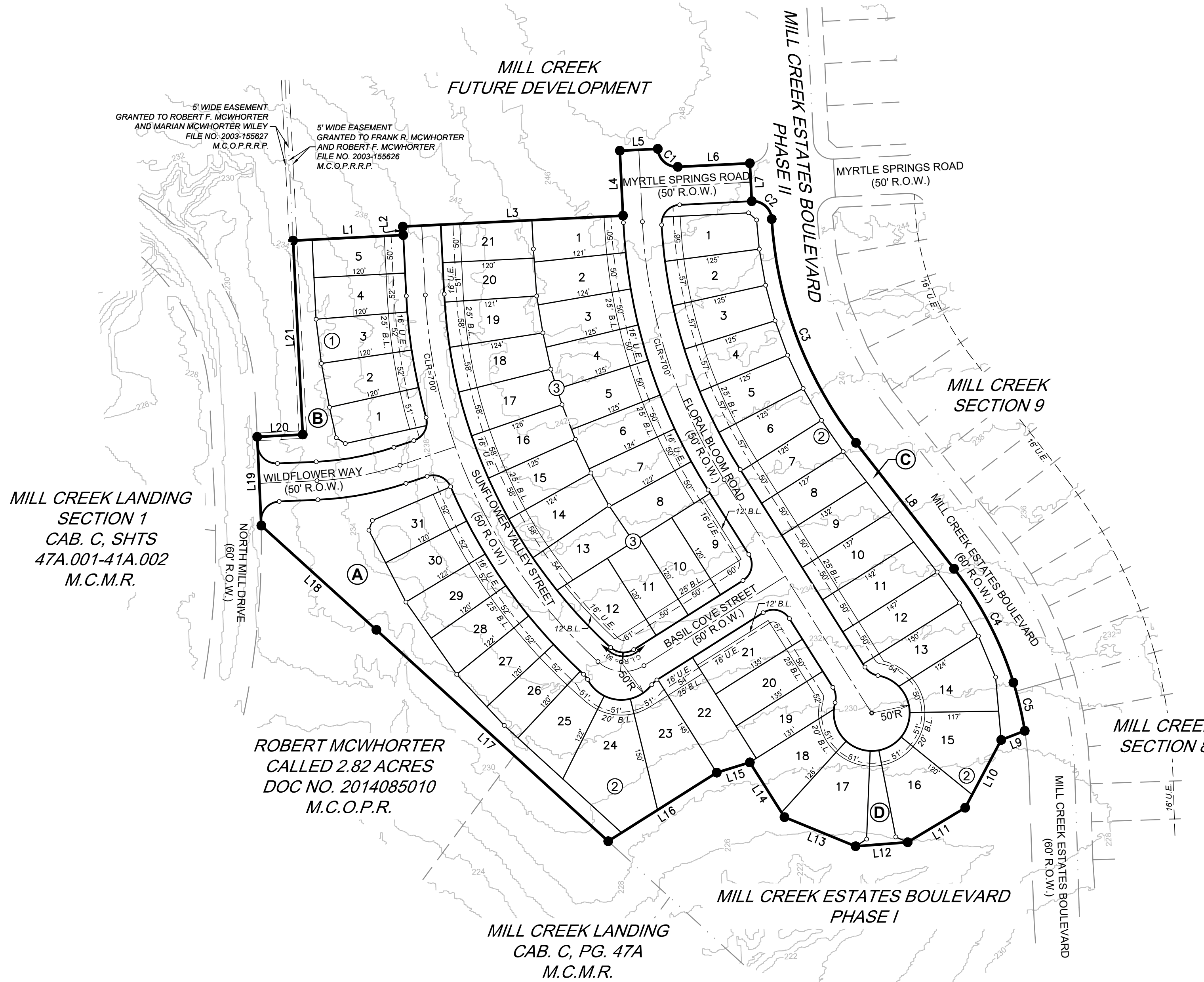


Vicinity Map  
1 inch = 1/2 mile

LINE	BEARING	DISTANCE
L1	N 87°08'51" E	145.00'
L2	N 02°51'09" W	11.22'
L3	N 87°08'51" E	290.00'
L4	N 02°51'09" W	85.46'
L5	N 87°08'51" E	50.00'
L6	N 87°08'51" E	95.00'
L7	S 02°52'51" E	50.00'
L8	S 37°54'10" E	209.78'
L9	S 68°47'30" W	33.18'
L10	S 28°00'06" W	100.94'
L11	S 59°01'08" W	88.16'
L12	S 89°37'51" W	68.71'
L13	N 67°45'27" W	101.09'
L14	N 32°18'22" W	85.12'
L15	S 72°56'57" W	45.61'
L16	S 57°41'38" W	168.86'
L17	N 47°38'53" W	412.54'
L18	N 47°49'59" W	204.22'
L19	N 02°37'07" W	116.80'
L20	N 87°09'41" E	60.00'
L21	N 02°51'09" W	255.39'

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	25.00'	90°00'00"	39.27'	S 47°51'09" E	35.36'
C2	25.00'	89°27'33"	39.03'	S 48°07'22" E	35.19'
C3	530.00'	34°30'34"	319.22'	S 20°38'53" E	314.42'
C4	470.00'	20°41'22"	189.72'	S 27°33'28" E	168.80'
C5	470.00'	7°57'12"	65.24'	S 13°14'12" E	65.19'

RESERVE	ACREAGE	SQ.FT.	TYPE
A	0.718	31,293	RESTRICTED TO LANDSCAPE / OPEN SPACE
B	0.307	13,362	RESTRICTED TO LANDSCAPE / OPEN SPACE
C	0.417	18,164	RESTRICTED TO LANDSCAPE / OPEN SPACE
D	0.076	3,312	RESTRICTED TO LANDSCAPE / OPEN SPACE / DRAINAGE
TOTAL	1.518	66,131	



- GENERAL NOTES:
- "1" RES" INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACREAGE TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL, THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
  - ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
  - ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
  - ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
  - ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
  - LOTS BACKING OR SIDING MILL CREEK RD. ARE HEREBY DENIED DIRECT DRIVEWAY ACCESS TO AND FROM AFOREMENTIONED STREET.
  - SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
  - EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

- LEGEND
- RES. INDICATES RESERVE
  - B.L. INDICATES BUILDING LINE
  - U.E. INDICATES UTILITY EASEMENT
  - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
  - M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
  - R.O.W. INDICATES RIGHT-OF-WAY
  - DOC NO. INDICATES DOCUMENT NUMBER
  - INDICATES STREETNAME CHANGE

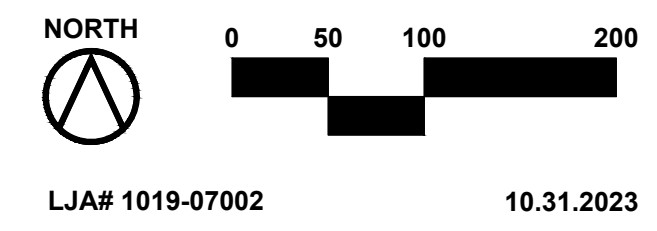
A PRELIMINARY PLAT OF  
**MILL CREEK**  
SECTION 10

±13.3 ACRES  
73 LOTS (50' x 120' TYP.) AND  
4 RESTRICTED RESERVES IN 3 BLOCKS

OUT OF THE  
**JOHN B. RICHARDS SURVEY, A-449**  
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:  
**FORESTAR**

PLANNER:  
**LJA** Planning +  
Landscape  
Architecture  
3600 W Sam Houston Pkwy S, Suite 600  
Houston, Texas 77042  
713.953.5200



LJA# 1019-07002 10.31.2023

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER LJA ENGINEERING, INC. NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR SUITABILITY TO THE PURPOSES INTENDED, OR ANY UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY PROVIDER. ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.