

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Holly Knee
Tom Mayhew
Robert Franklin



City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Planning Coordinator, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, AUGUST 18, 2022 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held July 21, 2022.

3. STAFF REPORTS

4. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

5. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

6. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR CHRISTIAN BROTHERS AUTOMOTIVE AT MAGNOLIA PLACE RESERVE A.**
7. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MAGNOLIA PARKWAY STORAGE PHASE II AT 18015 FM 1488.**
8. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MHT HOMES AT 38925 FM 1774.**
9. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE DRAINAGE IMPACT ANALYSIS FOR MHT HOMES AT 38925 FM 1774.**
10. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE GLEN OAKS, SECTION 5, FINAL PLAT, +/- 35.20 ACRES.**
11. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE WATER PLANT #3, PRELIMINARY PLAT, 2.281 ACRES.**
12. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAJOR MODIFICATION OF PLAT FOR MELTON STREET LOTS 1, 2 AND 3.**
13. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MILL CREEK ESTATES, SECTION 7, FINAL PLAT, +/- 47.307 ACRES.**
14. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MILL CREEK ESTATES BLVD.**
15. **FUTURE AGENDA ITEMS**
16. **ADJOURN**

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Kandice Garrett, City Secretary

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Robert Franklin
Holly Knee
Tom Mayhew



City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, AEI, Mike Kurzy
Planning Consultant, Tana Ross

MINUTES OF THE PLANNING & ZONING COMMISSION PUBLIC HEARING AND REGULAR MEETING JULY 21, 2022

A meeting of the Planning & Zoning Commission was held on July 21, 2022, beginning at 4:30 p.m. in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Scott Shelburne called the regular meeting to order at 4:30 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Scott Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Scott Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Trevor Brown, Robert Franklin, Holly Knee, and Tom Mayhew.

Absent: Anne Sundquist and Josh Jakubik

Staff present: City Administrator Don Doering, City Secretary Kandice Garrett, and Planning Coordinator Christian Gable.

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the Joint Public Hearing with City Council and Planning & Zoning Commission Meeting held June 14, 2022.

b. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held June 16, 2022.

MOTION: Upon a motion to approve Consent Agenda made by Tom Mayhew and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 5-0.

3. STAFF REPORTS

Planning Coordinator Christian Gable provided a brief summary of developments.

4. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

Frank Parker, 31602 Hanks Rd., Magnolia, TX 77355, spoke in regard to the Comprehensive Plan and constructing a relief road from Nichols Sawmill Rd. to south of FM 1774.

5. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

Planning Coordinator Christian Gable announced the following:

- Blood drive held by MD Anderson on Wednesday, August 31, 2022 at 10 a.m. to 2 p.m. at City Hall in the parking lot.
- 2nd Annual Patriots of Texas Fest Cookoff and Concert Event at Unity Park featuring Jesse Raub Jr. on September 16-17, 2022.
- Stroll Through the Renaissance on Saturday, October 1 at 3 p.m. to 7 p.m.

City Administrator Don Doering reported that Commerce Street was getting paved.

6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA PLACE, SECTION 1, PRELIMINARY PLAT, +/-33.6 ACRES.

Planning Coordinator Christian Gable stated the actual plat is for Section 2. The correct description for this item came in after the agenda was posted. It was reviewed by City Engineer, a letter of no objection provided, and she recommended approval.

MOTION: Upon a motion to approve Magnolia Place, Section 2, Preliminary Plat, +/-33.6 acres pending made by Robert Franklin and seconded by Tom Mayhew, the Commission members present voted and the motion carried unanimously, 5-0.

7. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE 15-ACRE 1486 TRACT, WILLIAM T. DUNLAVY SURVEY, ABSTRACT 168, PRELIMINARY PLAT

Item was removed due to prior approval at the May meeting.

8. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MYRTLE GARDENS, FINAL PLAT, +/-27.794 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve Myrtle Gardens, Final Plat, +/-27.794 acres made by Holly Knee and seconded by Tom Mayhew, the Commission members present voted and the motion carried unanimously, 5-0.

9. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MUSTANG RIDGE, SECTION 3, +/-25.522 ACRES

Planning Coordinator Christian Gable stated the site plan has been reviewed by City Engineer and there are outstanding comments. The item was postponed to the next meeting.

10. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MUSTANG RIDGE, SECTION 3, FINAL PLAT, +/-25.522 ACRES

This item was postponed to the next meeting.

11. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MAGNOLIA RIDGE, SECTION 15, +/-20.232 ACRES

Planning Coordinator Christian Gable stated the site plan has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve the Site Plan for Magnolia Ridge, Section 15, +/-20.232 acres made by Robert Franklin and seconded by Tom Mayhew, the Commission members present voted and the motion carried unanimously, 5-0.

12. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE, SECTION 15, FINAL PLAT, +/-20.232 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve Magnolia Ridge, Section 15, Final Plat, +/-20.232 acres made by Robert Franklin and seconded by Tom Mayhew, the Commission members present voted and the motion carried unanimously, 5-0.

13. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MAGNOLIA RIDGE FOREST, SECTION 17, +/-50.434 ACRES

Planning Coordinator Christian Gable stated the site plan has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve the Site Plan for Magnolia Ridge Forest, Section 17, +/-50.434 acres made by Robert Franklin and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 5-0.

14. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 17, FINAL PLAT, +/-50.434 ACRES

Item postponed until receipt of City Engineer letter of no objection.

15. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 18, FINAL PLAT, +/-27.589 ACRES

Item postponed until receipt of City Engineer letter of no objection.

16. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 19, FINAL PLAT, +/-33.709 ACRES

Item postponed until receipt of City Engineer letter of no objection.

17. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 20, PRELIMINARY PLAT, +/-41.3 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve Magnolia Ridge Forest, Section 20, Preliminary Plat, +/-41.3 acres made by Holly Knee and seconded by Robert Franklin, the Commission members present voted and the motion carried unanimously, 5-0.

18. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR WATER AND SANITARY SEWER UTILITIES AT ESCONDIDO ALONG PRADOO CROSSING.

Planning Coordinator Christian Gable stated the site plan has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve Site Plan for Water and Sanitary Sewer Utilities at Escondido along Pradoo Crossing made by Robert Franklin and seconded by Tom Mayhew, the Commission members present voted and the motion carried unanimously, 5-0.

19. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 5, PRELIMINARY PLAT, +/-29.567 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve Escondido, Section 5, Preliminary Plat, +/-29.567 made by Tom Mayhew and seconded by Robert Franklin, the Commission members present voted and the motion carried unanimously, 5-0.

20. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR ESCONDIDO, SECTION 5, +/-29.567 ACRES

Item postponed until receipt of City Engineer letter of no objection.

21. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 5, FINAL PLAT, +/-29.567 ACRES

Item postponed until receipt of City Engineer letter of no objection.

22. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 7, PRELIMINARY PLAT, +/-32.206 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve Escondido, Section 7, Preliminary Plat, +/-32.206 made by Tom Mayhew and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 5-0.

23. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 7, FINAL PLAT, +/-32.206 ACRES

Item postponed until receipt of City Engineer letter of no objection.

24. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 9, PRELIMINARY PLAT, +/-13.114 ACRES

Item was removed due to prior approval at the March meeting.

25. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MILL CREEK ESTATES SEC 6, +/-43.7 ACRES

Planning Coordinator Christian Gable stated the site plan has been reviewed by City Engineer,

a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve site plan for Mill Creek Estates, Section 6, +/-43.7 acres made by Holly Knee and seconded by Robert Franklin, the Commission members present voted and the motion carried unanimously, 5-0.

26. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MILL CREEK ESTATES SEC 8, +/-19.2 ACRES

Planning Coordinator Christian Gable stated the site plan has been reviewed by City Engineer, and there are a couple of outstanding comments that need to be addressed. She recommended approval pending City Engineer letter of no objection.

MOTION: Upon a motion to approve Site Plan for Mill Creek Estates, Section 8, +/-19.2 acres pending City Engineer letter of no objection made by Robert Franklin and seconded by Tom Mayhew, the Commission members present voted and the motion carried unanimously, 5-0.

27. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR WINDMILL ESTATES, +/-8.164 ACRES

Planning Coordinator Christian Gable stated the site plan has been reviewed by City Engineer, a letter of no objection provided, and recommended approval.

MOTION: Upon a motion to approve Site Plan for Windmill Estates, +/-8.164 acres made by Holly Knee and seconded by Robert Franklin, the Commission members present voted and the motion carried unanimously, 5-0.

28. FUTURE AGENDA ITEMS

Chairman Shelburne mentioned looking at plans regarding Nichols Sawmill Rd. in relation to the Comprehensive Plan and Montgomery County Thoroughfare Plan.

29. ADJOURN

MOTION: Upon a motion to adjourn made by Robert Franklin and seconded by Holly Knee, the Commission members present voted, the motion carried unanimously, 5-0 and Chairman Shelburne adjourned the meeting at 5:13 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on July 21, 2022.

ATTEST:

Kandice Garrett, City Secretary

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 6**

Background/Information:

An application for a site work permit was received on August 4, 2022.

Comments:

Review letter is expected from City Engineer before P&Z 8/18. Building plans are under review by Bureau Veritas.

Action Requested:

Approve site plan for Christian Brothers Automotive.

Recommendation:

Approve site plan for Christian Brothers Automotive under the condition that it receives City Engineer approval.

Attachments:

Site Plan



SITE WORK PERMIT APPLICATION

18111 Buddy Riley Blvd.
Magnolia, Texas 77354
Phone: 281-356-2266
Fax: 281-259-7811
www.cityofmagnolia.com

Please fill out completely except for shaded areas.

Site Address Red Creek Circle @ Jordan Lewis Way		Permit Number	
Property ID: R497572	Lot No. <small>Reserve A Magnolia Place Section 1</small>	Block: Zoning District: Auto-Urban Commercial	
Future Owner: <small>Christian Brothers Automotive Corporation</small>	Mailing Address: 17725 Katy Fwy, Suite 200, Houston, TX 77094		
Contractor: TBD	Mailing Address:	Phone: 281-675-6234	
Use: <input type="radio"/> Residential <input checked="" type="radio"/> Commercial	Flood Zone: <input type="radio"/> Yes <input checked="" type="radio"/> No		
Class of Work <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Paving <input checked="" type="checkbox"/> Storm <input checked="" type="checkbox"/> Sewer <input checked="" type="checkbox"/> Water <input type="checkbox"/> Other			
Describe Work: Development of an automotive service and maintenance facility featuring 9 bays, an office area, and a customer lounge.			
Engineer: PEA Group	Mailing Address: 16060 Dillard Dr, Suite 250, Houston, TX 77040	Phone: 713-688-3530	
PRIMARY CONTACT EMAIL: hou.permits@peagroup.com			
<p style="text-align: center;">NOTICE</p> <p>This permit becomes null and void if work or construction authorized is not commenced within six (6) months, or if construction or work is abandoned for a period of six (6) months at any time after work is commenced. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law relating to construction, nor does it give authorization or approval to encroach on any easement or property or violate any deed restrictions. The City of Magnolia shall never be liable for any damage or loss by reason of the issuance hereof. Each holder and other persons acting under authority of this permit are personally responsible for compliance with all of the above provisions and assume the entire risks incidental to the work being permitted.</p> <p style="text-align: center;">I hereby certify that I have read and examined this application and know the same to be true and correct.</p>		Total Project Valuation \$ 538,176.00 (Civil Site Work Only)	
		Acreage or Lot Size 1.189-Acres	
		Office Use Only	
		Plan/Inspection fee 0.5%	\$
		Permit Fee 2%	\$
		Water Impact fee	\$
		Sewer Impact Fee	\$
Total Amount Due	\$		
City Inspector Notes			
Signature of Applicant: 		Date: 07-12-22	
Printed Name: Jacques Gilbert		Date: 07-12-22	
Signature of Future Owner: 		Date: 7-13-22	
PLEASE NOTE THERE SHALL BE NO REFUND OF FEES.			

PRIVATE SITEWORK PLANS FOR

CHRISTIAN BROTHERS AUTOMOTIVE

FM 1488 & 149 SPUR ROAD
MAGNOLIA, TEXAS 77354
MONTGOMERY COUNTY

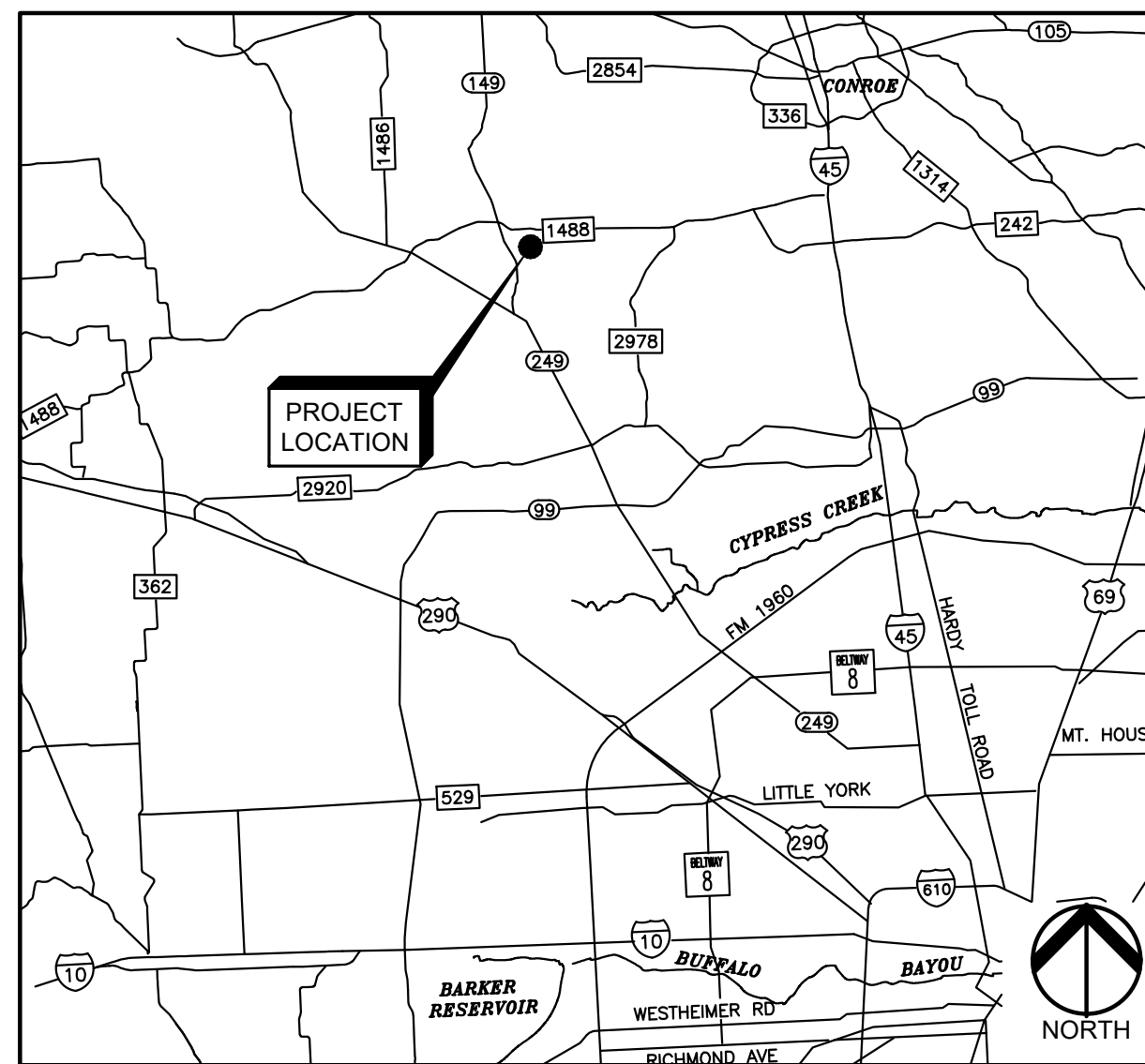
PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

INDEX OF DRAWINGS	
NUMBER	TITLE
C-0.0	COVER
C-0.1	GENERAL CONSTRUCTION NOTES
C-0.2	SURVEY
C-0.3	DEMOLITION PLAN
C-1.0	DIMENSION CONTROL PLAN
C-2.0	GRADING PLAN
C-3.0	DRAINAGE & DETENTION PLAN
C-3.1	DETENTION & HYDRAULIC CALCULATIONS
C-4.0	UTILITY PLAN
C-5.0	PAVING PLAN
C-6.0	SWPPP PLAN
C-6.1	SWPPP DETAILS
C-7.0	SITE DETAILS SHEET 1
C-7.1	SITE DETAILS SHEET 2
C-7.2	SITE DETAILS SHEET 3
C-7.3	SITE DETAILS SHEET 4
LI-1	IRRIGATION PLAN
LP-1	LANDSCAPE PLAN
LP-2	PLANTING SPECIFICATIONS
LP-3	PLANTING DETAILS
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION SPECS & DETAILS

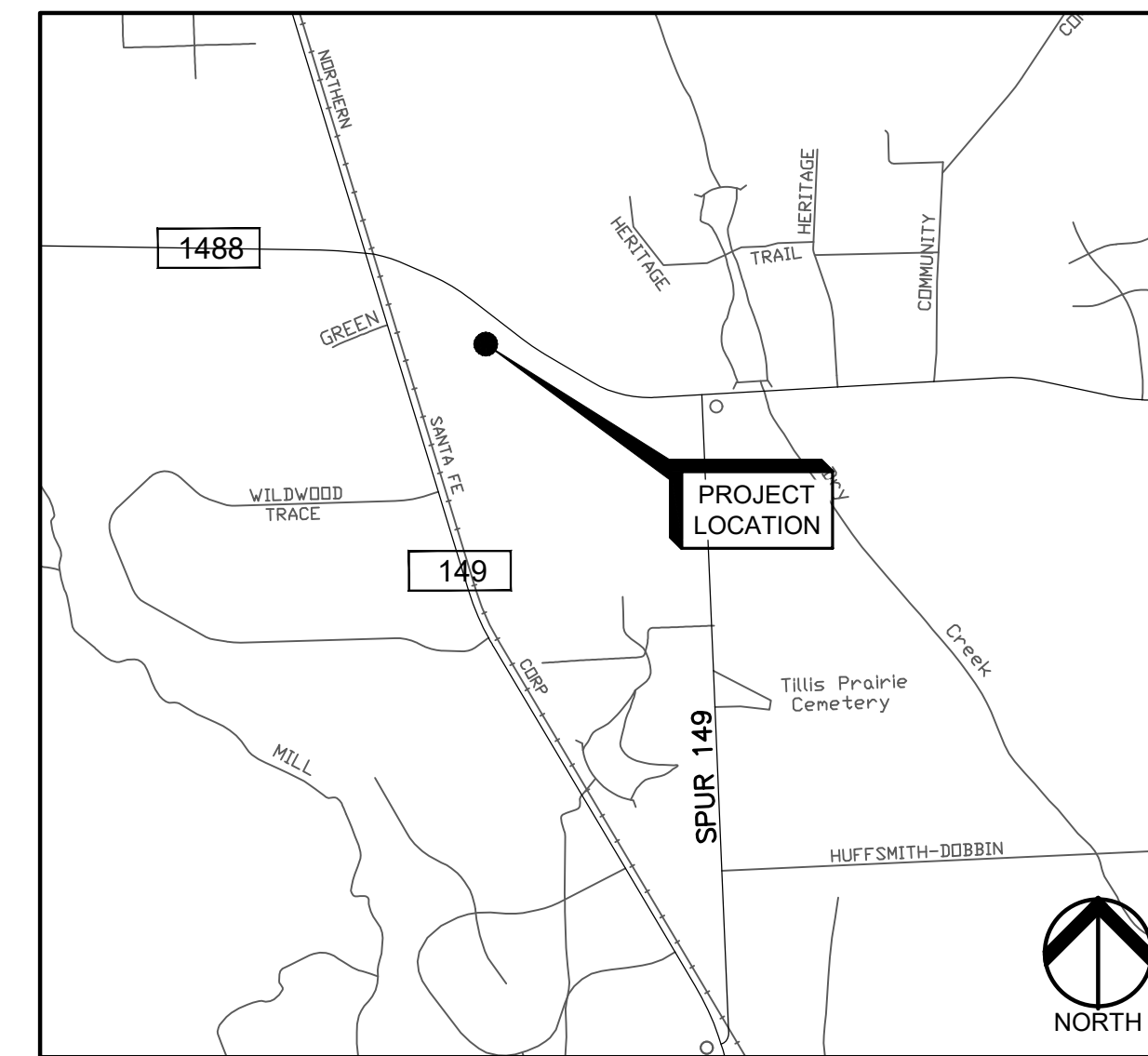
FLOODPLAIN NOTE:
ACCORDING TO MAP No. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.



THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER

CHRISTIAN BROTHERS AUTOMOTIVE CORPORATION
17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77094
CONTACT: SPENCER HINOJOSA
PHONE: 281.675.6241
EMAIL: SPENCER.HINOJOSA@CBAC.COM

ARCHITECT

ICON ARCHITECTS, INC.
703 SAN YSIDRO TRAIL
MANSFIELD, TEXAS 76063
CONTACT: DANA KING
PHONE: 979.255.6927
EMAIL: DLK-ARCHITECT@OUTLOOK.COM

CITY ENGINEER

CITY OF MAGNOLIA
18111 BUDDY RILEY BLVD
MAGNOLIA, TEXAS 77354
CONTACT: MIKE KURZY
PHONE: 281.350.7027
EMAIL: MKURZY@BAXTERWOODMAN.COM

CIVIL ENGINEER

PEA GROUP
16060 DILLARD DR., SUITE 250
HOUSTON, TEXAS 77040
CONTACT: JACQUES M. GILBERT, PE
PHONE: 713.688.3530
EMAIL: JGILBERT@PEAGROUP.COM

LANDSCAPE ARCHITECT

EVERGREEN DESIGN GROUP, INC.
PO BOX 2193
GARNER, NC 27529
CONTACT: RODNEY McNABB
PHONE: 800.680.6630
EMAIL: RODNEY@EVERGREENDESIGNGROUP.COM

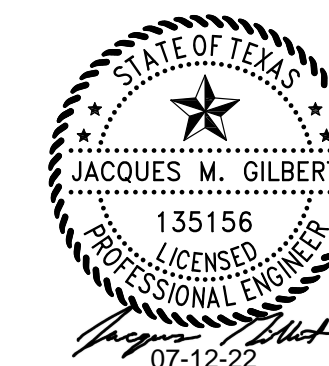
PLANNING COORDINATOR

CITY OF MAGNOLIA
18111 BUDDY RILEY BLVD
MAGNOLIA, TX 77354
CONTACT: CHRISTIAN GABLE
PHONE: 281.356.2266 EXT 1547
EMAIL: CGABLE@CITYOFMAGNOLIA.COM



16060 DILLARD DRIVE, SUITE 250
HOUSTON, TEXAS 77040
713-688-3530
T.B.P.E.L.S. FIRM
#F-21237 & #10194679

REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	7/12/2022



PEA JOB NO. 2022-0058
P.M. GHF
DN. FHT
DES. TS
DRAWING NUMBER:
1

Symbol Legend	
○	Denotes BENCH MARK
◆	FIRE HYDRANT
┆	GUY
⊠	WATER VALVE
⊞	GRATE INLET
⊕	POWER POLE
⊠	GAS PIPELINE MARKER
●	IRON ROD
⊙	MONUMENT
⊕	SIGN
⊙	TREE
⊙	UNKNOWN MANHOLE

M.C.O.P.R. MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
M.R.M.C. MAP RECORDS MONTGOMERY COUNTY

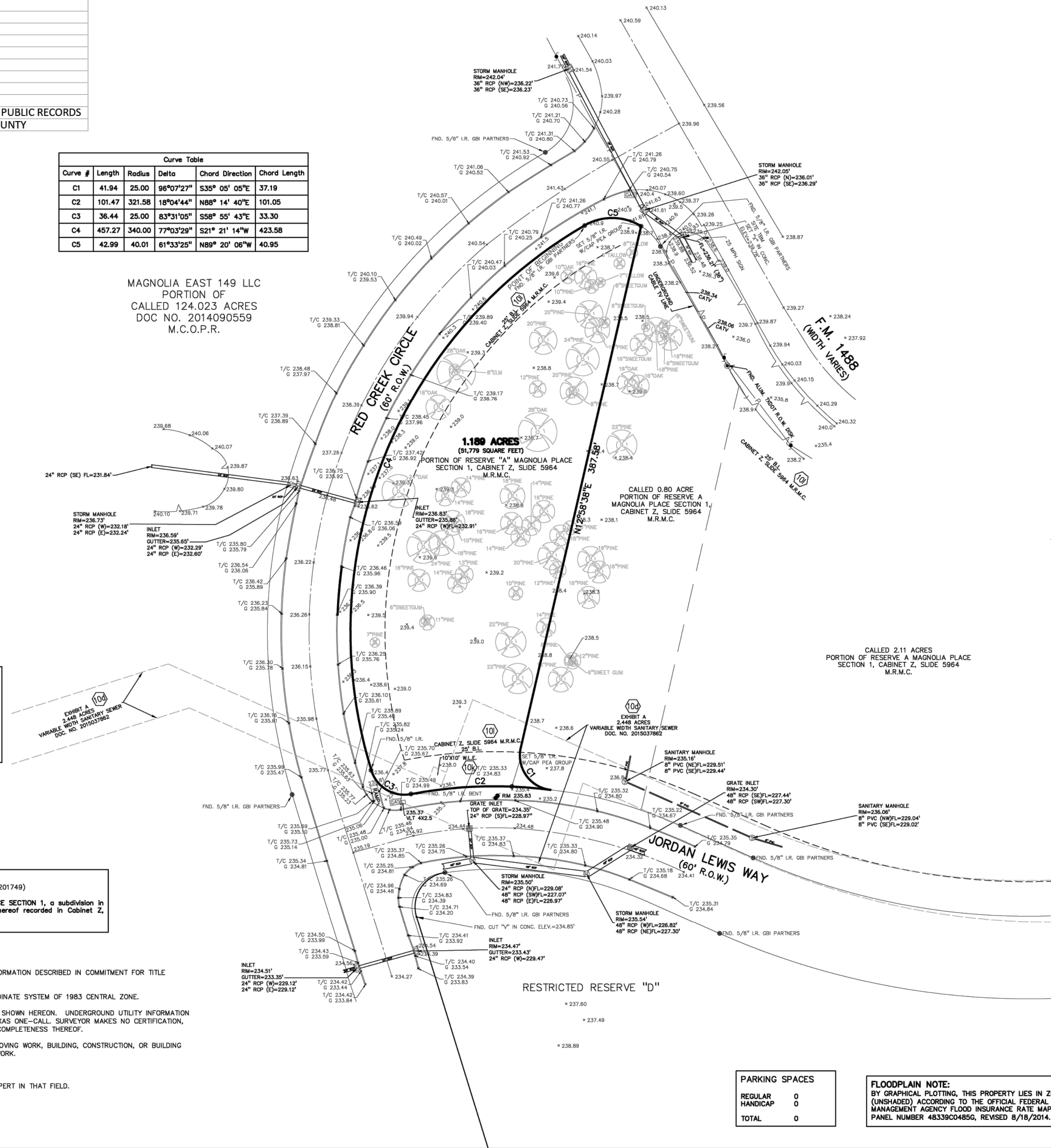
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	41.94	25.00	96°07'27"	S35° 05' 05"E	37.19
C2	101.47	321.58	18°04'44"	N88° 14' 40"E	101.05
C3	36.44	25.00	83°31'05"	S58° 55' 43"E	33.30
C4	457.27	340.00	77°03'29"	S21° 21' 14"W	423.58
C5	42.99	40.01	61°33'25"	N89° 20' 06"W	40.95

BENCHMARKS
NAVD88 (2021 ADJ.)
NGS/A1281/BL1869
BRASS DISC IN 4" SLEEVE.
CALLED ELEV.(GPS OBS) - 231.30'
SITE TBM
SET OUT "X" ON TOP OF CONC. CULVERT HEADWALL AND NEAR THE INTERSECTION OF RED CREEK CIRCLE AND F.M. 1488
ELEV. - 239.78'

LEGAL DESCRIPTION
(PER FIRST AMERICAN TITLE INSURANCE COMPANY, GF No. 202201749)
1.189 Acres of land being out of Reserve "A", MAGNOLIA PLACE SECTION 1, a subdivision in MONTGOMERY County, Texas according to the map or plat thereof recorded in Cabinet Z, Slide 5964 of the Map Records of said County.

SURVEYOR'S NOTES:

- THIS SURVEY WAS MADE IN CONJUNCTION WITH THE INFORMATION DESCRIBED IN COMMITMENT FOR TITLE INSURANCE FURTHER DESCRIBED HEREON.
- BEARINGS SHOWN HEREON ARE BASED ON TEXAS COORDINATE SYSTEM OF 1983 CENTRAL ZONE.
- VISIBLE EVIDENCE OF IMPROVEMENTS AND UTILITIES ARE SHOWN HEREON. UNDERGROUND UTILITY INFORMATION SHOWN HEREON BASED ON LOCATIONS PROVIDED BY TEXAS ONE-CALL. SURVEYOR MAKES NO CERTIFICATION, STATEMENT OR GUARANTEE AS TO THE ACCURACY OR COMPLETENESS THEREOF.
- SURVEYOR DID OBSERVE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING, CONSTRUCTION, OR BUILDING ADDITIONS IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO BUILDING WAS ON SITE AT TIME OF SURVEY.
- OIL AND GAS MATTERS SHOULD BE PURSUED BY AN EXPERT IN THAT FIELD.



SCHEDULE B EXCEPTIONS:
Per First American Title Insurance Company, GF Number 202201749, Effective Date: April 6, 2022, issued Date: April 20, 2022

- The following restrictive covenants of record itemized below:
 - Montgomery County Clerk's File No. 2014092222; Montgomery County Clerk's File No. 2016020130; Montgomery County Clerk's File No. 2021113438; and Cabinet Z, Slide 5964 of the Map Records of Montgomery County, Texas. (SUBJECT TO)
- The following matters and all terms of the documents creating or offering evidence of the matters (We must insert matters or delete this exception.):
 - a. The terms, conditions and stipulations of that certain Final Order of the Railroad Commission of Texas, Oil Gas Docket No. 03-028453, as evidenced by Memorandum Regarding Order Issued by the Railroad Commission of Texas Designating Drilling/Operation Sites and Easements dated September 30, 2010, recorded under Montgomery County Clerk's File No. 2010090942, as affected by Montgomery County Clerk's File No. 2014081756. (SUBJECT SITE IS OUTSIDE OF OPERATION SITE AND PIPELINE/ACCESS ESMT.)
 - b. Subject to all definitions, easements, covenants, limitations, conditions, rights, privileges, obligations, liabilities, and all other terms and provisions of that certain Declaration of Easements, Covenants, Conditions and Restrictions recorded under Montgomery County Clerk's File No. 2016020130 and Montgomery County Clerk's File No. 2021113438. (SUBJECT TO, BLANKET IN NATURE)
 - c. The terms, conditions and stipulations of that certain Purchase Options Agreement dated September 15, 2014, as evidenced by Memorandum of Purchase Options Agreement recorded under Montgomery County Clerk's File No. 2014092222, as affected by Montgomery County Clerk's File No. 2016020129. (SUBJECT TO, BLANKET IN NATURE)
 - d. Utility easement granted to the City of Magnolia, by instrument dated April 7, 2015, recorded under Montgomery County Clerk's File No. 2015037862. (SANITARY ESMT, EXHIBIT A-AFFECTS AS SHOWN; EXHIBITS B, C & D ARE LOCATED OUTSIDE OF SUBJECT TRACT)
 - e. Utility and access easement granted to the City of Magnolia, by instrument dated May 23, 2016, recorded under Montgomery County Clerk's File No. 2015037866. (DOES NOT AFFECT SUBJECT TRACT)
 - f. Utility easement granted to the City of Magnolia, by instrument dated April 13, 2015, recorded under Montgomery County Clerk's File No. 2015037866. (DOES NOT AFFECT SUBJECT TRACT)
 - g. The terms, conditions and stipulations of that certain Waiver of Special Appraisal for the Benefit of Magnolia East Municipal Utility District dated November 20, 2017, recorded under Montgomery County Clerk's File No. 2017105975. (SUBJECT TO, BLANKET IN NATURE)
 - h. Utility and aerial easement granted to CenterPoint Energy Houston Electric, LLC, by instrument dated February 22, 2021, recorded under Montgomery County Clerk's File No. 2021038850 (DOES NOT AFFECT SUBJECT TRACT)
 - i. Water line easement 10 feet by 10 feet in the southwesterly property corner, as shown by the Plat(s) recorded in Volume Z, Page 5964 of the Map Records of Montgomery County, Texas. (AFFECTS AS SHOWN)
 - j. Building setbacks 25 feet in width along the northeasterly, westerly and southerly property line(s), as shown by the Plat(s) recorded in Volume Z, Page 5964 of the Map Records of Montgomery County, Texas. (AFFECTS AS SHOWN)
 - k. The rights of Magnolia East Municipal Utility District to levy taxes and issue bonds. (SUBJECT TO, BLANKET IN NATURE)

PARKING SPACES	
REGULAR	0
HANDICAP	0
TOTAL	0

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, THIS PROPERTY LIES IN ZONE "X" (UNSHADED) ACCORDING TO THE OFFICIAL FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 48339C04856, REVISED 8/18/2014.

To: Christian Brothers Automotive Corporation, a Texas corporation and First American Title Insurance Company

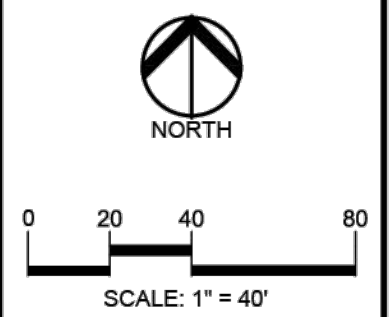
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed on April 19, 2022.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

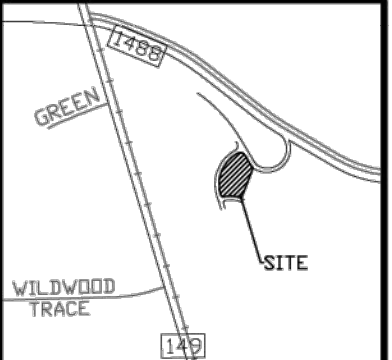
Glen H. Freeland, RPLS (gfreeland@peagroup.com)
TX. R.P.L.S. No. 5758
Agent for PEA Group, Inc.



16060 DILLARD DR., SUITE 250
HOUSTON, TEXAS 77040
713-688-3530
T.B.P.E.L.S. FIRM
#F-21237 & #10194679



CAUTION!!
THE LOCATION AND DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY REPRESENTATIONS OF THE SURVEYOR'S BEST INFORMATION TO THE COMPLETION OF ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE CORP.
17725 KATY FREEWAY, SUITE 200
HOUSTON, TX 77054

CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77054

PROJECT TITLE
CBA MAGNOLIA TX FM 1488
SWC FM 1488 & SPUR 148
MAGNOLIA, TX 77354

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
FM 1488 & 149 SPUR RD.
MAGNOLIA, TEXAS 77354

REVISIONS	

NOT FOR CONSTRUCTION

REVISIONS

ORIGINAL ISSUE DATE:
JUNE 14, 2022

DRAWING TITLE
ALTA/NSPS LAND TITLE SURVEY OF 1.189 ACRES OUT OF RESERVE "A", MAGNOLIA PLACE SECTION 1, SITUATED IN THE JOHN B. RICHARD SURVEY A-449 OF MONTGOMERY COUNTY, TEXAS

ORIGINAL ISSUE DATE:
07/11/22

DRAWING TITLE
SURVEY

PEA JOB NO. 2022-0058
P.M. GHF
DN. FHT
DES. TS
DRAWING NUMBER:
1

PEA JOB NO. 2022-0058
P.M. JG
DN. WW
DES. TS
DRAWING NUMBER:

FOR REFERENCE ONLY C-0.2

LEGEND

ROW LINE	—————
PROPERTY LINE	—————
LOT LINES	—————
EASEMENT LINE	—————
AERIAL POWER LINE, POLE & GUY	— P —
CENTER LINE OF ROW	—————
TOP OF BANK	—————
CENTER LINE DITCH	—————
FENCE, WOOD	— // —
FENCE, CHAIN LINK	— o —
FENCE, BARBED WIRE	— x —
CURB LINE	—————
EDGE OF ASPHALT	— / / —
EDGE OF GRAVEL	— / / —
CONTOUR LINE	— / / —
GAS LINE	— / / —
CABLE TV — UG	— / / —
GAS METER	— / / —
GAS VALVE	— / / —
AT&T CONDUIT	— / / —
WATER METER	— / / —
WATER VALVE	— / / —
FIRE HYDRANT/FLUSHING VALVE	— / / —
TAPPING SLEEVE & VALVE	— / / —
SAN SEWER CLEANOUT & MAINHOLE	— / / —
WATER LINE	— / / —
SANITARY SEWER LINE	— / / —
STORM SEWER LINE	— / / —
STORM SEWER MANHOLE	— / / —
STORM SEWER INLETS	— / / —
CULVERT PIPE	— / / —
IRRIGATION VONTROL VALVE	— / / —
LIGHT POLE	— / / —
STREET/TRAFFIC SIGN	— / / —
FIRE DEPARTMENT CONNECTION	— / / —
ELECTRIC METER/BOX	— / / —

BENCHMARKS
NAVD88 (2021 ADJ.)
 NGS/A1281/BL1869
 BRASS DISC IN 4" SLEEVE.
 CALLED ELEV.(GPS OBS) — 231.30'

SITE TBM
 SET CUT "X" ON TOP OF CONC. CULVERT HEADWALL AND NEAR THE INTERSECTION OF RED CREEK CIRCLE AND F.M. 1488
 ELEV. — 239.78'

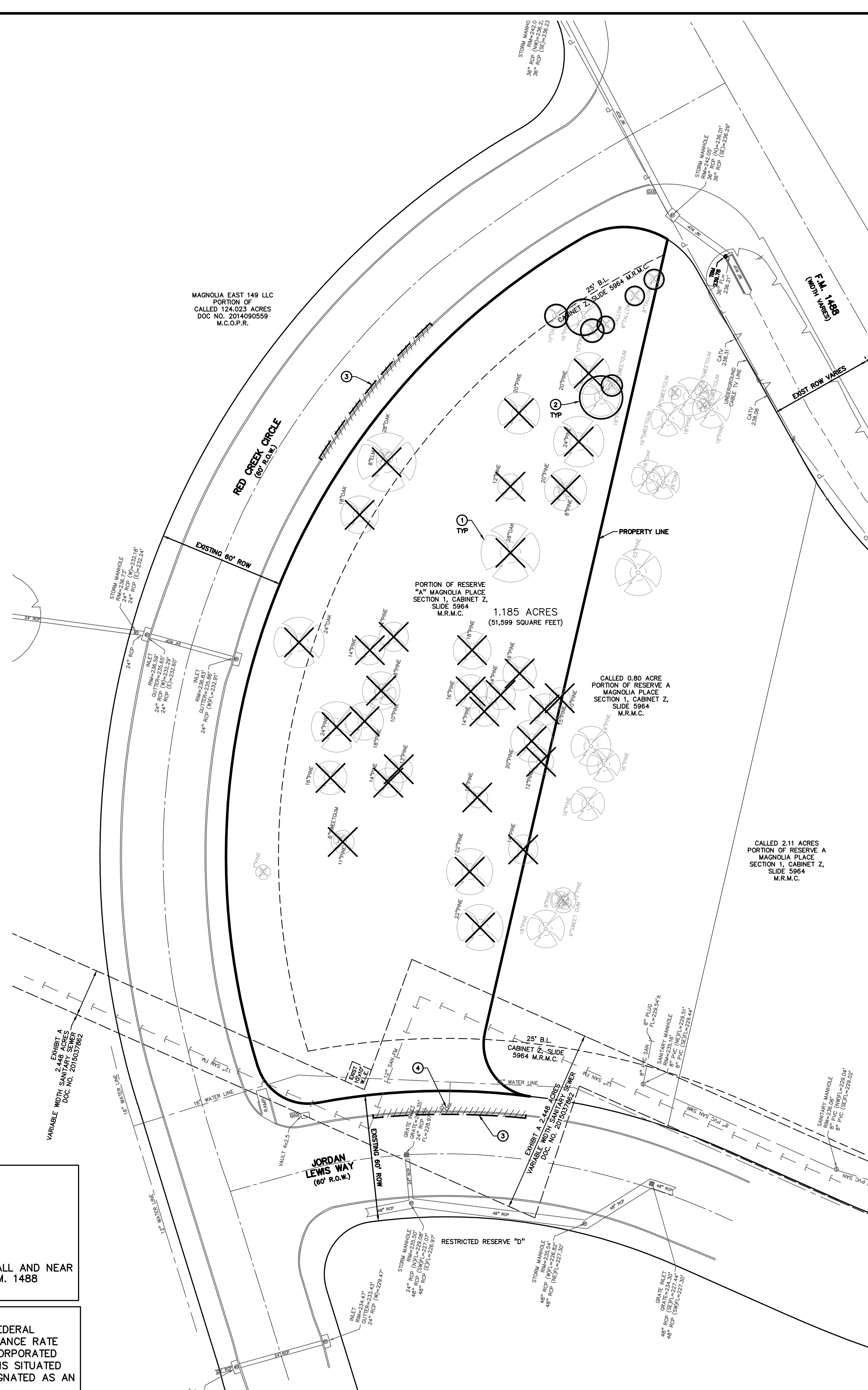
FLOODPLAIN NOTE:
 ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.

MAGNOLIA EAST 149 LLC
 PORTION OF
 CALLED 124.023 ACRES
 DOC NO. 2014090559
 M.C.O.P.R.

PORTION OF RESERVE
 "A" MAGNOLIA PLACE
 SECTION 1, CABINET Z,
 SLIDE 5964
 M.R.M.C.
 1.185 ACRES
 (51,599 SQUARE FEET)

PORTION OF RESERVE A
 MAGNOLIA PLACE
 SECTION 1, CABINET Z,
 SLIDE 5964
 M.R.M.C.

PORTION OF RESERVE A
 MAGNOLIA PLACE
 SECTION 1, CABINET Z,
 SLIDE 5964
 M.R.M.C.



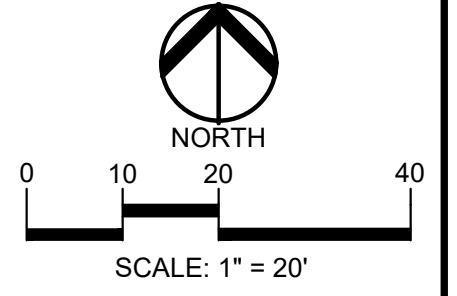
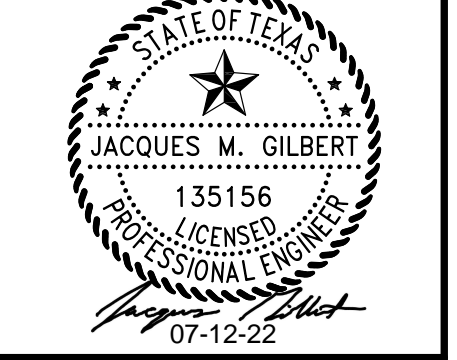
- KEY NOTES:**
- 1 REMOVE EXISTING TREE — SEE LANDSCAPE PLANS
 - 2 PROTECT EXISTING TREE — SEE LANDSCAPE PLANS
 - 3 SAWCUT AND REMOVE CONCRETE CURB AND PAVEMENT FOR PROPOSED DRIVEWAY
 - 4 RELOCATE EXIST FIRE HYDRANT — PLUG EXIST 6" FH LEAD — SEE UTILITY PLAN ON SHT C-4.0 FOR NEW LOCATION

DEMOLITION LEGEND:

ITEM TO BE PROTECTED	⊙
ITEM TO BE REMOVED	⊗
CURB REMOVAL	////
TREE REMOVAL	⊗
SAWCUT LINE	- - - -

DEMOLITION NOTES

1. PROTECTION OF EXISTING FACILITIES
 - A. PROTECT EXISTING UTILITIES AND IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND RELOCATE DAMAGED OR TEMPORARILY RELOCATED UTILITIES AND IMPROVEMENTS WITHOUT PROPER AUTHORIZATION.
 - B. VERIFY EXACT LOCATIONS AND DEPTHS OF UTILITIES SHOWN AND MAKE EXPLORATORY EXCAVATIONS OF UTILITIES THAT MAY INTERFERE WITH THE WORK.
 - 1) PERFORM EXPLORATORY EXCAVATIONS AS SOON AS PRACTICABLE AFTER AWARD OF CONTRACT AND A SUFFICIENT TIME IN ADVANCE OF CONSTRUCTION TO AVOID DELAYS TO THE WORK.
 - 2) WHEN EXPLORATORY EXCAVATIONS SHOW UTILITY LOCATION AS SHOWN TO BE IN ERROR, NOTIFY ENGINEER.
 - C. PERFORM EXPLORATORY EXCAVATIONS REQUIRED TO SUFFICIENTLY DETERMINE ALIGNMENT AND GRADE OF EXISTING UTILITIES.
 - D. DO NOT ENTER NOR OCCUPY WITH MEN, EQUIPMENT, OR MATERIALS, ANY LANDS OUTSIDE THE REFERENCED SITE.
 - E. TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE PRIVATE AND PUBLIC PROPERTY IN THE IMMEDIATE AREA OF WORK SITES.
 - F. ASSUME TOTAL LIABILITY FOR DAMAGE TO PRIVATE AND/OR PUBLIC PROPERTY DURING THE PROSECUTION OF THE WORK.
 2. PROTECTION OF SURVEY MARKERS
 - A. DO NOT DESTROY, REMOVE, OR OTHERWISE DISTURB EXISTING SURVEY MARKERS OR OTHER EXISTING STREET OR ROADWAY MARKERS WITHOUT PROPER AUTHORIZATION.
 - B. NO WORK SHALL BE STARTED UNTIL ALL SURVEY OR OTHER PERMANENT MARKER POINTS THAT WILL BE DISTURBED BY THE CONSTRUCTION OPERATIONS HAVE BEEN PROPERLY REFERENCED FOR EASY AND ACCURATE RESTORATION.
 - C. ACCURATELY RESTORE SURVEY MARKERS OR POINTS DISTURBED BY CONTRACTOR AT CONTRACTOR'S EXPENSE AFTER WORK HAS BEEN COMPLETED.
 3. PAVEMENT
 - A. PAVEMENTS SUBJECT TO PARTIAL REMOVAL SHALL BE NEATLY SAW CUT IN STRAIGHT LINES UNLESS OTHERWISE NOTED.
 4. DEMOLITION
 - A. DEMOLITION SHALL INCLUDE COMPLETE REMOVAL AND DISPOSAL OF DESIGNATED STRUCTURES WITHIN THE LIMITS OF DEMOLITION SHOWN ON THE DRAWINGS, AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING WORK:
 - 1) REMOVAL OF ALL STRUCTURES AND FOUNDATIONS TO A MINIMUM OF TWO (2) FEET BELOW FUTURE FINISHED GRADE, AND REMOVAL OF ALL ASSOCIATED PIPING, WIRING, DUCTWORK, AND EQUIPMENT.
 - 2) BREAK-UP AND REMOVAL OF SLABS-ON-GRADE. SLABS SHALL BE COMPLETELY REMOVED.
 - 3) FILLING OF ALL SUBGRADE CAVITIES WITH ON-SITE SOIL COMPACTED TO 95 PERCENT DENSITY (ASTM D698), OR AS INSTRUCTED BY THE GEOTECH ENGINEER, WHICHEVER IS MORE STRINGENT.
 - 4) PROVISIONS FOR TEMPORARY BRACING AND SHORING AS REQUIRED UNTIL DEMOLITION AND BACKFILLING WORK IS COMPLETE.
 - 5) UNIFORM GRADING OF DEMOLITION AREA TO MATCH EXISTING GRADE OF PERIMETER. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM FACILITIES TO REMAIN IN OPERATION DURING DEMOLITION PHASING.
 - 6) RESTORATION OF SIDEWALKS, BITUMINOUS AND CONCRETE PAVEMENTS, AND ANY OTHER IMPROVEMENTS OR PROPERTY DAMAGED BY DEMOLITION OPERATIONS.
 - 7) CLEANING OF ADJACENT STRUCTURES, IMPROVEMENTS, STREETS, SIDEWALKS, AND PROPERTY OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS.
 - B. DEMOLITION SHALL BE BY CONVENTIONAL DEMOLITION METHODS USING HEAVY TO LIGHT MECHANICAL MEANS AS WELL AS HAND DEMOLITION METHODS. USE OF EXPLOSIVES SHALL NOT BE PERMITTED. BURNING AND BURIAL OF MATERIAL ON SITE SHALL NOT BE PERMITTED.
 - C. THE CONTRACTOR SHALL LIMIT DUST AND DIRT CAUSED BY DEMOLITION OPERATIONS SO AS TO COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - D. DEMOLITION OPERATIONS SHALL NOT INTERRUPT EXISTING UTILITIES SERVING NEIGHBORING PROPERTIES AND/OR BUILDING TO REMAIN OPERATIONAL DURING PHASES OF DEMOLITION EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS DIRECTED BY GOVERNING AUTHORITIES.
 - E. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
 - F. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY OWNER. DO NOT RESUME OPERATIONS UNTIL DIRECTED BY OWNER.
 - G. CONDUCT MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS AND COMMERCIAL USES. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
 5. DEMOLITION REQUIREMENTS
 - A. REMOVE FOUNDATION WALLS AND FOOTINGS TO A MINIMUM OF TWO FEET BELOW FINISHED GRADE AND BEYOND AREA OF NEW CONSTRUCTION.
 - B. REMOVE CONCRETE SLABS ON GRADE.
 - C. BACKFILL OPEN PITS AND HOLES CAUSED AS A RESULT OF DEMOLITION PER GEOTECH REPORT.
 - D. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
 - E. REMOVE DEMOLISHED MATERIALS FROM SITE.
 - F. DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
 - G. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE DURING DEMOLITION PHASING.
 6. REGULATORY REQUIREMENTS
 - A. CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND DISPOSAL.
 - B. OBTAIN REQUIRED PERMITS FROM AUTHORITIES.
 - C. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
 - D. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, OR HYDRANTS WITHOUT PERMITS.
 7. PREPARATION
 - A. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES PRIOR TO WORK.
 - B. PROTECT EXISTING APPURTENANCES AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED.
 - C. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
 - D. MARK LOCATION OF UTILITIES.
 8. PROTECTION OF EXISTING UTILITIES AND IMPROVEMENTS
 - A. PROTECT OVERHEAD AND UNDERGROUND UTILITIES AND OTHER IMPROVEMENTS WHICH MAY BE IMPAIRED DURING CONSTRUCTION OPERATIONS.
 - 1) DETERMINE ACTUAL LOCATION OF EXISTING UTILITIES AND OTHER IMPROVEMENTS THAT WILL BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS.
 - 2) ADEQUATELY PROTECT UTILITIES AND OTHER IMPROVEMENTS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS.
 - 3) TAKE ALL POSSIBLE PRECAUTIONS FOR PROTECTING UNFORESSEEN UTILITY LINES TO PROVIDE FOR UNINTERRUPTED SERVICE AND TO PROVIDE NECESSARY SPECIAL PROTECTION.
 - B. OWNER'S RIGHT OF ACCESS: OWNER AND OWNERS OF PUBLIC UTILITIES RESERVE THE RIGHT TO ENTER AT ANY TIME UPON ANY PUBLIC STREET, ALLEY, RIGHT-OF-WAY, OR EASEMENT FOR THE PURPOSE OF MAKING CHANGES IN THEIR PROPERTY.
 - C. UNDERGROUND UTILITIES INDICATED:
 - 1) EXISTING UTILITY LINES TO BE RETAINED, THAT ARE INDICATED OR LOCATIONS OF WHICH ARE MADE KNOWN TO CONTRACTOR PRIOR TO EXCAVATION, AND UTILITY LINES CONSTRUCTED DURING EXCAVATION OPERATIONS SHALL BE PROTECTED FROM DAMAGE DURING EXCAVATION AND BACKFILLING.
 - 2) IF DAMAGED, CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE.
 - D. UNDERGROUND UTILITIES NOT INDICATED: IF CONTRACTOR DAMAGES EXISTING UTILITY LINES THAT ARE NOT INDICATED OR THE LOCATIONS OF WHICH ARE NOT MADE KNOWN TO CONTRACTOR PRIOR TO EXCAVATION, IMMEDIATELY MAKE A WRITTEN REPORT TO ENGINEER.
 - E. APPROVAL OF REPAIRS: REPAIRS TO A DAMAGED UTILITY OR IMPROVEMENT SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY AN AUTHORIZED REPRESENTATIVE OF THE UTILITY OR IMPROVEMENT OWNER BEFORE BEING CONCEALED BY BACKFILL OR OTHER WORK.
 - F. MAINTAINING IN SERVICE:
 - 1) DURING CONSTRUCTION, CONTINUOUSLY MAINTAIN OIL AND GASOLINE PIPELINES, POWER, TELEPHONE, AND COMMUNICATION CABLE DUCTS, GAS AND WATER MAINS, IRRIGATION LINES, SEWER LINES, STORM DRAIN LINES, POLES, OVERHEAD POWER, AND COMMUNICATION WIRES AND CABLE ENCOUNTERED ALONG THE LINE OF THE WORK IN SERVICE UNLESS OTHER ARRANGEMENTS APPROVED BY ENGINEER ARE MADE WITH THE OWNERS OF THE FACILITIES.
 - 2) BE RESPONSIBLE FOR AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS, EVEN IF DAMAGE OCCURS AFTER BACKFILLING OR IS NOT DISCOVERED UNTIL AFTER COMPLETION OF BACKFILLING.
9. NOTIFICATION BY CONTRACTOR
 - A. PRIOR TO EXCAVATION IN VICINITY OF EXISTING UNDERGROUND FACILITIES (INCLUDING WATER, SEWER, STORM DRAIN, GAS, PETROLEUM PRODUCTS, OR OTHER PIPELINES, BURIED ELECTRIC POWER, COMMUNICATIONS, OR TELEVISION CABLES, TRAFFIC SIGNAL AND STREET LIGHTING FACILITIES, AND ROADWAY AND STATE HIGHWAY RIGHTS-OF-WAY) NOTIFY THE RESPECTIVE AUTHORITIES REPRESENTING THE OWNERS OR AGENCIES RESPONSIBLE FOR THE FACILITIES NOT LESS THAN 3 DAYS PRIOR TO EXCAVATION SO THAT A REPRESENTATIVE OF OWNERS OR AGENCIES CAN BE PRESENT DURING SUCH WORK IF THEY SO DESIRE.
 - B. NOTIFY THE UNDERGROUND SERVICE ALERT OR UTILITY COORDINATION COMMITTEE AT AT LEAST 2 DAYS, BUT NO MORE THAN 14 DAYS, PRIOR TO EXCAVATION.
10. CONTRACTOR SHALL PROVIDE SEEDING FOR ALL PAVEMENT REMOVAL WITHIN RIGHT OF WAY.



CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR. THE ENGINEER IS NOT RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
 17725 KATY FREEWAY, SUITE 200
 HOUSTON, TEXAS 77054

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
 FM 1488 & 149 SPUR RD.
 MAGNOLIA, TEXAS 77354

NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION

ORIGINAL ISSUE DATE:
 07/11/22

DRAWING TITLE
DEMOLITION PLAN

PEA JOB NO. 2022-0058
 P.M. JG
 DN. WWV
 DES. TS

DRAWING NUMBER:
C-0.3

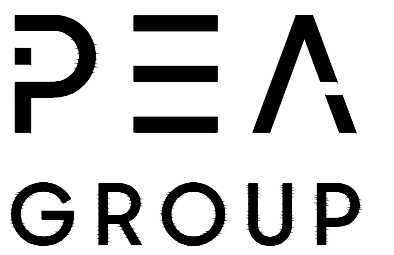
EXHIBIT A
2.448 ACRES
VARIABLE WIDTH SANITARY SEWER
DOC. NO. 2015037862

MAGNOLIA EAST 149 LLC
PORTION OF
CALLED 124.023 ACRES
DOC NO. 2014090559
M.C.O.P.R.

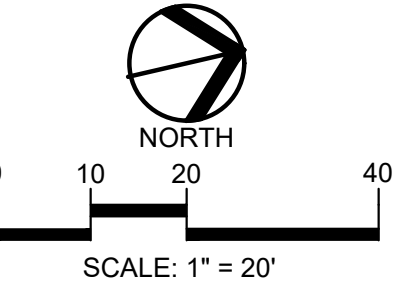
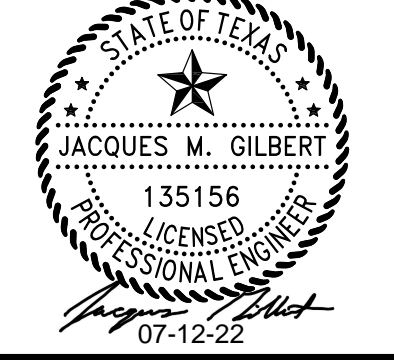
GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
3. REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
4. REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS.



16060 DILLARD DR., SUITE 250
HOUSTON, TEXAS 77040
713-688-3530
T.B.P.E.L.S. FIRM
#F-21237 & #10194679



CAUTION!!
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CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
FM 1488 & 149 SPUR RD.
MAGNOLIA, TEXAS 77354

NOT FOR CONSTRUCTION

REVISIONS	

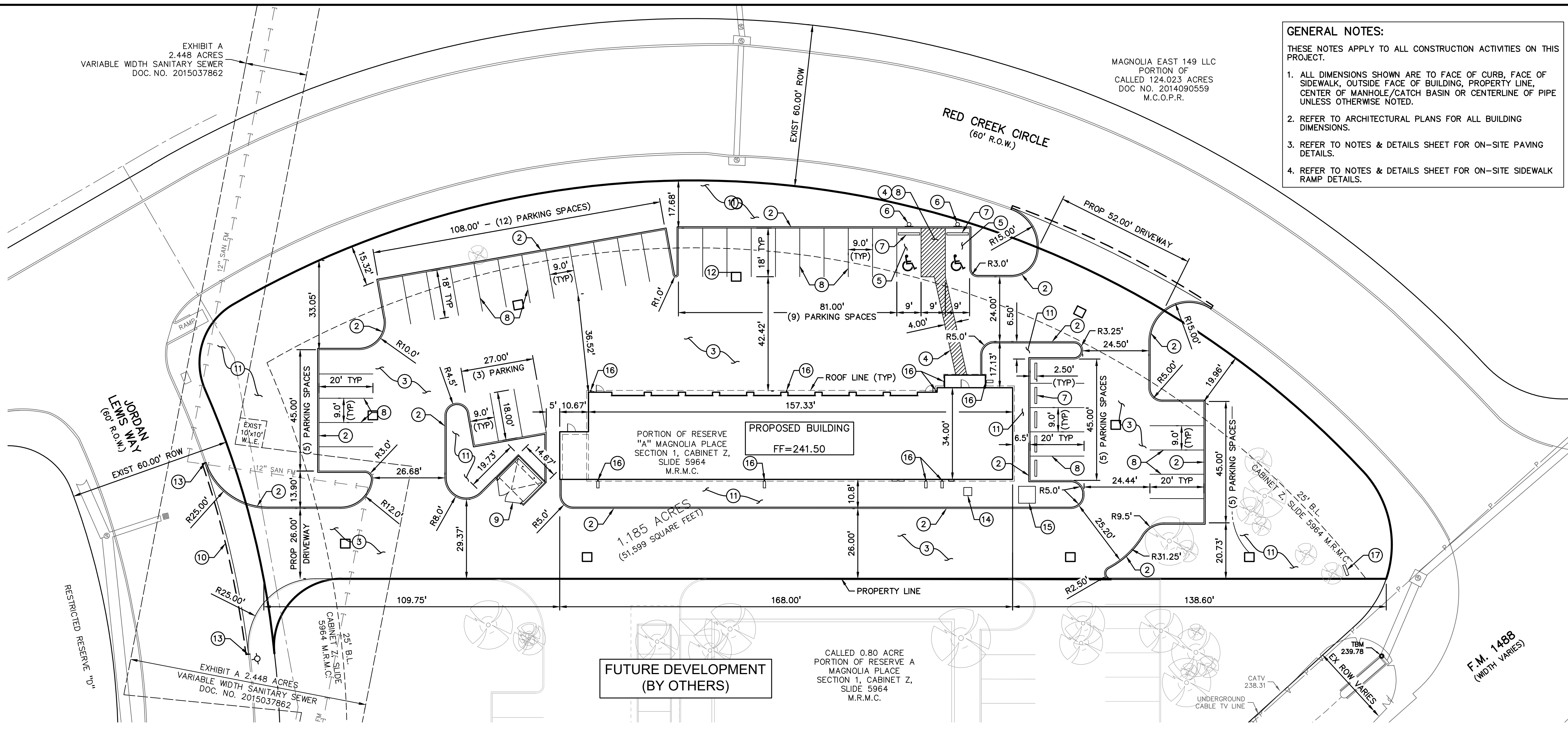
ORIGINAL ISSUE DATE:
07/11/22

DRAWING TITLE
DIMENSION CONTROL PLAN

PEA JOB NO. 2022-0058
P.M. JG
DN. WW
DES. TS

DRAWING NUMBER:

C-1.0



FUTURE DEVELOPMENT (BY OTHERS)

CALLED 0.80 ACRE PORTION OF RESERVE A MAGNOLIA PLACE SECTION 1, CABINET Z, SLIDE 5964 M.R.M.C.

BENCHMARKS
NAVD88 (2021 ADJ.)
NGS/A1281/BL1869
BRASS DISC IN 4" SLEEVE.
CALLED ELEV.(GPS OBS) - 231.30'

SITE TBM
SET CUT "X" ON TOP OF CONC. CULVERT HEADWALL AND NEAR THE INTERSECTION OF RED CREEK CIRCLE AND F.M. 1488
ELEV. - 239.78'

FLOODPLAIN NOTE:
ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.

KEY NOTES:

1. NOT USED
2. PROPOSED 6" CONCRETE CURB DOWELED ON CURB
3. PROPOSED CONCRETE PAVEMENT (SEE PAVING PLAN SHEET C-5.0)
4. ADA ROUTE - MIN 5' WIDE WITH MAX 2% CROSS SLOPE
5. PROPOSED HANDICAP PARKING SPACE WITH INTERNATIONAL HANDICAP SYMBOL
6. PROPOSED HANDICAP PARKING SIGN
7. PROPOSED WHEEL STOP (TYPICAL)
8. PROPOSED 4" WIDE PAINTED WHITE STRIPE (TYP)
9. PROPOSED DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
10. SAWCUT & TIE IN PROPOSED DRIVEWAY PER SPECIFICATIONS AND DETAILS. MATCH EXISTING PAVEMENT.
11. LANDSCAPED AREA (SEE LANDSCAPE PLANS)
12. PROPOSED DRAINAGE STRUCTURE (SEE DRAINAGE & DETENTION PLANS)
13. MATCH EXIST CONCRETE CURB, GUTTER AND PAVEMENT
14. PROPOSED AC UNIT (SEE MEP PLANS)
15. PROPOSED TRANSFORMER (SEE ELECTRICAL PLANS)
16. ROOF DRAIN (SEE DRAINAGE & DETENTION PLAN SHEET C-3.0)
17. CHRISTIAN BROTHERS AUTOMOTIVE SIGNAGE (SEE SIGN PLANS)

LEGEND

	EXISTING	PROPOSED
ROW LINE		
PROPERTY LINE		
LOT LINES		
EASEMENT LINE		
CENTER LINE OF ROW		
TOP OF BANK		
CENTER LINE OF DITCHES		
FENCE LINE, WOOD		
FENCE LINE, CHAIN LINK		
CURB LINE		
EDGE OF ASPHALT		
EDGE OF SHELL OR GRAVEL		

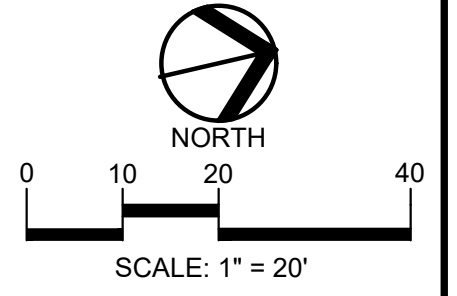
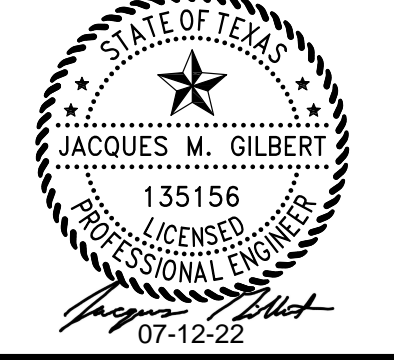
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PROJECT: 2022-0058 - PEA MAGNOLIA, TX FUTURE DRIVEWAY CONSTRUCTION (C-1) (07/11/22) - 2022-0058-006

EXHIBIT A
2.448 ACRES
VARIABLE WIDTH SANITARY SEWER
DOC. NO. 2015037862

MAGNOLIA EAST 149 LLC
PORTION OF
CALLED 124.023 ACRES
DOC NO. 2014090559
M.C.O.P.R.

- NOTES:**
1. MAXIMUM CROSS SLOPES FOR SIDEWALKS AND ADA ACCESS ROUTES SHALL NOT EXCEED 2.0%. RAMP SLOPES SHALL NOT EXCEED 1-INCH PER FOOT (8.33%). MAXIMUM SLOPES FOR HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
 2. SIDEWALK GRADES ARE FLUSH WITH GUTTER AT DRIVES.
 3. UNLESS OTHERWISE NOTED, ALL PARKING AND DRIVE AISLE GRADES ARE TO INVERT OF GUTTER. ADD 0.5' TO GUTTER GRADE FOR TOP OF CURB GRADE, EXCEPT WHERE CURB IS FLUSH WITH PAVEMENT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

PEA GROUP
16060 DILLARD DR., SUITE 250
HOUSTON, TEXAS 77040
713-688-3530
T.B.P.E.L.S. FIRM
#F-21237 & #10194679



CAUTION!!
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CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
FM 1488 & 149 SPUR RD.
MAGNOLIA, TEXAS 77354

NOT FOR CONSTRUCTION

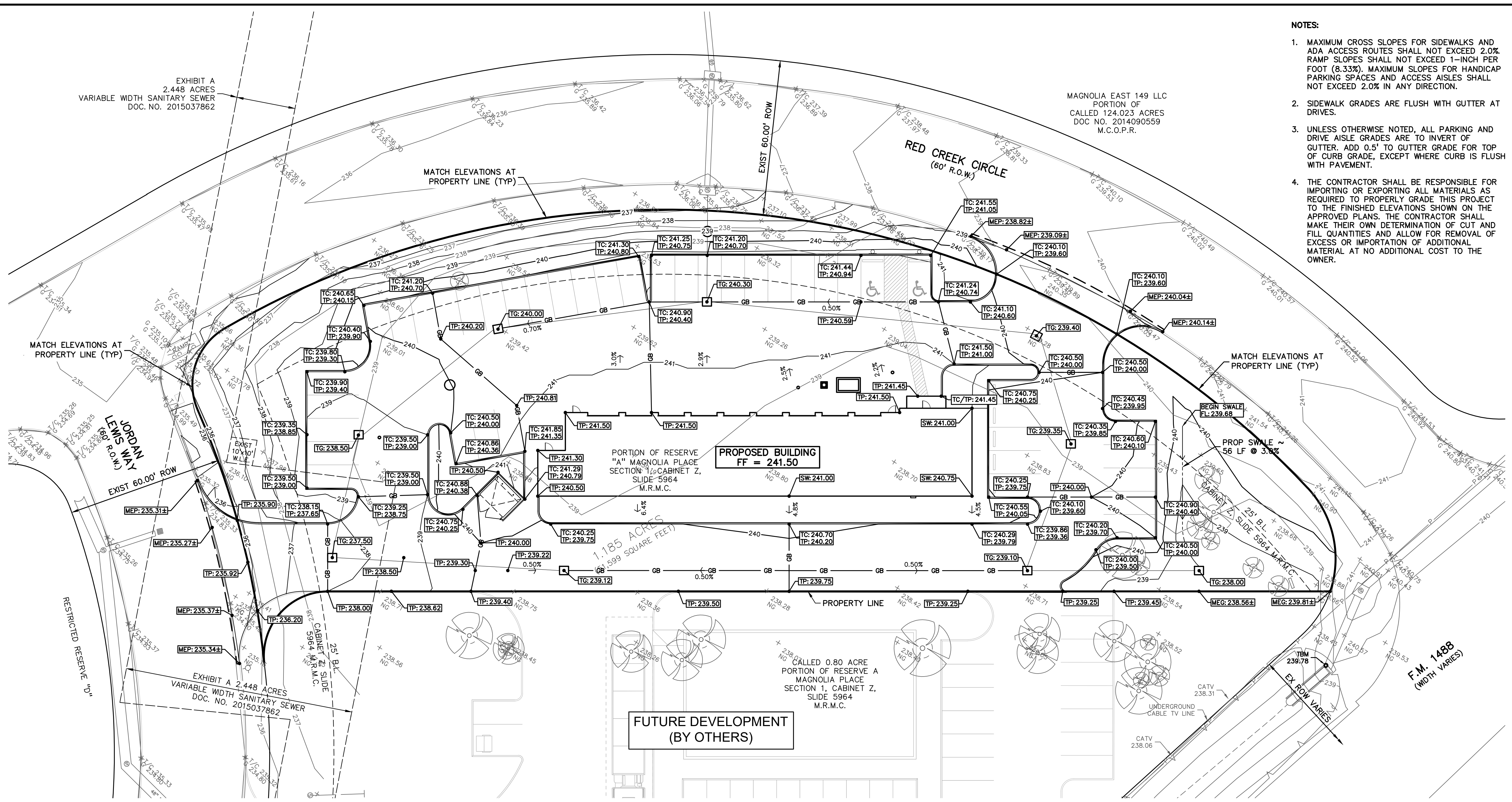
REVISIONS

ORIGINAL ISSUE DATE:
07/11/22

DRAWING TITLE
GRADING PLAN

PEA JOB NO. 2022-0058
P.M. JG
DN. WW
DES. TS

DRAWING NUMBER:
C-2.0



BENCHMARKS
NAVD88 (2021 ADJ.)
NGS/A1281/BL1869
BRASS DISC IN 4" SLEEVE.
CALLED ELEV.(GPS OBS) - 231.30'

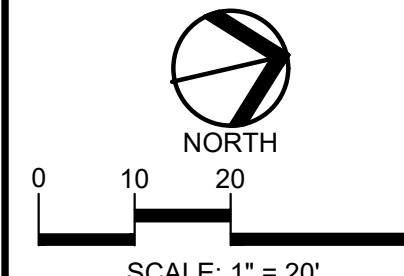
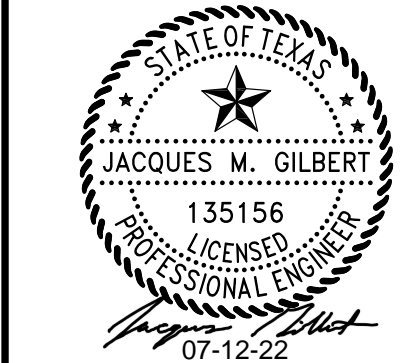
SITE TBM
SET CUT "X" ON TOP OF CONC. CULVERT HEADWALL AND NEAR THE INTERSECTION OF RED CREEK CIRCLE AND F.M. 1488
ELEV. - 239.78'

FLOODPLAIN NOTE:
ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
TOP OF CURB	TC=XX.XX	TC:XX.XX	STORM SEWER LINE	—	—
GUTTER	G=XX.XX	G:XX.XX	STORM SEWER MANHOLE	STM MH	STM MH
TOP OF PAVEMENT	TP=XX.XX	TP:XX.XX	STORM SEWER INLETS	'CURB' 'GRATE'	'B-B' 'C-1' 'GRATE'
MATCH EXISTING GRADE		MEG:XX.XX	CULVERT PIPE	—	—
MATCH EXISTING PAVEMENT		MEP:XX.XX	ROW LINE	—	—
VALLEY GUTTER		VG:XX.XX	PROPERTY LINE	—	—
TOP OF WALL		TW:XX.XX	LOT LINES	—	—
BOTTOM OF WALL		BW:XX.XX	EASEMENT LINE	—	—
TOP OF GRATE		TG:XX.XX	TOP OF BANK	—	—
TOP OF SIDEWALK		SW:XX.XX	CENTER LINE DITCH	—	—
DIRECTION OF FLOW		→	SWALE	—	—
CONTOUR LINE	60 59	60 59	AERIAL POWER LINE, POLE & GUY	P	P
GRADE BREAK		GB			

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17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
FM 1488 & 149 SPUR RD.
MAGNOLIA, TEXAS 77354

NOT FOR CONSTRUCTION

REVISIONS

ORIGINAL ISSUE DATE:
07/11/22

DRAWING TITLE
DRAINAGE & DETENTION PLAN

PEA JOB NO. 2022-0058

P.M. JG

DN. WW

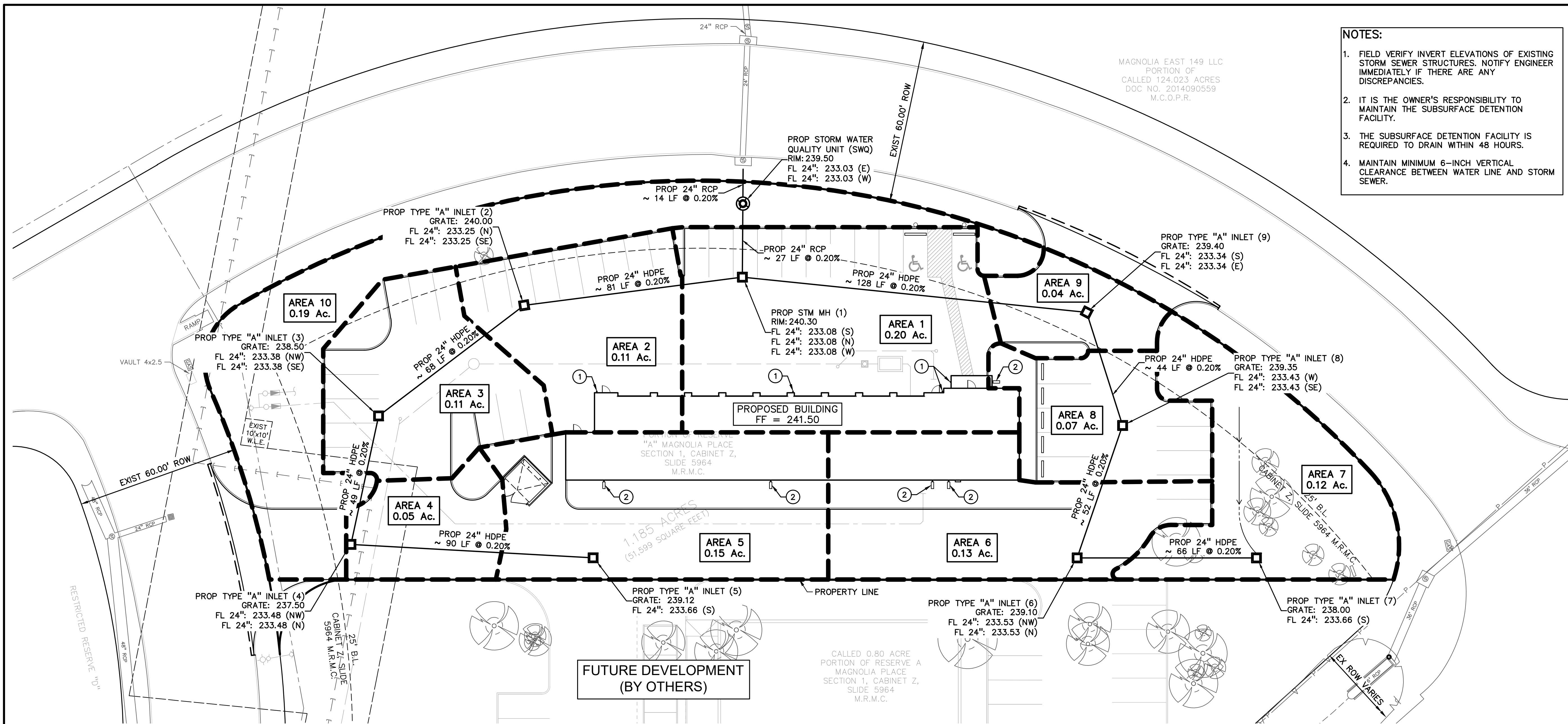
DES. TS

DRAWING NUMBER:

NOTES:

- FIELD VERIFY INVERT ELEVATIONS OF EXISTING STORM SEWER STRUCTURES. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.
- IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THE SUBSURFACE DETENTION FACILITY.
- THE SUBSURFACE DETENTION FACILITY IS REQUIRED TO DRAIN WITHIN 48 HOURS.
- MAINTAIN MINIMUM 6-INCH VERTICAL CLEARANCE BETWEEN WATER LINE AND STORM SEWER.

MAGNOLIA EAST 149 LLC
PORTION OF
CALLED 124.023 ACRES
DOC NO. 2014090559
M.C.O.P.R.



KEY NOTES:

- ROOF DRAIN TO DAYLIGHT ONTO PAVEMENT (SEE ARCHITECTURAL PLANS)
- ROOF DRAIN AND CONCRETE SPLASH BLOCK. EMBED TO MATCH GRADE AT END (SEE ARCHITECTURAL PLANS FOR ROOF DRAIN)

LEGEND

DRAINAGE AREA NAME	AREA X
DRAINAGE AREA (ACRES)	0.00 Ac.
INVERT ELEVATION	IE=155.15
FLOWLINE	FL=155.15
DRAINAGE AREA	(Symbol with arrow)
100-YEAR SHEET FLOW	(Symbol with arrow)
CONTOUR LINE	EXISTING: 60, 59 PROPOSED: 60, 59
STORM SEWER LINE	(Symbol)
STORM SEWER MANHOLE	STM MH
STORM SEWER INLETS	'CURB' 'GRATE'
CULVERT PIPE	'B-B' 'C-1' 'GRATE'
ROW LINE	(Symbol)
PROPERTY LINE	(Symbol)
LOT LINES	(Symbol)
EASEMENT LINE	(Symbol)
TOP OF BANK	(Symbol)
CENTER LINE DITCH	(Symbol)
SWALE	(Symbol)

BENCHMARKS
NAVD88 (2021 ADJ.)

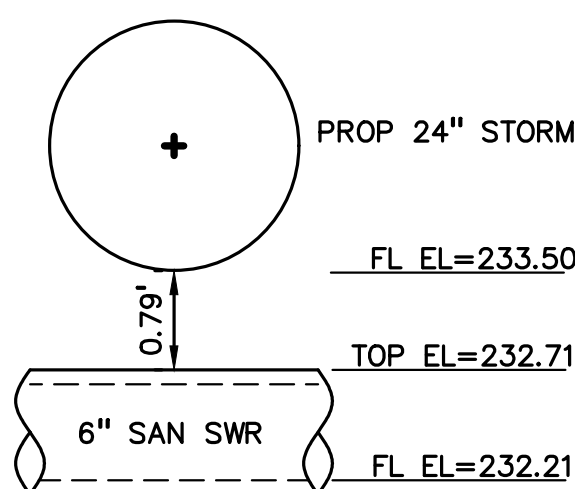
NGS/A1281/BL1869
BRASS DISC IN 4" SLEEVE.
CALLED ELEV.(GPS OBS) - 231.30'

SITE TBM

SET CUT "X" ON TOP OF CONC. CULVERT HEADWALL AND NEAR THE INTERSECTION OF RED CREEK CIRCLE AND F.M. 1488
ELEV. - 239.78'

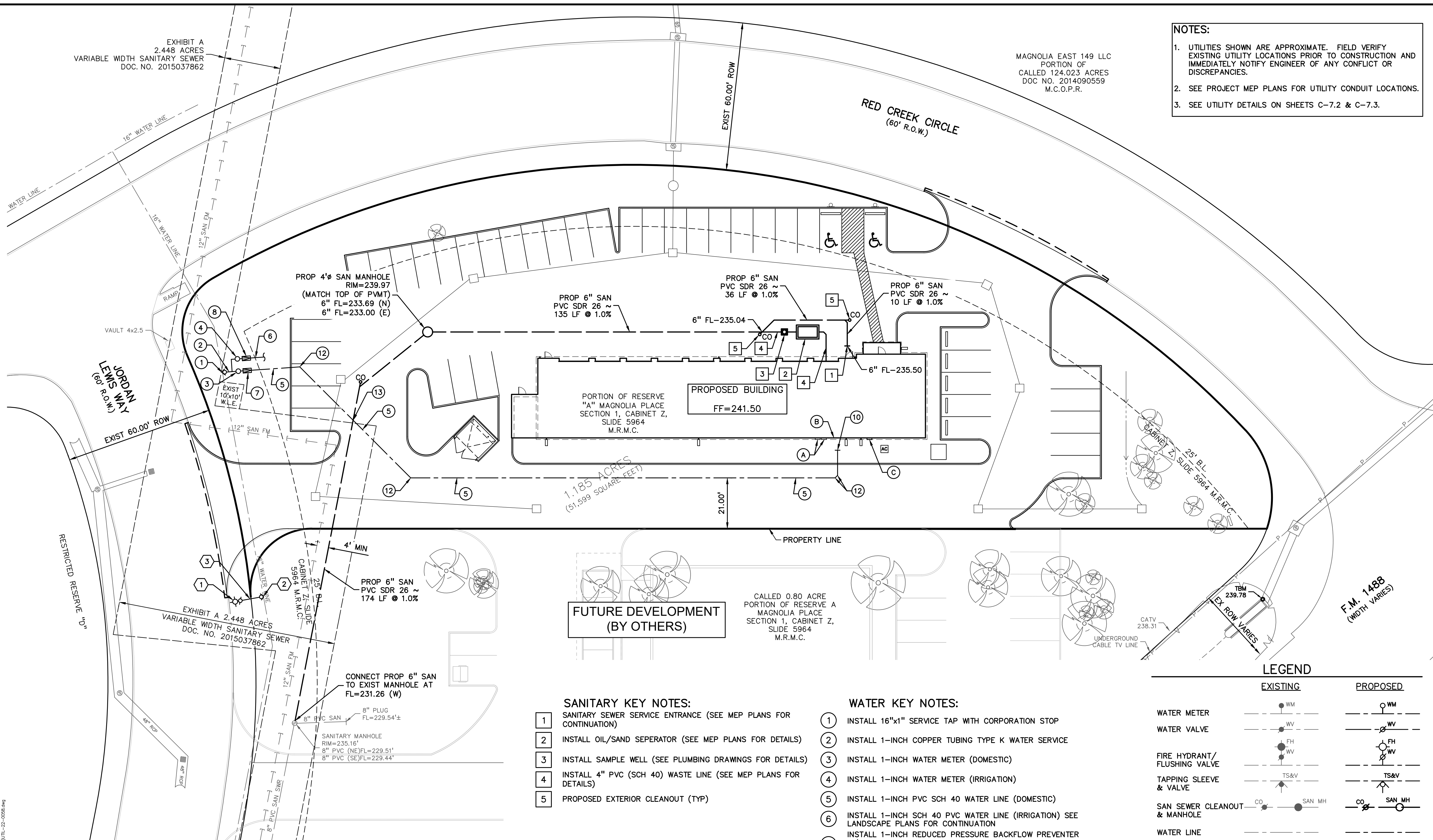
FLOODPLAIN NOTE:

ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.



POTENTIAL CONFLICT

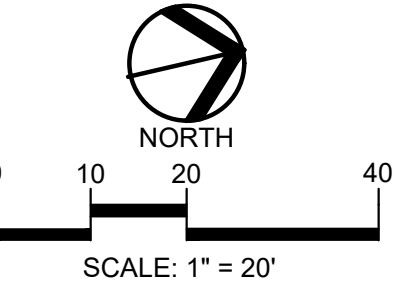
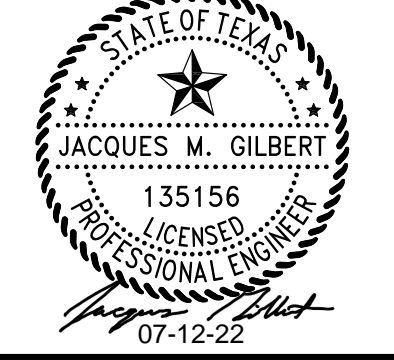
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NOTES:

- UTILITIES SHOWN ARE APPROXIMATE. FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICT OR DISCREPANCIES.
- SEE PROJECT MEP PLANS FOR UTILITY CONDUIT LOCATIONS.
- SEE UTILITY DETAILS ON SHEETS C-7.2 & C-7.3.

PEA GROUP
 16060 DILLARD DR., SUITE 250
 HOUSTON, TEXAS 77040
 713-688-3530
 T.B.P.E.L.S. FIRM
 #F-21237 & #10194679



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CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
 17725 KATY FREEWAY, SUITE 200
 HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
 FM 1488 & 149 SPUR RD.
 MAGNOLIA, TEXAS 77354

NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION

ORIGINAL ISSUE DATE:
 07/11/22

DRAWING TITLE
UTILITY PLAN

PEA JOB NO. 2022-0058
 P.M. JG
 DN. WWV
 DES. TS

DRAWING NUMBER:
C-4.0

LEGEND

	EXISTING	PROPOSED
WATER METER	WM	WM
WATER VALVE	WV	WV
FIRE HYDRANT/ FLUSHING VALVE	FH WV	FH WV
TAPPING SLEEVE & VALVE	TS&V	TS&V
SAN SEWER CLEANOUT & MANHOLE	CO SAN MH	CO SAN MH
WATER LINE		
SANITARY SEWER LINE		
STORM SEWER LINE		
STORM SEWER MANHOLE	STM MH	STM MH
STORM SEWER INLETS	'CURB' 'GRATE'	'CURB' 'GRATE'
CULVERT PIPE		
ROW LINE		
PROPERTY LINE		
LOT LINES		
EASEMENT LINE		
AERIAL POWER LINE, POLE & GUY	P	P

SANITARY KEY NOTES:

- 1 SANITARY SEWER SERVICE ENTRANCE (SEE MEP PLANS FOR CONTINUATION)
- 2 INSTALL OIL/SAND SEPARATOR (SEE MEP PLANS FOR DETAILS)
- 3 INSTALL SAMPLE WELL (SEE PLUMBING DRAWINGS FOR DETAILS)
- 4 INSTALL 4" PVC (SCH 40) WASTE LINE (SEE MEP PLANS FOR DETAILS)
- 5 PROPOSED EXTERIOR CLEANOUT (TYP)

MISCELLANEOUS KEY NOTES:

- (A) MAIN ELECTRICAL SERVICE PANELS
- (B) TELEPHONE SERVICE ENTRANCE
- (C) NATURAL GAS METER

FIRE KEY NOTES:

- 1 INSTALL 12"x6" TAPPING SLEEVE & VALVE W/BOX
- 2 INSTALL RELOCATED FIRE HYDRANT 3' BC (SEE DEMOLITION PLAN FOR PREVIOUS LOCATION)
- 3 INSTALL 6-INCH CLASS 200, C-900 DR14 FIRE HYDRANT LEAD

WATER KEY NOTES:

- 1 INSTALL 16"x1" SERVICE TAP WITH CORPORATION STOP
- 2 INSTALL 1-INCH COPPER TUBING TYPE K WATER SERVICE
- 3 INSTALL 1-INCH WATER METER (DOMESTIC)
- 4 INSTALL 1-INCH WATER METER (IRRIGATION)
- 5 INSTALL 1-INCH PVC SCH 40 WATER LINE (DOMESTIC)
- 6 INSTALL 1-INCH SCH 40 PVC WATER LINE (IRRIGATION) SEE LANDSCAPE PLANS FOR CONTINUATION
- 7 INSTALL 1-INCH REDUCED PRESSURE BACKFLOW PREVENTER w/ALUMINUM ENCLOSURE ON CONCRETE PAD, PARK EQUIPMENT MODEL RPBPAE10 (DOMESTIC)
- 8 INSTALL 1-INCH REDUCED PRESSURE BACKFLOW PREVENTER w/ALUMINUM ENCLOSURE ON CONCRETE PAD - PARK EQUIPMENT MODEL RPBPAE10 (IRRIGATION)
- 9 INSTALL 1-INCH GATE VALVE IN VALVE BOX
- 10 DOMESTIC WATER LINE BUILDING CONNECTION (SEE MEP PLANS FOR CONTINUATION)
- 11 WATER LINE & STORM LINE CROSSING - MAINTAIN 1' MIN CLEAR
- 12 INSTALL 1-INCH 45° PVC BEND
- 13 1" WL & 6" SANITARY SEWER CROSSING. MAINTAIN CLEARANCE AND USE MATERIALS PER TCEQ REQUIREMENTS.

UTILITY CROSSING INFORMATION:

- (A) BOTTOM OF STORM=233.50'
TOP OF SANITARY=232.71'
CLEARANCE=0.79'

BENCHMARKS
NAVD88 (2021 ADJ.)

NGS/A1281/BL1869
 BRASS DISC IN 4" SLEEVE.
 CALLED ELEV.(GPS OBS) - 231.30'
 SITE TBM
 SET CUT "X" ON TOP OF CONC. CULVERT HEADWALL AND NEAR THE INTERSECTION OF RED CREEK CIRCLE AND F.M. 1488
 ELEV. - 239.78'

FLOODPLAIN NOTE:

ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.

PLOTTED: 7/12/2022 11:18 AM
 PROJECT: 2022-0058 PEA MAGNOLIA, TX PARKING/UTILITY CONSTRUCTION (C-4.0) TITLE: C-4.008.dwg

EXHIBIT A
2.448 ACRES
VARIABLE WIDTH SANITARY SEWER
DOC. NO. 2015037862

MAGNOLIA EAST 149 LLC
PORTION OF
CALLED 124.023 ACRES
DOC NO. 2014090559
M.C.O.P.R.

RED CREEK CIRCLE
(60' R.O.W.)

EXIST 80.00' ROW

PEA GROUP
16060 DILLARD DR., SUITE 250
HOUSTON, TEXAS 77040
713-688-3530
T.B.P.E.L.S. FIRM
#F-21237 & #10194679

STATE OF TEXAS
JACQUES M. GILBERT
135156
LICENSED PROFESSIONAL ENGINEER
07-12-22

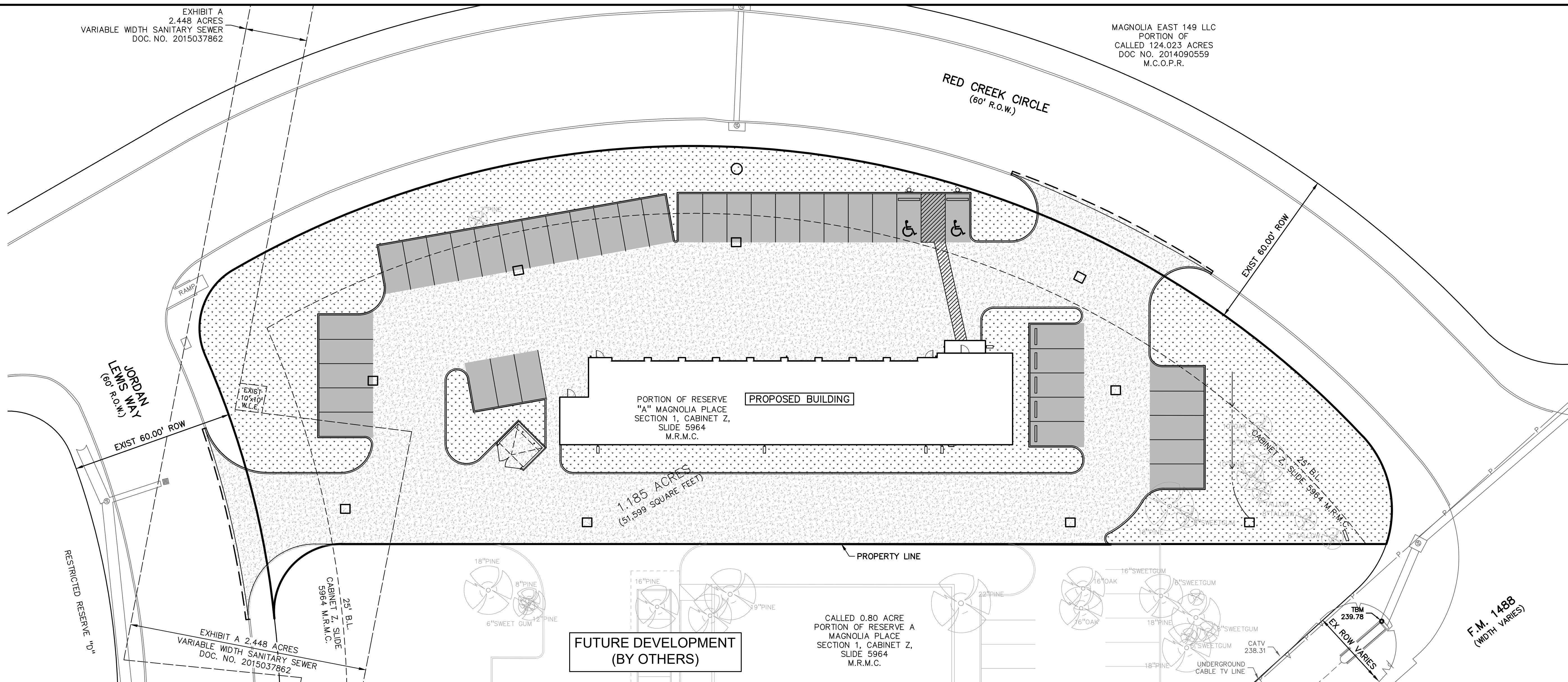
NORTH

0 10 20 40

SCALE: 1" = 20'

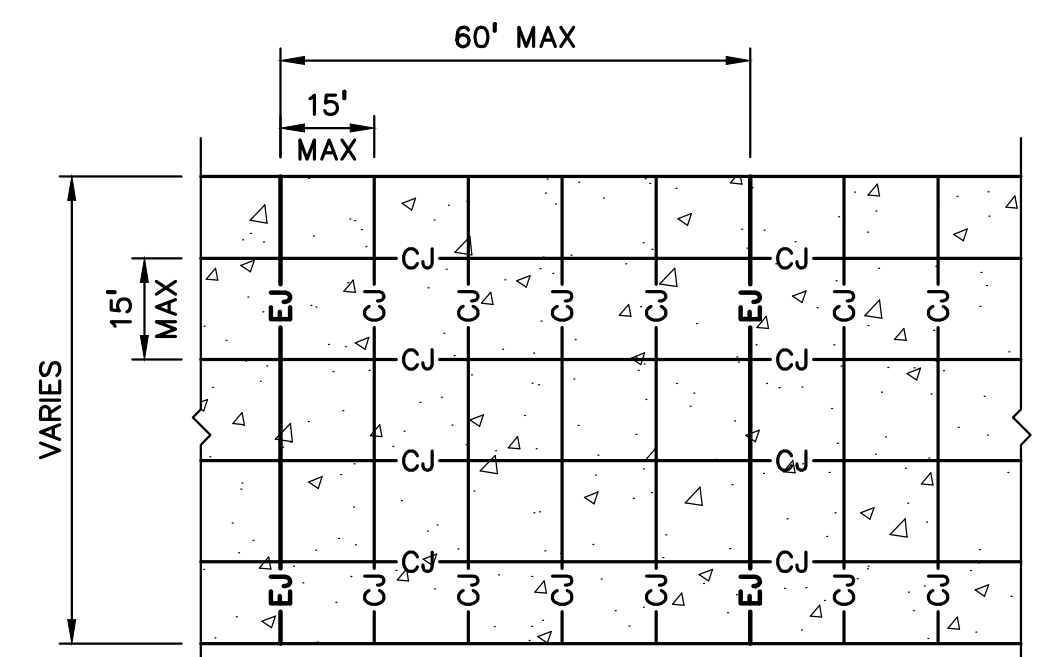
811 Know what's below. Call before you dig.

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- KEY NOTES:**
1. PROPOSED INLET/MANHOLE BLOCK-OUT PER DETAIL 2 ON SHEET C-7.1

- NOTES:**
1. CONTRACTOR TO EXTEND ALL PAVING CONTROL JOINTS UP AND OVER CURBS.
 2. REFER TO SHEET C-7.0 FOR CONTROL JOINT AND EXPANSION JOINT DETAILS.
 3. REFER TO DETAIL 1 ON THIS SHEET FOR REQUIRED JOINT SPACING.



- NOTES:**
1. TYPICAL THROUGHOUT CONCRETE PAVEMENT SECTION ONLY UNLESS SHOWN OTHERWISE. IF SAWCUT, CONTROL JOINTS SHOULD BE CUT WITHIN 4 TO 24 HOURS OF CONCRETE PLACEMENT.
 2. DOWELS AT EXPANSION JOINTS SHALL BE 3/4" BARS, 18 INCHES IN LENGTH, WITH ONE END TREATED TO SLIP, SPACED AT 12-INCHES ON CENTERS AT EACH JOINT.
 3. ALL GRADING, BACKFILL, SUBGRADE PREPARATION, COMPACTION AND PAVING SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT AND ANY ADDENDUMS THERETO.

1 JOINT LAYOUT DETAIL
SCALE: NO SCALE

LEGEND

[Pattern]	CONSTRUCT 5" REINFORCED CONCRETE PAVEMENT FOR PARKING AREAS PER GEOTECH REPORT
[Pattern]	CONSTRUCT 8" REINFORCED CONCRETE PAVEMENT FOR HEAVY DUTY PER GEOTECH REPORT
[Pattern]	LANDSCAPE AREA

	EXISTING	PROPOSED
ROW LINE	— — — — —	— — — — —
PROPERTY LINE	— — — — —	— — — — —
LOT LINES	— — — — —	— — — — —
EASEMENT LINE	- - - - -	- - - - -
CENTER LINE OF ROW	- - - - -	- - - - -
TOP OF BANK	— — — — —	— — — — —
CENTER LINE OF DITCHES	- - - - -	- - - - -
FENCE LINE, WOOD	— — — — —	— — — — —
FENCE LINE, CHAIN LINK	— — — — —	— — — — —
CURB LINE	— — — — —	— — — — —
EDGE OF ASPHALT	— — — — —	— — — — —
EDGE OF SHELL OR GRAVEL	— — — — —	— — — — —

CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
FM 1488 & 149 SPUR RD.
MAGNOLIA, TEXAS 77354

NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION	DATE

ORIGINAL ISSUE DATE:
07/11/22

DRAWING TITLE
PAVING PLAN

PEA JOB NO. 2022-0058
P.M. JG
DN. WW
DES. TS

DRAWING NUMBER:
C-5.0

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 PROJECT: \\PEA\PROJECTS\2022-0058\PEA_MAGNOLIA_TX_PAVING\DWG\CONSTRUCTION\C-5.0_PAVE-22-0058.DWG

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 17725 KATY FREEWAY, SUITE 200
 HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
 FM 1488 & 149 SPUR RD.
 MAGNOLIA, TEXAS 77354

NOT FOR CONSTRUCTION

REVISIONS	

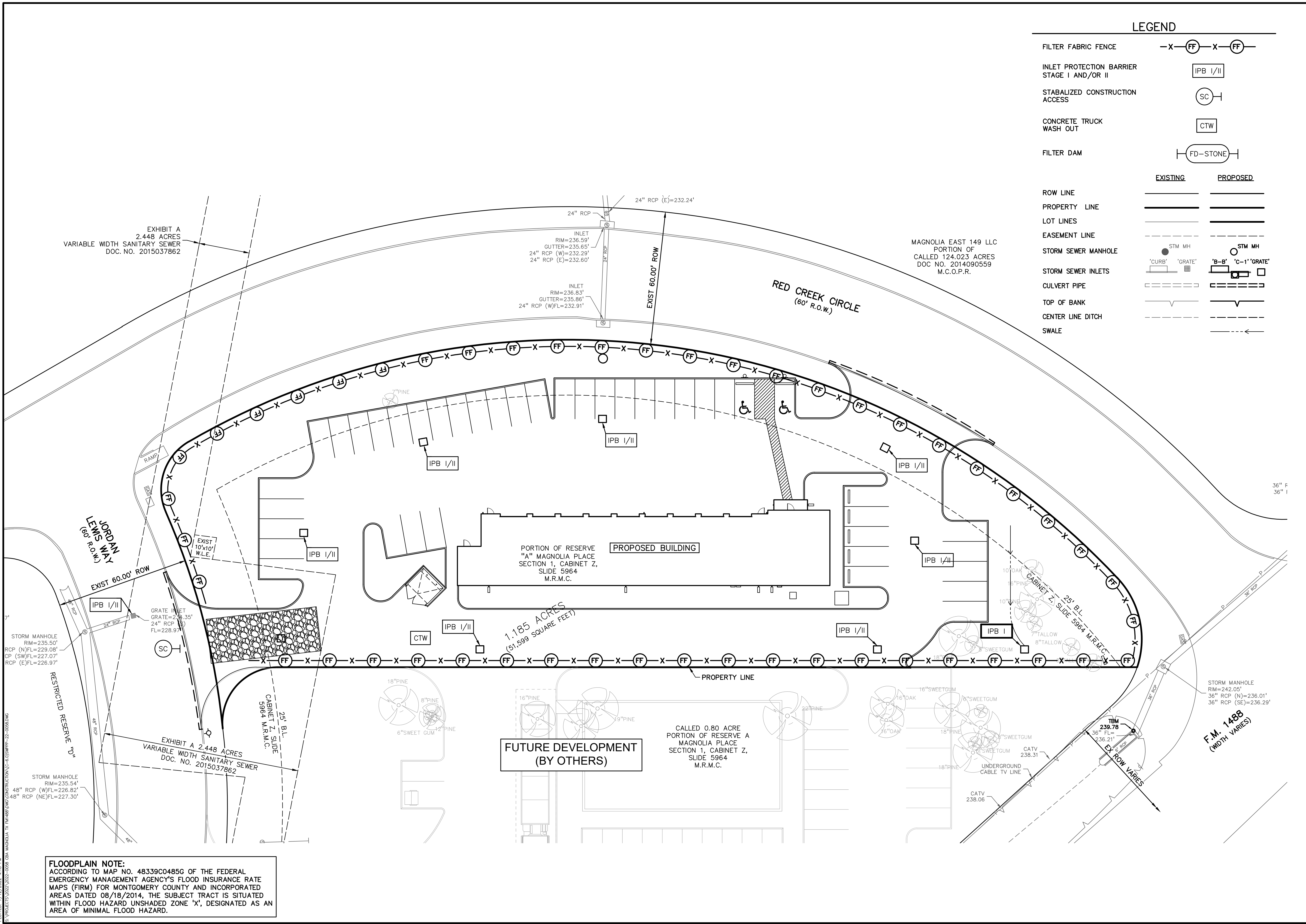
ORIGINAL ISSUE DATE:
 07/11/22

DRAWING TITLE
SWPPP PLAN

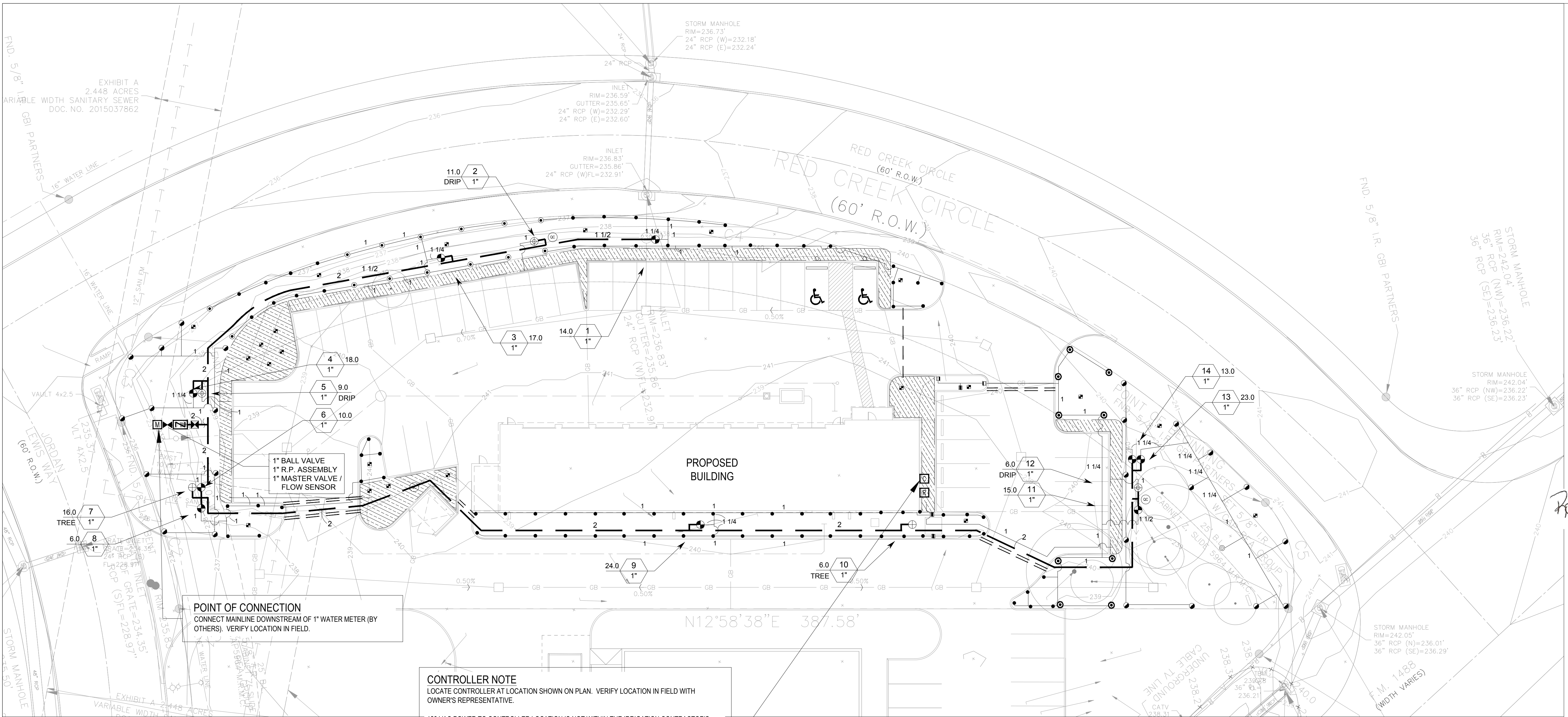
PEA JOB NO. 2022-0058
 P.M. JG
 DN. WW
 DES. TS

DRAWING NUMBER:

C-6.0



FLOODPLAIN NOTE:
 ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS (FIRM) FOR MONTGOMERY COUNTY AND INCORPORATED AREAS DATED 08/18/2014, THE SUBJECT TRACT IS SITUATED WITHIN FLOOD HAZARD UNSHADED ZONE 'X', DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.



CONTROLLER NOTE
LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.

120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

AUTOMATIC DRAIN VALVES AND AIR RELIEF VALVES

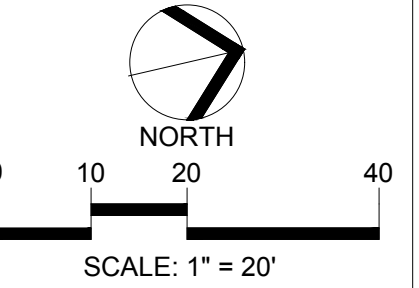
INSTALL AUTOMATIC DRAIN VALVES AT THE LOW POINTS OF EACH LATERAL LINE (MIN. 2 PER VALVE) AS PER DETAIL ON SHEET LI-2. INSTALL AIR RELIEF VALVES ON DRIP SYSTEMS AT THE LOCATIONS SHOWN ON THE PLANS, AS AS PER DETAILS.

SLEEVING / WIRING NOTES:

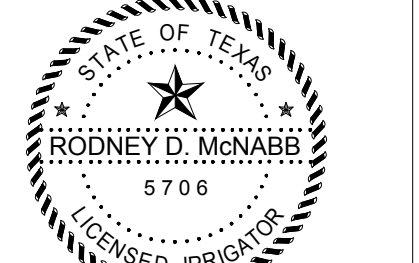
IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES. **FOR PLAN CLARITY, ONLY SOME REPRESENTATIVE SLEEVES ARE SHOWN; SOME SLEEVES MAY NOT BE SHOWN.**

COORDINATION WITH EXISTING TREES

NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY, WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.



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Rodney McNabb
07-08-2022

CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
17725 KATY FREEWAY, SUITE 200
HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
FM 1488 & 149 SPUR RD.
MAGNOLIA, TEXAS 77354

REVISIONS

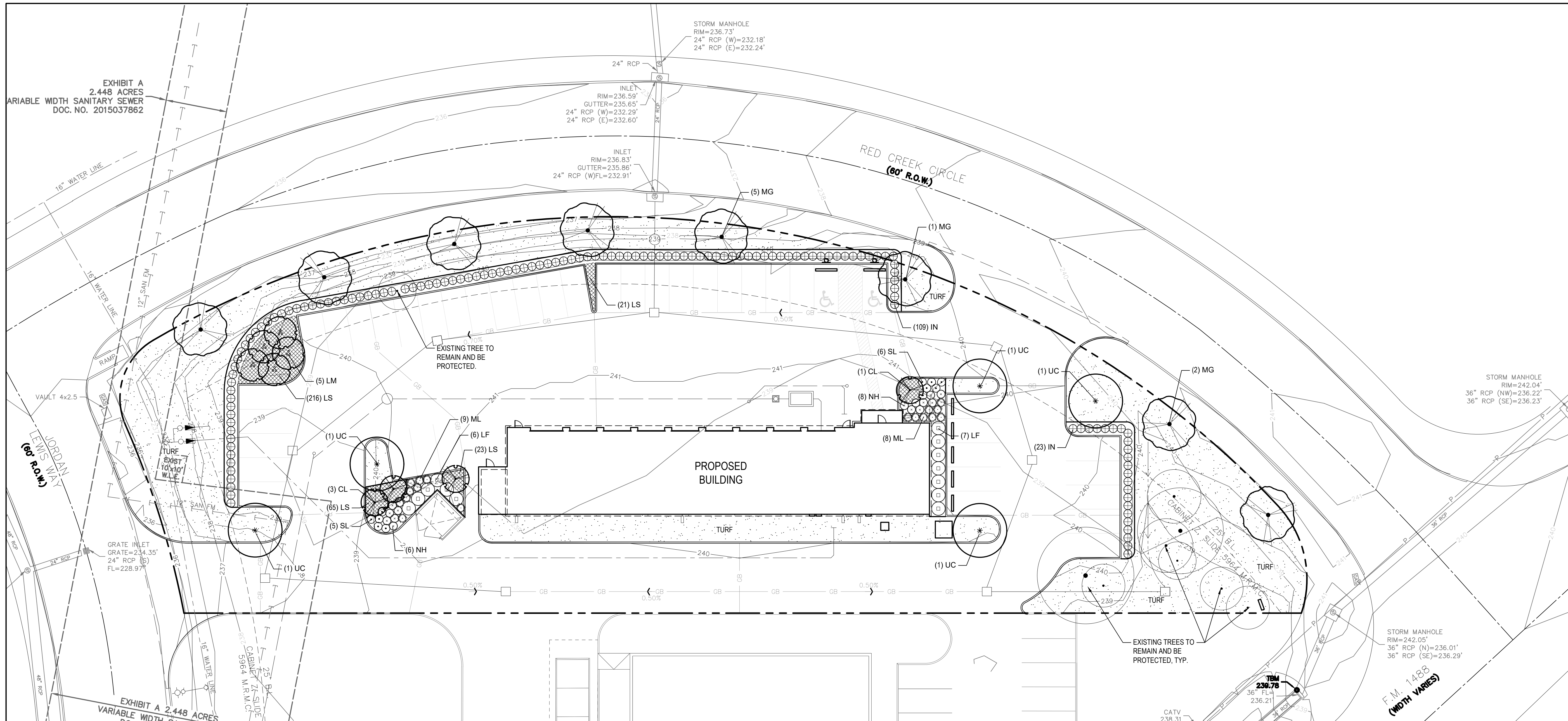
ORIGINAL ISSUE DATE:
07/08/22

DRAWING TITLE
IRRIGATION PLAN

PEA JOB NO. 2022-0058
P.M. -
DN. -
DES. -
DRAWING NUMBER:

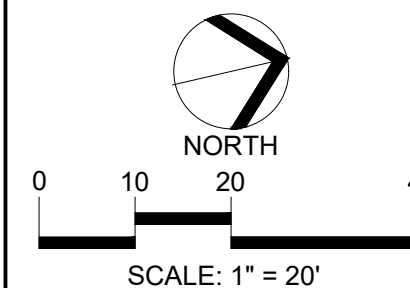


NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.



PEA GROUP
 16060 DILLARD DR., SUITE 250
 HOUSTON, TEXAS 77040
 713-688-3530
 T.B.P.E.L.S. FIRM # F-21237

EVERGREEN DESIGN GROUP
 (800) 680-6630
 10777 Westheimer Rd., Ste 1100
 Houston, TX 77042
 www.EvergreenDesignGroup.com



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CAUTION!
 THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



07/08/2022

CLIENT
CHRISTIAN BROTHERS AUTOMOTIVE
 17725 KATY FREEWAY, SUITE 200
 HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
 FM 1488 & 149 SPUR RD.
 MAGNOLIA, TEXAS 77354

PLANTING SCHEDULE

TREES

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CL	4	CHILOPSIS LINEARIS	DESERT WILLOW	2" CAL MIN
LM	5	LAGERSTROEMIA I. 'MUSKOGEE'	CRAPE MYRTLE	3-5 CANES, 3" OVERALL
MG	8	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2" CAL MIN
UC	5	ULMUS CRASSIFOLIA	CEDAR ELM	2" CAL MIN

SHRUBS/PERENNIALS/GROUNDCOVER

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
IN	132	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	5 GAL	36" OC	12" HT X 18" SPR
LF	13	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	5 GAL.	60" OC	
LS	325	LIRIOPE S. 'SILVER DRAGON'	SILVER DRAGON LILY TURF	1 GAL	18" OC	
ML	17	MUHLENBERGIA LINDHEIMERI	BIG MUHLY	3 GAL	36" OC	
NH	14	NANDINA D. 'HARBOUR DWARF'	HARBOUR DWARF BAMBOO	5 GAL	36" OC	24" HT MIN
SL	11	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	3 GAL	30" OC	

SOD / SEED

	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS SOD	SOD
--	----------------------------	-------------------	-----

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: **1.18 AC (51,400 SF)**
 ZONING: CITY OF MAGNOLIA, TX
 AC (AUTO-URBAN COMMERCIAL)

LANDSCAPING PROVISIONS

LANDSCAPE AREA: **15% OF DEVELOPED AREA**
 REQUIRED: 7,710 SF OF LANDSCAPE AREA
 16,529 SF PROVIDED

TREES: 50% OF LANDSCAPE AREA TO BE PLANTED WITH TREES (50% OF WHICH ARE TO BE CANOPY OR SOUTHERN MAGNOLIA TREES)

REQUIRED: 3,855 SF OF TREE CANOPY
 *@500 SF/CANOPY TREE & 250 SF/NONCANOPY TREE
 4,875 SF OF PROPOSED TREE CANOPY PROVIDED*

PRESERVED TREES = 30 TREE CREDITS

PARKING LOTS

TREES: 1 CANOPY TREE PER ISLAND + 2 PER PARKING LOT CORNER OR 2 NONCANOPY TREES PER ISLAND + 5 NONCANOPY TREES PER PKG LOT CORNER

REQD: 9 CANOPY TREES
 6 CANOPY TREES, 5 NONCANOPY TREES AND 2 EXISTING TREES*
 **PRESERVED TREES = 7 TREE CREDITS

SCREEN PLANTINGS: 3' HT. CONTINUOUS HEDGE
 REQD: MIN. 3 HT CONTINUOUS HEDGE
 PROVIDED

REVISIONS

ORIGINAL ISSUE DATE:
 07/08/22

DRAWING TITLE

LANDSCAPE PLAN

PEA JOB NO. 2022-0058

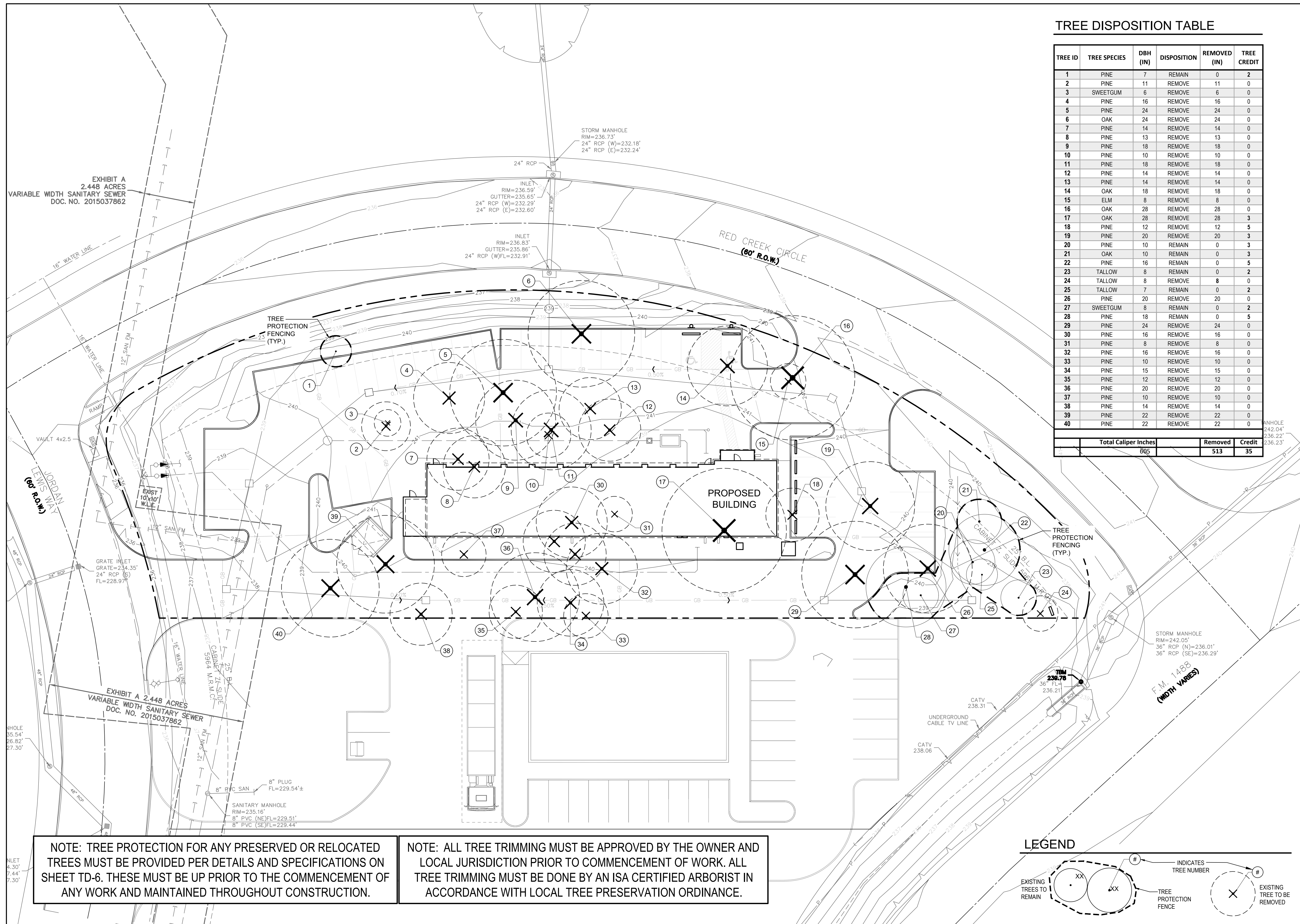
P.M.

DN.

DES.

DRAWING NUMBER:

LP-1

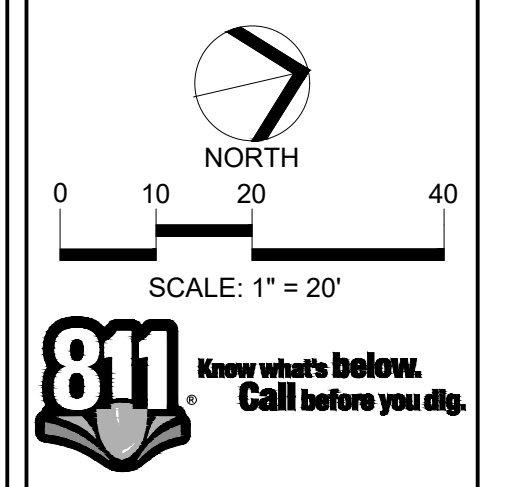


TREE DISPOSITION TABLE

TREE ID	TREE SPECIES	DBH (IN)	DISPOSITION	REMOVED (IN)	TREE CREDIT
1	PINE	7	REMAIN	0	2
2	PINE	11	REMOVE	11	0
3	SWEETGUM	6	REMOVE	6	0
4	PINE	16	REMOVE	16	0
5	PINE	24	REMOVE	24	0
6	OAK	24	REMOVE	24	0
7	PINE	14	REMOVE	14	0
8	PINE	13	REMOVE	13	0
9	PINE	18	REMOVE	18	0
10	PINE	10	REMOVE	10	0
11	PINE	18	REMOVE	18	0
12	PINE	14	REMOVE	14	0
13	PINE	14	REMOVE	14	0
14	OAK	18	REMOVE	18	0
15	ELM	8	REMOVE	8	0
16	OAK	28	REMOVE	28	0
17	OAK	28	REMOVE	28	3
18	PINE	12	REMOVE	12	5
19	PINE	20	REMOVE	20	3
20	PINE	10	REMAIN	0	3
21	OAK	10	REMAIN	0	3
22	PINE	16	REMAIN	0	5
23	TALLOW	8	REMAIN	0	2
24	TALLOW	8	REMOVE	8	0
25	TALLOW	7	REMAIN	0	2
26	PINE	20	REMOVE	20	0
27	SWEETGUM	8	REMAIN	0	2
28	PINE	18	REMAIN	0	5
29	PINE	24	REMOVE	24	0
30	PINE	16	REMOVE	16	0
31	PINE	8	REMOVE	8	0
32	PINE	16	REMOVE	16	0
33	PINE	10	REMOVE	10	0
34	PINE	15	REMOVE	15	0
35	PINE	12	REMOVE	12	0
36	PINE	20	REMOVE	20	0
37	PINE	10	REMOVE	10	0
38	PINE	14	REMOVE	14	0
39	PINE	22	REMOVE	22	0
40	PINE	22	REMOVE	22	0
Total Caliper Inches				Removed	Credit
				513	35

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 17725 KATY FREEWAY, SUITE 200
 HOUSTON, TEXAS 77084

PROJECT TITLE
CHRISTIAN BROTHERS AUTOMOTIVE
 FM 1488 & 149 SPUR RD.
 MAGNOLIA, TEXAS 77354

REVISIONS

NO.	DESCRIPTION

ORIGINAL ISSUE DATE:
 07/08/22

DRAWING TITLE
TREE DISPOSITION PLAN

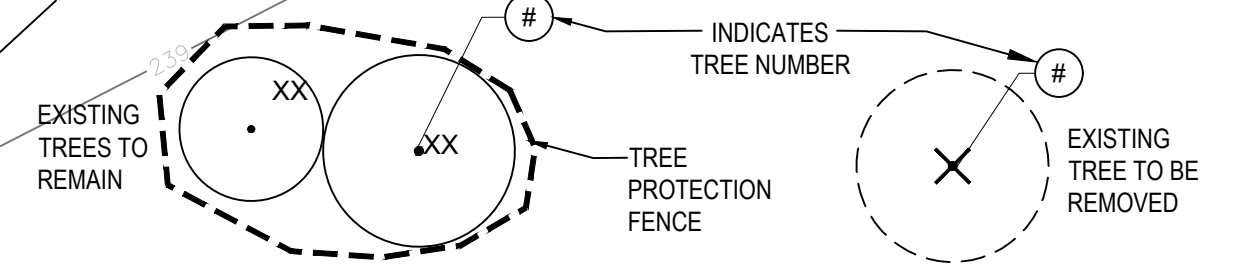
PEA JOB NO. 2022-0058
 P.M. --
 DN. --
 DES. --
 DRAWING NUMBER:

TD-1

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-6. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

LEGEND



**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 7**

Background/Information:

An application for a site work permit was received on August 11, 2022.

Comments:

Review letter is expected from City Engineer on or before 8/25.

Action Requested:

Approve site plan for Magnolia Parkway Storage Phase II.

Recommendation:

Approve site plan for Magnolia Parkway Storage Phase II under the condition that it receives City Engineer approval.

Attachments:

Site Plan



SITE WORK PERMIT APPLICATION

18111 Buddy Riley Blvd.
Magnolia, Texas 77354
Phone: 281-356-2266
Fax: 281-259-7811
www.cityofmagnolia.com

Please fill out completely except for shaded areas.

Site Address 18015 FM 1488, MAGNOILIA, TX 77354			Permit Number
Property ID: R516668	Lot No. S624701-Jordan French 17000	Block: FM 1488 Partial Replat, RES B, ACRES 5.283	Zoning District: Auto Urban Commercial
Owner: Jordan French Properties LLC	Mailing Address: 906 Hillstar St. Houston, Tx 77009		Phone: 713-882-5957
Contractor: Jordan French Properties LLC	Mailing Address: 906 Hillstar St. Houston, Tx 77009		Phone: 713-882-5957
Use: Commercial		Flood Zone:	
Residential Commercial		Yes No	
Class of Work			
New Addition Repair Alteration Paving Storm Sewer Water Other			
Describe Work: Expansion of Storage Facility. Dirt work, detention pond, underground utilities, paving, foundation prep and landscaping			
Engineer: Magdy Kozman P.E.	Mailing Address: 10134 Meridian Lakes Dr. Houston, Tx 77095		Phone: 281-507-8978
PRIMARY CONTACT EMAIL: m5kozman@sbcglobal.net			
<p style="text-align: center;">NOTICE</p> <p>This permit becomes null and void if work or construction authorized is not commenced within six (6) months, or if construction or work is abandoned for a period of six (6) months at any time after work is commenced. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law relating to construction, nor does it give authorization or approval to encroach on any easement or property or violate any deed restrictions. The City of Magnolia shall never be liable for any damage or loss by reason of the issuance hereof. Each holder and other persons acting under authority of this permit are personally responsible for compliance with all of the above provisions and assume the entire risks incidental to the work being permitted.</p> <p style="text-align: center;">I hereby certify that I have read and examined this application and know the same to be true and correct.</p>		Total Project Valuation \$ 494,443	
		Acreage or Lot Size 2.75 acres out of the 5.23 acres	
		Office Use Only	
		Plan/Inspection fee 0.5%	\$
		Permit Fee 2%	\$
		Water Impact fee	\$
		Sewer Impact Fee	\$
Total Amount Due	\$		
Signature of Applicant:		Date 7/18/22	
		Date 7/18/22	
		Date 7/18/22	
		Date 7/18/22	
PLEASE NOTE THERE SHALL BE NO REFUND OF FEES.			

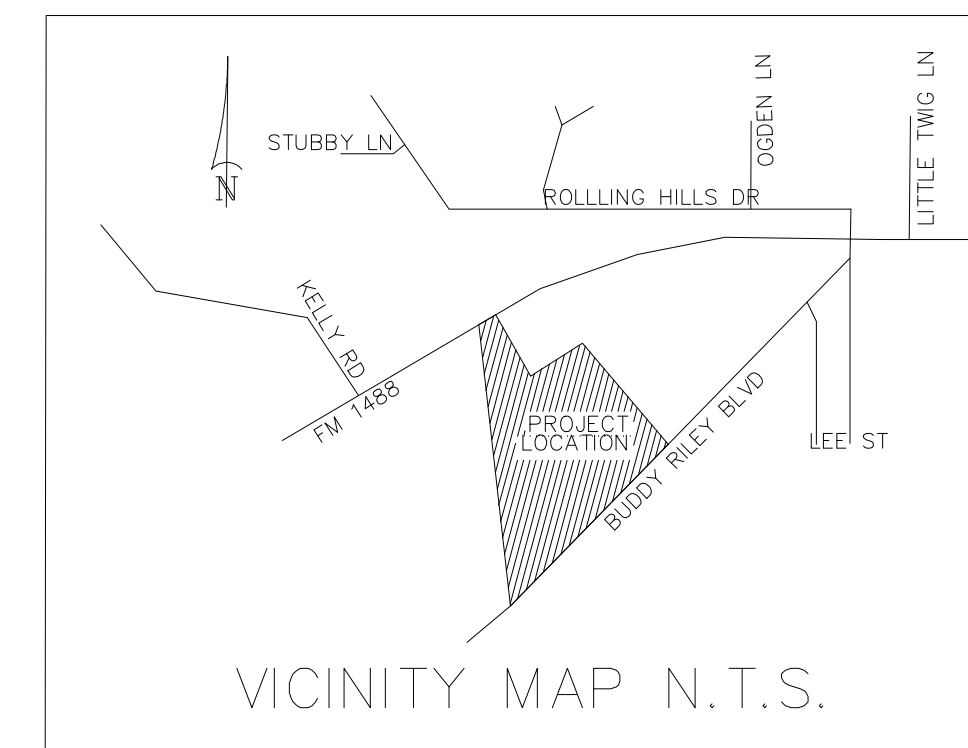
MAGNOLIA PARKWAY STORAGE PHASE II 18015 FM 1488 MAGNOLIA , TEXAS

OWNER/CONTRACTOR CONTACT : 2822 WESTERN AVENUE, LLC.- ((LUKE WONG (713) 882-5957))

BENCHMARK: BASED ON GPS OBSERVATIONS
TEXAS CENTRAL 4203, NAVD, 1988

TBM IS A PK NAIL WITH AN ELEVATION OF
291.27 FEET AS PER TOPOGRAPHIC SURVEY
BY C & C SURVEYING, INC. JOB NO.15-0578,
REV 12/22/15

THIS PROPERTY LIES WITHIN ZONE "X" AS
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48339-C-0480-G, DATED AUGUST 18, 2014



DRAWING INDEX

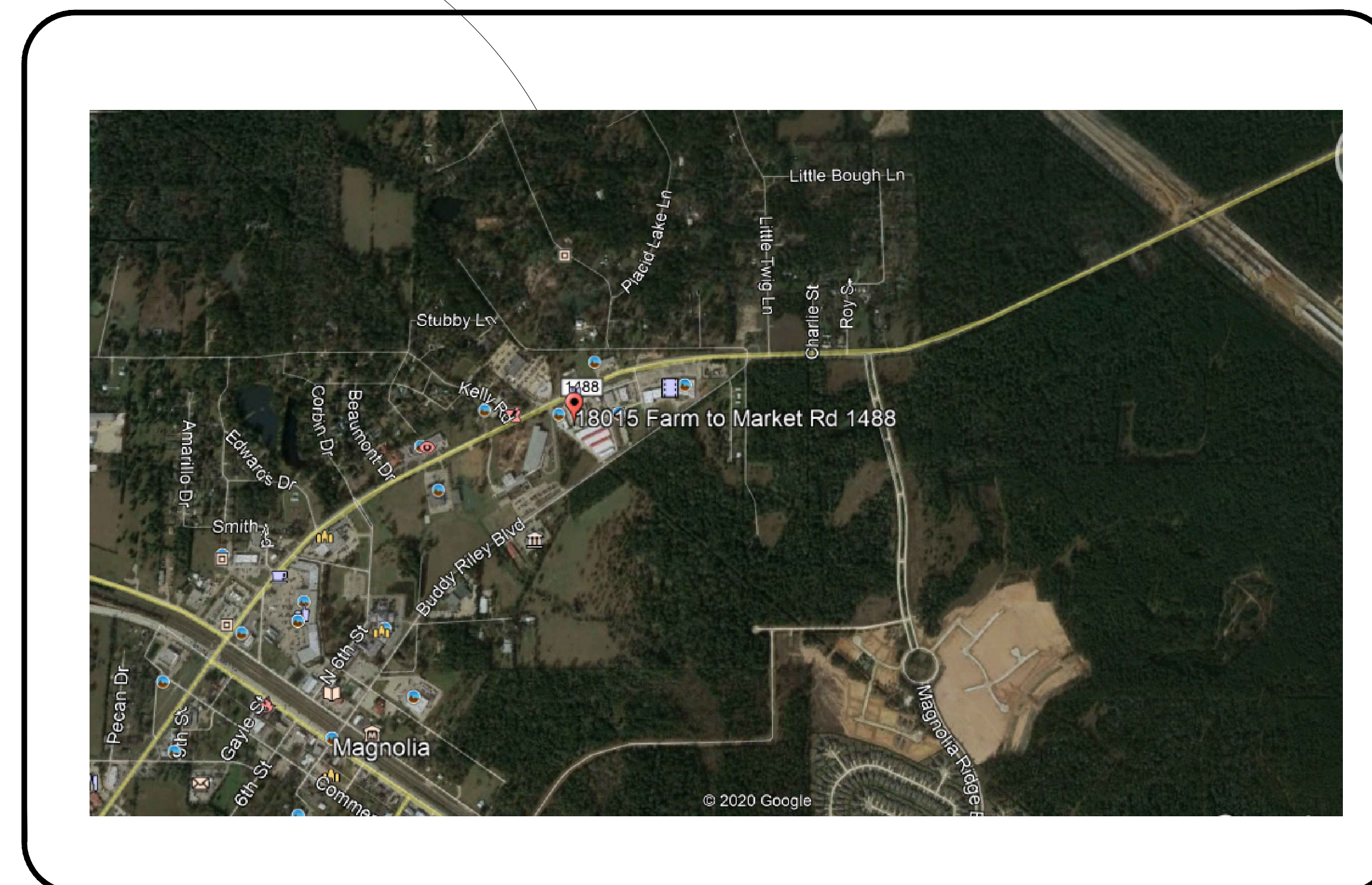
CIVIL:

DRAWING NO.	TITLE
C- 1	COVER SHEET
C- 2	EXISTING GRADING PLAN
C- 3	PROPOSED SITE PLAN PHASE II & EXISTING PHASE I ELEVATION
C- 4	REQUIRED DETENTION PHASE II- CALCULATION
C- 5	PHASE II SITE PLAN
C- 6	STORM SEWER - PHASE II - DRAINAGE PLAN
C- 7	PHASE II - GRADING PLAN
C- 8	CROSS SECTIONS
C- 9	SWPPP
C- 10	SWPPP - STANDARD SHEET
C- 11	FIRE LANE STRIPING AND UTILITY PLAN
C- 12,13 AND 14	NOTES AND DETAILS
C- 15	LANDSCAPE PLAN

PROPOSED PERMITS _____

1- PHASE II - SITE WORK PERMIT- 38,870 S.F. STORAGE BUILDING

PROJECT LOCATION



PRINTED

DATE	REMARKS
1/JULY/2022	ISSUED FOR PERMIT

REVISIONS

NO.	REMARKS

FIRM TBPE # 12320

P&G

INC.

**ENGINEERING &
CONSTRUCTION**

10134 MERIDIAN LAKES DR.
HOUSTON, TX. 77095
TEL (281) 507-8978
FAX (281) 859-9034

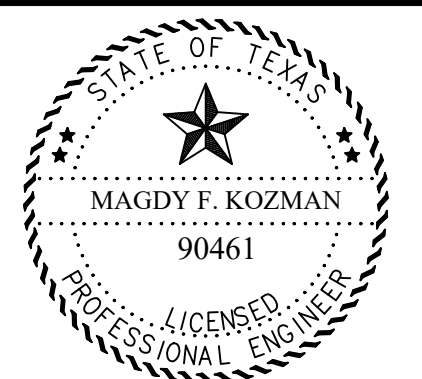
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THE DESIGN REPRESENTED BY THESE DRAWINGS HAS BEEN
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GRAPHIC SCALE: NONE

**MAGNOLIA
PARKWAY STORAGE
PHASE II**

**18015 FM 1488,
MAGNOLIA , TEXAS**

COVER SHEET



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authorized by MAGDY F. KOZMAN
P.E. 90461, on 07/02/2022

Magdy Kozman

PROJECT NO: 702-22

PHASE: C.D.

DATE: 2 JULY, 2022

DRAWING NO:

1- 15

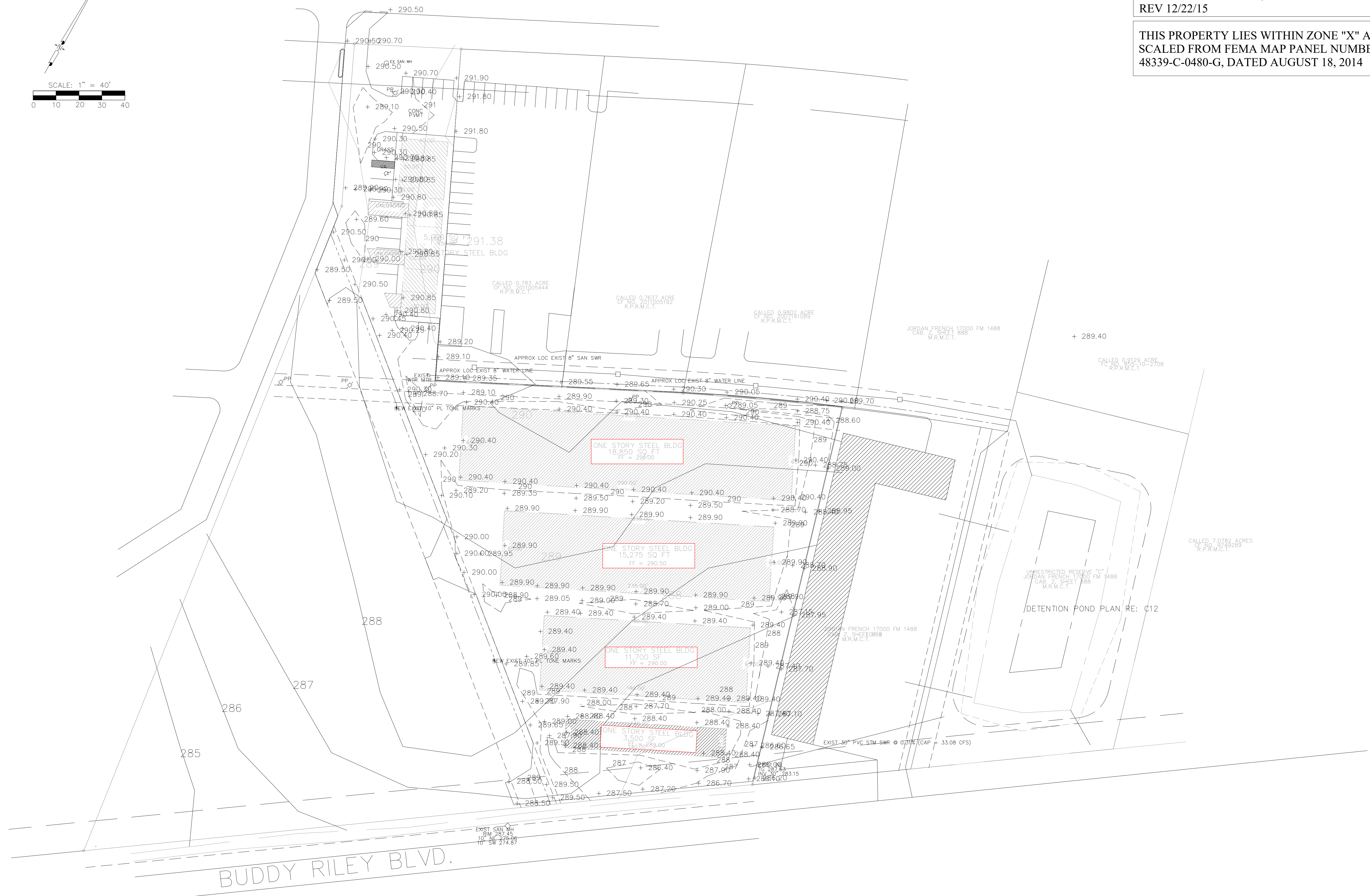
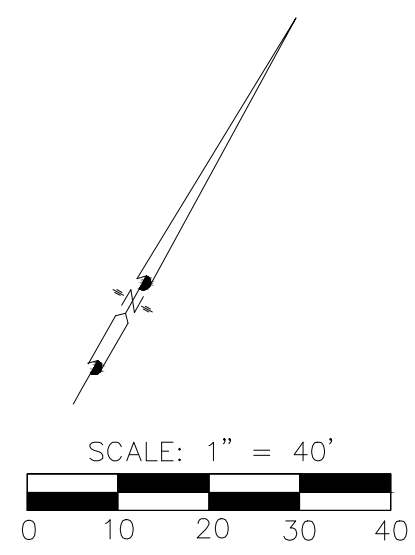
Drawing Index

C- 1

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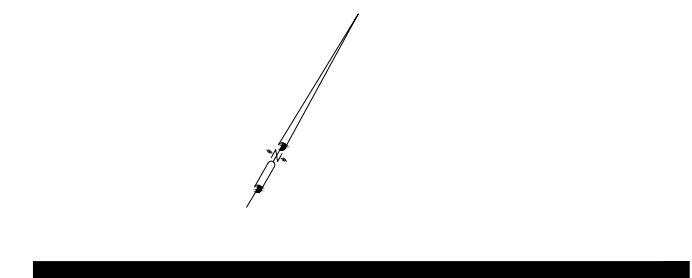


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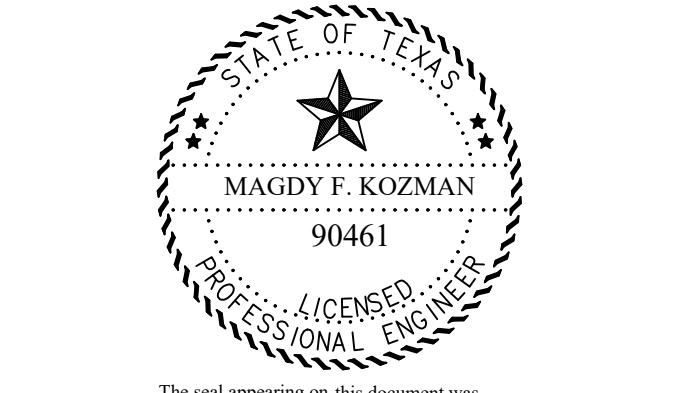
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GRAPHIC SCALE: 1" = 40'

MAGNOLIA PARKWAY STORAGE PHASE II

18015 FM 1488,
MAGNOLIA, TEXAS

EXISTING GRADING PLAN PHASE I



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Magdy Kozman

NOTE: ALL ELEVATIONS SHOWN ARE BOTTOM OF CONCRETE PAVEMENT

PROJECT NO: 702-22	DRAWING NO: 2-15
PHASE: C.D.	Drawing Index
DATE: 2 JULY 2022	C-2

BENCHMARK: BASED ON GPS OBSERVATIONS
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NO. REMARKS

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**MAGNOLIA
PARKWAY STORAGE
PHASE II**

**18015 FM 1488,
MAGNOLIA, TEXAS**

**PROPOSED SITE PLAN PHASE II &
EXISTING PHASE I ELEVATION**

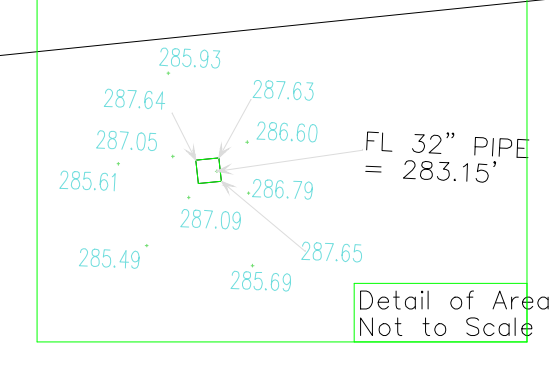
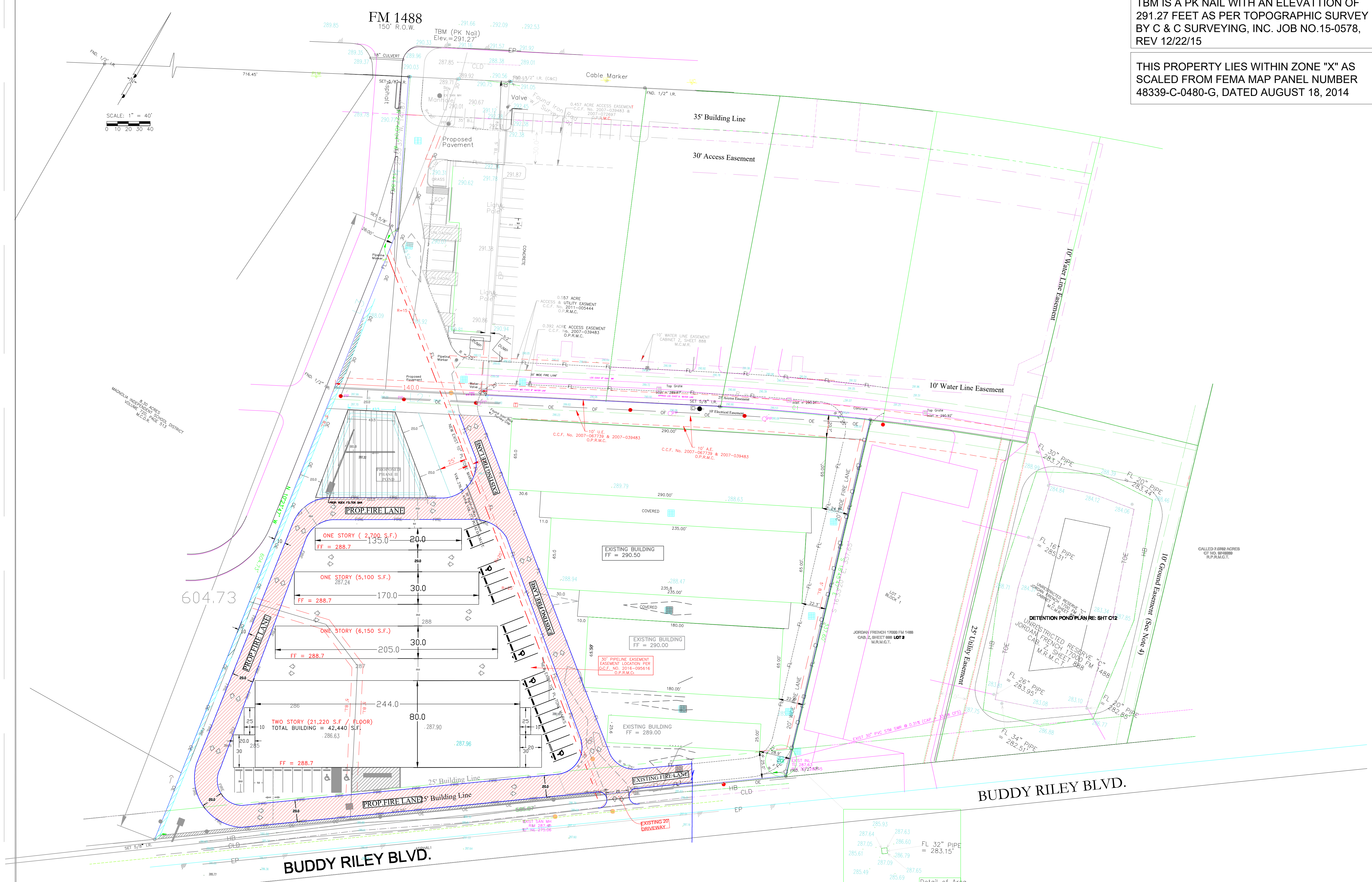


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PROJECT NO: 702-22
PHASE: C.D.
DATE: 2 JULY 2022

DRAWING NO:
3-15
Drawing Index
C-3



REVISIONS

NO. REMARKS

FIRM TBPE # 12320

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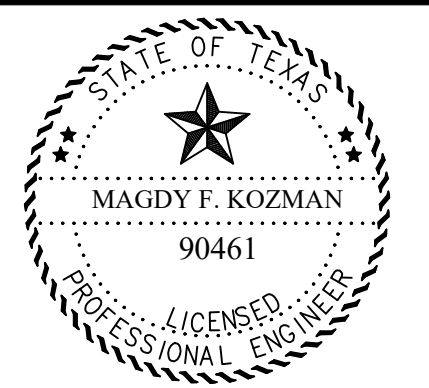
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18015 FM 1488,
MAGNOLIA, TEXAS

EXISTING GRADING PLAN PHASE I



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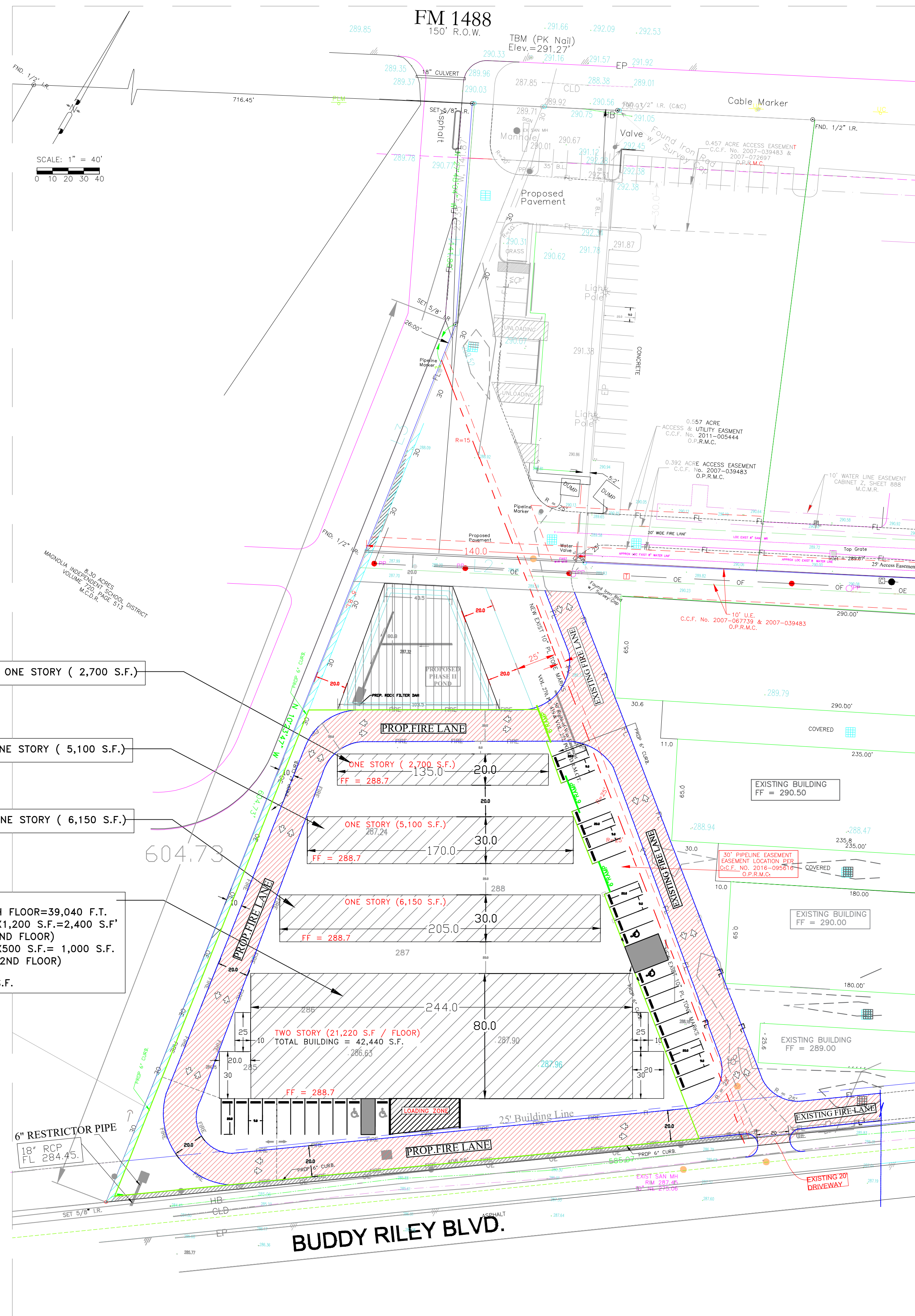
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48339-C-0480-G, DATED AUGUST 18, 2014

LEGEND (CIVIL)	
	EXISTING PROPOSED
Curb	— — — — —
Edge of Pavement	— — — — —
R.O.W.	— — — — —
Curb Inlet/Grate Inlet	□ □ □ □ □
Junction Box (J.B.)	■
Top of Bank	TB
Top of Pavement	TP
Top of Curb	TC
Top of Grade	TG
Top of Inlet	+TI
Flow Line	FL
Top of Junction Box	+T.J.B. MATCH PVMT.
← →	RIDGE LINE WITH HIGH POINT
— 540.80	SWALE/DITCH PROPOSED GRADE
— 542	EXISTING GRADE
→	FLOW DIRECTION
— — — — —	NEW STORM LINE
F.T.V	Field To Verify
M.E.G.	Match Existing Grade
M.F.G.	Match Finished Grade
LP	Light Pole
GW	Guy Wire Anchor
PVMT.	Pavement
PP	Power Pole
SW	Side Walk
C.O.	Clean Out
— 540.80	PROP. PVMT. ELEV.
x.xx	ACCUM DRAINED AREA (ACRES)
x.xx	ACCUM 100-YR FLOW RATE (CFS)
x.xx	AREA DRAINED PER INLET (ACRES)
x.xx	100-YR FLOW RATE PER INLET (CFS)
①	DRAINAGE SUB-AREA NUMBER



1- TWO STORY
244FX80F = 19,520.F./EACH FLOOR=39,040 F.T.
2- 2*2 FLOOR (20X30)= 2X1,200 S.F.=2,400 S.F.
(RAMP AND EXIST TO THE 2ND FLOOR)
3- 2*2 FLOOR (10X25)= 2X500 S.F.= 1,000 S.F.
(STAIRS AND EXIST TO THE 2ND FLOOR)
TOTAL BUILDING = 42,440 S.F.

TOTAL STORAGE AREA = 56,390 S.F.
TOTAL COVERED AREA = 38,870 S.F.

REQUIRED DETENTION STORAGE

B = TIME BASE OF TRIANGULAR HYDROGRAPH
 $B = 43560 \times 2.1 / (0.5 \times 3.491)$
 $B = 91,476 / 1.7455 = 5.240 \text{ SECONDS}$
 S(V) = STORAGE VOLUME OF THE POND
 $S(V) = 0.5 \times 5.240 (5.32 - 2.1) / 43560 = 84,332 \text{ CF} = 1.936 \text{ AC/FT}$
 EXISTING POND VOLUME REQUIRED (PHASE ONE) = 156,204 CF = 3.58 AC/FT
 EXISTING POND VOLUME PROVIDED (PHASE ONE) = 213,072 CF = 4.89 AC/FT

EXTRA VOLUME PROVIDE (SURPLUS) = 1.305 AC/FT = 56,845.8 CF
 VOLUME REQUIRED FOR (PHASE 2 - SURPLUS) = 1,936 - 1.305 = 0.631 AC/FT
 DETENTION STORAGE REQUIRED 27,488.3 CF = 0.631 AC/FT

6" CURB DETENTION

BENCHMARK: BASED ON GPS OBSERVATIONS
TEXAS CENTRAL 4203, NAVD, 1988

PEAK STORM RUNOFF CALCULATION
RATIONAL METHOD

DESIGN DATE

DRAINAGE AREA = 2.1 AC (ONSITE)
0.00 AC (OFFSITE)

C(e) = EXISTING CONDITION RUNOFF COEFFICIENT = 0.25 (SANDY PASTURE)
C(P) = PROP CONDITIONS RUNOFF. = 0.85

TIME OF CONCENTRATION DATA

V(e) = EXISTING RUNOFF VELOCITY = 16.1345(0.089)^{1/2} = 1.52 FPS
V(p) = PROPOSED . RUNOFF VELOCITY = 20.3282(0.0089)^{1/2} = 1.92 FPS

TIME OF CONCENTRATION

$$T_c = (10A)^{0.1761} + 15$$

$$= 10(2.1)^{0.1761} + 15 = 26.39 \text{ MIN}$$

$Q = C \times I \times A$

$C = 0.6 \times I_a + 0.2$ (RUN OFF COEFFICIENT)
 $I_a =$ (PERCENT IMPERVIOUS AREA) = 0

$I = b / (d + T_c)$ RAINFALL INTENSITY IN INCHES PER HOUR

EXISTING CONDITION

$I_a = 0$
 $C = 0.6 \times I_a + 0.2 = 0.2$

(FOR 2 YEAR) (STORM) (ATLAS 14)

$I_2 = 48.35 / (9.07 + 26.39)^{0.7244} = 3.645$ (In/Hr)
 $Q_2 = 0.2 \times 3.645 \times 2.1 = 1.530$ CFS

(FOR 10 YEAR)

$I_{10} = 54.68 / (6.96 + 26.39)^{0.6623} = 5.359$ (In/Hr)
 $Q_{10} = 0.2 \times 5.359 \times 2.1 = 2.250$ CFS

(FOR 100 YEAR)

$I_{100} = 60.66 / (4.44 + 26.39)^{0.5797} = 8.313$ (In/Hr)
 $Q_{100} = 0.2 \times 8.313 \times 2.1 = 3.491$ CFS

PROPOSED CONDITION (FOR 2, 10, 25, AND 100 YEAR)

(FOR 2 YEAR)

$I_2 = 48.35 / (9.07 + 26.39)^{0.7244} = 3.645$ (In/Hr)
 $Q_2 = 0.2 \times 3.645 \times 2.1 = 1.530$ CFS

(FOR 10 YEAR)

$I_{10} = 54.68 / (6.96 + 26.39)^{0.6623} = 5.359$ (In/Hr)
 $Q_{10} = 0.2 \times 5.359 \times 2.1 = 2.250$ CFS

(FOR 25 YEAR)

$I_{25} = 57.79 / (5.89 + 26.39)^{0.6279} = 6.48$ (In/Hr)
 $Q_{25} = 0.2 \times 6.488 \times 2.1 = 2.724$ CFS

(FOR 100 YEAR)

$I_{100} = 60.66 / (4.44 + 26.39)^{0.5797} = 8.313$ (In/Hr)
 $Q_{100} = 0.2 \times 8.313 \times 2.1 = 3.491$ CFS

REQUIRED DETENTION STORAGE

B = TIME BASE OF TRIANGULAR HYDROGRAPH
 $B = 43560 \times 2.1 / (0.5 \times 3.491)$
 $B = 91,476 / 1.7455 = 5.240$ SECONDS
S(V) = STORAGE VOLUME OF THE POND
 $S(V) = 0.5 \times 5.240 (5.32 - 2.1) / 43560 = 84,332$ CF = 1.936 AC/FT
EXISTING POND VOLUME REQUIRED (PHASE ONE) = 156,204 CF = 3.58 AC/FT
EXISTING POND VOLUME PROVIDED (PHASE ONE) = 213,072 CF = 4.89 AC/FT

EXTRA VOLUME PROVIDE (SURPLUS) = 1.305 AC/FT = 56,845.8 CF
VOLUME REQUIRED FOR (PHASE 2 - SURPLUS) = 1,936 - 1.305 = 0.631 AC/FT
DETENTION STORAGE REQUIRED 27,488.3 CF = 0.631 AC/FT

DETENTION POND VOLUME PROVIDED FOR (PHASE II)

TOTAL AREA OF PHASE II = 91,476 SF = 2.1 AC
TOTAL DEVELOPED AREA I = 89,000 SF = 2.04 AC

1- TOTAL AREA PROVIDED FOR PARKING LOT DETENTION (6" CURB)
89,000 SF - 38,870 SF(PROP.BUILDINGS) - 5,939 SF DETENTION AREA
= 44,191 SF = 1.014 AC
DETENTION PROVIDED IN PARKING (6" CURB) 44,191 X 0.66
= 29,166 CF = 0.6696 AC/FT

2- DETENTION BASIN

TOP AREA = 5,939 SF
BOTTOM AREA = 4,231 SF
TOTAL BASIN VOLUME 5,939 + 4,231 / 2 X 2(d) = 10,170 CF = 0.233 AC/FT

TOTAL DETENTION VOLUME FOR PHASE II
FROM STEP 1 + 2 =
0.6696 AC/FT + 0.233 A/FT = 0.903 AC/FT > REQUIRED 0.631 AC/FT

TBM IS A PK NAIL WITH AN ELEVATION OF 291.27 FEET AS PER TOPOGRAPHIC SURVEY BY C & C SURVEYING, INC. JOB NO.15-0578, REV 12/22/15

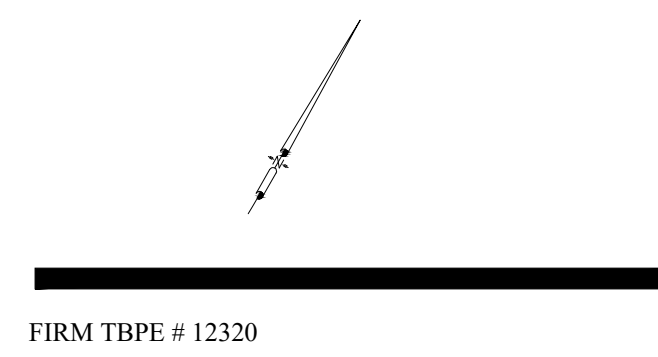
THIS PROPERTY LIES WITHIN ZONE "X" AS SCALED FROM FEMA MAP PANEL NUMBER 48339-C-0480-G, DATED AUGUST 18, 2014

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DATE	REMARKS
1/JULY/2022	ISSUED FOR PERMIT

REVISIONS

NO.	REMARKS
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FIRM TBPE # 12320

P&G
INC.
ENGINEERING & CONSTRUCTION

10134 MERIDIAN LAKES DR.
HOUSTON, TX. 77095
TEL (281) 507-8978
FAX (281) 859-9034

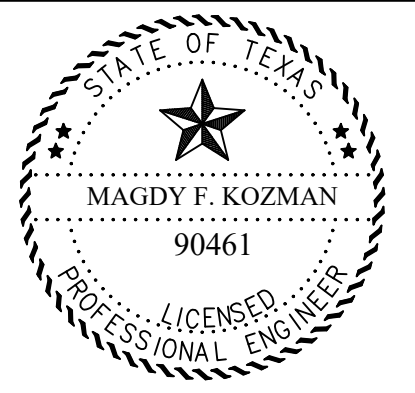
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GRAPHIC SCALE: NONE

MAGNOLIA PARKWAY STORAGE PHASE II

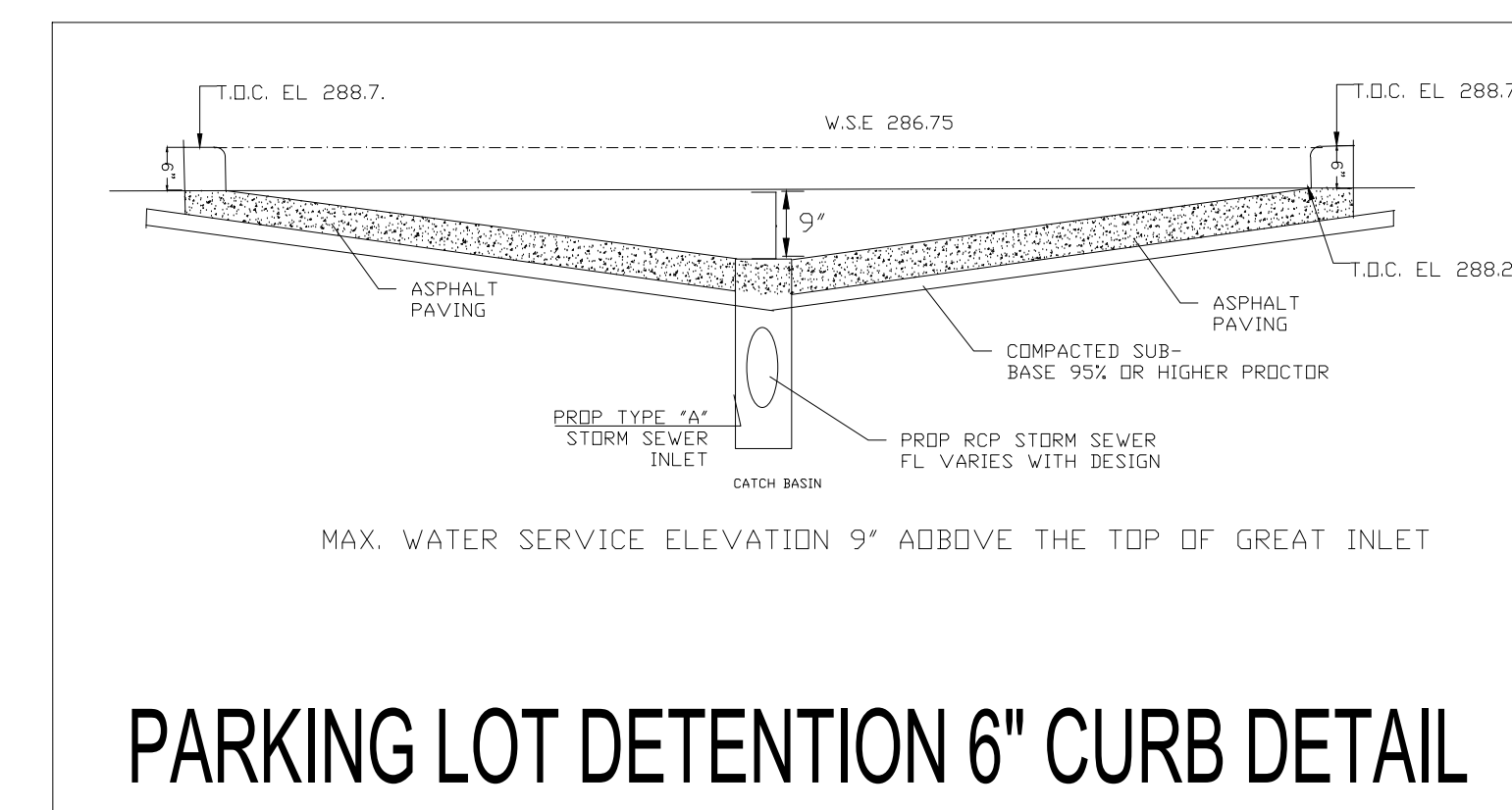
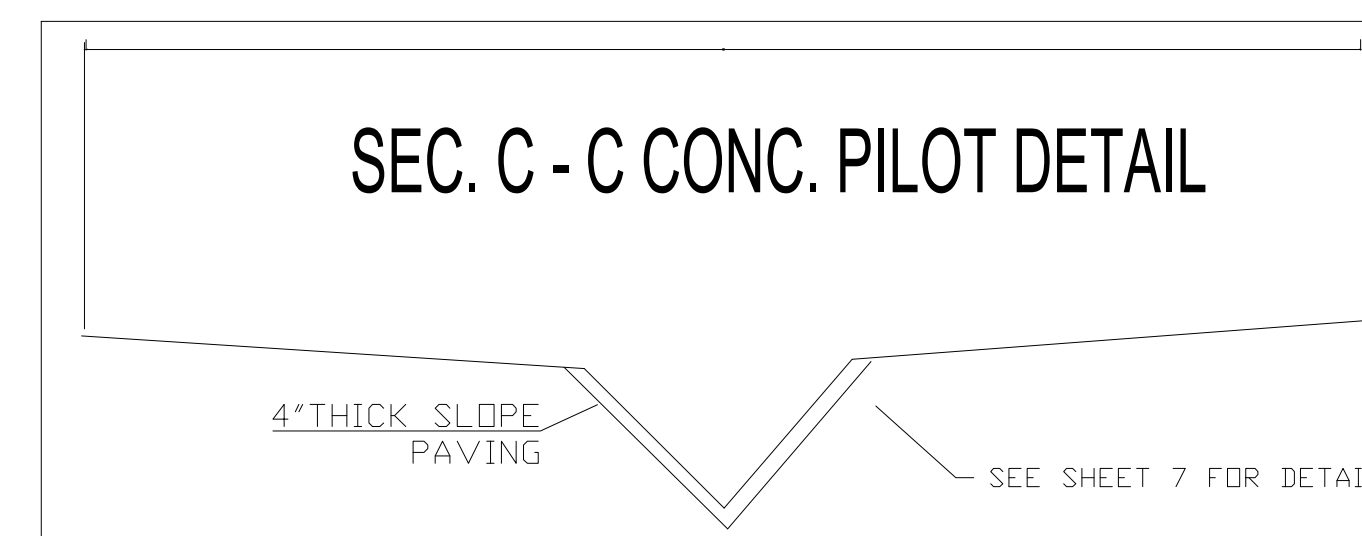
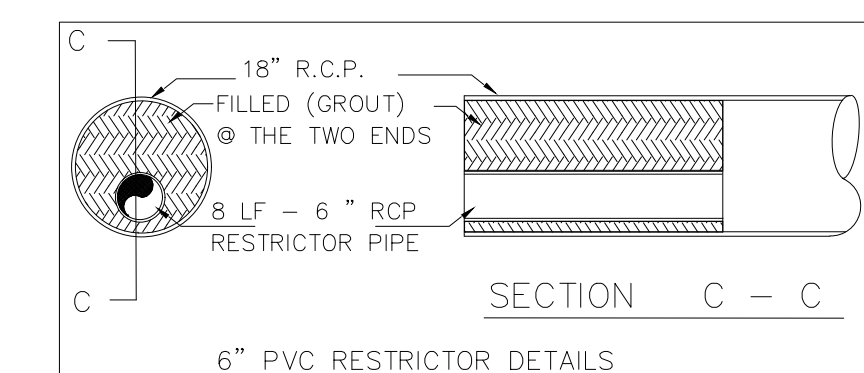
18015 FM 1488, MAGNOLIA , TEXAS

PHASE II - SITE PLAN



The seal appearing on this document was authorized by MAGDY F. KOZMAN
P.E. 90461, on 07/02/2022
Magdy Kozman

PROJECT NO: 702-22 DRAWING NO: 5-15
PHASE: C.D. Drawing Index
DATE: 2 JULY, 2022 C-5



RESTRICTOR CALCULATION

$Q = CA \times (2g)^{1/2} \times (H)^{1/2}$
 $D = Q^{1/2} / (2.25 H^{1/4})$

OR

Q = OUTFALL DISCHARGE (CFS) = 0.50 CFS/AC
C = RUNOFF COEFFICIENT = 0.8
A = ORIFICE AREA (S.F)

g = GRAVITATIONAL FACTOR = 32.20
h = HEAD (FEET) = 8.01
 $D = 3.491^{1/2} / (2.25 \times (1.0)^{1/4}) = 0.81$ FEET
D = 9.7 INCH USE 6 INCHES

$Q = CA \times (2g)^{1/2} \times (H)^{1/2}$
 $Q = 0.8(0.19) \times 2(32.2)^{1/2} \times (1.0)^{1/2}$
Q = 1.752 CFS

2,10,25 AND 100 YEAR EVENT - PIPE SIZING HYDRAULIC CHART - MONTGOMERY COUNTY

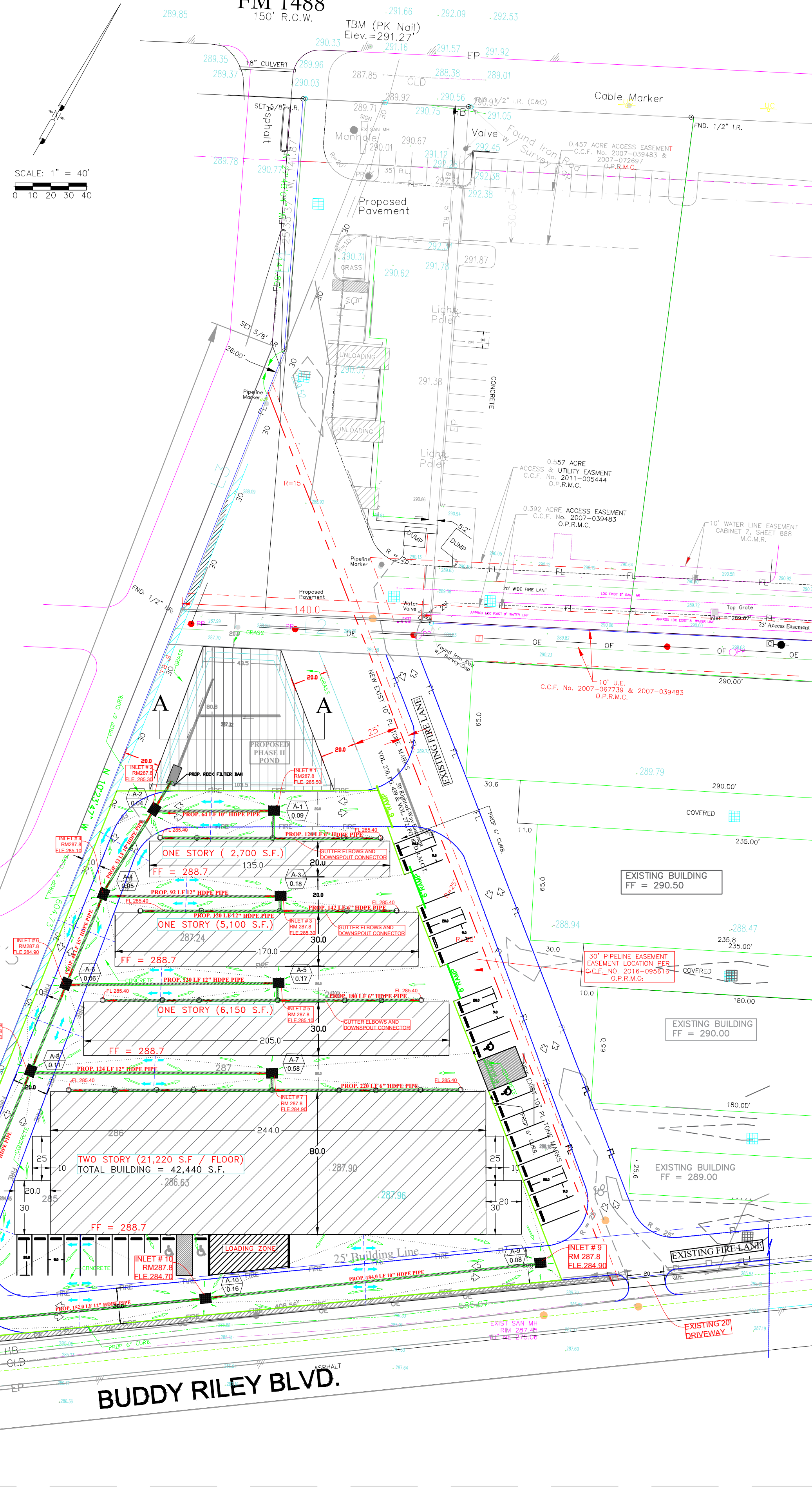
2 YEAR EVENT DRAINAGE CALCULATIONS
2 YR FROM CITY OF HOUSTON DESIGN MANUAL
 n = .035
 S = .034

DRAINAGE AREA NO.	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32			
INLET	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32			
AREA	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32			
FROM	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32			
TO	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33			
A1	1	2	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07		
A2	2	3	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	
A3	3	4	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	
A4	4	5	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07
A5	5	6	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07
A6	6	7	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07
A7	7	8	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07
A8	8	9	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07
A9	9	10	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07
A10	10	11	0.15	0.15	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07	0.07
A11	11	OUTFALL	0.12	1.52	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05	0.05

10 YEAR EVENT DRAINAGE CALCULATIONS
10 YR FROM CITY OF HOUSTON DESIGN MANUAL
 n = .035
 S = .034

25 YEAR EVENT DRAINAGE CALCULATIONS
25 YR FROM CITY OF HOUSTON DESIGN MANUAL
 n = .035
 S = .034

100 YEAR EVENT DRAINAGE CALCULATIONS
100 YR FROM CITY OF HOUSTON DESIGN MANUAL
 n = .035
 S = .034



- 1 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 285.55
DOWN STREAM = + 285.50
64' (10" HDPE)
- 2 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 285.50
DOWN STREAM = + 285.30
52' (10" HDPE)
- 4 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 285.30
DOWN STREAM = + 285.10
48' (15" HDPE)
- 6 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 285.10
DOWN STREAM = + 284.90
50' (18" HDPE)
- 8 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 284.90
DOWN STREAM = + 284.70
36' (18" RCP)
- 11 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 284.70
DOWN STREAM = + 284.50
36' (18" RCP)

- 3 PROVIDE & INSTALL DETENTION POND
UP STREAM EL = + 285.35
DOWN STREAM = + 285.30
92' (12" HDPE)
- 5 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 285.15
DOWN STREAM = + 285.10
120' (12" HDPE)
- 7 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 285.00
DOWN STREAM = + 284.90
124' (12" HDPE)
- 10 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 284.90
DOWN STREAM = + 284.70
152' (12" HDPE)

- 9 PROVIDE & INSTALL GRATE INLETS
T.P = + 287.8
UP STREAM EL = + 284.95
DOWN STREAM = + 284.90
184' (10" HDPE)

The City's Unified Development Code (UDC) requires that storm sewers shall be reinforced concrete pipe (RCP). WITH minimum storm sewer pipe sizes be 15 inches in diameter.

BENCHMARK: BASED ON GPS OBSERVATIONS TEXAS CENTRAL 4203, NAVD, 1988

TBM IS A PK NAIL WITH AN ELEVATION OF 291.27 FEET AS PER TOPOGRAPHIC SURVEY BY C & C SURVEYING, INC. JOB NO.15-0578, REV 12/22/15

THIS PROPERTY LIES WITHIN ZONE "X" AS SCALED FROM FEMA MAP PANEL NUMBER 48339-C-0480-G, DATED AUGUST 18, 2014

LEGEND (CIVIL)	
	EXISTING PROPOSED
Curb	—
Edge of Pavement	—
R.O.W.	—
Curb Inlet/Grate Inlet	—
Junction Box (J.B.)	—
Top of Bank	TB
Top of Pavement	TP
Top of Curb	TC
Top of Grade	TG
Top of Inlet	TI
Flow Line	FL
Top of Junction Box	T.J.B. MATCH PVMT.
	RIDGE LINE WITH HIGH POINT
	SWALE/DITCH
	PROPOSED GRADE
	EXISTING GRADE
	FLOW DIRECTION
	NEW STORM LINE
F.T.V.	Field To Verify
M.E.G.	Match Existing Grade
M.F.G.	Match Finished Grade
LP	Light Pole
GW	Guy Wire Anchor
PVMT.	Pavement
PP	Power Pole
SW	Side Walk
C.O.	Clean Out
	PROP. PVMT. ELEV.
x.xx	ACCUM DRAINED AREA (ACRES)
x.xx	ACCUM 100-YR FLOW RATE (CFS)
x.xx	AREA DRAINED PER INLET (ACRES)
x.xx	100-YR FLOW RATE PER INLET (CFS)
1	DRAINAGE SUB-AREA NUMBER

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DATE	REMARKS
1/JULY/2022	ISSUED FOR PERMIT

REVISIONS

NO.	REMARKS
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FIRM TBPE # 12320

P&G

INC.

ENGINEERING & CONSTRUCTION

10134 MERIDIAN LAKES DR.
HOUSTON, TX. 77095
TEL (281) 507-8978
FAX (281) 859-9034

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GRAPHIC SCALE: 1" = 40'

MAGNOLIA PARKWAY STORAGE PHASE II

**18015 FM 1488,
MAGNOLIA, TEXAS**

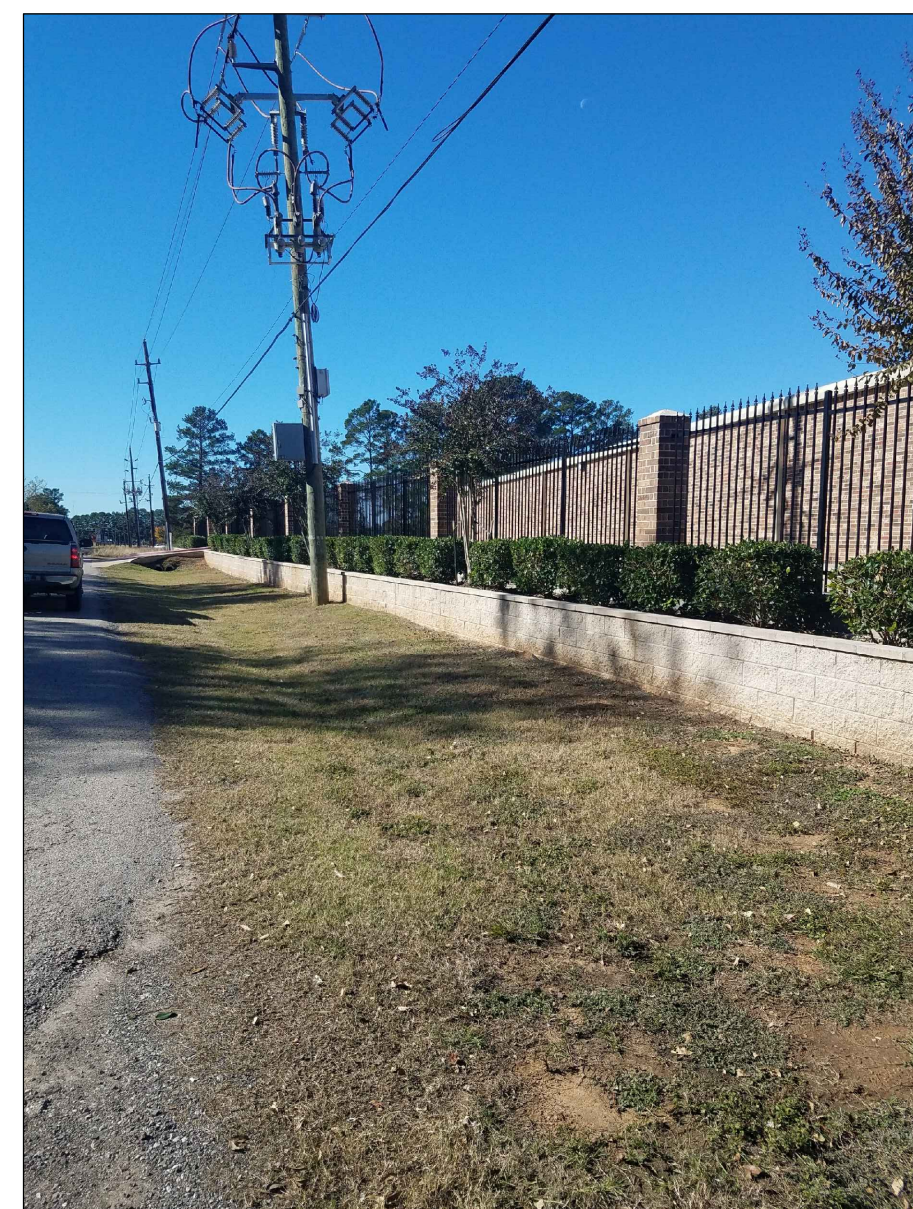
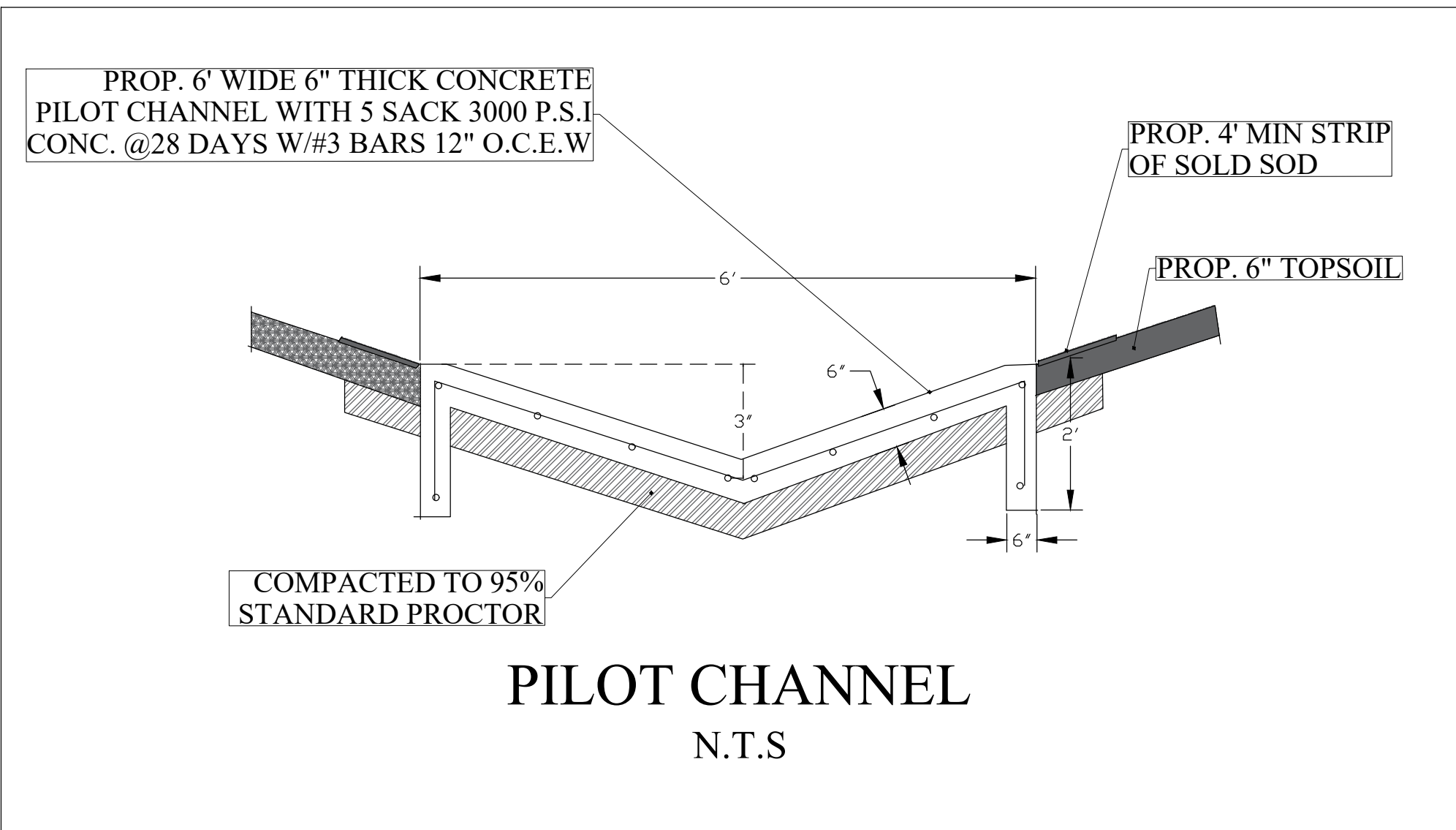
STORM SEWER - DRAINAGE PLAN PHASE II

MAGDY F. KOZMAN
90461
LICENSED PROFESSIONAL ENGINEER

The seal appearing on this document was authorized by MAGDY F. KOZMAN P.E. 90461, on 07/02/2022.

Magdy Kozman

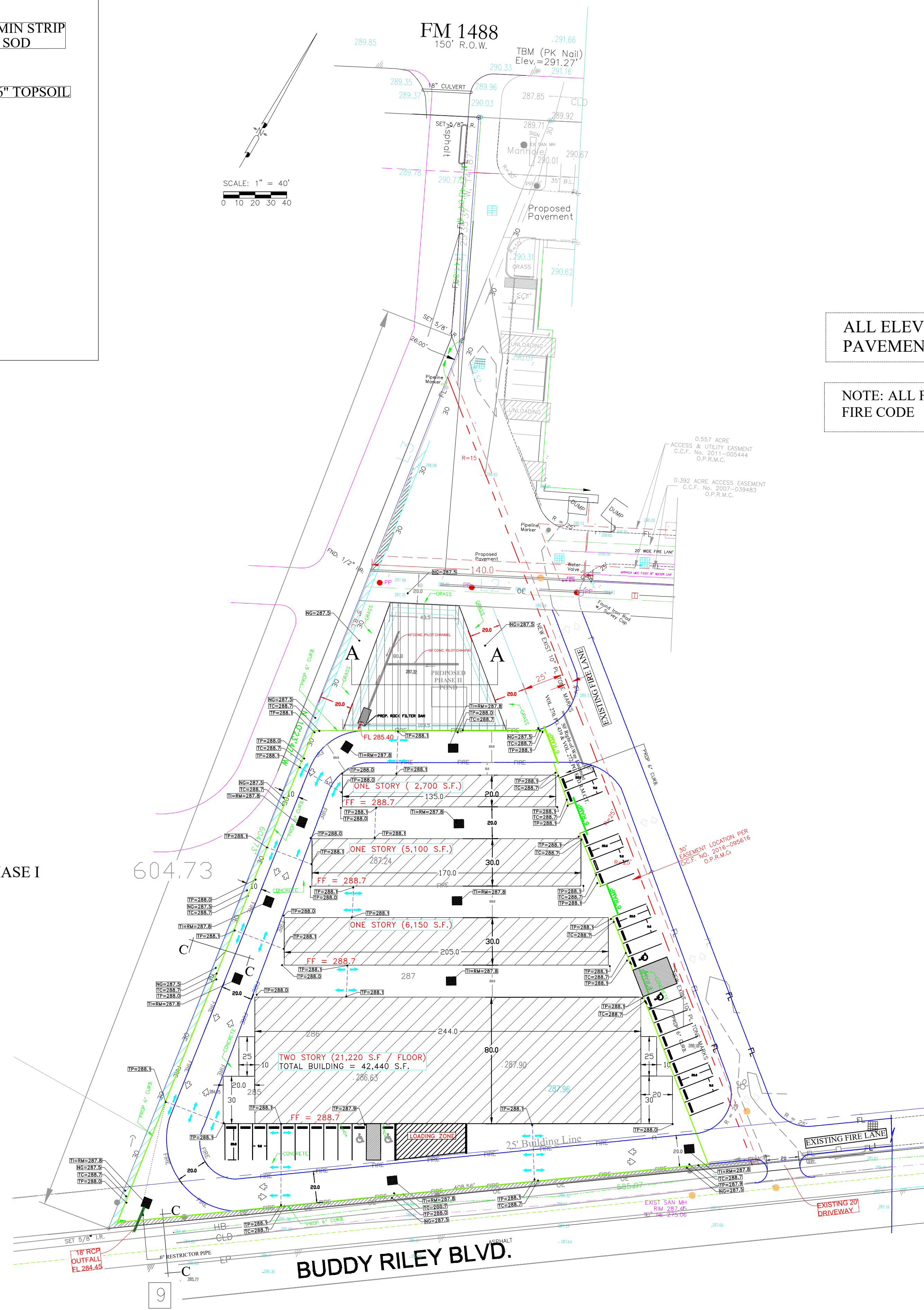
PROJECT NO: 702-22 DRAWING NO: 6-15
 PHASE: C.D. Drawing Index
 DATE: 2 JULY 2022 C-6



SECTION C - C LANDSCAPING PLAN AND SMU BLOCKS STEP-DOWN PHASE II FINAL LANDSCAPE PLAN AND ELEVATION MUST MATCH PHASE I



SECTION C - C LANDSCAPING PLAN AND SMU BLOCKS STEP-DOWN CONSTRUCT PHASE II FENCE ABOVE THE PROPOSED CURB AT 3 FEET FROM THE PROPERTY LINE AS A LANDSCAPE BUFFER - USING SPLIT FACED CMU BLOCK TO STEP-DOWN FROM TC ELEVATION TO THE LANDSCAPE PLANTER.



BENCHMARK: BASED ON GPS OBSERVATIONS TEXAS CENTRAL 4203, NAVD, 1988

TBM IS A PK NAIL WITH AN ELEVATION OF 291.27 FEET AS PER TOPOGRAPHIC SURVEY BY C & C SURVEYING, INC. JOB NO.15-0578, REV 12/22/15

THIS PROPERTY LIES WITHIN ZONE "X" AS SCALED FROM FEMA MAP PANEL NUMBER 48339-C-0480-G, DATED AUGUST 18, 2014

ALL ELEVATIONS SHOWN ARE TOP OF CONCRETE. ALL CONCRETE PAVEMENT TO BE 6" THICK, WITH NO. 3 BARS @ 15" O.C. E/W.

NOTE: ALL FIRE LANE STRIPING AS PER C.O.M. FIRE MARSHALL AND NATIONAL FIRE CODE

LEGEND (CIVIL)	
	EXISTING PROPOSED
Curb	—
Edge of Pavement	—
R.O.W.	—
Curb Inlet/Grate Inlet	—
Junction Box (J.B.)	—
Top of Bank	TB
Top of Pavement	TP
Top of Curb	TC
Top of Grade	TG
Top of Inlet	+TI
Flow Line	FL
Top of Junction Box	+T.J.B. MATCH PVMT.
	RIDGE LINE WITH HIGH POINT
	SWALE/DITCH
	PROPOSED GRADE
	EXISTING GRADE
	FLOW DIRECTION
	NEW STORM LINE
F.T.V.	Field To Verify
M.E.G.	Match Existing Grade
M.F.G.	Match Finished Grade
LP	Light Pole
GW	Guy Wire Anchor
PVMT.	Pavement
PP	Power Pole
SW	Side Walk
C.O.	Clean Out
	PROP. PVMT. ELEV.
x.xx	ACCUM DRAINED AREA (ACRES)
x.xx	ACCUM 100-YR FLOW RATE (CFS)
x.xx	AREA DRAINED PER INLET (ACRES)
x.xx	100-YR FLOW RATE PER INLET (CFS)
①	DRAINAGE SUB-AREA NUMBER

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DATE	REMARKS
1/JULY/2022	ISSUED FOR PERMIT

REVISIONS

NO.	REMARKS
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FIRM TBPE # 12320

P&G

INC.

ENGINEERING & CONSTRUCTION

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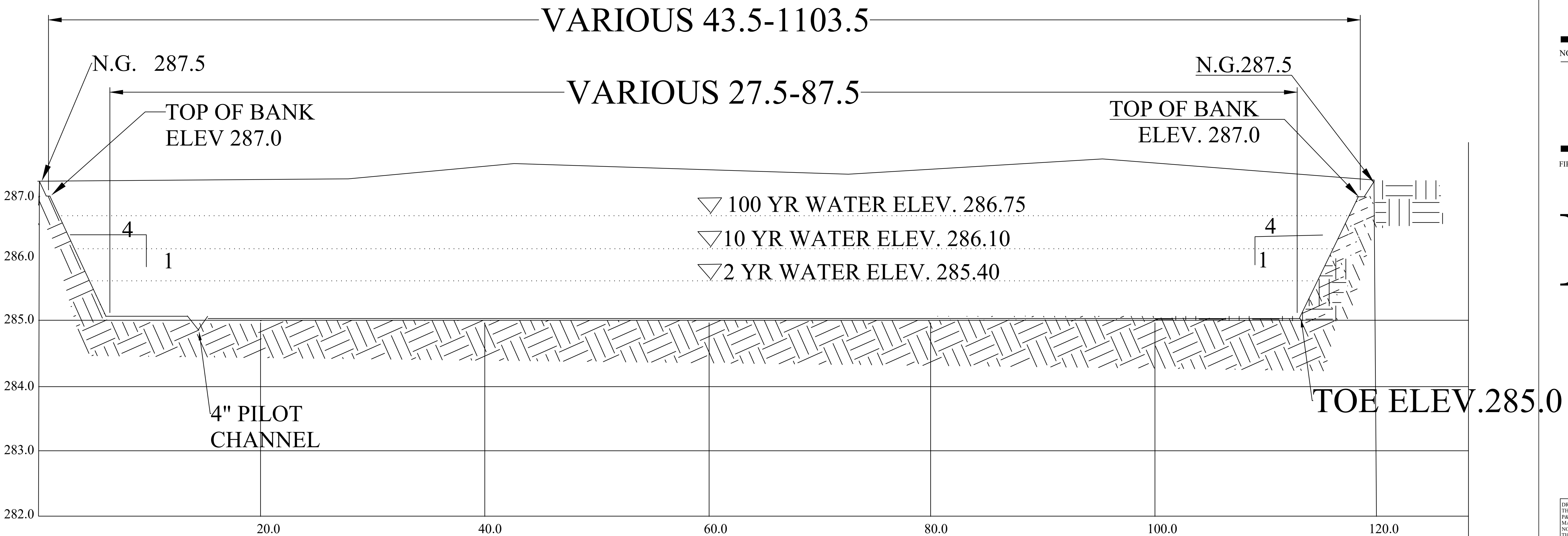
GRAPHIC SCALE: 1" = 40'

MAGNOLIA PARKWAY STORAGE PHASE II

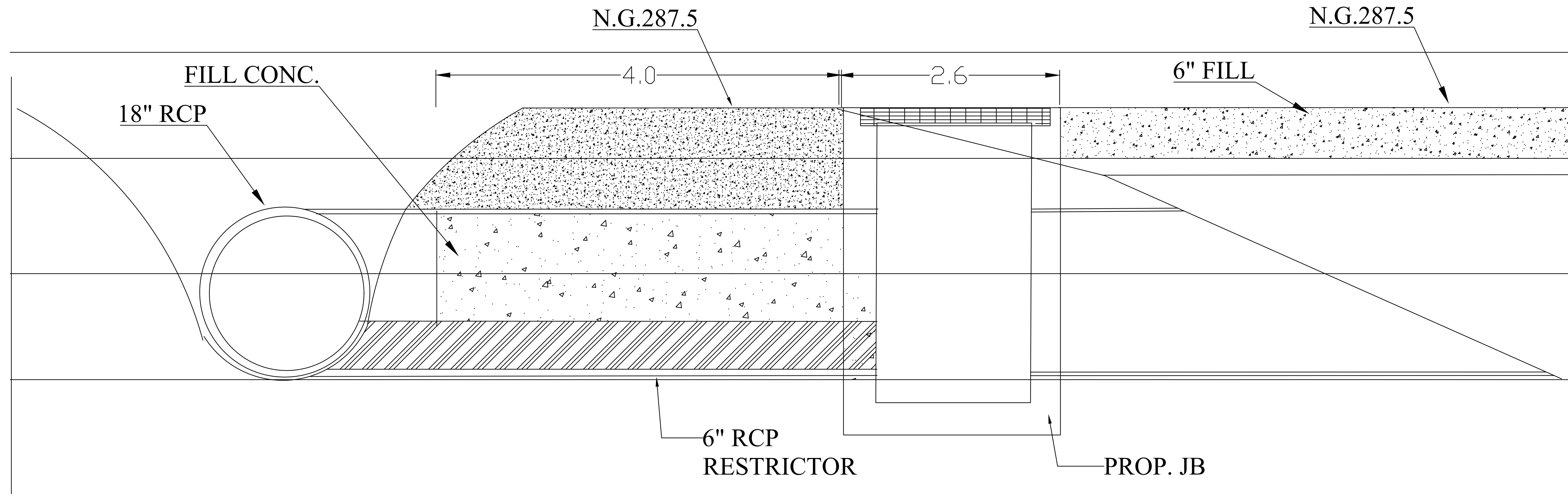
18015 FM 1488, MAGNOLIA, TEXAS

PHASE II - GRADING PLAN

Magdy Kozman



TYPICAL DETENTION POND SECTION A - A



SECTION B - B OUTFALL TO ROADSIDE DITCH

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NO.	REMARKS
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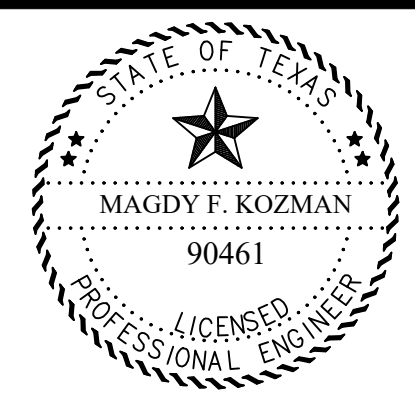
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GRAPHIC SCALE: NONE

MAGNOLIA PARKWAY STORAGE PHASE II

18015 FM 1488, MAGNOLIA, TEXAS

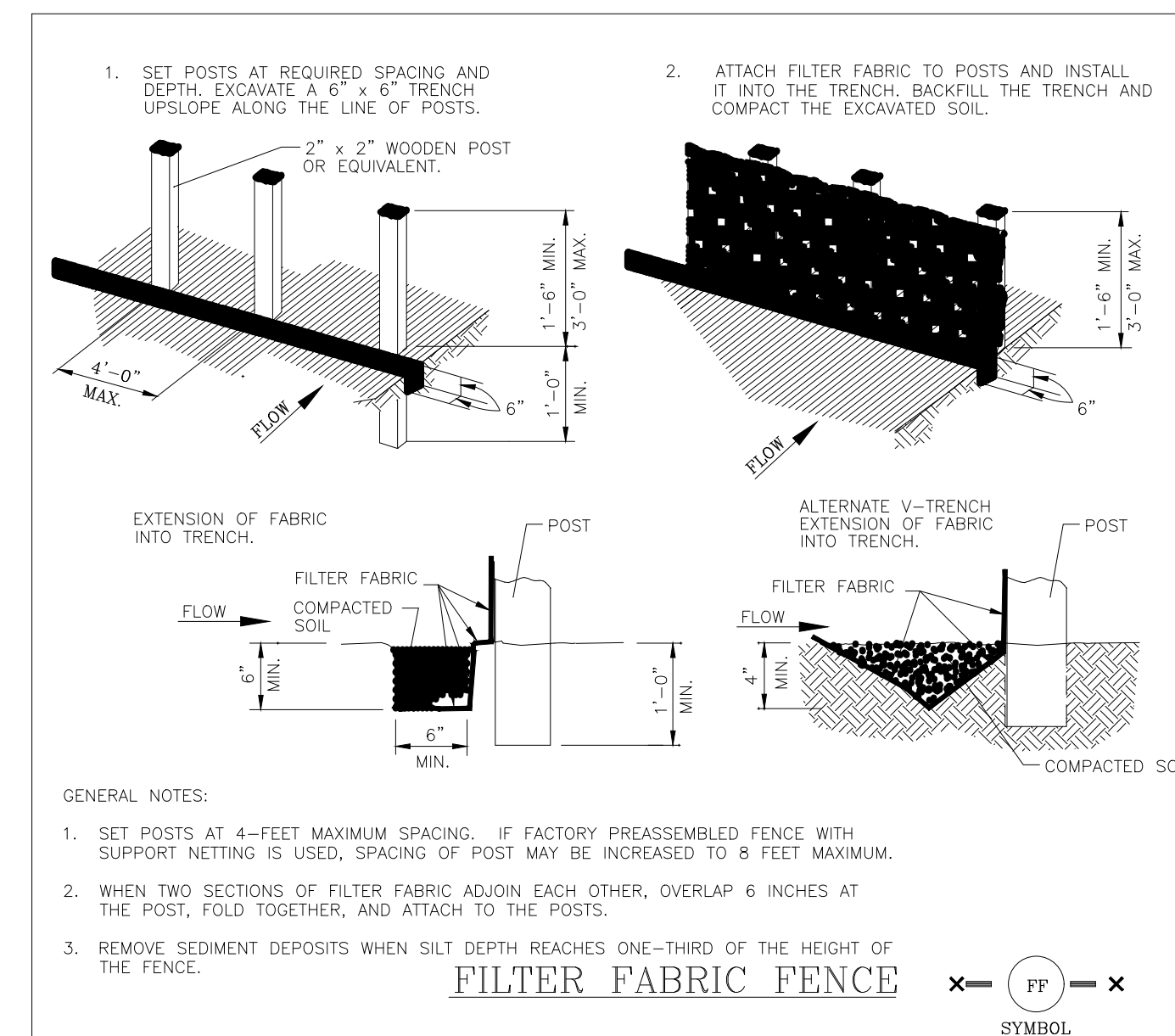
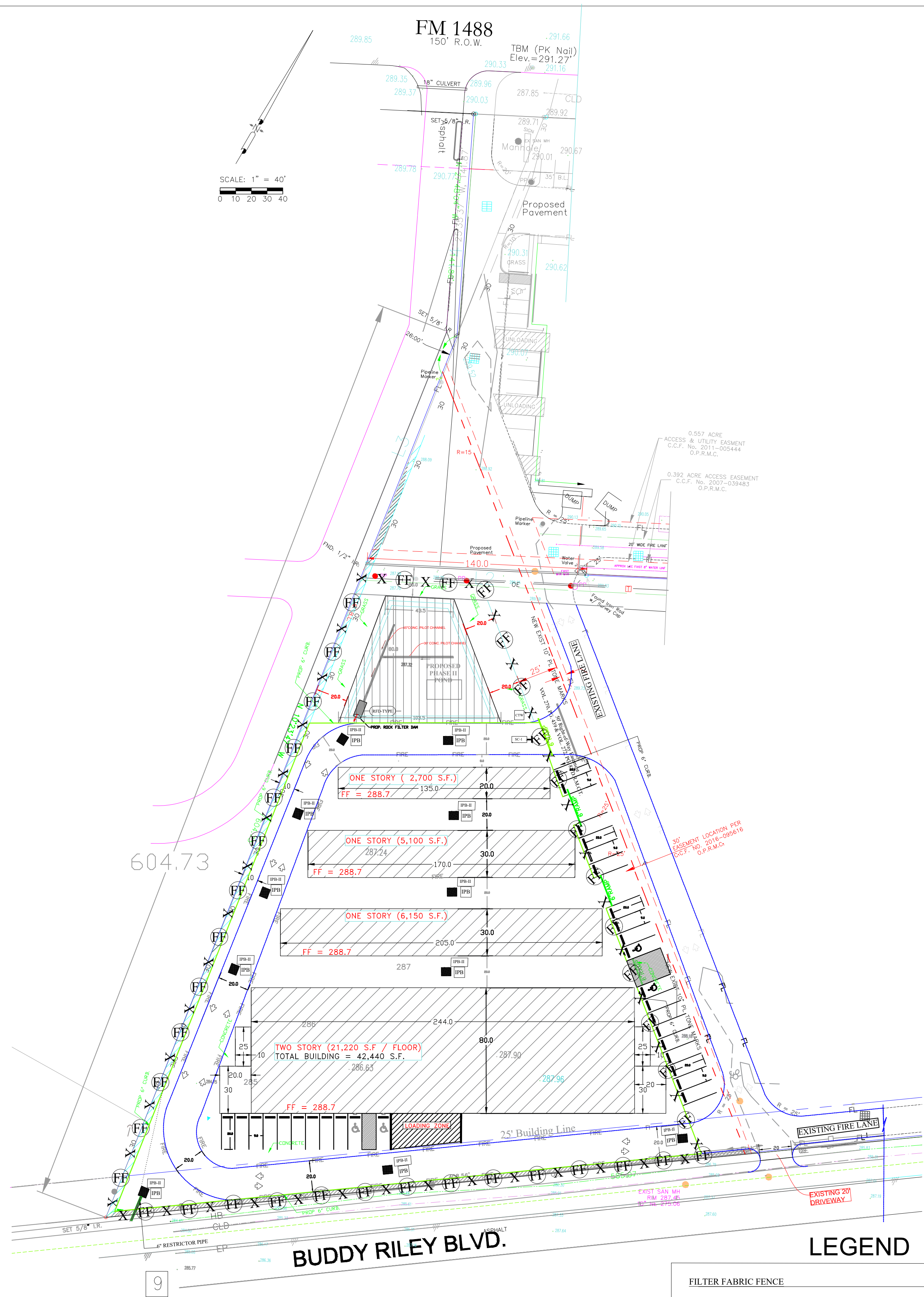
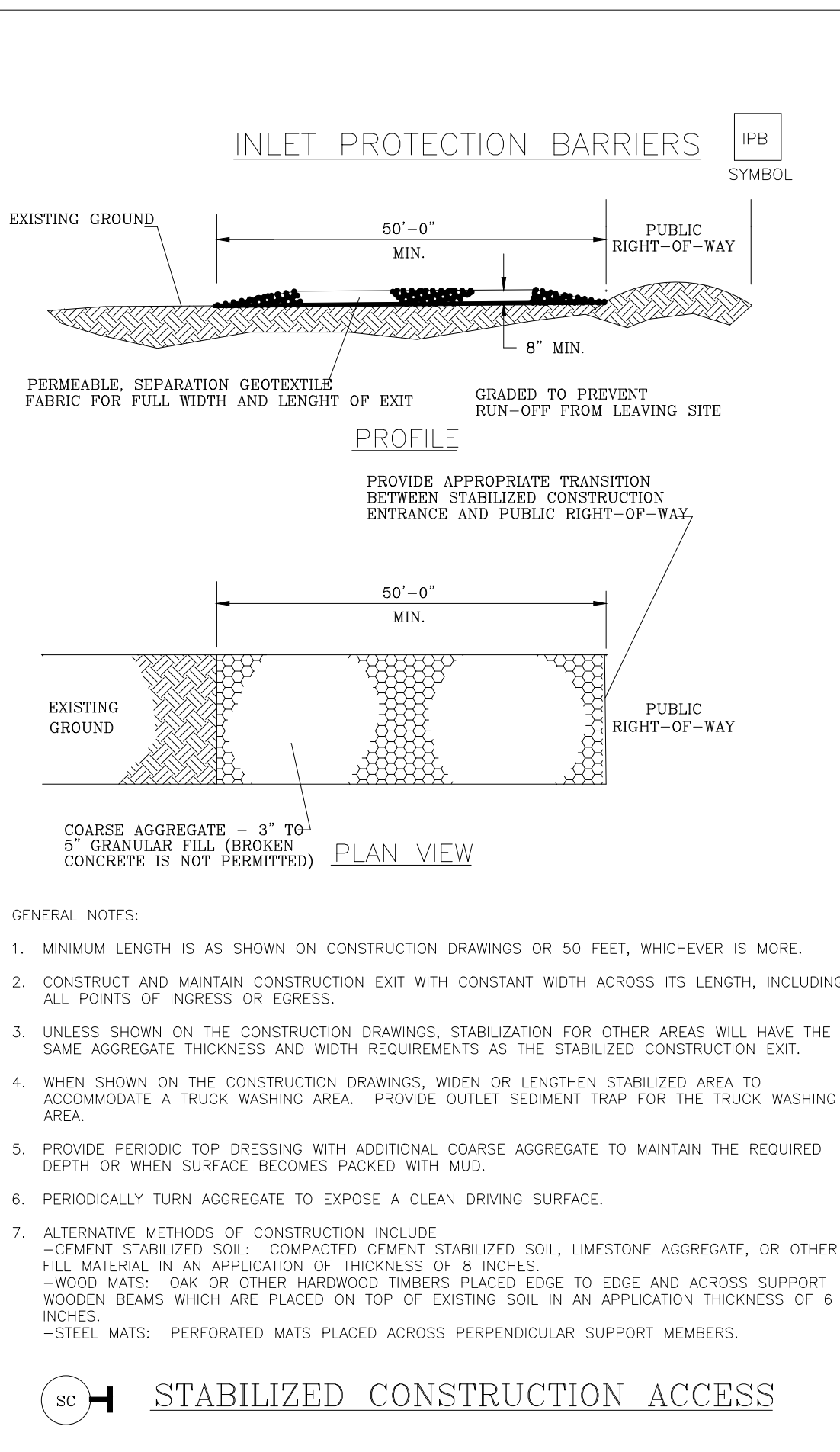
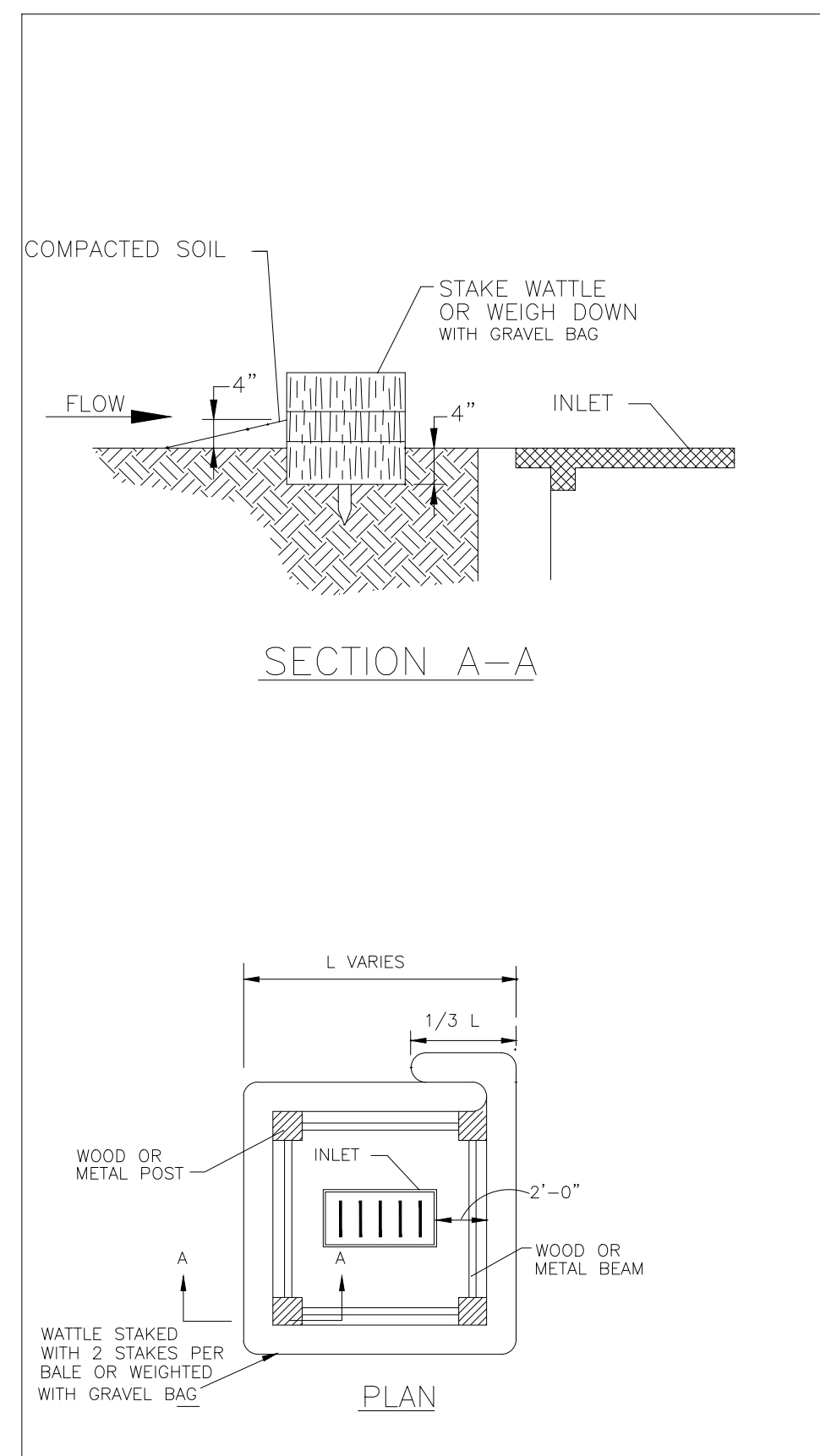
CROSS SECTIONS



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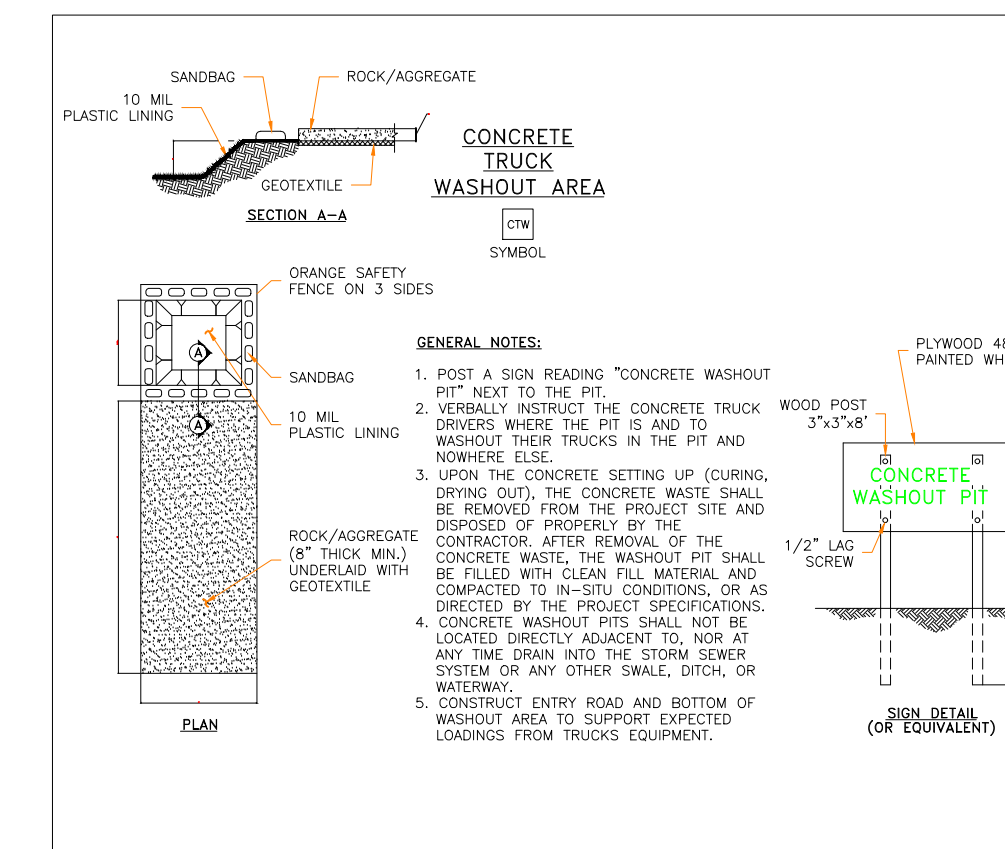
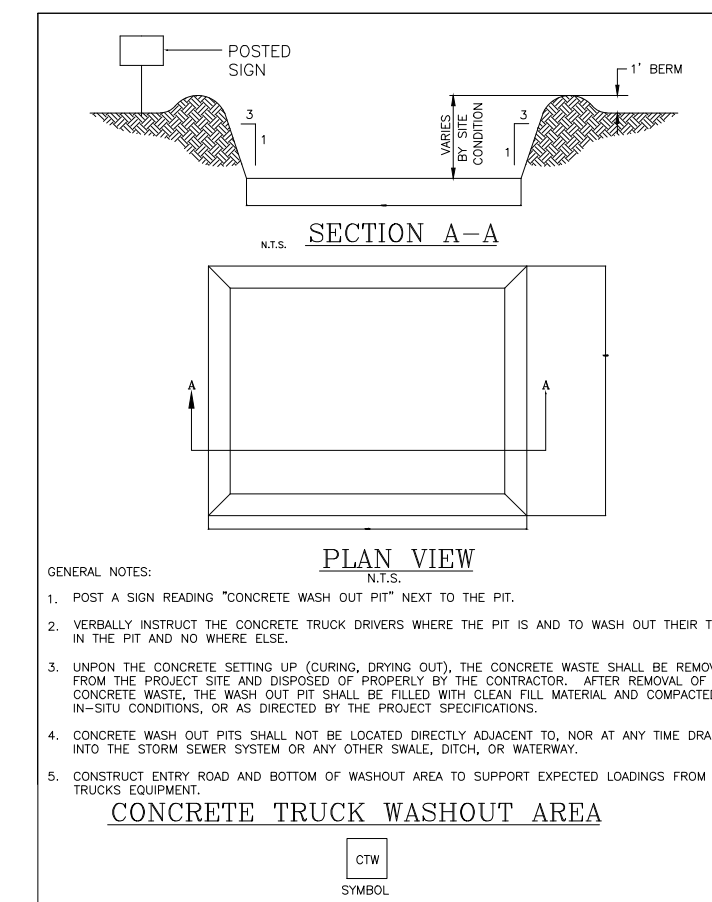
PROJECT NO: 702-22	DRAWING NO: 8-15
PHASE: C.D.	Drawing Index
DATE: 2 JULY 2022	C-8



BENCHMARK: BASED ON GPS OBSERVATIONS
TEXAS CENTRAL 4203, NAVD, 1988

TBM IS A PK NAIL WITH AN ELEVATION OF
291.27 FEET AS PER TOPOGRAPHIC SURVEY
BY C & C SURVEYING, INC. JOB NO.15-0578,
REV 12/22/15

THIS PROPERTY LIES WITHIN ZONE "X" AS
SCALED FROM FEMA MAP PANEL NUMBER
48339-C-0480-G, DATED AUGUST 18, 2014



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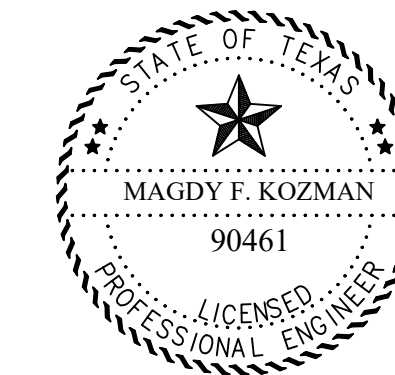
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GRAPHIC SCALE: 1" = 40'

**MAGNOLIA
PARKWAY STORAGE
PHASE II**

**18015 FM 1488,
MAGNOLIA, TEXAS**

SWPPP



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PROJECT NO: 702-22 DRAWING NO:
PHASE: C.D. 9-15
DATE: 2 JULY 2022 Drawing Index
C-9

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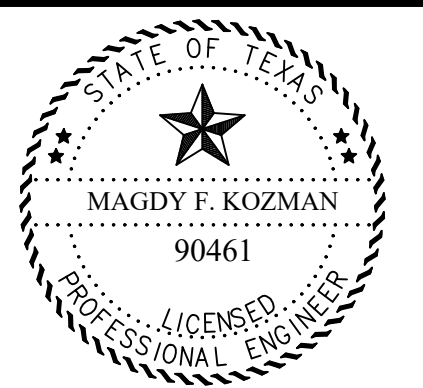
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GRAPHIC SCALE: NONE

MAGNOLIA PARKWAY STORAGE PHASE II

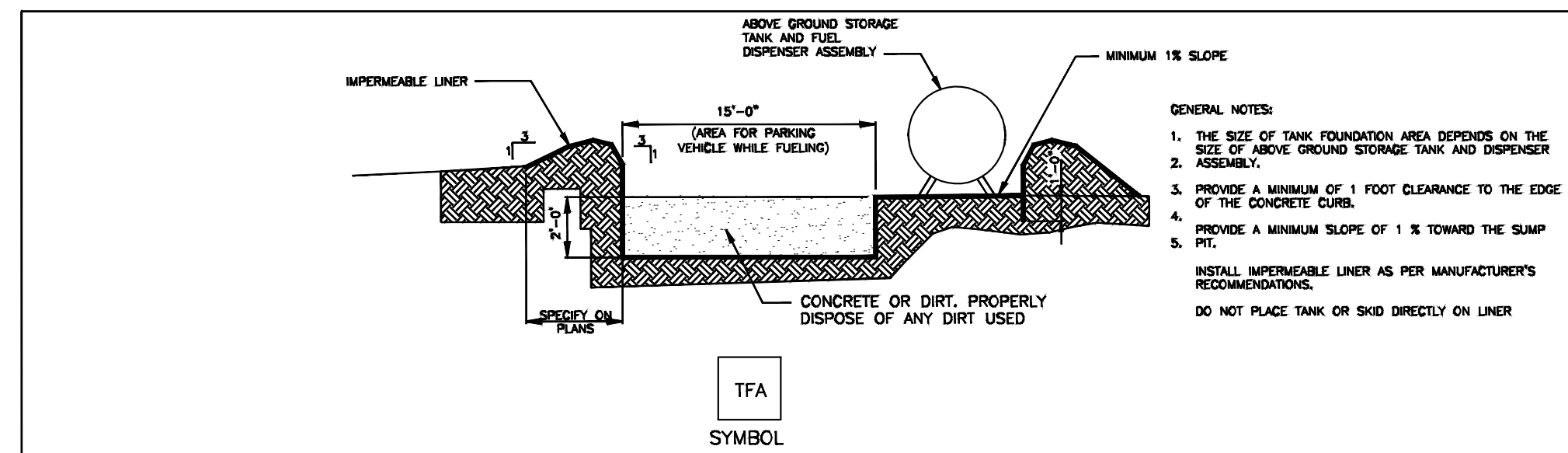
18015 FM 1488,
MAGNOLIA, TEXAS

SWPPP - STANDARD SHEET



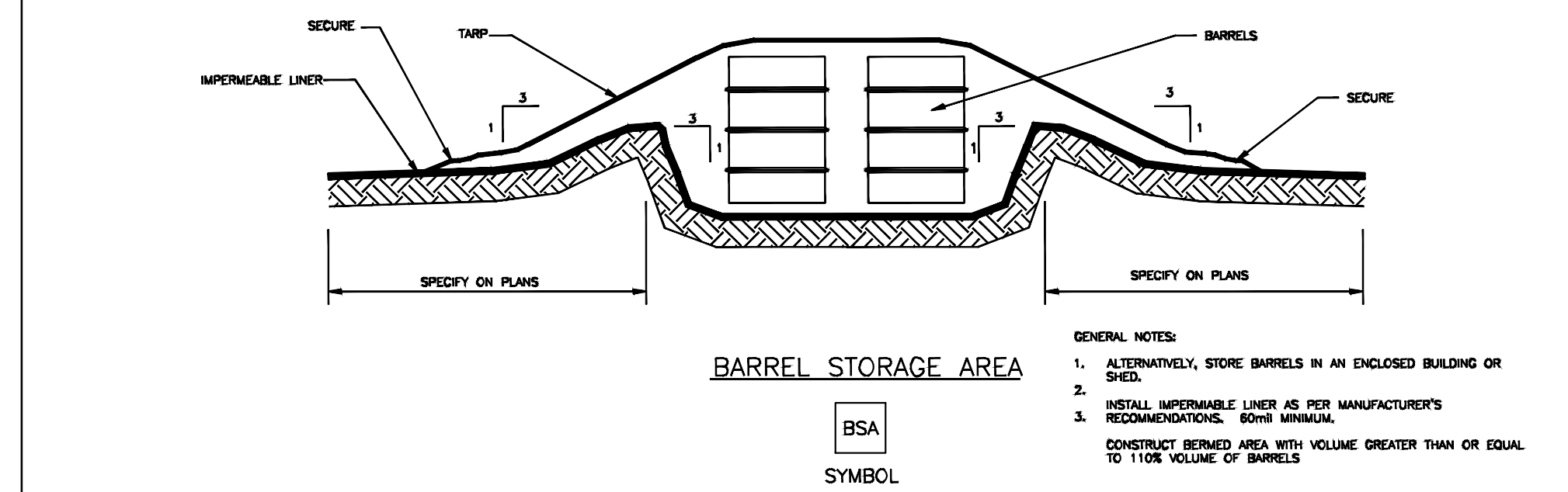
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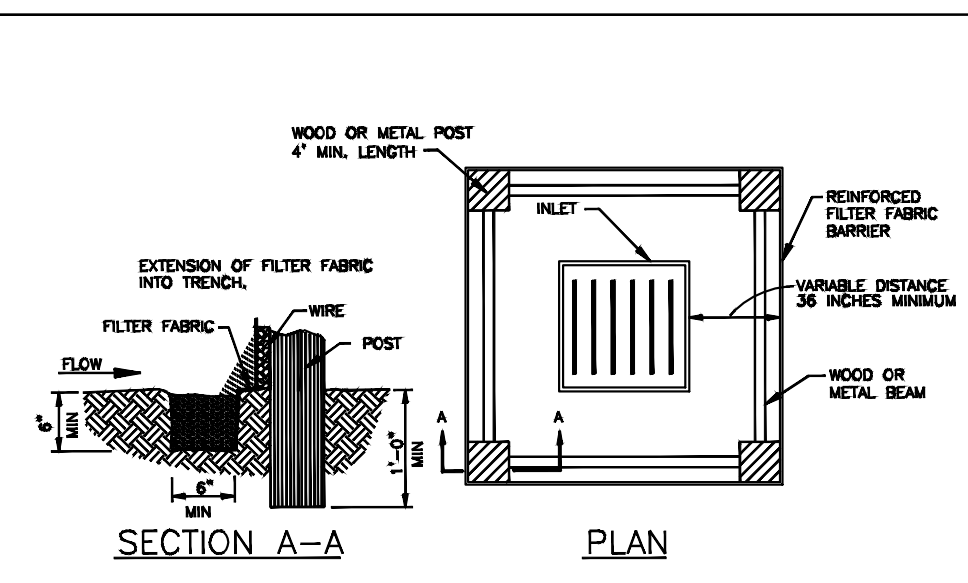
ABOVE GROUND TEMP. VEHICLE & EQUIPMENT FUELING AREA WITH TANK

TFA SYMBOL



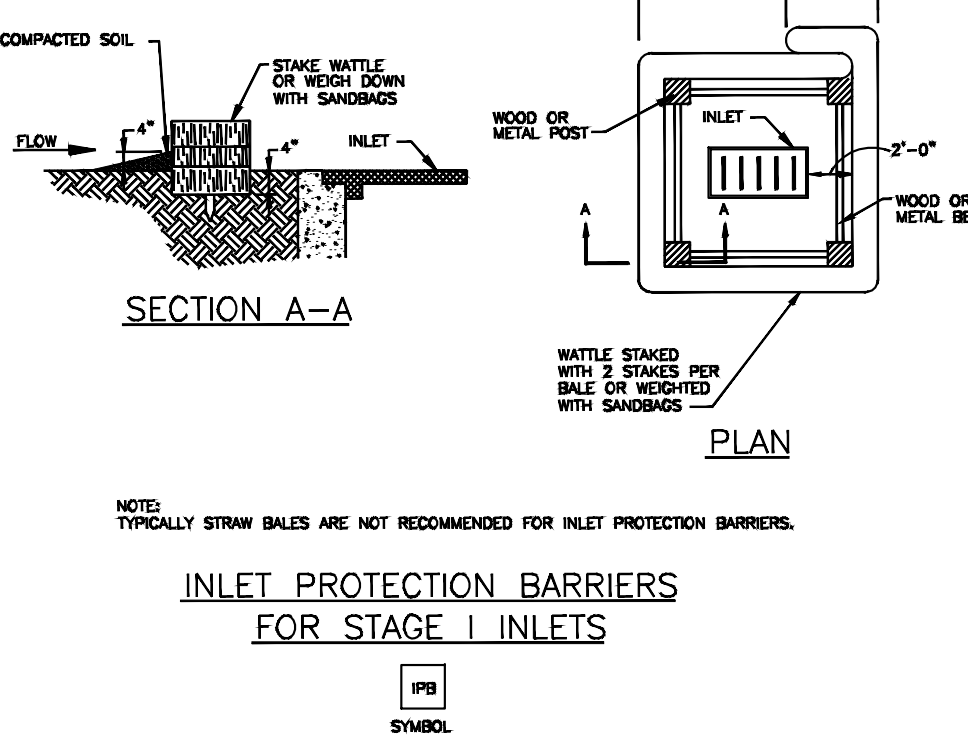
BARREL STORAGE AREA

BSA SYMBOL



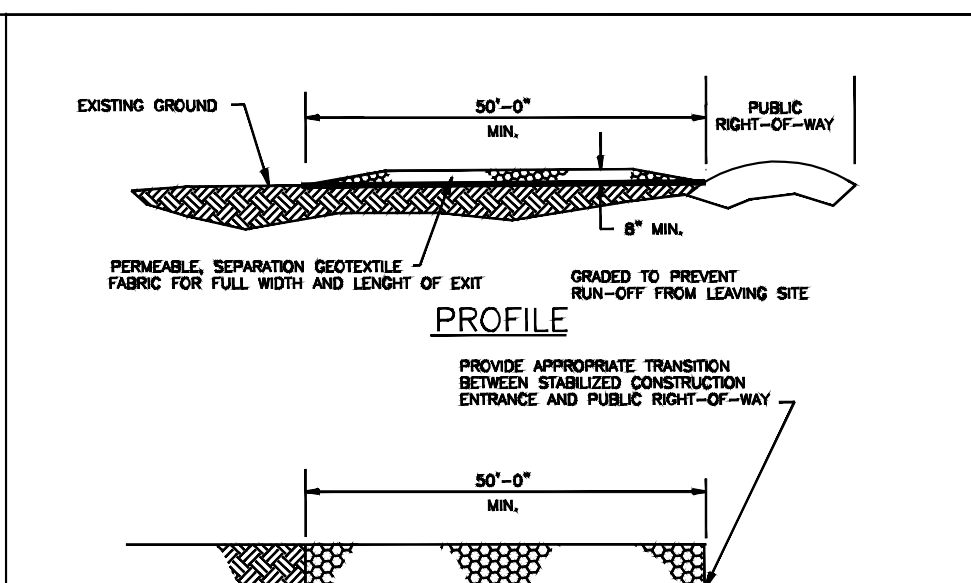
INLET PROTECTION BARRIERS FOR STAGE I INLETS

IPB SYMBOL



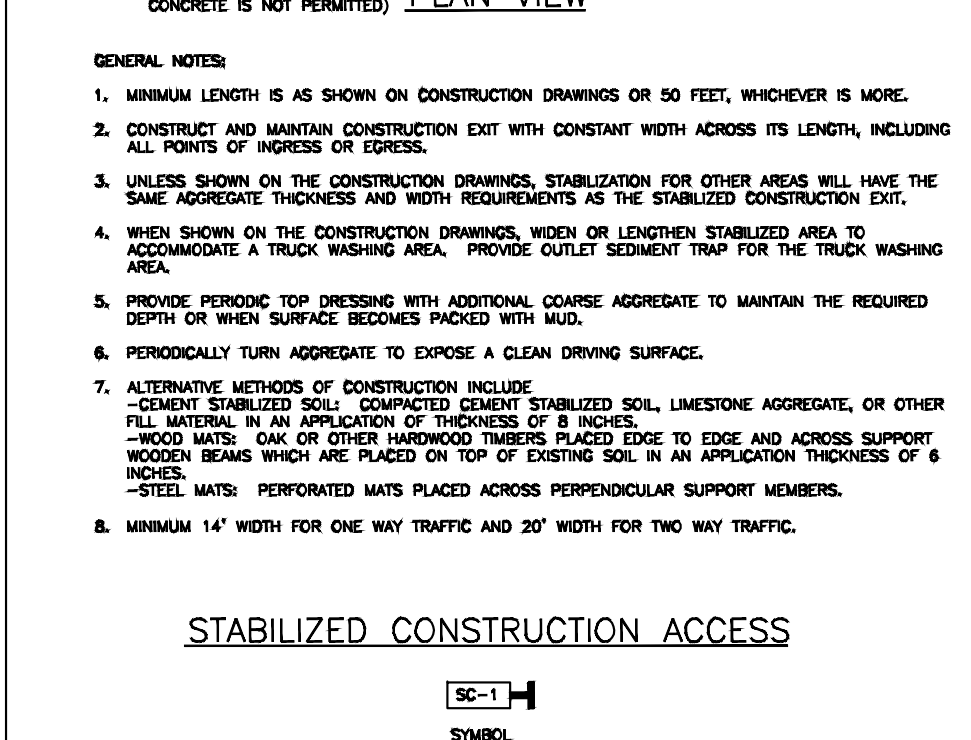
INLET PROTECTION BARRIERS FOR STAGE II INLETS

IPB-II SYMBOL



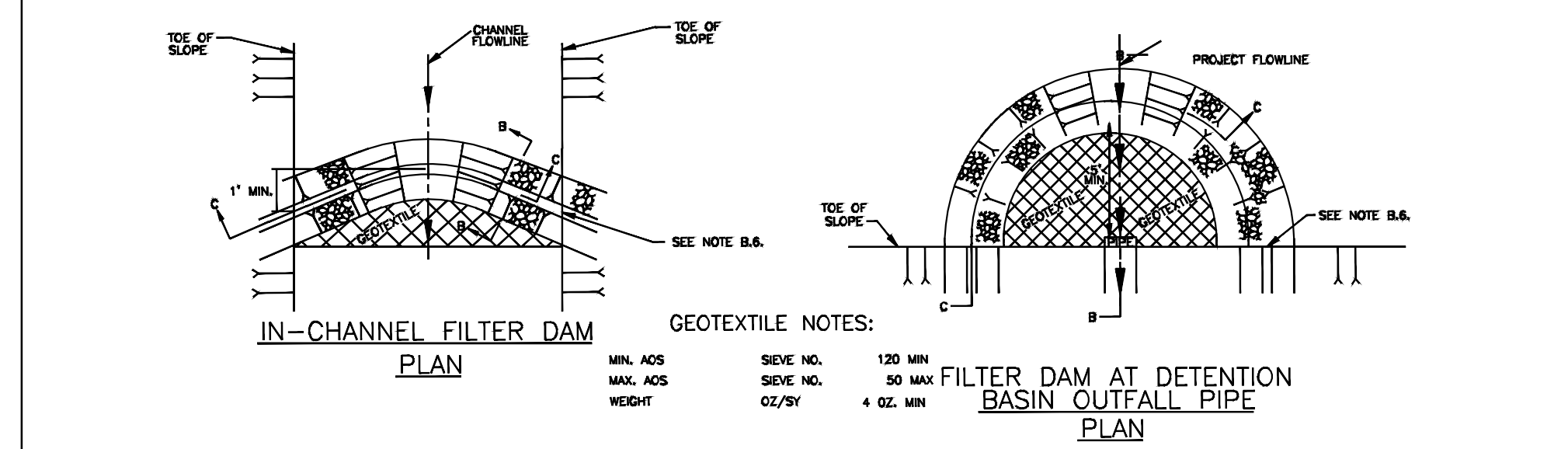
STABILIZED CONSTRUCTION ACCESS

SC-1 SYMBOL



CONCRETE TRUCK WASHOUT AREA

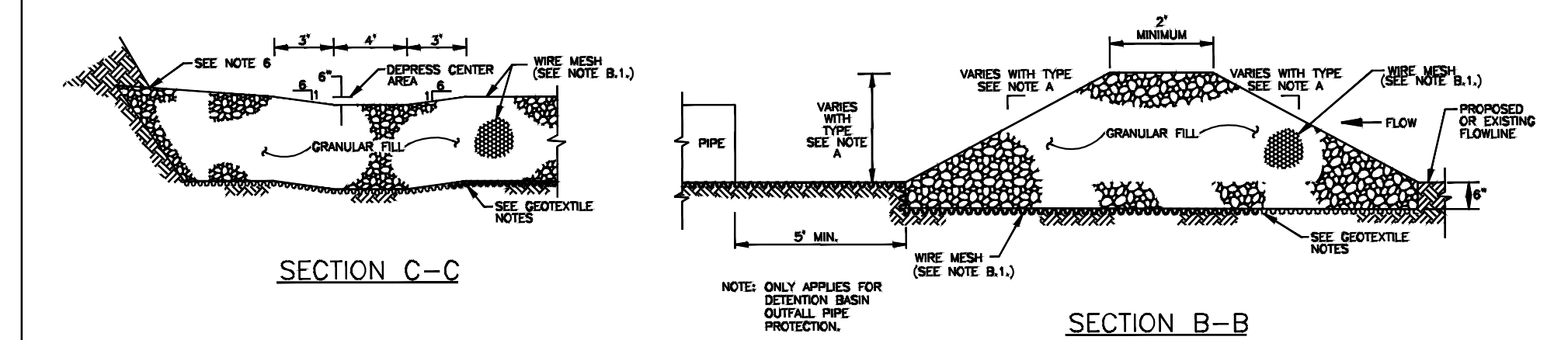
CTW SYMBOL



IN-CHANNEL FILTER DAM

GEOTEXTILE NOTES:

FILTER DAM AT DETENTION BASIN OUTFALL PIPE



SECTION C-C

SECTION B-B

- A. TYPES OF FILTER DAMS
1. TYPE 1 (NON-REINFORCED)
a. HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
b. TOP WIDTH - 2 FEET (MINIMUM)
c. SLOPES - 3:1 (MAXIMUM)
2. TYPE 2 (REINFORCED)
a. HEIGHT - 18-36 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
b. TOP WIDTH - 2 FEET (MINIMUM)
c. SLOPES - 3:1 (MAXIMUM)
3. TYPE 3 (REINFORCED)
a. HEIGHT - 36-48 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
b. TOP WIDTH - 2 FEET (MINIMUM)
c. SLOPES - 3:1 (MAXIMUM)
4. TYPE 4 (GRABBER)
a. HEIGHT - 30 INCHES (MINIMUM). MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
b. TOP WIDTH - 2 FEET (MINIMUM)
5. TYPE 5 - AS SHOWN ON THE PLANS.
B. CONSTRUCT FILTER DAMS ACCORDING TO THE FOLLOWING CRITERIA UNLESS SHOWN OTHERWISE ON THE PLANS.
1. TYPE 2 AND 3 FILTER DAMS SECURE WITH 20 GAUGE GALVANIZED WOVEN WIRE MESH WITH 1 INCH DIAMETER RECTANGULAR OPENINGS.
2. GRANULAR FILL:
a. PLACE ON MESH TO HEIGHT AND SLOPES SHOWN ON PLANS OR AS SPECIFIED BY THE ENGINEER.
b. 3-5 INCHES FOR ROCK FILTER DAM TYPES 1,2, AND 4 AND 4-8 INCHES FOR ROCK FILTER DAM TYPE 3. REFER TO GRANULAR FILL IN SPECIFICATION SECTION NO. 02378-RIPRAP AND GRANULAR FILL.
3. WIRE MESH: HOLD AT UPSTREAM SIDE OVER GRANULAR FILL AND TIGHTLY SECURED TO ITSELF ON THE DOWNSTREAM SIDE USING WIRE TIES OR 100# RINGS.
4. IN STREAMS SECURE OR STAKE MESH TO STREAM BED PRIOR TO AGGREGATE PLACEMENT.
5. SEE SPECIFICATION SECTION NO. 02364-FILTER DAMS.
6. DAMED ONE FOOT MINIMUM INTO SLOPE AND RAISE ONE FOOT HIGHER THAN CENTER OF DEPRESSED AREA AT SLOPE.

FILTER DAM

FD - TYPE SYMBOL

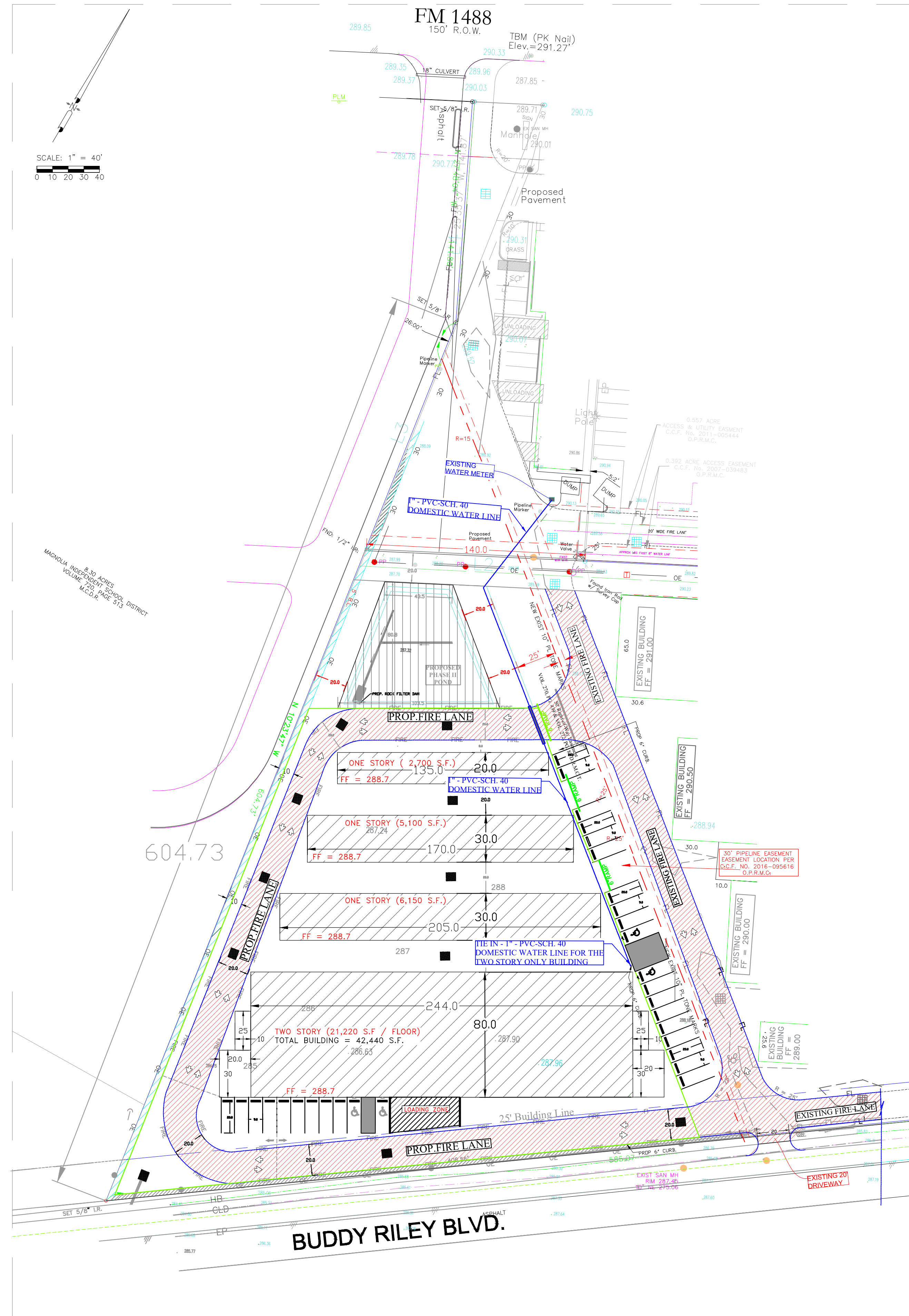
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HARRIS COUNTY ENGINEERING DEPARTMENT



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ENGINEER: PE
P.E. SERIAL No. SERIAL
DATE: DATE

Table with columns: PROJECT TITLE, DRAWN BY, CHECKED BY, ENGINEER, DATE, SHEET DESCRIPTION, JOB NO., FILE NAME, SHEET NO.



NOTE: ALL FIRE LANE STRIPING AS PER C.O.M.FIRE MARSHALL AND NATIONAL FIRE CODE

BENCHMARK: BASED ON GPS OBSERVATIONS TEXAS CENTRAL 4203, NAVD, 1988

TBM IS A PK NAIL WITH AN ELEVATION OF 291.27 FEET AS PER TOPOGRAPHIC SURVEY BY C & C SURVEYING, INC. JOB NO.15-0578, REV 12/22/15

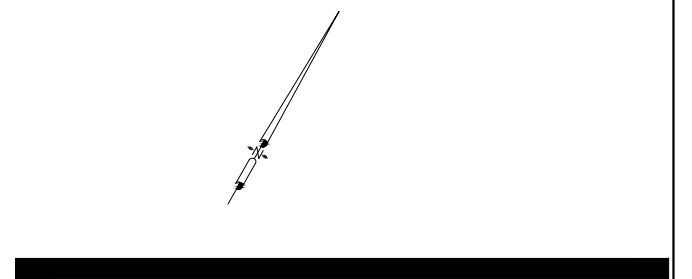
THIS PROPERTY LIES WITHIN ZONE "X" AS SCALED FROM FEMA MAP PANEL NUMBER 48339-C-0480-G, DATED AUGUST 18, 2014

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GRAPHIC SCALE: 1" = 40'

MAGNOLIA PARKWAY STORAGE PHASE II

18015 FM 1488, MAGNOLIA, TEXAS

FIRE LANE STRIPING AND UTILITY PLAN



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Magdy Kozman

PROJECT NO: 702-22	DRAWING NO: 11-15
PHASE: C.D.	Drawing Index
DATE: 2 JULY, 2022	C-11

GENERAL CONSTRUCTION NOTES

- Contractor shall contact the City of Magnolia a minimum of 48 hours prior to beginning any work.
- Contractor shall adequately protect existing structures, utilities, trees, shrubs and other permanent objects.
- Trees within the street right-of-way shall not be removed or disturbed, except where called out to be removed. Where tree roots must be cut, follow the repair methods described in the Specifications.
- The Contractor shall conduct his operations in a manner such that trucks and other vehicles do not create dirt nuisance or safety hazard in any streets, public or private. Clean up of streets shall be done daily.
- Any area of grass, which is disturbed or dug up during the construction, shall be replaced with St. Augusti sod or grass that matches the grass removed. See Specifications.
- No excavations shall be left open overnight. A excavations which cannot be backfilled overnight for the installation of manholes, sanitary sewer lines, and other utilities shall be covered with steel sheeting, when in paved areas, 3/4" plywood, wood planking or some other material approved by the City in other areas. The excavation area must be well protected with traffic barricades equipped with flashing yellow lights.
- All excavation areas must be completely cordoned off with a minimum of two strands of yellow plast construction tape, acceptable to the City, The tape shall be supported with enough intermediate supports to avoid excessive sagging. The tape may be tied to traffic barricades with flashing yellow lights and wooden lath for support. Where excavations extend beyond the existing back of curb or edge of pavement, adequate barricades with flashing yellow lights shall be installed to protect pedestrian traffic.
- Existing pavements, curbs, sidewalks, driveways and landscaping damaged or removed during constructi by the Contractor shall be replaced by the Contractor at his expense.
- When any street or any section of a street is closed, the Contractor shall furnish and maintain adequa barricades, warning and directing signs, red flags and lights at the end of each street and at all intersections along the street within the limit of the work area. All expense incurred for the above requirements shall be borne by the Contractor. All warning signs and barricades shall conform to the Texas Manual of Uniform Traffic Control Devices. Contractor to notify proper authorities prior to any street or partial street closing.
- Contractor shall maintain at least one lane of traffic in each direction during working hou
- Off-duty uniformed police officer(s) are required to direct traffic where traffic lanes are block
- Engineer shall provide the City of Magnolia one set of (record) drawin
- All existing underground utilities are not guaranteed to be completed or definite, but were obtained f the best information available. Contractor has sole responsibility for field verification of all existing facilities shown on drawings. Contractor shall coordinate all conflicts with the appropriate governing agency.
- The location of Southwestern Bell Telephone, Centerpoint Energy and other utilities are shown in approximate way only. The Contractor shall request the exact location of these facilities by calling The Utility Coordinating Committee at phone number 800-669-8344 or -344-8377, at least 48 hours before commencing work. The Contractor is fully responsible for any and all damages which occur due to his failure to request the location and preservation of these underground facilities.
- Contractor shall comply with OSHA regulations and State of Texas law concerning excavation, trench and shoring as specified.
- Adequate drainage shall be maintained at all times during construction and any drainage ditch or struct disturbed during construction shall be restored to the satisfaction of the owning authority. All construction storm runoff shall be in compliance with the National Pollutant Discharge Elimination System (NPDES) requirements.
- Existing pavements, curbs, sidewalks and driveways damaged or removed during construction shall replaced to the original or better conditions.
- Condition of the facilities, upon completion of job, shall be as good or better than the condition prior starting work. The Contractor shall restore all grades and landscaping to preconstruction conditions and re-establish turf areas damaged by the construction activities.
- All dimensions shown are approximate and need to be field verified by the Contractor. Horizontal vertical alignment changes are to be approved by the City.
- Contractor shall maintain access to all properties affected by this construction by means of anchored st plates, by backfilling immediately after construction, and/or by placing shell or limestone surfaces for temporary driveway purposes. Contractor's attention is directed to HS-20 load rated access requirements for all such area.
- excess dirt from excavation shall be disposed of offsite by Contractor at no extra pay.
- Contractor to be responsible to obtain all required construction permits including City and TxD
- Contractor shall remove all trash, excess material, debris, etc. from the site upon completion of the proj prior to inspection and approval by the approving agencies.
- Texas Law Article 1436c, prohibits all activities in which persons or equipment may come within 6 feet energized overhead power lines, and Federal regulation, Title 29, Part 1910.190(l) and Part 1926.440(a)(15) require a minimum clearance of 10 feet from these facilities. The above laws carry both criminal and civil liabilities, with Contractors and Owners being legally responsible for the safety of workers under these laws. If you or your company must work near overhead power lines, call 713-207-7777 for the lines to be deenergized and/or moved at your expense.
- Contractor shall verify horizontal and vertical locations of all utilities prior to construction to determ potential conflicts and verify that the boring operation and pipe installation can be accomplished without conflicting with existing utilities.
- Contractor is responsible for his own horizontal and vertical control. Reference points and construct staking is incidental to the project.
- Contractor shall place expansion joints at maximum 20-ft spacing and construction joints at maximum 50 spacing.
- Contractor shall submit N.O

SANITARY SEWER CONSTRUCTION NOTES

- Alignment, centerline curve data, and stationing to be determined from approved, recorded subdivision pl or road right-of-way.
- Sewer mains, manholes and lift stations are to be designed, constructed and tested in accordance wi TNRCC Title 30 Chapter 317 of the Texas Administrative Code. TAC 317.2 requires low-pressure air tests to conform to the procedure described in ASTM C828, C924, F-1417 or other appropriate procedures. For safety reasons, air testing of sections of pipe shall be limited to lines less than 36-inch average inside diameter. Lines
 - 36-inch in diameter or larger may be air tested at each joint. Deflection testing of all flexible and semi-rigid pipe shall be conducted after the final backfill has been in place for at lease 30 days. No pipe shall exceed a deflection of 5%. The deflection test is to be run using a rigid mandrel, and shall have a diameter equal to 95%of the inside diameter of the pipe. Test shall be performed without mechanical pulling devices. All tests to be witnessed & approved by the Owner's representative.
- Maintain 12 inch minimum clearance at crossings between all other utility lines, storm sewers, and culver unless otherwise noted.
- Sewer trenches under or within one (1) foot of proposed or future pavement to be backfilled with ceme sand (1.5 sacks per ton) backfill as specified, to within one (1) foot of subgrade, bedding will be class AA where cement-sand backfill is used for sanitary sewers. Include cost of backfill in unit price bid per linear foot of pipe.
- All proposed gravity sanitary sewer lines will be ductile iron, or SDR 26 pvc pipe & 6" min i.d. unle approved otherwise.
- Bedding for all types of sanitary sewer pipe shall be cement stabilized sand (1.5 sacks per ton) class AA all depths. All sewer lines to be inspected by Owner's representative prior to backfill.
- For pvc pipe, use manhole waterstop gasket and clamp assembly at manhole connections (no separate pay
- Sanitary sewer manholes shall be precast or poured in place monolithic concrete, and backfilled wi cement- sand as specified (no separate pay). Manholes will be exfiltration tested as specified by the T.N.R.C.C.
- All far-side leads shall be four (4) inches or six (6) inches at 1.0% min. slope. Six (6) inch ABS will not acceptable. all far side leads (open-cut or bored and jacked) shall be ductile iron, 150 psi thickness class 50, or pvc, DR-18.
- All precast concrete and poured-in-place concrete manholes shall have the top 18 inches constructed precast rings & to extend 3"-6" above natural grade.
- Stubs or leads serving two lots shall have a service wye and cleanout with plugs (no separate pay). wye shall be located within the street right-of-way or an adjoining utility easement.
- Stacks serving near-side and far-side lots shall have a service wye and cleanouts with plugs for near-side lot (no separate pay).
- All ductile iron pipe & fittings shall be 150 psi thickness class 50 with eight (8) mil black vir polyethylene wrap as specified. All pvc pipe shall have rubber gasket joints.
- Manhole rims are to be set at the elevations shown on the plans initially, after paving and grading completed, rims are to be adjusted to three (3) to six (6) inches above final grade and black dress dirt to provide drainage away from manhole.
- All pvc pipe shall have rubber gasket equipped bell and spigot joints. Solvent welded join will not be approved for this project.
- All grade changes at manholes in excess of 2 feet shall be accomplished with drop manhole connectio

Special Notes: Location of Sanitary Sewer Facilities

- The utility contractor is responsible for locating and marking all stacks and far-side leads after the paving this section is complete.
- A ¼ -inch deep notch shall be cut in the curb and painted with a red line adjacent to the stack or lead.
- If stakes are left in the ground at the stacks and leads after construction of utilities, then an effort will made to preserve them during paving construction. However, if these stakes are knocked out for any reason, the utility contractor remains responsible for locating and marking the facilities as described above.

- CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
- ALL CONCRETE SHALL TEST 3,000 P.S.I. AT 28 DAYS.
- CONCRETE PAVEMENT TO BE 6-SACK MIX WITH REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 40, WITH LAPS OF 30 BAR DIAMETERS.
- SUB-BASE SHALL BE AS STATED IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL EXISTING FACILITIES PRIOR TO COMMENCING CONSTRUCTIONO SEPERATE PAY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OR ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL UNSATISFACTORY AND/OR WASTE MATERIALS INCLUDING VEGETATION, ROOTS, CONCRETE AND DEBRIS SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- CONTRACTOR IS HEREBY NOTIFIED THAT ALL TRENCHING AND SHORING WILL BE DONE IN STRICT ACCORDANCE LATEST OSHA STANDARDS.
- ALL PUBLIC AND PRIVATE UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE BUT WERE BASED ON VISUAL OBSERVATIONS IN THE FIELD. CONTRACTOR SHALL CONTACT ALL LOCAL PRIVATE COMPANIES SUCH AS GAS, TELEPHONE, POWER, CABLE TELEVISION, ETC. TO VERIFY LOCATIONS OF THESE FACILITIES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED BY T.DOT, MONTGOMERY COUNTY AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS REQUIRED.
- EXPANSION JOINTS MAXIMUM SPACING SHALL NOT EXCEED 50 LF. CONTRACTION JOINTS SPACING SHALL NOT EXCEED 20 LF.
- REINFORCING STEEL SHALL HAVE MINIMUM 3-INCH CONCRETE COVER (3-INCH MANUFACTURED CHAIRS ARE REQUIRED WITH A MAXIMUM SPACING OF 72 INCHES C-C EACH WAY)

WATERLINE CONSTRUCTION NOTES

- Alignment, centerline curve data, and stationing to be determined from approved and/or record subdivision or road right-of-way plat.
- All waterline construction to be accomplished in accordance with the latest edition of the Tex Natural Resource Conservation Commission Rules and Regulations for Public Water Systems.
- All waterlines to be located inside public road right-of-ways and public easements. Owner representative to inspect & approve prior to backfill.
- All water mains to be class 150 (DR-18). PVC (AWWA C-900) unless otherwise note
- Twelve (12) inch or smaller watermains to have a minimum cover of four (4) feet. Vary flow li uniformly from depth and location shown in plans.
- Waterline fittings to be cast or ductile iron with polyethylene wrap as specified unless otherwi noted.
- Maintain 12-inch minimum clearance at crossings between all waterlines and all utilities includi storm sewers and culverts unless otherwise noted.
- Waterlines shall be sand-bedded as per specifications. All water lines to be inspected by the Owner representative, prior to backfill.
- Waterline trenches under or within one (1) foot of proposed or future pavement shall be backfill per the specifications.
- All 2" thru 12" gate valves for this project shall be in accordance with AWWA C509 and manufactured by Mueller, American-Darling or approved equal, resilient seat gate valves and shall open in a counter clockwise direction only. Valves on all tapping sleeves are to be of the same type.
- Valves to be located opposite property corner where appropria
- All valve boxes shall be adjusted to finished grade after paving is comple
- All fire hydrants shall be manufactured by Mueller or American -Darling. Equip each fire hydr with two (2) two and one-half (2 1/2) inch nominal inside diameter hose nozzles and one (1) four and one-half (4 1/2) inch nominal inside diameter pumper nozzle with national standard threads on each nozzle, equipped with Storz connection and 5" pressure cap..
- Contractor shall provide adequate thrust blocking to withstand test pressures specified by the Te Natural Resource Conservation Commission.
- All waterline testing shall be witnessed and approved by the Owner's representati
- 14 gauge locator wire to be installed on all water and gas lines & force mains. To be accessible valve stacks.
- All TS&V shall be full body-cast iron or ductile ir
- 1 water sample per 1000 feet shall be submitted to a Texas Department of Health appro laboratory and shall be free of any contaminates, prior to being put in service.
- Disinfection of new and repaired water mains shall be in conformance with AWWA C651. All water mains shall be disinfected before they are placed in service. All water mains taken out of service for inspecting, repairing or other activity which might lead to contamination of water shall be disinfected before they are returned to service. (No sep. pay)

STORM SEWER NOTES

Storm sewer construction shall conform to Montgomery County requirements.

All storm sewer to be PVC (HDPE) pipe as per ASTM. Class IV RCP required within road right-of-way.

All storm sewer inlets shall be backfilled with cement stabilized sand (1.5 sacks per ton). All bedding shall be Class "AA". All storm sewers to be inspected by the Owner's representative prior to backfill.

All storm sewer trenches under proposed and future pavement or within one foot (1') from edge of pavement to be backfilled with cement stabilized sand (1.5 sacks per ton) to a point of one foot (1') below pavement subgrade. The remaining backfill to be made with compacted select material. Cost of backfill and bedding to be included in unit price per linear foot of pipe.

Manhole rims are to be set at the elevations shown on the plans initially. After paving and grading is completed, rims within pavement are to be adjusted to top of pavement elevation and rims outside of pavement are to be adjusted to three (3) to six (6) inches above final grade and black dress dirt to provide drainage away from manhole.

All Type 'B-B' Inlets are to have grates instead of plates.

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ENGINEERING & CONSTRUCTION

10134 MERIDIAN LAKES DR. HOUSTON, TX. 77095 TEL (281) 507-8978 FAX (281) 859-9034

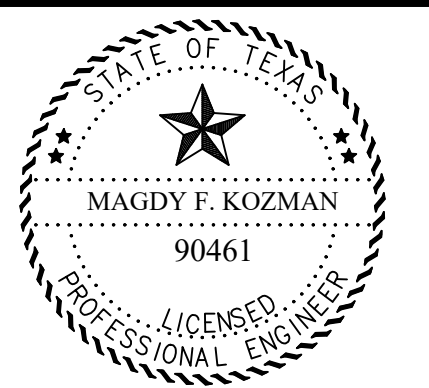
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GRAPHIC SCALE: NONE

MAGNOLIA PARKWAY STORAGE PHASE II

18015 FM 1488, MAGNOLIA, TEXAS

NOTES AND DETAILS



The seal appearing on this document was authorized by MAGDY F. KOZMAN P.E. 90461, on 07/02/2022

Magdy Kozman

PROJECT NO: 702-22	DRAWING NO: 12 - 15
PHASE: C.D.	Drawing Index
DATE: 2 JULY, 2022	C - 12

REVISIONS

NO. REMARKS

FIRM TBPE # 12320

P&G

INC.

ENGINEERING & CONSTRUCTION

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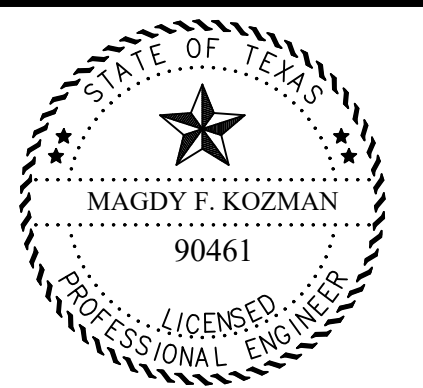
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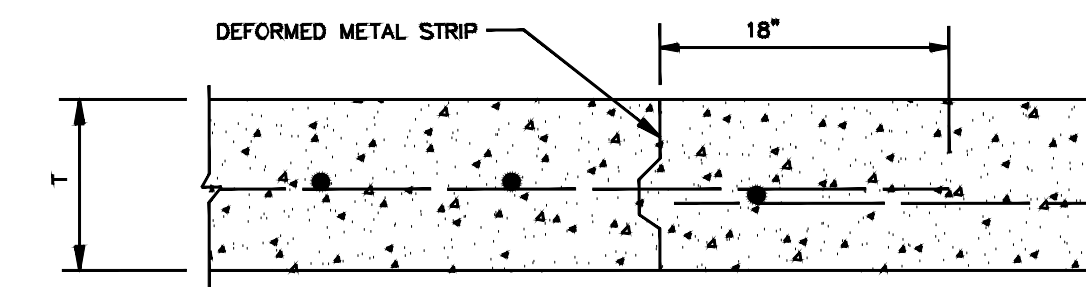
MAGNOLIA PARKWAY STORAGE PHASE II

18015 FM 1488,
MAGNOLIA, TEXAS

NOTES AND DETAILS

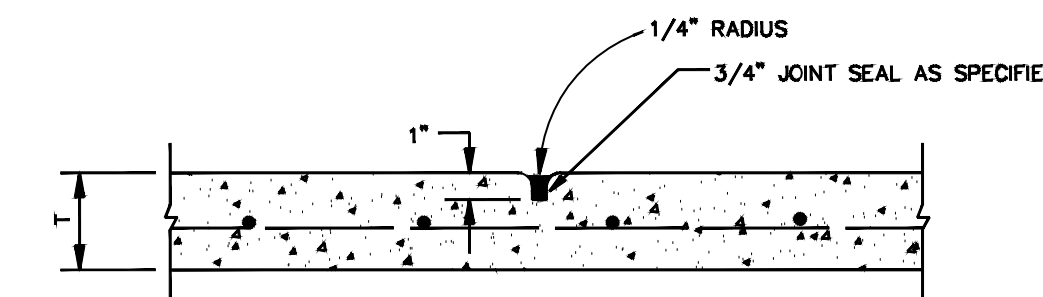


Magdy Kozman

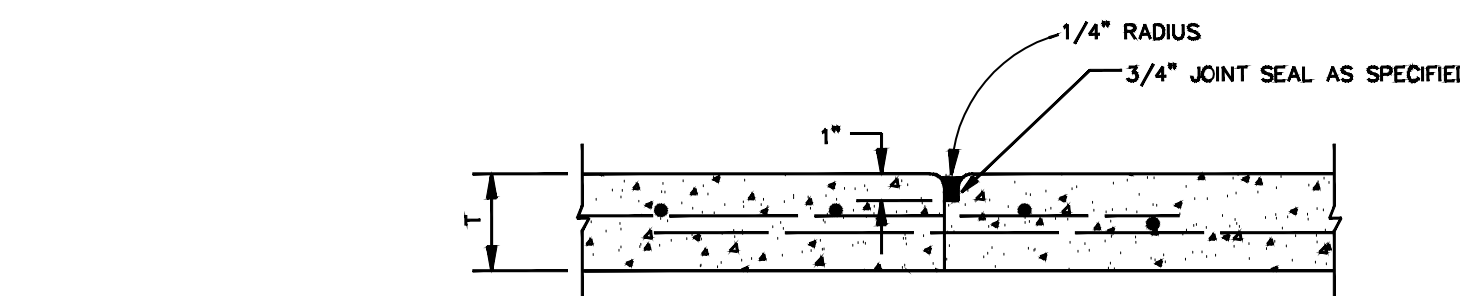


THE LOCATION OF CONSTRUCTION JOINTS AND DEFORMED METAL STRIPS MAY BE VARIED, WITH THE APPROVAL OF THE CITY ENGINEER.

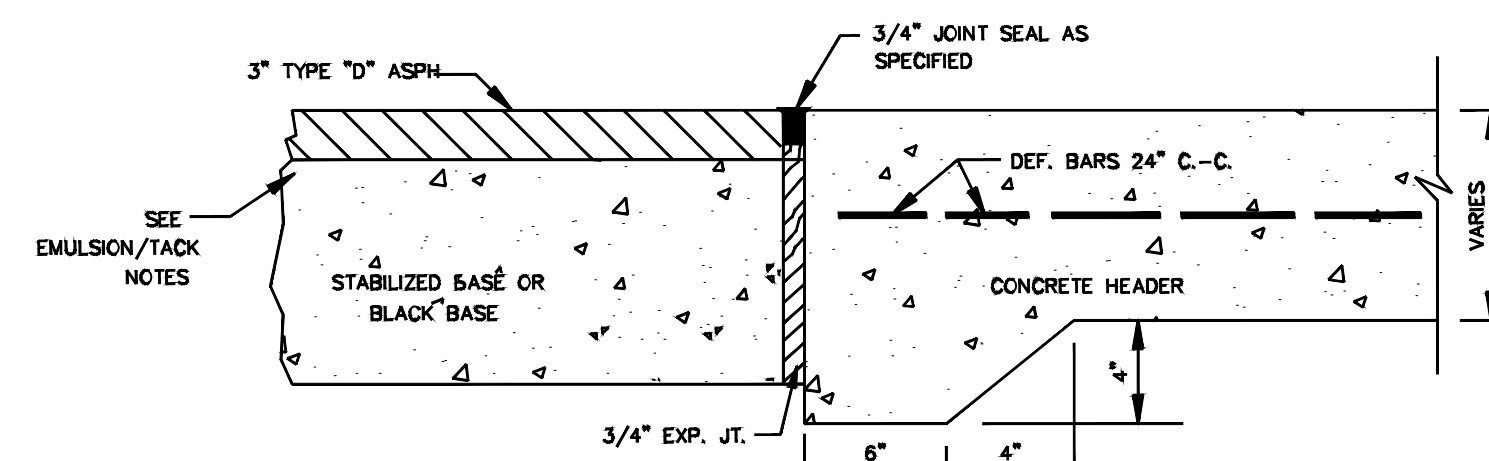
DEFORMED METAL STRIP



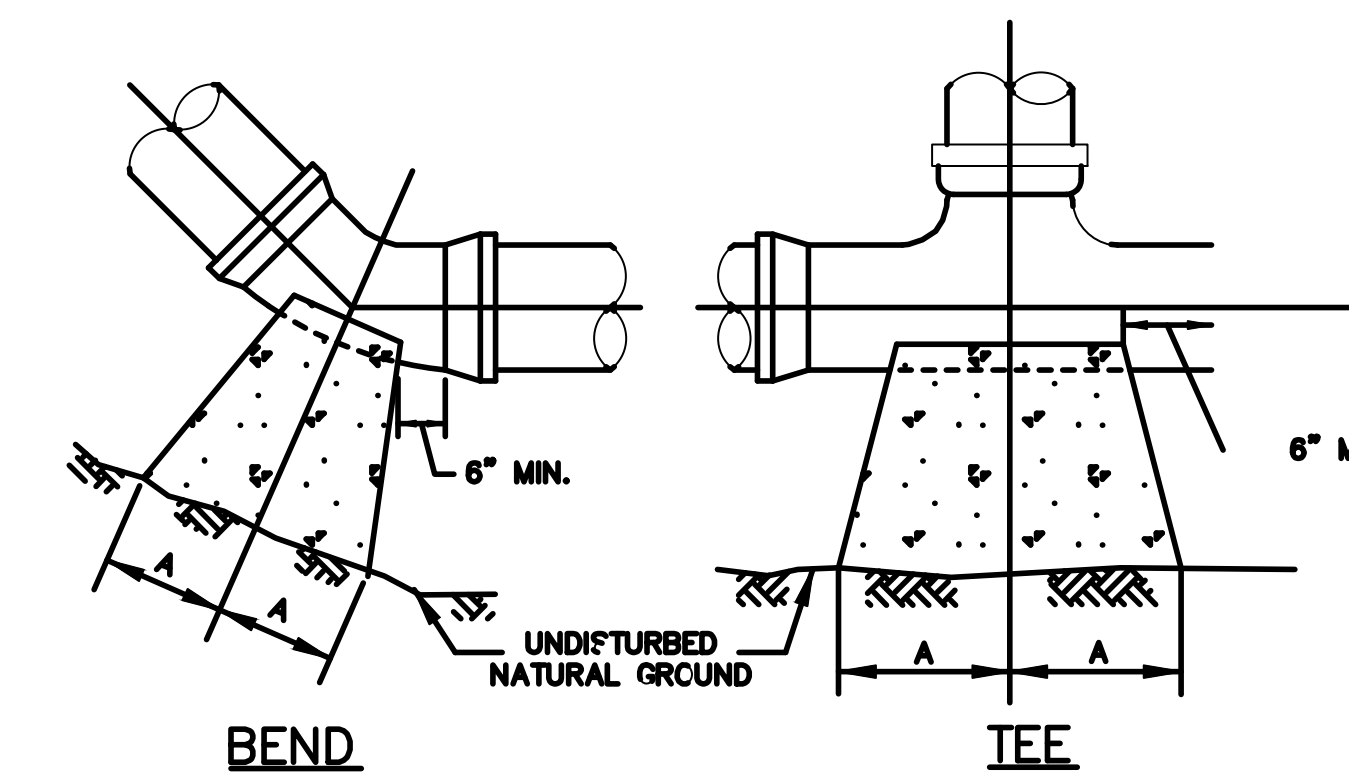
CONTRACTION JOINT



CONSTRUCTION JOINT PAVEMENT REPAIR

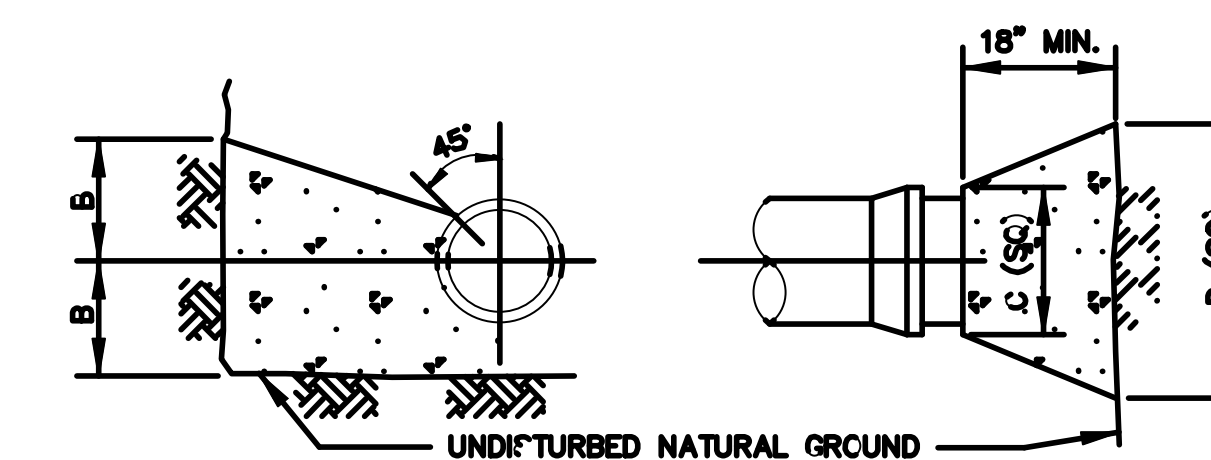


PAVING HEADER
(FOR USE IN CONNECTING CONC. PVMT. TO ASPHALT PVMT.)
(PROP. OR EXIST.)



BEND

TEE



BEND & TEE

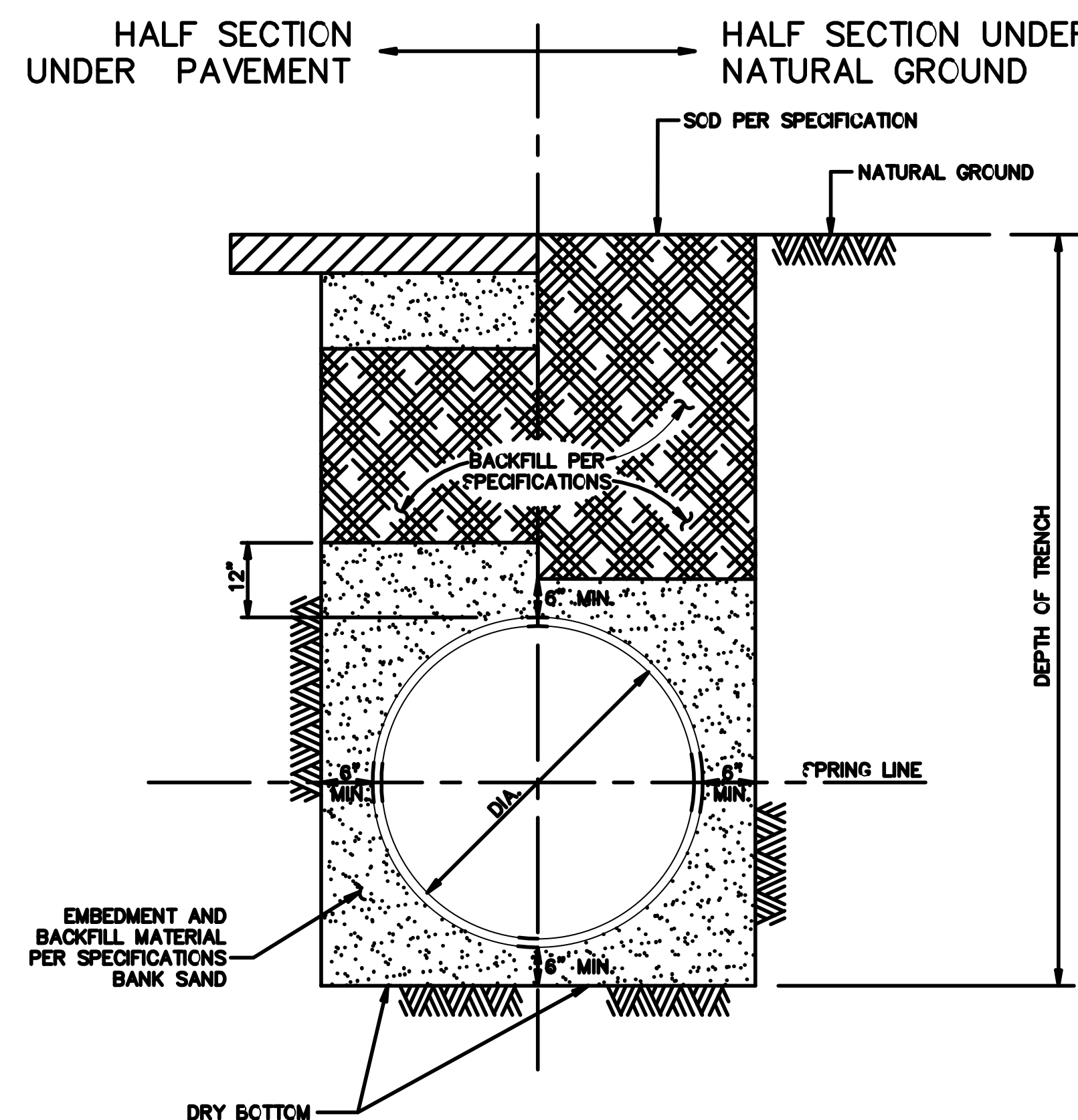
PLUG

THRUST BLOCK DETAIL
BENDS, TEES & PLUGS FOR PIPE OF VARIOUS SIZES

SOIL TYPE	SIZE	90°BEND		45°BEND		22½°BEND		TEES		PLUGS	
		A	B	A	B	A	B	A	B	A	B
TYPE I 4000 PSF SOIL	6"	8"	10"	6"	8"	3"	8"	8"	8"	10"	15"
	8"	12"	12"	8"	10"	5"	9"	9"	12"	12"	20"
	10"	16"	14"	10"	12"	6"	10"	11"	14"	14"	25"
	12"	19"	16"	12"	14"	8"	11"	14"	16"	16"	30"
TYPE II 2000 PSF SOIL	14"	23"	18"	14"	16"	10"	12"	16"	18"	18"	34"
	16"	26"	20"	16"	18"	11"	13"	18"	20"	20"	38"
	6"	16"	10"	9"	10"	6"	8"	10"	12"	10"	21"
	8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
TYPE II 2000 PSF SOIL	10"	26"	17"	14"	17"	10"	13"	16"	20"	14"	36"
	12"	29"	21"	16"	21"	11"	16"	18"	24"	16"	41"
	14"	35"	24"	19"	24"	12"	20"	22"	27"	18"	48"
	16"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"

NOTE:
BASED ON 100 PSI STATIC PRESSURE PLUS AWWA HAMMER.
ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.

WATER LINE
THRUST BLOCK FOR
BENDS, TEES, & PLUGS



WATER DISTRIBUTION MAIN
BEDDING AND BACKFILL FOR
OPEN CUT TRENCHES

TRAFFIC DUTY CAST IRON GRATE (CATCH BASIN)
CATCH BASIN
MFG: PARK ENVIRONMENTAL
888-611-PARK
WWW.PARK-USA.COM
MODEL CB

SKID-RESISTANT STEEL PEDESTRIAN DUTY STD. [TRAFFIC-DUTY OPTIONAL] (JUNCTION BOX)
JUNCTION BOX
MFG: PARK ENVIRONMENTAL
888-611-PARK
WWW.PARK-USA.COM
MODEL JB

CAST-IN STEEL FRAME
OPTIONAL EXTENSION 6" or 12"

PRECAST CONCRETE BASIN SECTION
THIN WALL KNOCKOUT ON ALL 4 SIDES, SEE KO DIMENSION FOR MAXIMUM PIPE O.D.

INLET PIPING FROM UPLINE BASINS
SURFACE WATER
CATCH BASIN
OUTLET PIPING TO STORM SEWER

MODEL #		DIMENSIONS										WEIGHT
CATCH BASIN	JUNCTION BOX?	W1	W2	H1	H2	T1	T2	KO	GRATE SIZE			LBS
CB-12	JB-12	15"	10"	21"	18"	3"	2 1/2"	10"	12"x12"x1"			180
CB-14	JB-14	20"	14"	28"	24"	4"	3"	12"	14"x14"x1 1/2"			600
CB-18	JB-18	24"	18"	34"	30"	4"	4"	15"	18"x18"x1 1/2"			1,000
CB-20	JB-20	28"	18"	34"	30"	4"	4"	17"	20"x20"x1 1/2"			1,335
CB-24	JB-24	32"	22"	41"	36"	5"	5"	22"	24"x24"x2"			2,245
CB-27	JB-27	37"	25"	42"	36"	6"	6"	24"	27"x27"x2"			2,875
CB-30	JB-30	42"	30"	42"	36"	6"	6"	30"	32"x32"x2"			3,675
CB-36	JB-36	48"	36"	42"	36"	6"	6"	32"	38"x38"x2"			4,585

1. CB12 CATCHBASIN IS RATED FOR PEDESTRIAN LOADING. ALL OTHERS ARE TRAFFIC DUTY.
2. ALL JUNCTION BOXES ARE STANDARD PEDESTRIAN DUTY OR OPTIONAL TRAFFIC DUTY.

SPECIFICATIONS

CONCRETE: Class II concrete with of design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.

REINFORCEMENT: Grade 60 reinforced. Steel rebar conforming to ASTM A615 on required centers or equal.

C.I. CASTINGS: Cast iron frames and grates are manufactured of grey cast iron conforming to ASTM A48-76 Class 35.

PARK ENVIRONMENTAL EQUIPMENT
888-611-PARK
www.park-usa.com

"Expect the Best"

CATCH BASIN MODEL CB - 12" THRU 36"
JUNCTION BOX MODEL JB - 12" THRU 36"

SCALE: NONE DWG. NO. CBJB36 REV. A
DATE: 2010

REVISIONS

NO. REMARKS

FIRM TBPE # 12320

P&G

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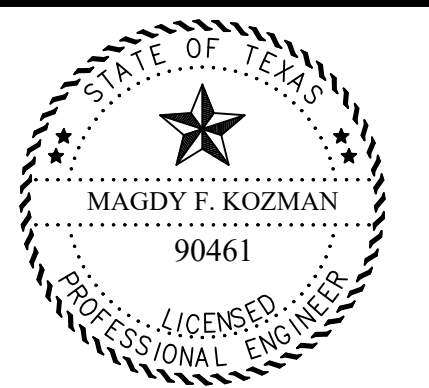
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GRAPHIC SCALE: NONE

MAGNOLIA PARKWAY STORAGE PHASE II

18015 FM 1488,
MAGNOLIA, TEXAS

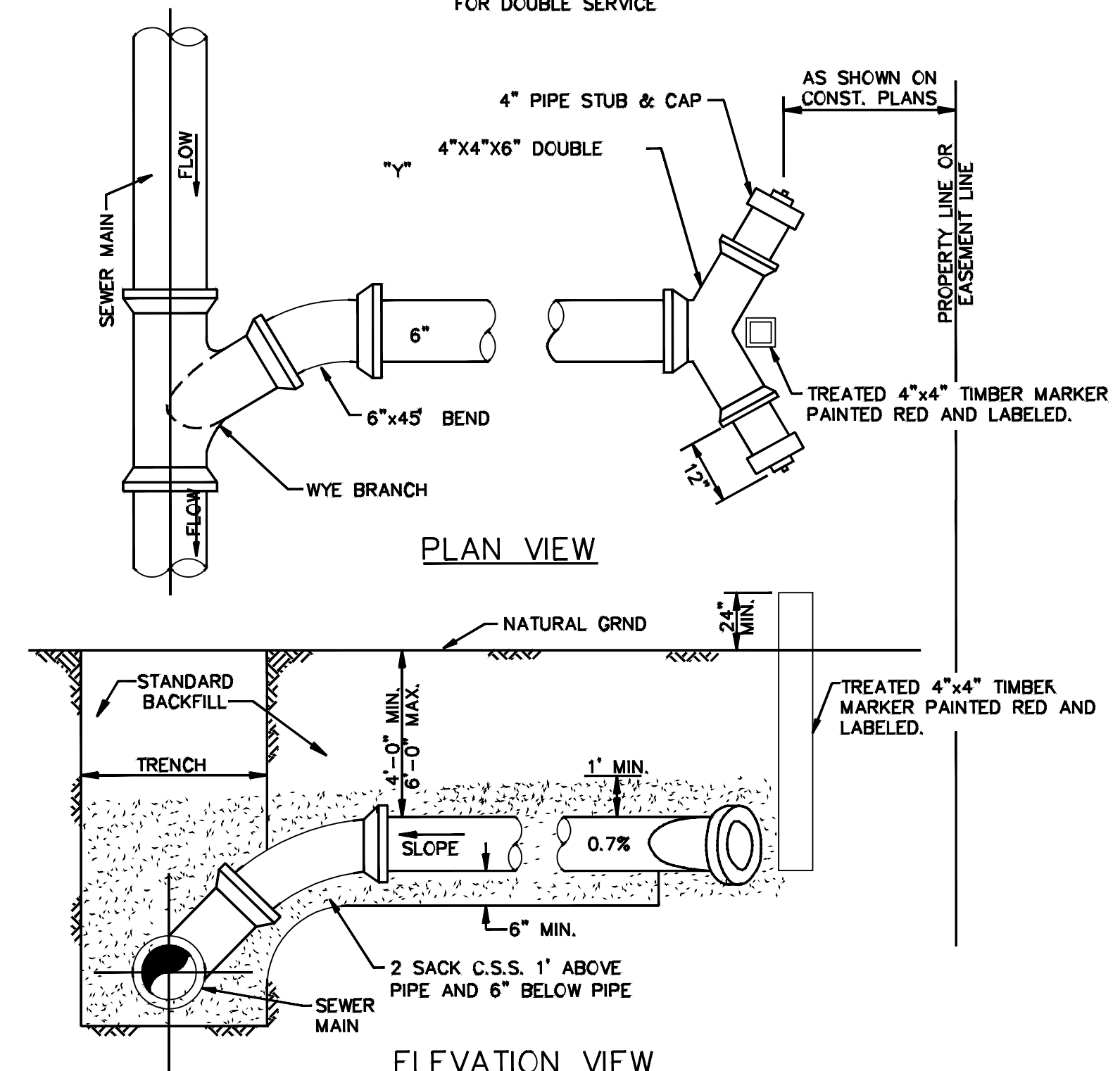
NOTES AND DETAILS



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P.E. 90461, on 07/02/2022

Magdy Kozman

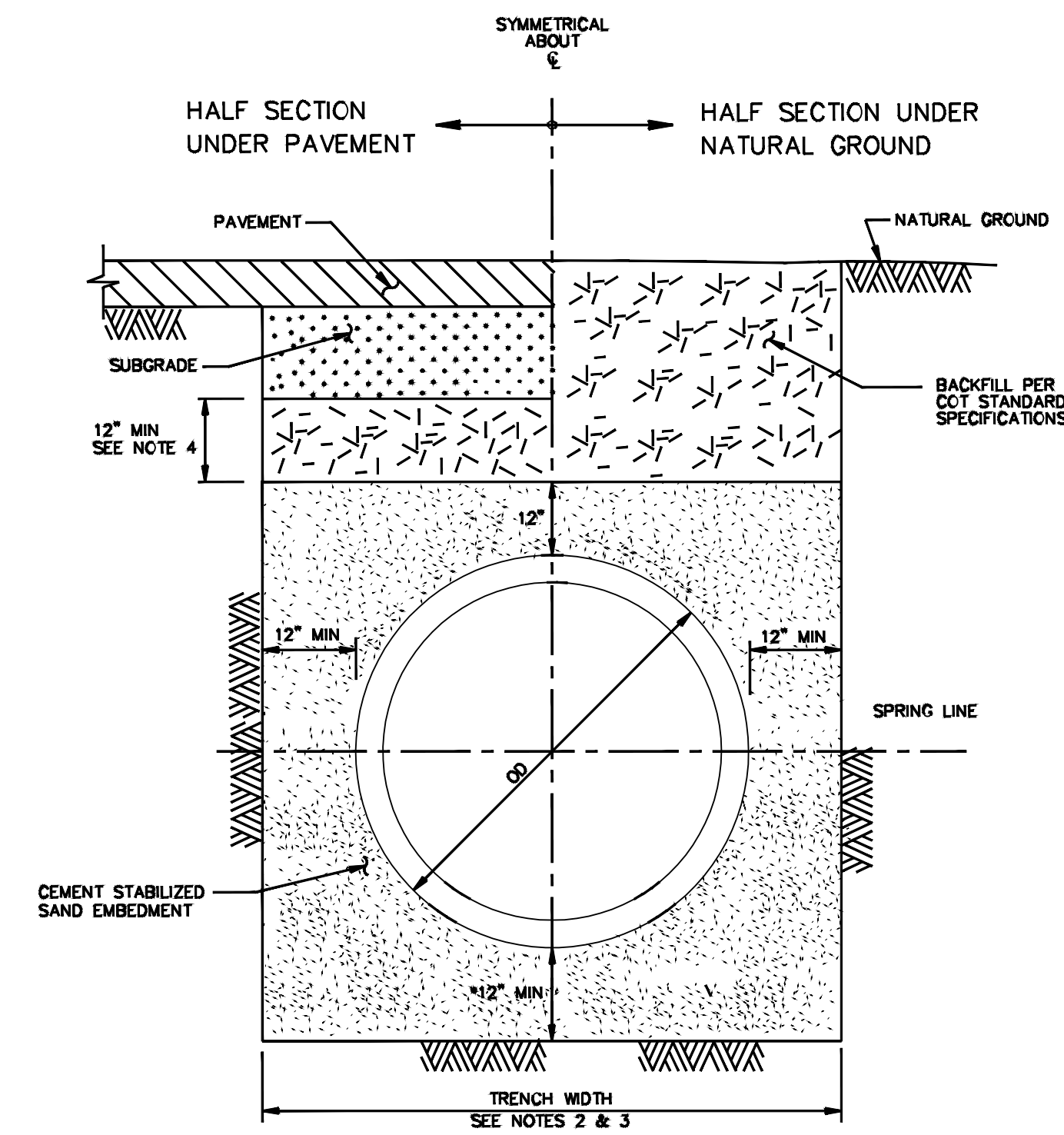
"Y" BRANCH SINGLE SERVICE OR DOUBLE "Y" BRANCH FOR DOUBLE SERVICE



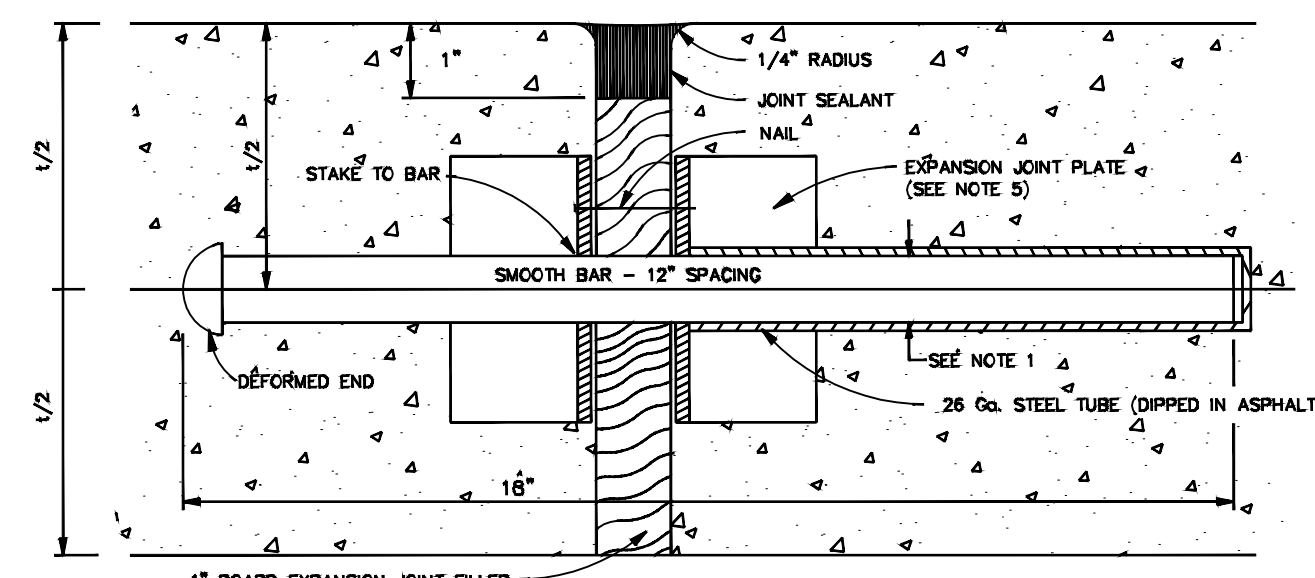
SANITARY SEWER STANDARD SERVICE CONNECTION CONSTRUCTION DETAILS

NOTES:

- 1. WHERE WET SAND IS ENCOUNTERED, REINFORCED CONCRETE PIPE SEWERS SHALL BE CONSTRUCTED USING APPROVED SPECIAL DESIGN AS SHOWN ON DRAWINGS.
- 2. MIN TRENCH WIDTH SHALL BE PIPE OD PLUS AN ALLOWANCE "A" FOR THE NOMINAL PIPE SIZE:
NOMINAL PIPE SIZE "A"
18" TO 30" 24"
OVER 30" 36"
- 3. MAX TRENCH WIDTH SHALL NOT BE GREATER THAN MIN TRENCH WIDTH PLUS 24 INCHES, UNLESS OTHERWISE NOTED.
- 4. SELECT BACKFILL FOR RIGID PAVEMENT; FLEXIBLE BASE MATERIAL FOR ASPHALT PAVEMENT.



STORM BEDDING & BACKFILL FOR DRY STABLE TRENCH

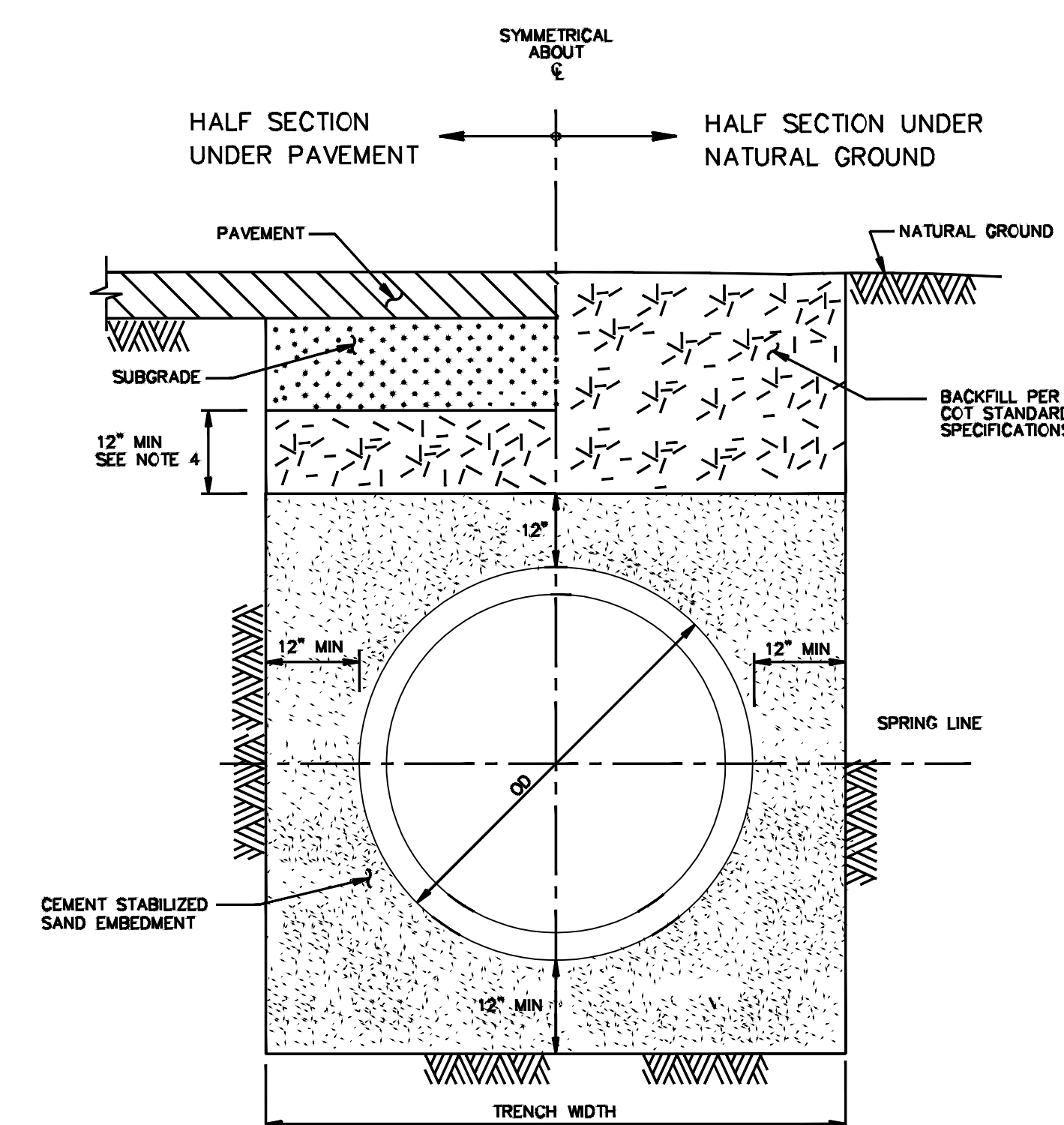


- NOTE:
- 1. DOWELS FOR PAVEMENT EXPANSION JOINTS SHALL BE 3/4" DIA. FOR 6" TO LESS THAN 7" PAVEMENT THICKNESS, 1" FOR 7" TO LESS THAN 9" PAVEMENT THICKNESS AND 1-1/4" DIA. FOR 9" OR GREATER PAVEMENT THICKNESS.
 - 2. EXPANSION JOINT SHALL BE PLACED AT THE END OF EACH CURB RETURN AND AT MAXIMUM 80' SPACING (SEE PLANS).
 - 3. ALL JOINT SEAL MATERIAL SHALL BE ASPHALT RUBBER IN ACCORDANCE WITH ASTM DESIGNATION D3465.
 - 4. IF DEFORMED METAL STRIPS ARE ALLOWED, THEY SHALL BE STAKED IN PLACE WITH #3 BARS.
 - 5. PRE-MANUFACTURED JOINT PLATE.

DOWEL TYPE EXPANSION JOINT CONSTRUCTION DETAILS

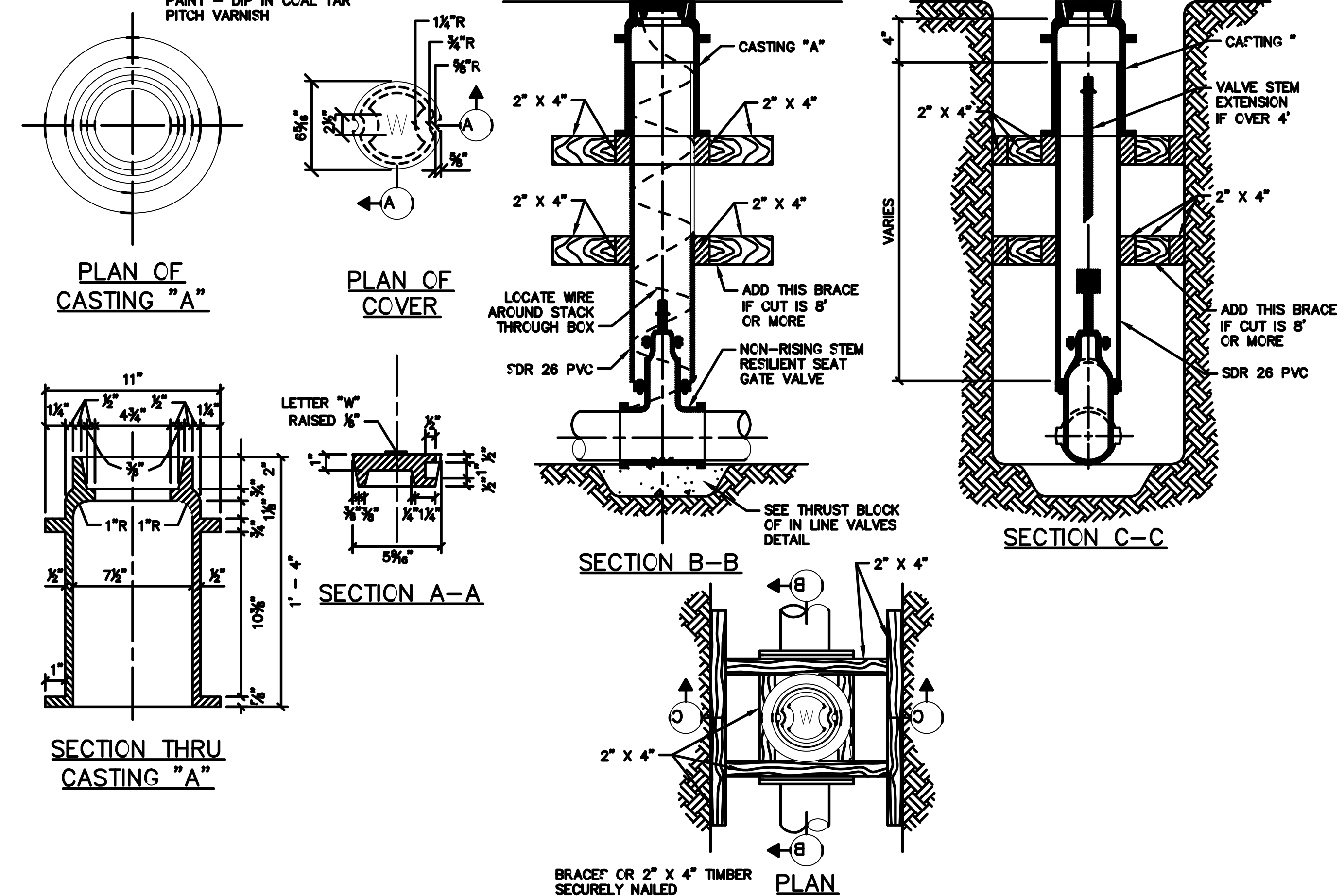
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SANITARY BEDDING & BACKFILL FOR DRY STABLE TRENCH

NOTE: MATERIAL - GRAY CAST IRON PAINT - DIP IN COAL TAR PITCH VARNISH

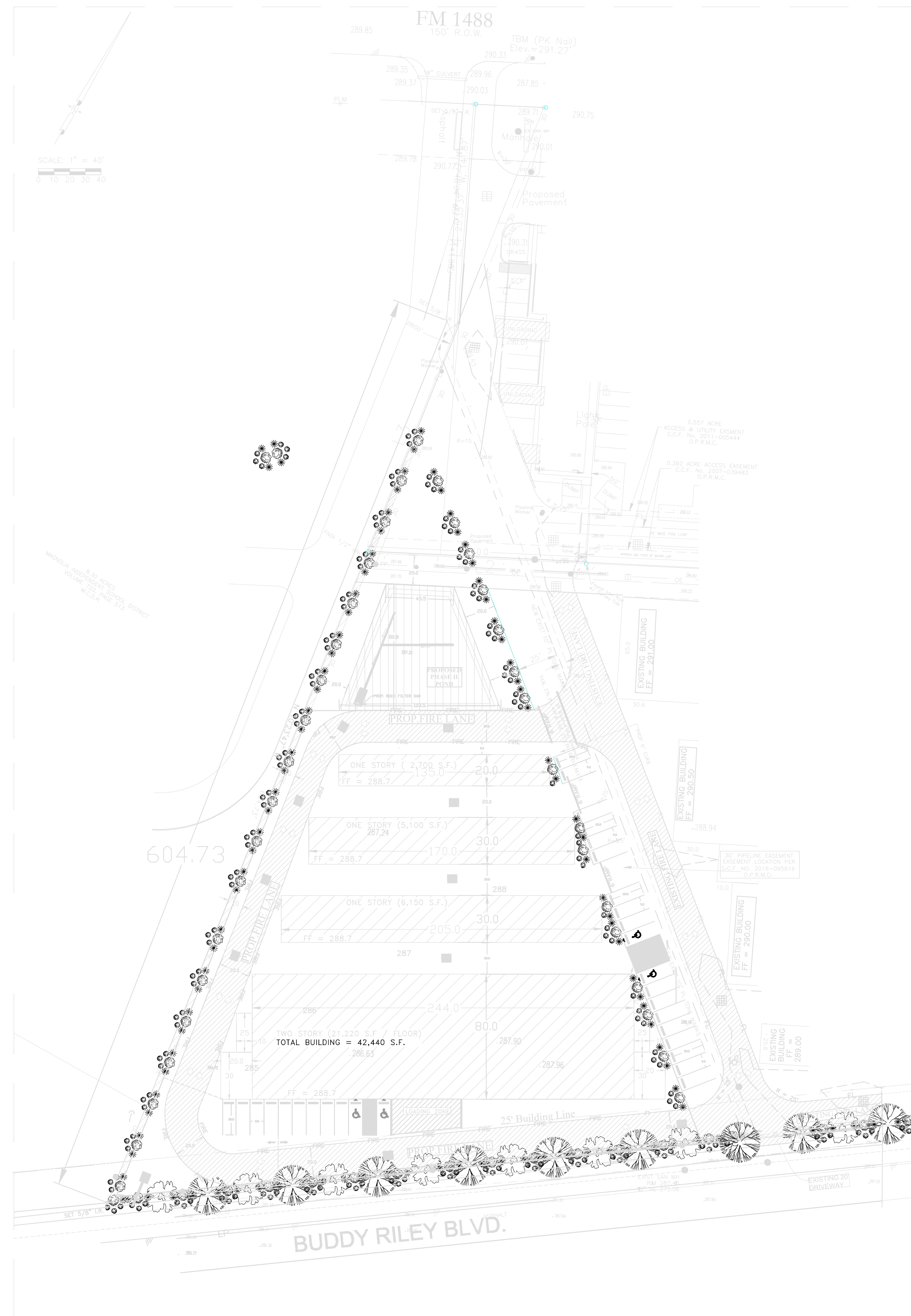




SECTION C - C LANDSCAPING PLAN AND SMU BLOCKS STEP-DOWN PHASE II FINAL LANDSCAPE PLAN AND ELEVATION MUST MATCH PHASE I



SECTION C - C LANDSCAPING PLAN AND SMU BLOCKS STEP-DOWN CONSTRUCT PHASE II FENCE ABOVE THE PROPOSED CURB AT 3 FEET FROM THE PROPERTY LINE AS A LANDSCAPE BUFFER - USING SPLIT FACED CMU BLOCK TO STEP-DOWN FROM TC ELEVATION TO THE LANDSCAPE PLANTER.



LANDSCAPING SUMMARY

TYPE REQD.	PROVIDED
BUDDY RILEY - STREET TREES (FRONTAGE/30) = 208.97/30 = 6.97	3 EVERGREEN & 4 CANOPY TREES @ 27.5' INTERVALS
PARKING LOT TREES - 30 SPACES = 30/5 = 6	1 EVERGREEN & 1 CANOPY - PARKING LOT TREES
SHRUBS (5' INTERVALS AND GROUPINGS - BUDDY REILLY - 165/5 = 33	35 SHRUBS
SHRUBS (5' INTERVALS AND GROUPINGS - PIPELINE - 389.5/5 = 77.9	80 SHRUBS

BENCHMARK: BASED ON GPS OBSERVATIONS TEXAS CENTRAL 4203, NAVD, 1988

TBM IS A PK NAIL WITH AN ELEVATION OF 291.27 FEET AS PER TOPOGRAPHIC SURVEY BY C & C SURVEYING, INC. JOB NO.15-0578, REV 12/22/15

THIS PROPERTY LIES WITHIN ZONE "X" AS SCALED FROM FEMA MAP PANEL NUMBER 48339-C-0480-G, DATED AUGUST 18, 2014

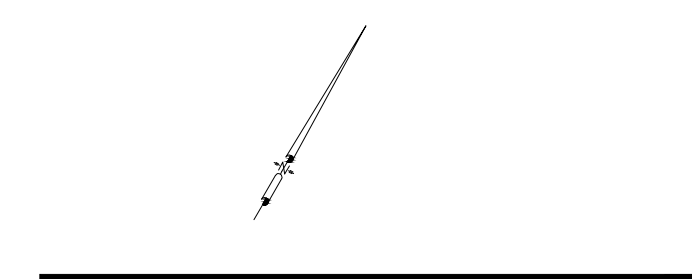
- LEGEND**
- SMALL SHRUB (1'-2' HEIGHT - 5 GAL. CONTAINER)
OPTIONS: DWARF PITTOSPORUM, JAPANESE BOXWOOD, PRINCE OF JASMINE, DWARF GARDENIA, COMPACT JAPANESE HOLLY
 - MEDIUM SHRUB (2'-4' HEIGHT - 5 GAL. CONTAINER)
OPTIONS: INDIAN HAWTHORN, TEXAS SAGE, DWARF WAX MYRTLE, FRAZIER'S PHOTINIA
 - LARGE SHRUBS (4'-6' HEIGHT - 5 GAL. CONTAINER)
OPTIONS: RED TIP PHOTINIA, CHINESE PHOTINIA, WAXLEAF LIGULSTRUM, SOUTHERN WAX MYRTLE
 - CANOPY TREES (APPROX 50' MATURE HEIGHT - 3" CALIPER @ PLANTING)
LIVE OAK
 - EVERGREEN TREES (90' TO 100' MATURE HEIGHT - 3" CALIPER @ PLANTING)
LOBLOLLY PINE

PRINTED

DATE	REMARKS
1/JULY/2022	ISSUED FOR PERMIT

REVISIONS

NO.	REMARKS
-----	---------



FIRM TBPE # 12320

P&G
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GRAPHIC SCALE: 1" = 40'

MAGNOLIA PARKWAY STORAGE PHASE II

18015 FM 1488, MAGNOLIA, TEXAS

LANDSCAPE PLAN



The seal appearing on this document was authorized by MAGDY F. KOZMAN
P.E. 90461, on 07/02/2022
Magdy Kozman

PROJECT NO: 702-22 DRAWING NO: 15-15
PHASE: C.D. Drawing Index
DATE: 2 JULY, 2022 C-15

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 8**

Background/Information:

An application for a site work permit was received on August 11, 2022.

Comments:

Plan review letter was sent to applicant 8/4. Waiting for re-submittal as of 8/15.

Action Requested:

Approve site plan for MHT Homes.

Recommendation:

Approve site plan for MHT Homes under the condition that it receives City Engineer approval.

Attachments:

Site Plan



SITE WORK PERMIT APPLICATION

18111 Buddy Riley Blvd.
Magnolia, Texas 77354
Phone: 281-356-2266
Fax: 281-259-7811
www.cityofmagnolia.com

Please fill out completely except for shaded areas.

Job Address 38925 FM 1774, Magnolia TX 77355			Permit Number	
Legal Description MHT Holdings, LLC	Lot No.	Block		Tract 1 & 2
Owner: MHT Homes	Mailing Address: 1403 Aldine Bender Rd Houston, TX 77032			Phone: 713-489-8175
Contractor: TBD	Mailing Address: TBD			Phone: TBD
Use of Building <input type="checkbox"/> Residential <input type="checkbox"/> Commercial			Flood Zone <input type="checkbox"/> Yes <input type="checkbox"/> No	
Class of Work <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Paving <input type="checkbox"/> Storm <input type="checkbox"/> Sewer <input type="checkbox"/> Water <input type="checkbox"/> Other				
Describe Construction Work				
Engineer: Jonathan Payne	Mailing Address: 3307 W Davis Street, Suite 100 Email Address: jpayne@l2engineering.com			Phone: 936-647-0420
Applicant needs to complete the following spaces. Do not write in shaded spaces.				
State "N/A" to those sections that do not apply to the structure or work you are performing.				
NOTICE			Total Project Valuation \$ 148,700	
<p>Ventilation or Air Conditioning. This permit becomes null and void if work or construction authorized is not commenced within six (6) months, or if construction or work is abandoned for a period of six (6) months at any time after work is commenced. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law relating to construction, nor does it give authorization or approval to encroach on any easement or property or violate any deed restrictions. The City of Magnolia shall never be liable for any damage or loss by reason of the issuance hereof. Each holder and other persons acting under authority of this permit are personally responsible for compliance with all of the above provisions and assume the entire risks incidental to the work being permitted.</p> <p style="text-align: center;">I hereby certify that I have read and examined this application and know the same to be true and correct.</p>			Acreage or Lot Size 1.57	
			Office Use Only	
			Plan/Inspection fee 0.5%	\$
			Permit Fee 2%	\$
			Water Impact fee	\$
			Sewer Impact Fee	\$
			Total Amount Due	\$
City Engineer Notes				
Signature of Contractor or Authorized Agent			Date	
Printed Name of Contractor or Authorized Agent			Date	
Signature of City Engineer			Date	
PLEASE NOTE THERE SHALL BE NO REFUND OF FEES.				

TYPE OF WORK

Describe the type of utility construction/ site work you are making application for in the space below (water lines sanitary sewer lines, storm sewers, paving, landscaping, site lighting, etc.)

TYPE OF CONSTRUCTION	DESCRIPTION OF PROPERTY LOCATION	LENGTH	SIZE	COST	CONTRIBUTOR *
Concrete Paving	NW part of property (parking spaces)	125 SY		\$ 8,000	Contractor, TBD
Gravel	Majority of northern tract	2900 SY		\$ 71,000	Contractor, TBD
Storm Pipe	SW side of property	27'	12"	\$ 1,200	Contractor, TBD
Storm Pipe	Runs N to S down center of property	201'	18"	\$ 10,600	Contractor, TBD
Water Line	NW side of property	31'	8"	\$ 400	Contractor, TBD
				\$	
				\$	
				\$	
				\$	
				\$	
				\$	
				\$	
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				\$	
				\$	
				\$	
				\$	
	TOTAL COST			\$ 91,200	
Permit fee	2% OF TOTAL COST			\$ 1,824.00	

* Names of all persons contributing to an part of the cost of the utility construction/site work, whether new or for improvements, must be listed with the amount paid by each for the property listed.

Construction plans with the Engineer Seal must be submitted in triplicate for review for all utility construction/ site work permits issued by the City of Magnolia. These plans must reflect all materials to be used and the exact dimensions of the project. All applications and plans are to be submitted to the City of Magnolia Permit Technician where they will be filed and become public record.

Construction for MHT Homes - Magnolia will begin on or after the ____ day of _____, 20__

The map or plat of the subdivision named above is recorded in Volume____, Page____ of the (M.C.C.F. # 2020148222) Records of Montgomery County, Texas.

By signing the front of this for I agree to follow the Ordinances of the City of Magnolia and any associated laws applicable in the City of Magnolia, Montgomery County, the State of Texas and the United States. Therefore I am bound to defend at my own cost and expense any suit(s), action(s), claim(s), or damage(s) sustained against the City of Magnolia for any loss, cost, expense or damage charged or imposed upon the City for granting this permit. Furthermore, I agree to keep in good repair the refilling and surfacing necessitated by the excavation covered by this application for a period of one year. I also understand and agree that this permit shall be granted giving the City of Magnolia, if applicable, or any other person entitled, the lawful right to use said street, alley or other public place. I understand and agree that should this permit be granted for the purpose of locating or placing any pipe, conduit, duct, tunnel or other structure there is no fixed or vested right to lay or place it's pipes, conduits or other structures in, under, over or across such pipes, conduits or other structures laid without cost or charge by the prior location for such use. I also understand and agree that these improvements, where applicable, when constructed, will be public improvements, the property of the City of Magnolia, and without right of reimbursement by the City for any of the costs, except as stipulated in the City of Magnolia Ordinances in consideration of the granted permit and the use of public property for the purpose of constructing the described facilities. **Permits expire after 180 days.**

CITY OF MAGNOLIA, TEXAS

MHT HOMES - MAGNOLIA

PRIVATE IMPROVEMENTS

Sheet List Table

Sheet Number	Sheet Title
01	COVER SHEET
02	CONSTRUCTION NOTES & LEGEND
03	EXISTING CONDITIONS SURVEY
04	OVERALL SITE PLAN
05	DIMENSIONAL CONTROL & PAVING PLAN
06	UTILITY PLAN
07	GRADING PLAN
08	PRE-DEVELOPED DRAINAGE AREA MAP
09	DRAINAGE & STORM SEWER PLAN
10	DRAINAGE CALCULATIONS
11	POND CROSS SECTIONS
12	FIRE LANE PLAN
13	SWPP PLAN
14	PAVING DETAILS
15	WATER AND SANITARY SEWER DETAILS
16	STORM SEWER DETAILS
17	SWPPP DETAILS

ONE-CALL NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
 (713) 223-4567 (in Houston)
 (New Statewide Number Outside Houston)
 1-800-545-6005

PROJECT NOTES

ENGINEER'S CERTIFICATION:
 I CERTIFY THAT THESE PLANS WHICH BEAR MY SEAL HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND ARE IN COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS. THE PROPOSED IMPROVEMENTS SHOWN IN THESE PLANS WILL NOT IMPEDE THE FLOW OF SURFACE WATERS FROM HIGHER ADJACENT PROPERTIES, WILL NOT ALTER THE NATURAL FLOW OF SURFACE WATERS SO AS TO DISCHARGE THEM UPON ADJACENT PROPERTIES AT A MORE RAPID RATE OR IN A DIFFERENT LOCATION, AND WILL NOT CONCENTRATE FLOWS OF SURFACE WATERS IN A MANNER WHICH EXCEEDS THE CAPACITY OF THE RECEIVING WATERCOURSE. THIS CERTIFICATION DOES NOT APPLY TO ANY EXISTING IMPROVEMENTS ON THE SUBJECT PROPERTY.

CIVIL NOTE:
 FIELD VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS INCLUDING PAYMENT AND UTILITY TIE-INS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ALL DISCREPANCIES PRIOR TO BEGINNING ANY WORK.

TDLR NOTE:
 TEXAS DEPARTMENT OF LICENSING AND REGISTRATION (TDLR) NUMBER REQUIRED FOR ALL PROPOSED COMMERCIAL BUILDINGS. **IF TDLR NUMBER IS NOT PRESENT, CLIENT IS RESPONSIBLE FOR ACQUIRING REGISTRATION NUMBER PRIOR TO CONSTRUCTION.

WETLAND NOTE:
 THESE PLANS WERE PREPARED WITHOUT THE BENEFIT OF AN ENVIRONMENTAL OR OTHER WETLANDS STUDY. L SQUARED ENGINEERING IS NOT AN ENVIRONMENTAL ENGINEERING FIRM AND

DOES NOT HAVE THE ABILITY TO DETERMINE ENVIRONMENTAL OR WETLAND IMPACTS. THE CLIENT AND/OR OWNER SHALL BE RESPONSIBLE FOR ANY SUCH STUDY AND NOTIFY ENGINEER IF ANY RESULTING CHANGES ARE NEEDED PRIOR TO CONSTRUCTION.

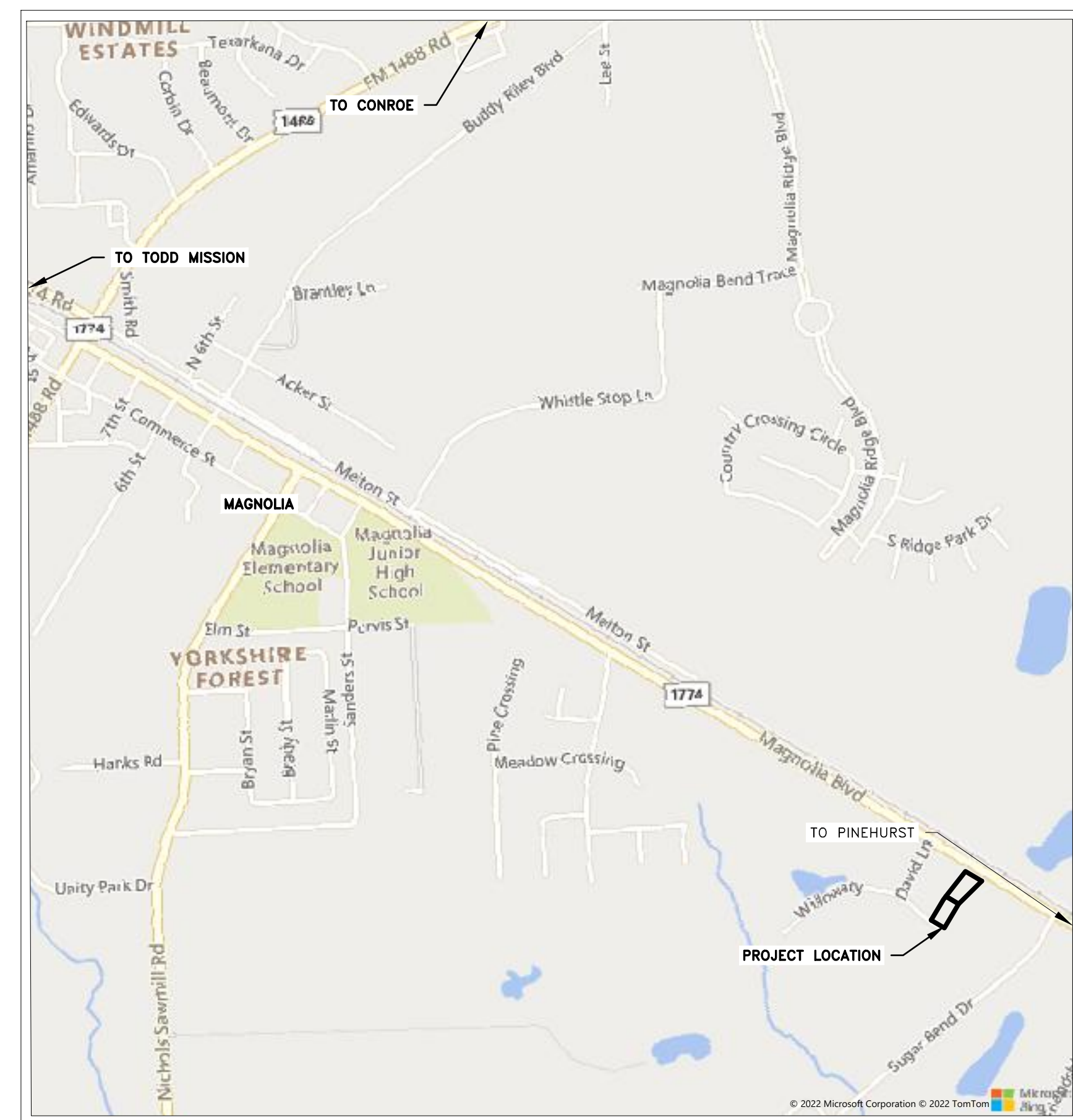
LEGAL DESCRIPTION:
 A0554 - TAYLOR EDWARD, TRACTS 16-B & 16-J, TOTALING 1.567 ACRES

SITE BENCHMARK:
 SET MAG NAIL ELEV.=260.11'
 MAG NAIL IN CONCRETE SET ON THE CURB ALONG FM 1774 NEAR THE NORTH EAST CORNER OF THE PROPERTY.

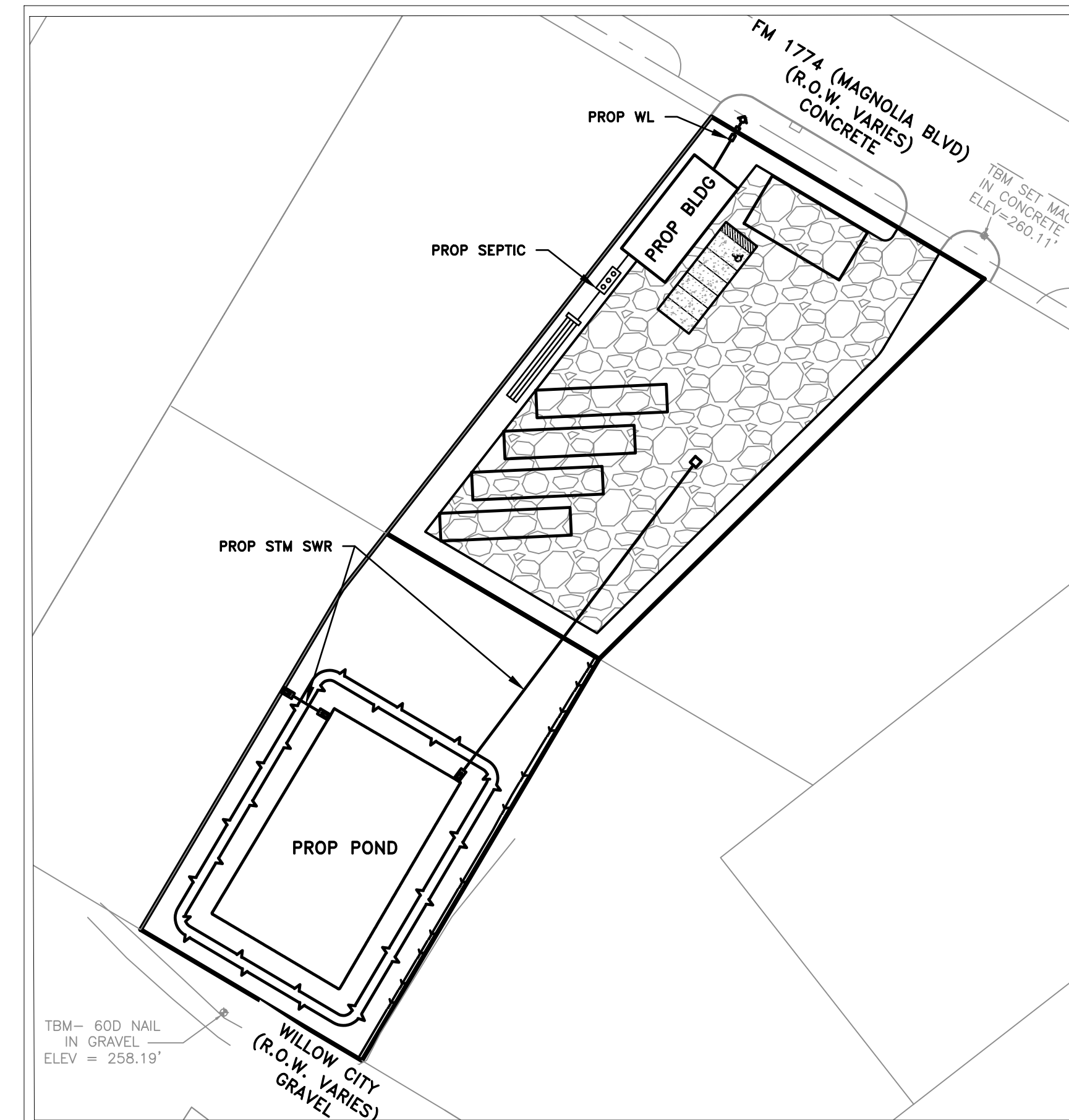
SITE BENCHMARK:
 60D NAIL IN GRAVEL ELEV.=258.19'
 60D NAIL IN GRAVEL SET NEAR THE EDGE OF WILLOW CITY RD ON THE SOUTH SIDE OF THE PROPERTY.

FLOODPLAIN:
 THIS PROPERTY LIES IN ZONE X OUTSIDE THE 100 YEAR FLOOD PLAIN PER GRAPHIC SCALING ACCORDING TO COMMUNITY PANEL NO. 48339C0480G HAVING AN EFFECTIVE DATE OF 12/19/96.

SURVEY NOTE:
 SURVEY PROVIDED BY TEXAS PROFESSIONAL SURVEYING DATED 9-28-21.
 CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.



KEY MAP 212T
 SCALE: 1" = 1000'



PROJECT MAP
 SCALE: 1" = 60'



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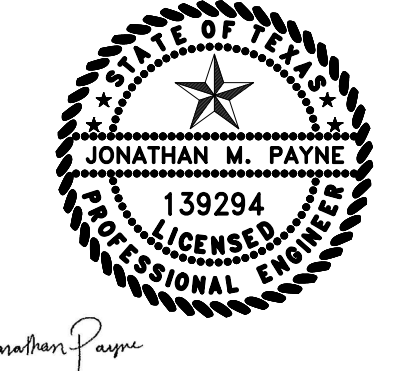
CLIENT INFORMATION
 MHT HOMES
 GEORGE ENCISO
 1403 ALDINE BENDER ROAD
 HOUSTON, TX 77032
PROJECT ADDRESS
 38925 FM 1774
 MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

COVER SHEET

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

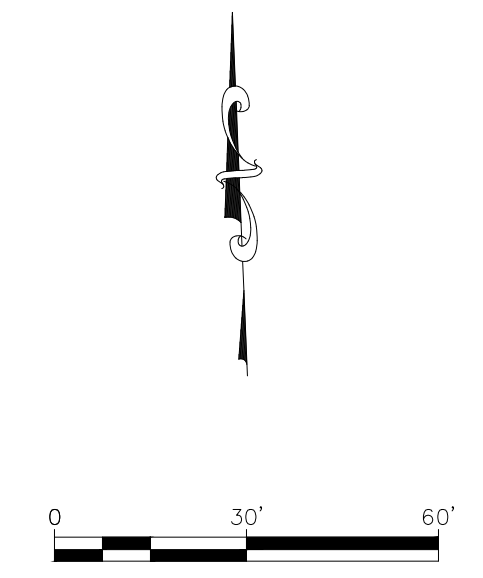
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PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		
AS SHOWN	01		



JONATHAN M. PAYNE
 139294
 LICENSED PROFESSIONAL ENGINEER
 DATE: 7/12/2022

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- DEMOLITION LEGEND:**
- #### SF OF BUILDING TO BE DEMOLISHED
 - #### SF OF PAVEMENT TO BE DEMOLISHED
 - INDICATES OTHER ITEMS TO BE DEMOLISHED AS DESCRIBED (CONTRACTOR TO VERIFY EACH ITEM WITH OWNER PRIOR TO CONSTRUCTION IN REGARDS TO REMOVAL, STORAGE AND/OR DISPOSAL)
- DEMOLITION NOTES:**
- ALL DEMOLISHED MATERIALS NOT TO BE SAVED OR REUSED BY OWNER ARE TO BE REMOVED FROM SITE AT CONTRACTOR'S EXPENSE.

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MHT HOMES - MAGNOLIA

EXISTING CONDITIONS SURVEY

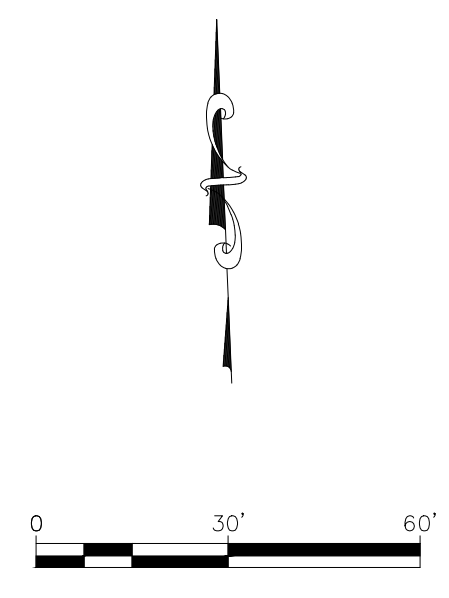
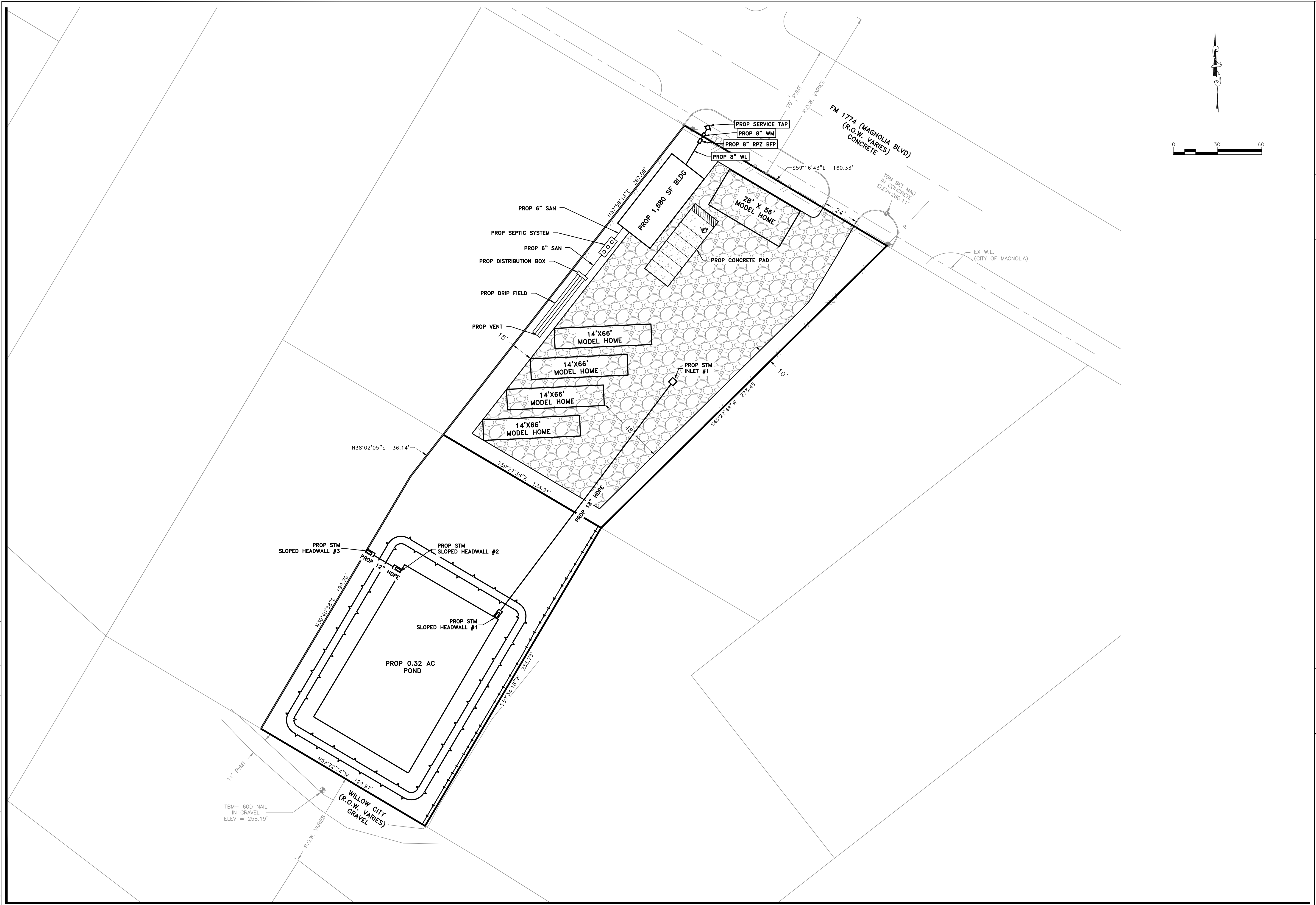
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1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		03
1" = 30' (24x36) 1" = 60' (11x17)			

DATE: 7/12/2022

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MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

OVERALL SITE PLAN

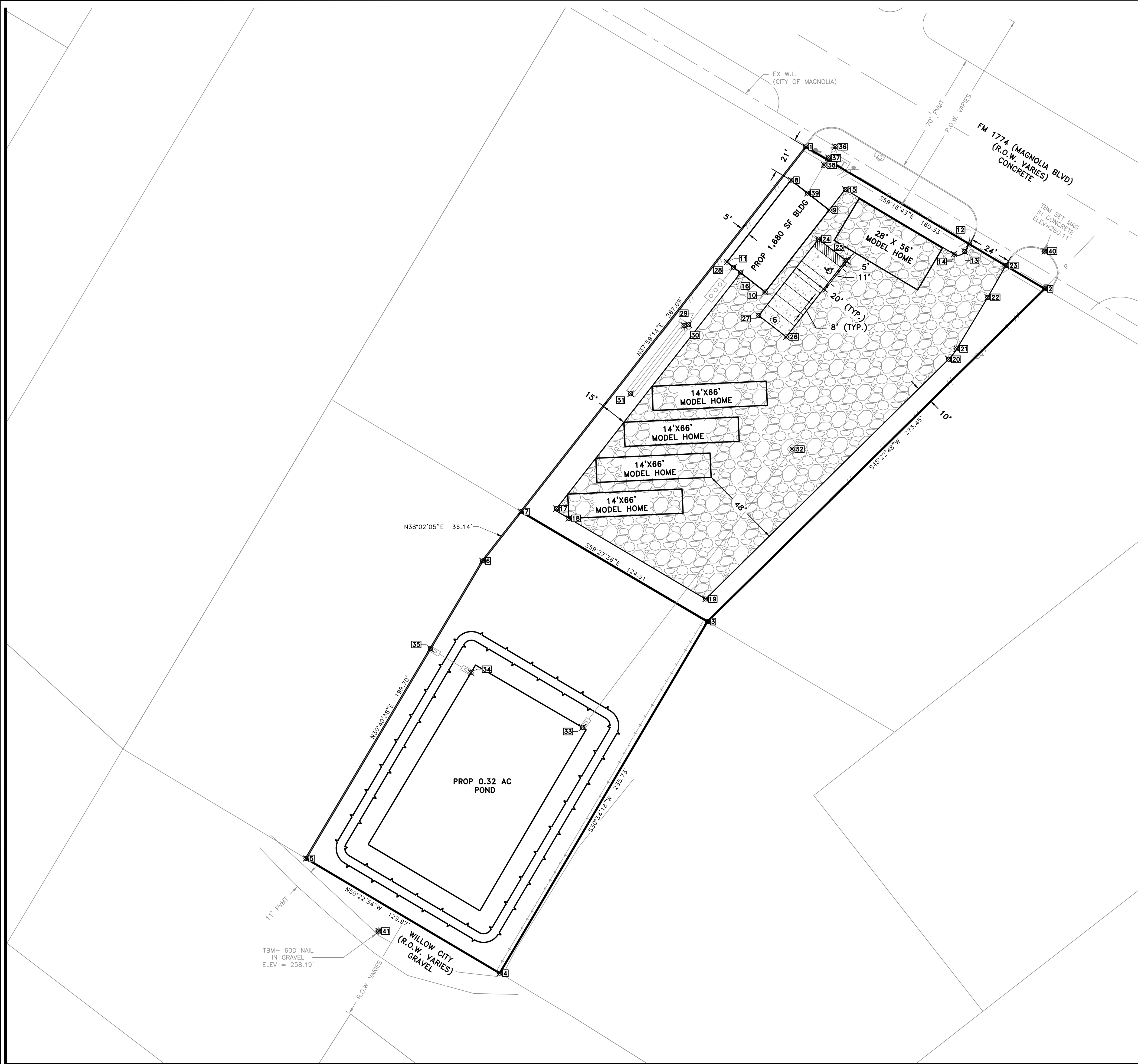
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#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		04
1" = 30' (24x36) 1" = 60' (11x17)			

DATE: 7/12/2022

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BOUNDARY COORDINATES		
POINT #	NORTHING	EASTING
1	10065885.7767	3750039.9655
2	10065803.8711	3750177.7932
3	10065611.7979	3749983.1549
4	10065408.8399	3749863.2615
5	10065475.0470	3749751.4180
6	10065646.8040	3749853.3070
7	10065675.2690	3749875.5740

BUILDING COORDINATES		
POINT #	NORTHING	EASTING
8	10065866.5973	3750031.3318
9	10065849.3637	3750053.3999
10	10065802.0749	3750016.4707
11	10065819.3085	3749994.4026

PAVING COORDINATES		
POINT #	NORTHING	EASTING
12	10065829.7640	3750134.2848
13	10065825.4317	3750131.6817
14	10065823.8809	3750125.5255
15	10065861.2337	3750062.6695
16	10065813.1274	3750002.3177
17	10065676.9733	3749895.9910
18	10065671.3669	3749903.1702
19	10065624.8020	3749982.0957
20	10065763.1954	3750122.3373
21	10065769.1960	3750127.0577
22	10065798.9547	3750144.9385
23	10065817.3473	3750155.4028
24	10065832.5800	3750047.2714
25	10065820.2703	3750063.0344
26	10065776.1340	3750028.5671
27	10065788.4438	3750012.8042

SANITARY SEWER COORDINATES		
POINT #	NORTHING	EASTING
28	10065816.3351	3749998.2101
29	10065783.1533	3749972.2975
30	10065782.7039	3749969.6234
31	10065743.2966	3749938.8491

STORM SEWER COORDINATES		
POINT #	NORTHING	EASTING
32	10065711.3500	3750031.9795
33	10065550.7003	3749911.0663
34	10065582.2819	3749846.7212
35	10065596.1446	3749823.2550

WATERLINE COORDINATES		
POINT #	NORTHING	EASTING
36	10065885.9210	3750056.8189
37	10065879.4881	3750053.0042
38	10065875.2830	3750050.5104
39	10065859.1100	3750040.9195

TBM COORDINATES		
POINT #	NORTHING	EASTING
40	10065825.6302	3750177.8018
41	10065433.1210	3749793.4300

PAVING LEGEND:

- 1,120 SF OF 6" CONCRETE
- 26,123 SF OF GRAVEL

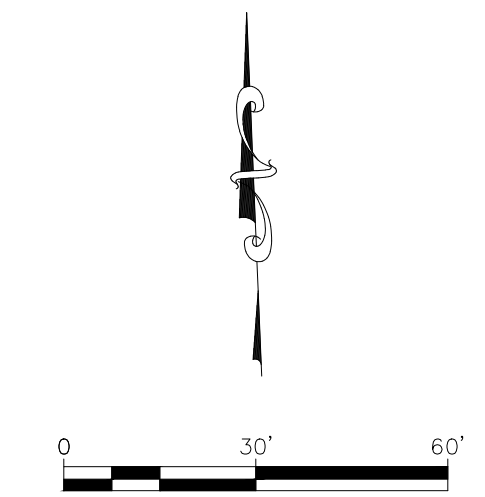
TOTAL TO IMPERVIOUS AREA= 1.64%

DIMENSIONAL CONTROL NOTES:
1. ALL COORDINATE POINTS AND DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:
1. SEE PAVING DIMENSIONS AND SPECIFICATIONS PROVIDED ON DETAIL SHEETS

PARKING REQUIREMENTS:

BLDG SF	USE	RATE	REQ STD/ADA	PROP STD/ADA
1,680 SF	OFFICE	300/1	5/1	5/1
TOTALS			5/1	5/1



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1403 ALDINE BENDER ROAD
HOUSTON, TX 77032
PROJECT ADDRESS
3825 FM 1774
MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

DIMENSIONAL CONTROL & PAVING PLAN

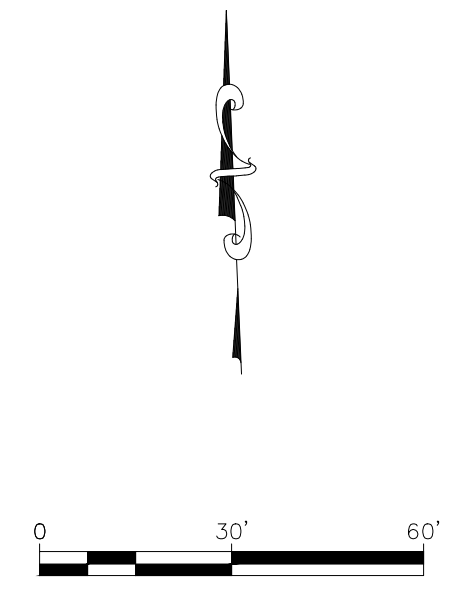
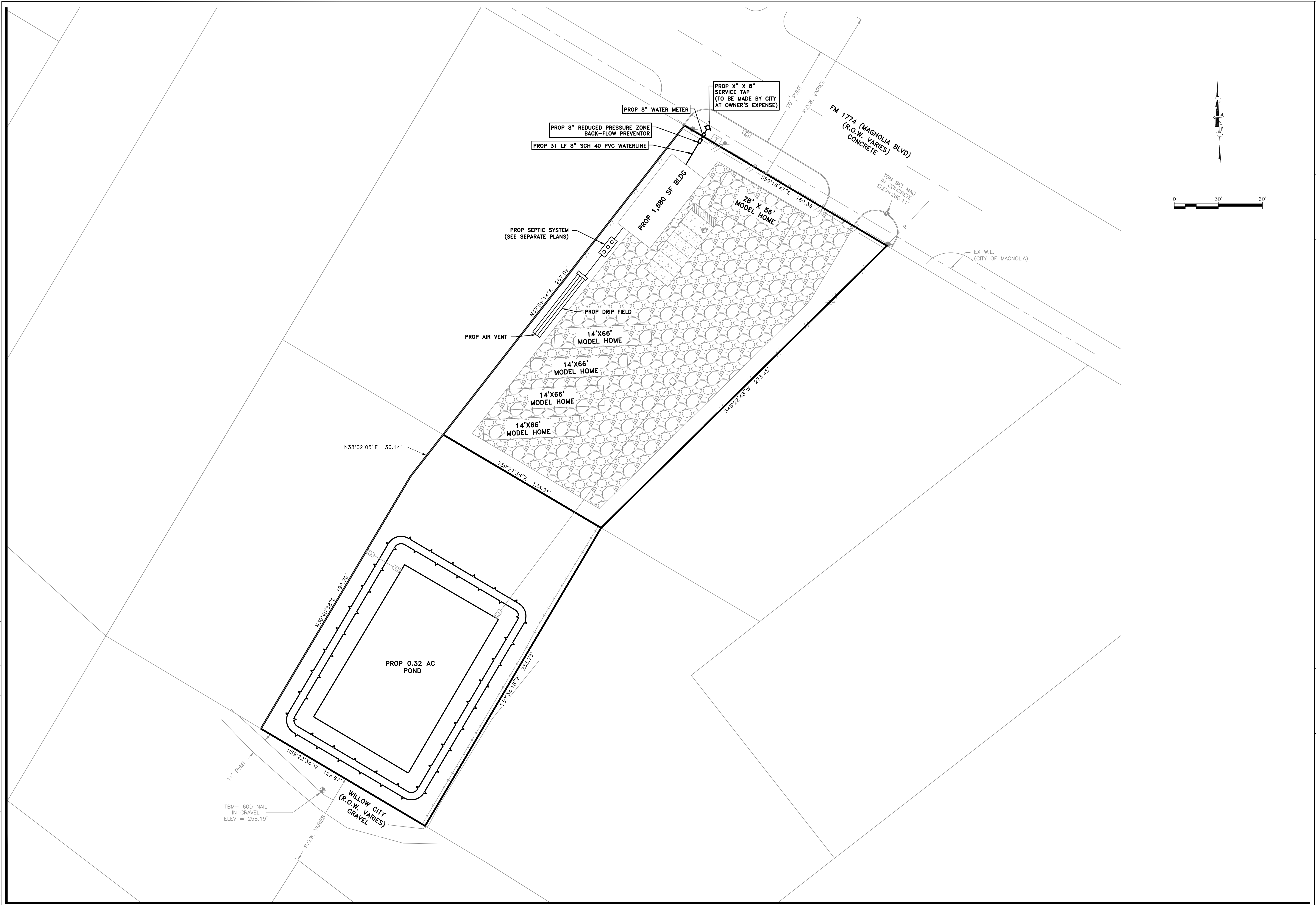
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		
1" = 30' (24x36)	05		
1" = 60' (11x17)			

JONATHAN M. PAYNE
139294
LICENSED PROFESSIONAL ENGINEER
DATE: 7/12/2022

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 38925 FM 1774
 MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

UTILITY PLAN

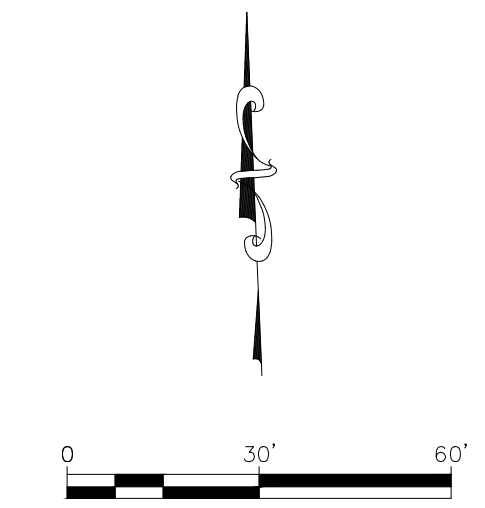
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		06
1" = 30' (24x36) 1" = 60' (11x17)			

Jonathan Payne
 DATE: 7/12/2022

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

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CUT AND FILL
 CUT = 899 CY
 FILL = 1014 CY
 NET = 115 CY (FILL)

GRADING LEGEND:

- (TW=???)** TOP OF WALK
- (TP=???)** TOP OF PAVEMENT
- (TG=???)** TOP OF GRATE
- (HB=???)** HIGHBANK
- (TOE=???)** TOE OF SLOPE
- (FL=???)** FLOWLINE
- (TC=???)** TOP OF CURB
- (RIM=???)** RIM OF STRUCTURE
- (WALL=???)** WALL TOP
- (FG=???)** FINISH GRADE
- (FF=???)** FINISH FLOOR
- (MEG=???)** MATCH EXISTING GRADE
- (MEP=???)** MATCH EXISTING PAVEMENT
- GRADE BREAK
- 1.0%** SLOPE

GRADING NOTES:

1. OWNER, CLIENTS AND/OR CONTRACTORS SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCED OF PAVEMENT PLACEMENT FOR A MANDATORY FORM AND/OR "BLUE TOP" INSPECTION. USE OF THESE PLANS IS CONTINGENT UPON ACCEPTANCE OF THIS NOTE.
2. ADDITIONAL GRADING DESIGN AND DETAILS MAY BE PROVIDED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING & PROPOSED SITE CONDITIONS INCLUDING GRADES & DIMENSIONS BEFORE CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY STRUCTURE WITH EXISTING PAVING.
4. ALL PROPOSED CONTOURS ARE APPROXIMATE PROPOSED SPOT ELEVATIONS & DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
5. UNLESS OTHERWISE NOTED, ALL PARKING LOT GRADES ARE TO TOP OF PAVEMENT, ADD 0.5' TO TOP OF PAVEMENT GRADE FOR TOP OF CURB GRADE.
6. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSWALKS SHALL CONFORM TO ALL APPLICABLE AMERICANS WITH DISABILITIES ACT STANDARDS. IF ANY DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO POURING ANY PAVEMENT.
7. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSWALKS, SHALL NOT EXCEED A RUNNING SLOPE OF 5% (1:20) WITHOUT A RAMP, AND SHALL NOT EXCEED A 2% CROSS SLOPE (1:50).
8. THE ACCESSIBLE PARKING AND PASSENGER LOADING AREAS SHALL NOT EXCEED A SLOPE OF 2% (1:50) IN ANY DIRECTION.
9. ALL EXISTING APPURTENANCES ONSITE SHALL BE ADJUSTED TO PROPOSED GRADE AS APPLICABLE.
10. CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR BUILDING PAD LIMITS AND PREPARATION REQUIREMENTS.
11. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
12. CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN.

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CLIENT INFORMATION
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PROJECT ADDRESS
 38925 FM 1774
 MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

GRADING PLAN

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

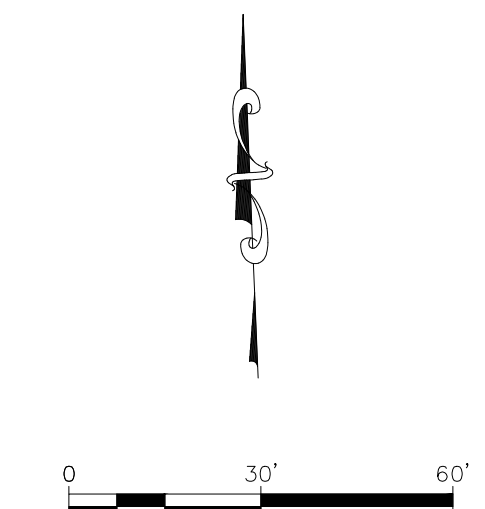
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PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	1" = 30' (24x36)	SHEET	07
	1" = 60' (11x17)		

JONATHAN M. PAYNE
 139294
 LICENSED PROFESSIONAL ENGINEER
 STATE OF TEXAS

DATE: 7/12/2022

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MHT HOMES - MAGNOLIA PRE-DEVELOPED DRAINAGE AREA MAP

- PRE-DEVELOPED DRAINAGE LEGEND:
- PRE-DEVELOPED OVERALL DRAINAGE BREAKLINE
 - PRE-DEVELOPED DRAINAGE AREA NUMBER
 - PRE-DEVELOPED DRAINAGE AREA ACRES & FLOW (5 YEAR)
 - PRE-DEVELOPED OUTFALL NAME
 - PRE-DEVELOPED OUTFALL CUMULATIVE ACRES & FLOW (100 YEAR)
 - DRAINAGE FLOW DIRECTION

DRAWING ISSUE			
#	DATE	BY	* COMMENT
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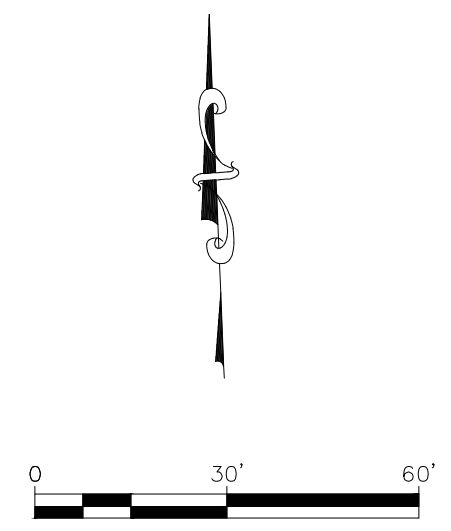
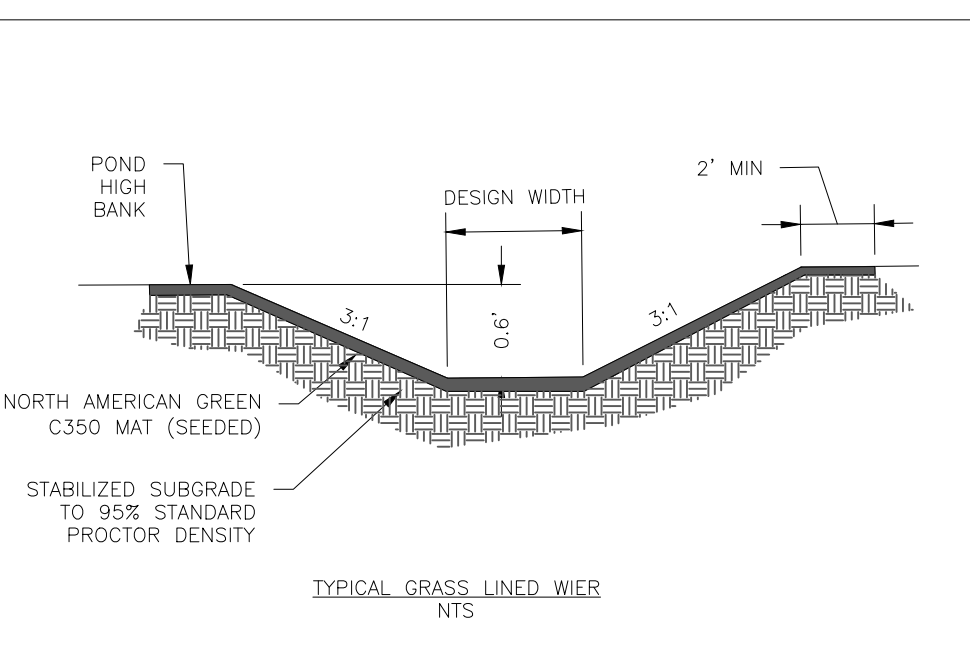
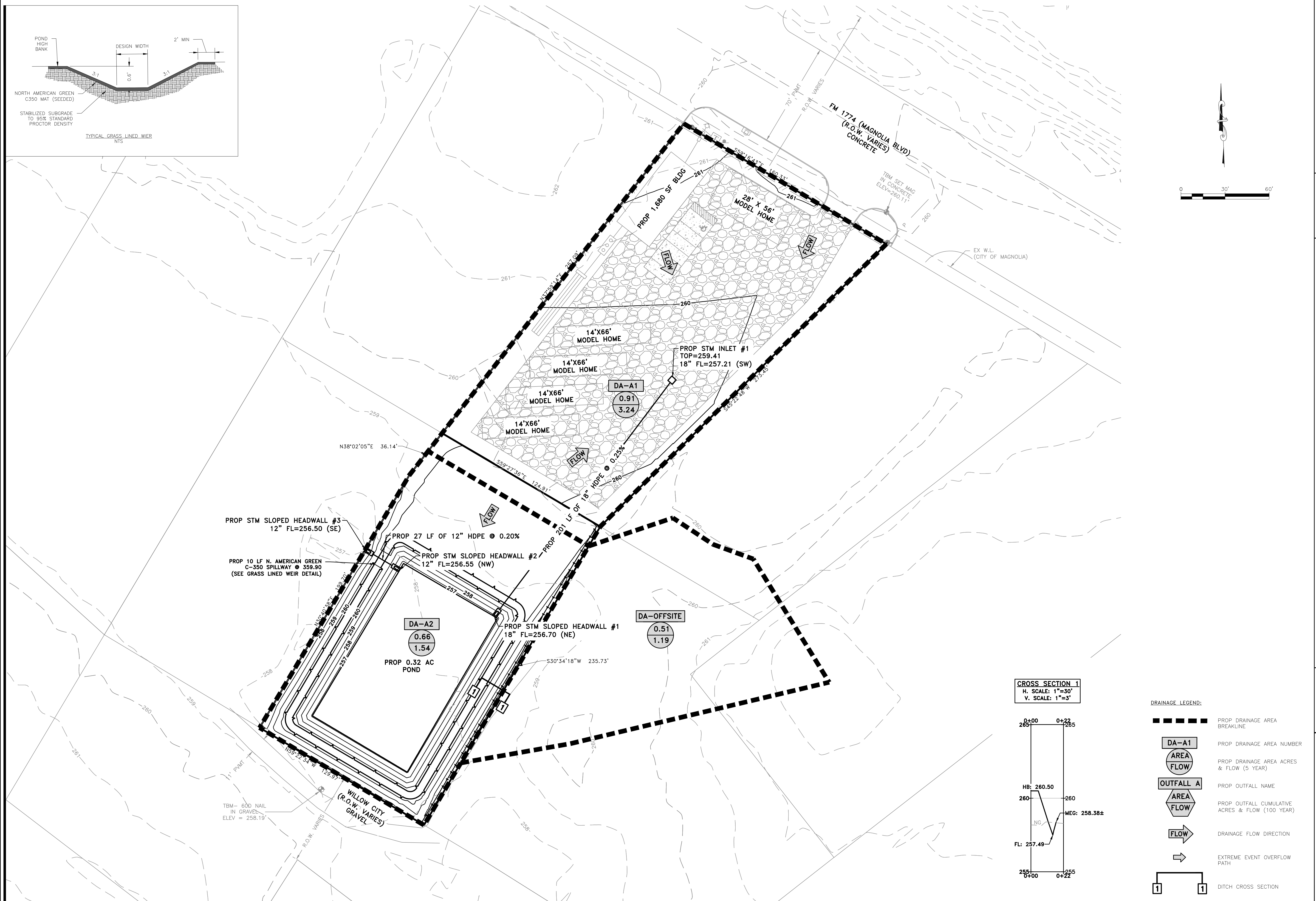
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PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		08
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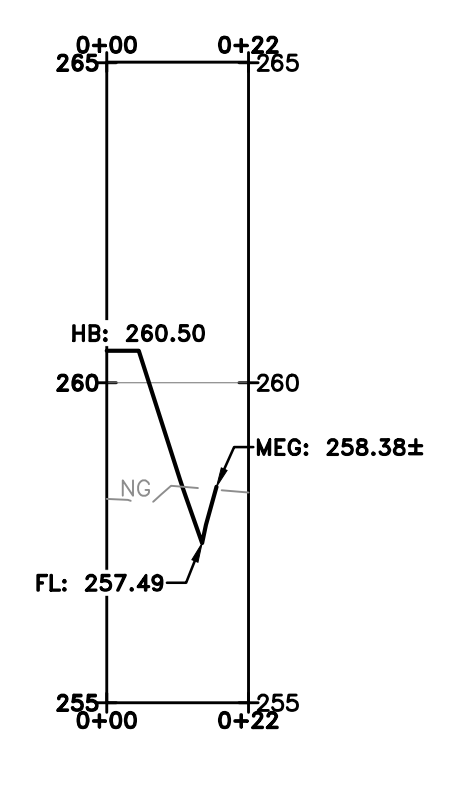
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CROSS SECTION 1
H. SCALE: 1"=30'
V. SCALE: 1"=3'



- DRAINAGE LEGEND:**
- PROP DRAINAGE AREA BREAKLINE
 - PROP DRAINAGE AREA NUMBER
 - PROP DRAINAGE AREA ACRES & FLOW (5 YEAR)
 - PROP OUTFALL NAME
 - PROP OUTFALL CUMULATIVE ACRES & FLOW (100 YEAR)
 - DRAINAGE FLOW DIRECTION
 - EXTREME EVENT OVERFLOW PATH
 - DITCH CROSS SECTION

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MHT HOMES - MAGNOLIA

DRAINAGE & STORM SEWER PLAN

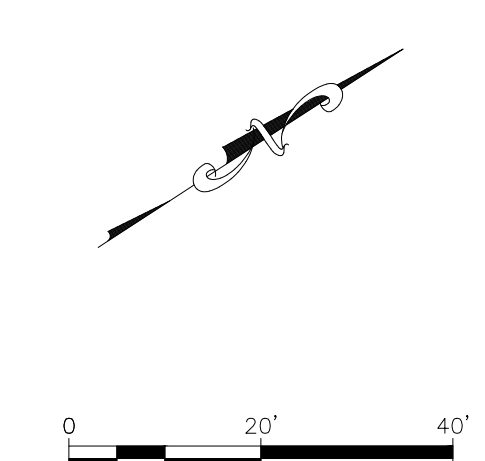
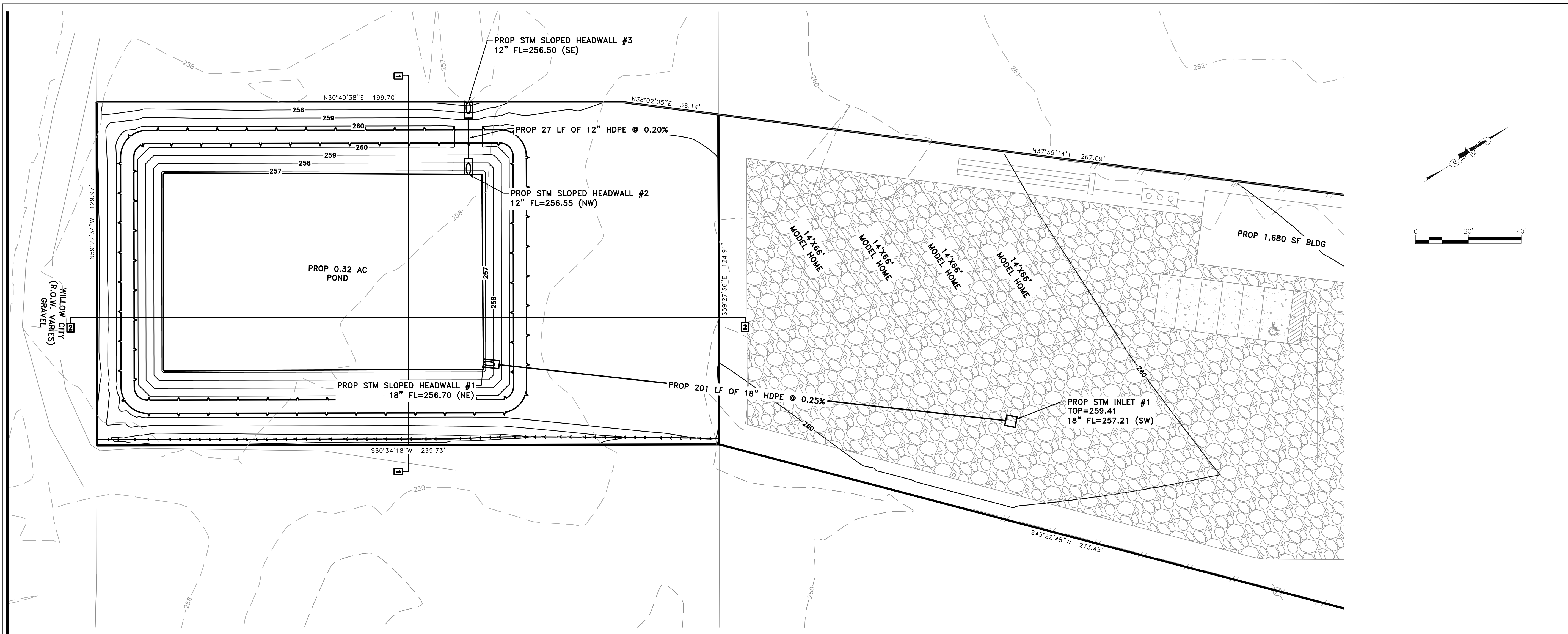
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DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	1" = 30' (24x36)		SHEET 09
	1" = 60' (11x17)		

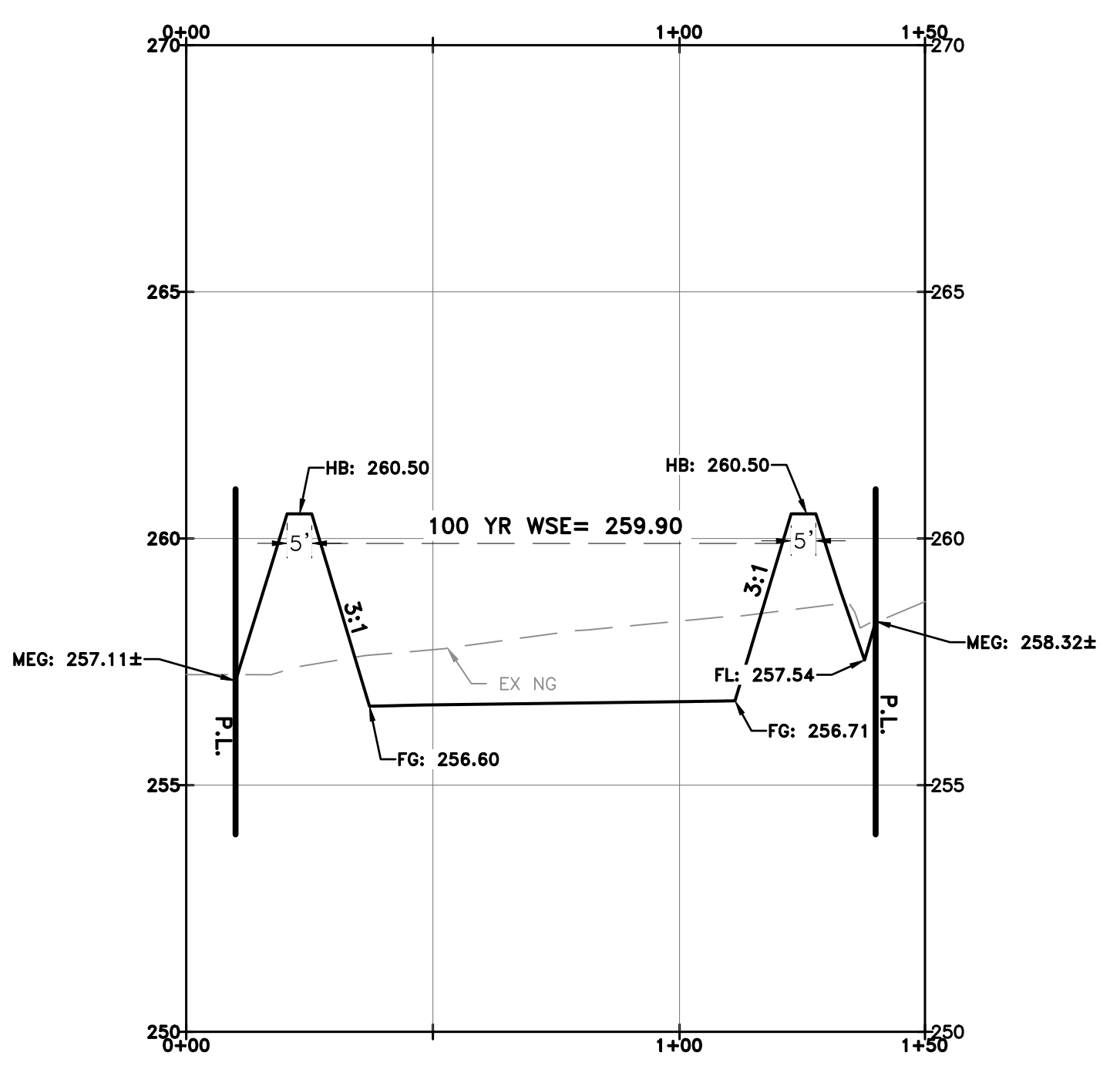
JONATHAN M. PAYNE
139294
LICENSED PROFESSIONAL ENGINEER
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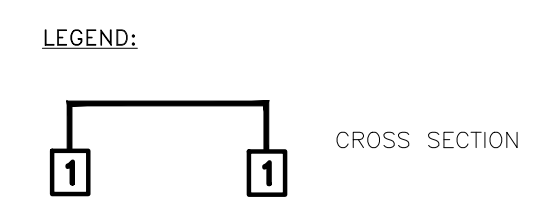
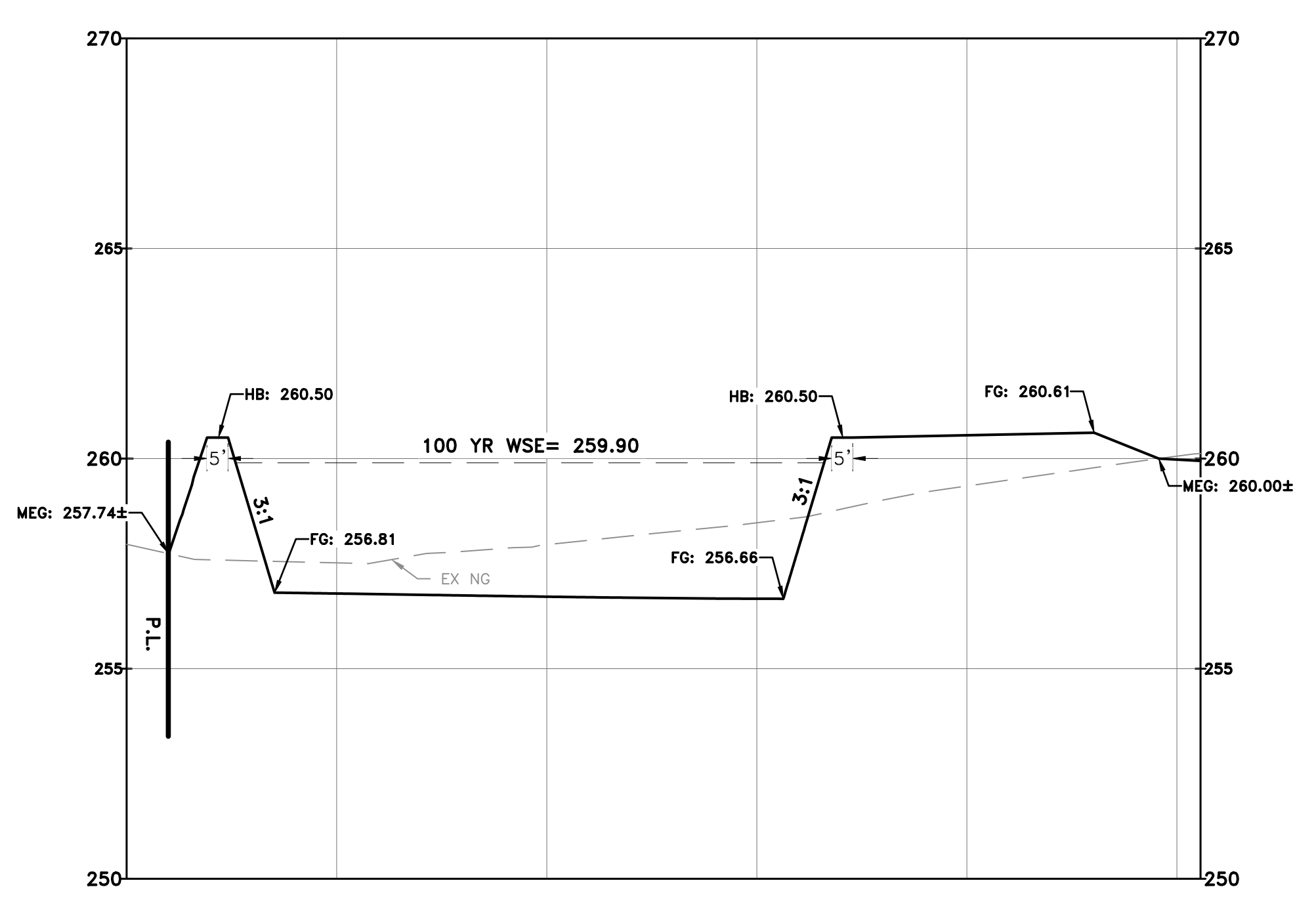
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CROSS SECTION 1
H. SCALE: 1"=30'
V. SCALE: 1"=3'



CROSS SECTION 2
H. SCALE: 1"=30'
V. SCALE: 1"=3'



L SQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.L2ENGINEERING.COM
3307 W. DAVIS STREET #100
CONROE, TEXAS 77384
OFFICE: 936-647-0430
21123 EVA STREET #200
MONTGOMERY, TEXAS 77356

CLIENT INFORMATION
MHT HOMES
GEORGE ENCISO
1403 ALDINE BENDER ROAD
HOUSTON, TX 77032
PROJECT ADDRESS
3825 FM 1774
MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

POND CROSS SECTIONS

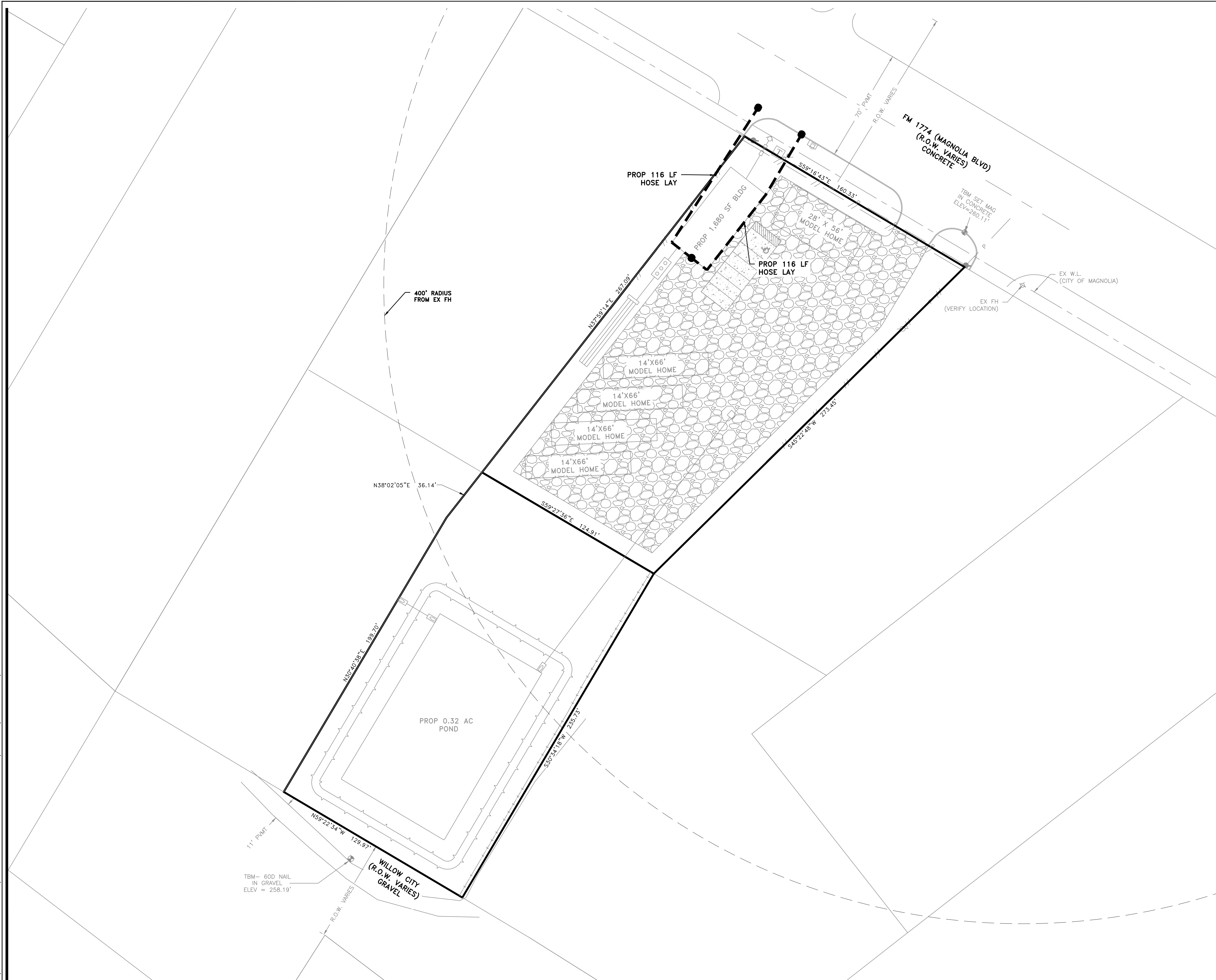
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		11
1" = 20' (24x36) 1" = 40' (11x17)			

JONATHAN M. PAYNE
139294
LICENSED PROFESSIONAL ENGINEER
DATE: 7/12/2022

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

S:\ENGINEERING PROJECTS\10711 - MHT HOMES-MAGNOLIA\03 CAD\DESIGN SET\12 FIRE LANE PLAN.DWG Jul. 12, 2022 - 3:03 PM



FIRE LANE LEGEND:

- FIRELANE
- TRUCK PATH
- HOSE LAY

FIRE LANE NOTES:

- FIRE LANES/FIRE APPARATUS ACCESS ROADS SHALL BE MARKED ON THE CURBS OR PAVEMENT WITH A RED STRIPE 4" IN HEIGHT AND STENCILED EVERY FIFTY FEET IN WHITE LETTERS AT LEAST 3" IN HEIGHT WITH THE WORDS, "FIRE LANE NO PARKING/TOW AWAY ZONE" SO AS TO PREVENT PARKING IN THE AREA. ALTERNATELY SIGNAGE MAY BE USED FOR NON-PAVED SURFACE

4" HIGH RED STRIPE
 3" HIGH STENCILED LETTERING
FIRE LANE NO PARKING/TOW AWAY ZONE

FIRE LANE STRIPING DETAIL
SCALE: NTS

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WWW.L2ENGINEERING.COM
3307 W. DAVIS STREET #100
CONROE, TEXAS 77384
OFFICE: 936-647-0430
21123 EVA STREET #200
MONTGOMERY, TEXAS 77356

CLIENT INFORMATION
MHT HOMES
GEORGE ENCISO
1403 ALDINE BENDER ROAD
HOUSTON, TX 77032
PROJECT ADDRESS
3825 FM 1774
MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

FIRE LANE PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION

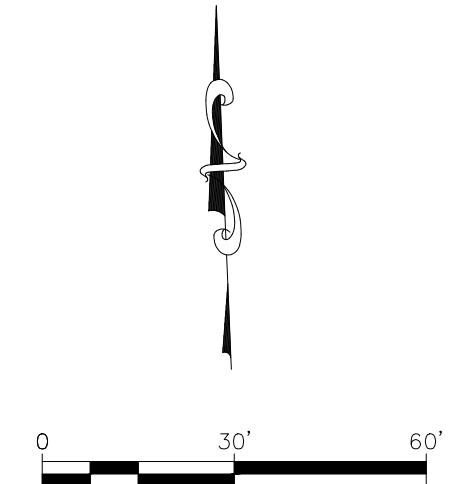
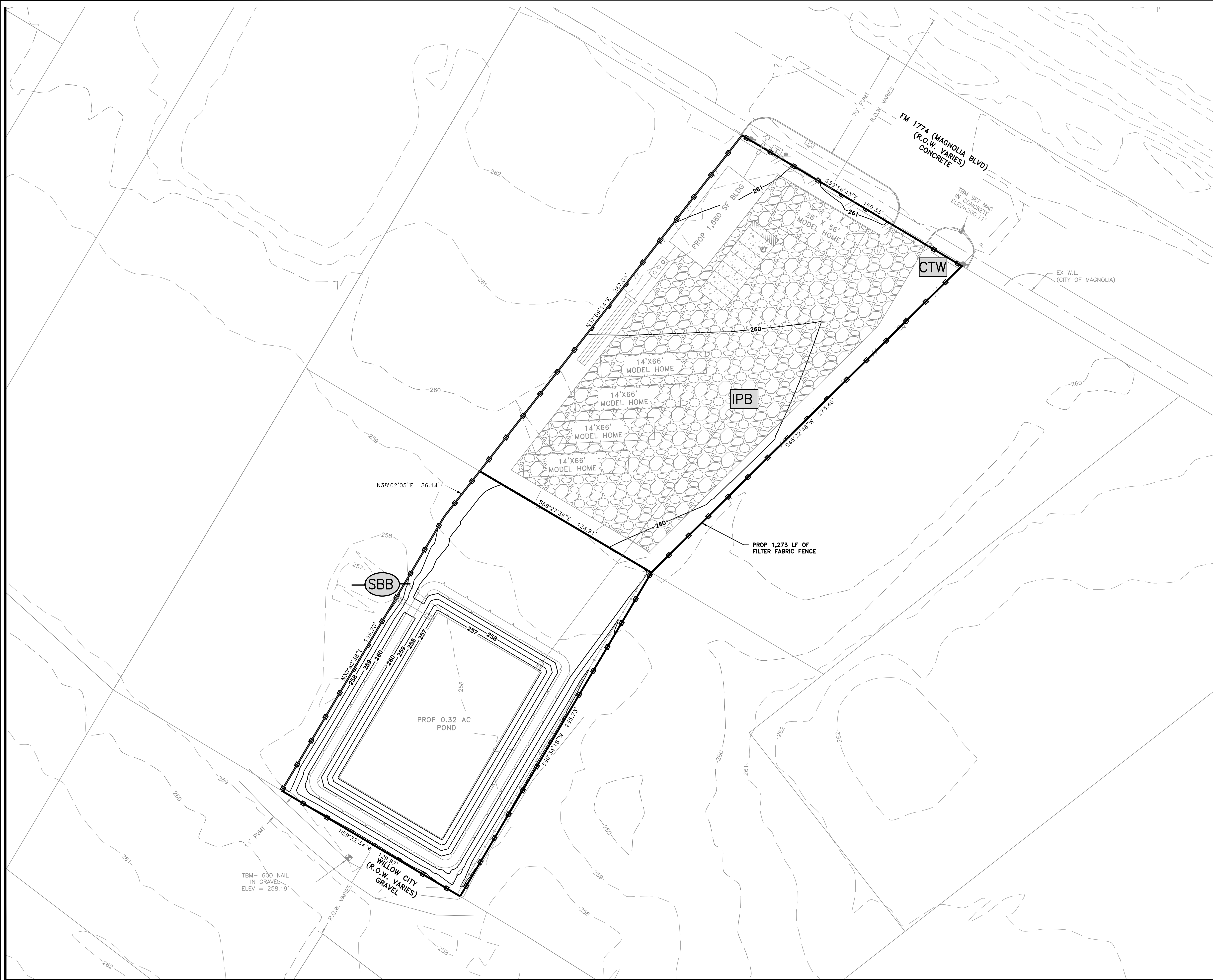
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	1" = 30' (24x36)	SHEET	12
	1" = 60' (11x17)		

JONATHAN M. PAYNE
139294
LICENSED PROFESSIONAL ENGINEER

DATE: 7/12/2022

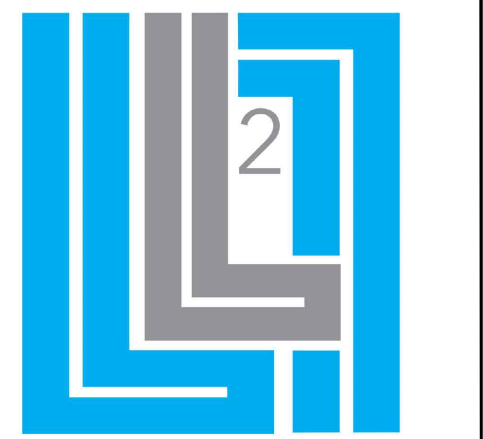
*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

S:\ENGINEERING PROJECTS\10711 - MHT HOMES-MAGNOLIA\03 CAD\DESIGN SET\13 SWPP PLAN.DWG Jul. 12, 2022-3:03 PM



- SWPP PLAN LEGEND:**
- CONTINUOUS FILTER FABRIC FENCE
 - STABILIZED CONSTRUCTION ENTRANCE
 - INLET PROTECTION BARRIER (PHASE I & PHASE II)
 - STRAW BALE BARRIER
 - CONCRETE TRUCK WASHOUT

SWPP PLAN NOTES:
 1. ADDITIONAL EROSION PROTECTION MEASURES MAY BE NECESSARY DURING CONSTRUCTION.



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 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.L2ENGINEERING.COM
 PWS REGISTRATION NUMBER 13125
 3307 W. DAVIS STREET #100
 CONROE, TEXAS 77384
 OFFICE: 936-647-0430
 21123 EVA STREET #200
 MONTGOMERY, TEXAS 77356

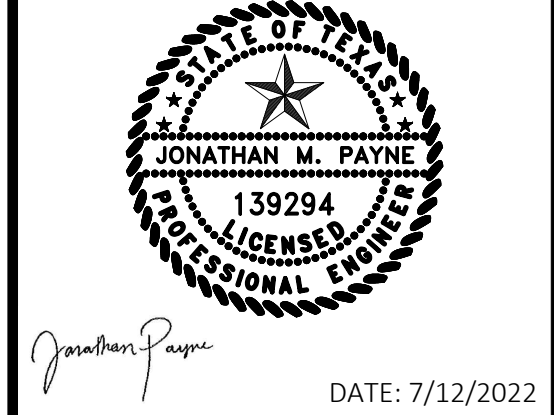
CLIENT INFORMATION
 MHT HOMES
 GEORGE ENCISO
 1403 ALDINE BENDER ROAD
 HOUSTON, TX 77032
PROJECT ADDRESS
 38925 FM 1774
 MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

SWPP PLAN

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		13
1" = 30' (24x36) 1" = 60' (11x17)			



DATE: 7/12/2022

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 9**

Background/Information:

An application for a drainage plan was received on August 1, 2022.

Comments:

Plan review letter sent to applicant by 8/4. Waiting for re-submittal as of 8/15.

Action Requested:

Approve drainage plan for MHT Homes

Recommendation:

Approve drainage plan for MHT Homes under the condition that it receives City Engineer approval.

Attachments:

Drainage Plan



Drainage Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION

Applicant

Name

3307 Davis St, Suite 100

Street Address

Conroe, TX 77304

City, State Zip

936-647-0420

Phone

Fax

jpayne@l2engineering.com

E-mail

Engineer

L Squared Engineering

Name

3307 Davis St, Suite 100

Street Address

Conroe, TX 77304

City, State Zip

936-647-0420

Phone

Fax

jpayne@l2engineering.com

E-mail

Property Owner (if different)

George Enciso

Name

1403 Aldine Bender Rd

Street Address

Houston, TX 77032

City, State Zip

713-489-8175

Phone

Fax

E-mail

PROPERTY PROFILE

Property ID # R210913

Site Address _____

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

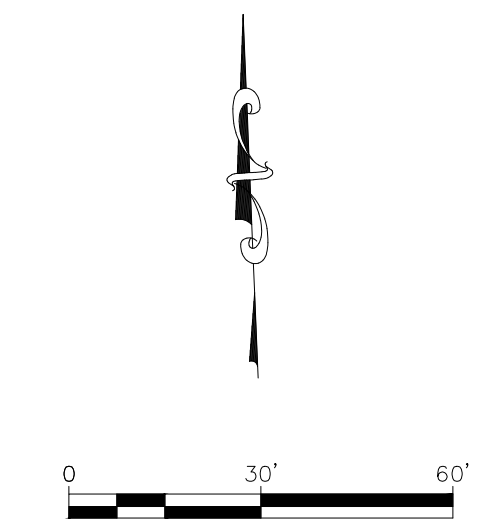
Vacant lots

Proposed Use of the Property

A commercial model homes site for mobile homes

Total Area of Site 1.57 Acres

S:\ENGINEERING PROJECTS\10711 - MHT HOMES-MAGNOLIA\03 CAD\DESIGN SET\08 DRAINAGE & STORM SEWER PLAN.DWG Jul. 12, 2022-3:09 PM



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3307 W. DAVIS STREET #100
CONROE, TEXAS 77384
OFFICE: 936-647-0430
21123 EVA STREET #200
MONTGOMERY, TEXAS 77356

CLIENT INFORMATION
MHT HOMES
GEORGE ENCISO
1403 ALDINE BENDER ROAD
HOUSTON, TX 77032
PROJECT ADDRESS
3825 FM 1774
MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

PRE-DEVELOPED DRAINAGE AREA MAP

- PRE-DEVELOPED DRAINAGE LEGEND:
- PRE-DEVELOPED OVERALL DRAINAGE BREAKLINE
 - PRE-DEVELOPED DRAINAGE AREA NUMBER
 - PRE-DEVELOPED DRAINAGE AREA ACRES & FLOW (5 YEAR)
 - PRE-DEVELOPED OUTFALL NAME
 - PRE-DEVELOPED OUTFALL CUMULATIVE ACRES & FLOW (100 YEAR)
 - DRAINAGE FLOW DIRECTION

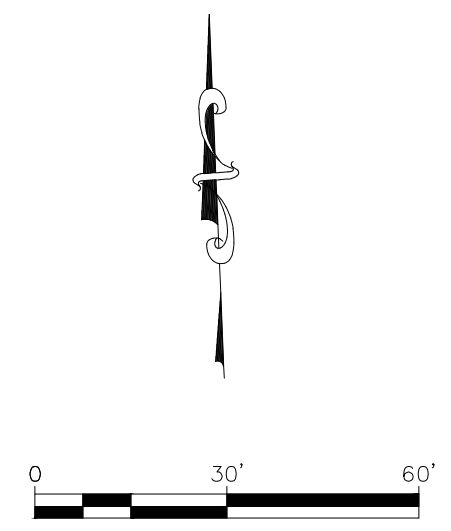
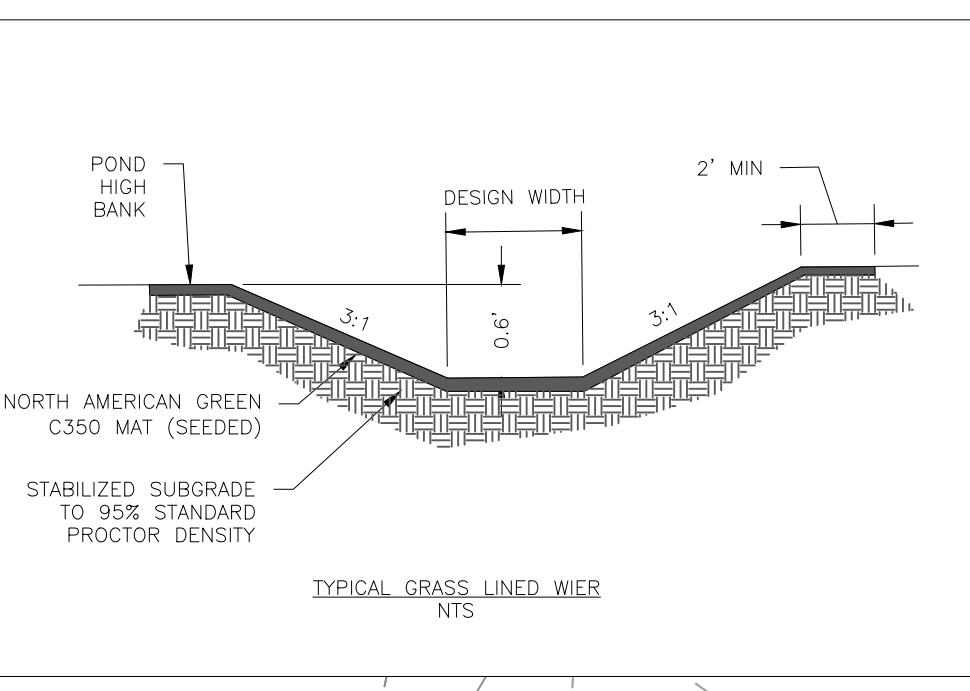
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	SHEET		08
1" = 30' (24x36) 1" = 60' (11x17)			

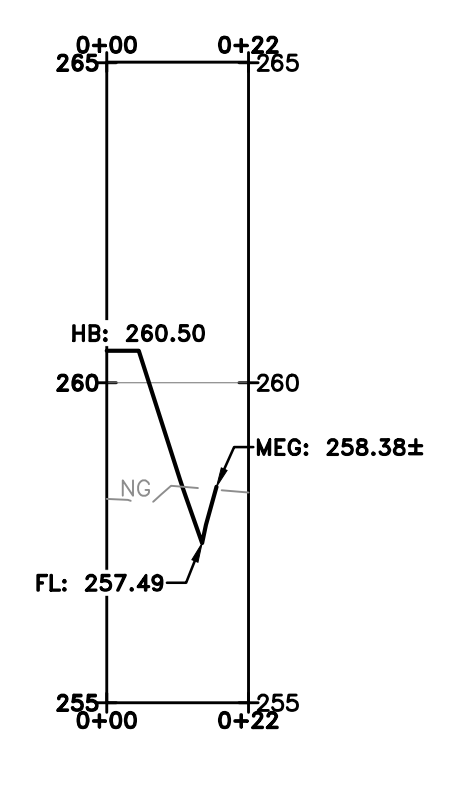
Jonathan Payne
DATE: 7/12/2022

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

S:\ENGINEERING PROJECTS\10711 - MHT HOMES-MAGNOLIA\03 CAD\DESIGN SET\08 DRAINAGE & STORM SEWER PLAN.DWG Jul. 12, 2022--3:12 PM



CROSS SECTION 1
H. SCALE: 1"=30'
V. SCALE: 1"=3'



- DRAINAGE LEGEND:**
- PROP DRAINAGE AREA BREAKLINE
 - PROP DRAINAGE AREA NUMBER
 - PROP DRAINAGE AREA ACRES & FLOW (5 YEAR)
 - PROP OUTFALL NAME
 - PROP OUTFALL CUMULATIVE ACRES & FLOW (100 YEAR)
 - DRAINAGE FLOW DIRECTION
 - EXTREME EVENT OVERFLOW PATH
 - DITCH CROSS SECTION

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3307 W. DAVIS STREET #300
CONROE, TEXAS 77384
OFFICE: 936-647-0430
21123 EVA STREET #200
MONTGOMERY, TEXAS 77356

CLIENT INFORMATION
MHT HOMES
GEORGE ENCISO
1403 ALDINE BENDER ROAD
HOUSTON, TX 77032
PROJECT ADDRESS
3825 FM 1774
MAGNOLIA, TX 77355

MHT HOMES - MAGNOLIA

DRAINAGE & STORM SEWER PLAN

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	7/12/22	RHM	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10711	TDLR	**
DRAWN	RHM	CHECKED	JP
SCALE	1" = 30' (24x36)	SHEET	09
	1" = 60' (11x17)		

JONATHAN M. PAYNE
139294
LICENSED PROFESSIONAL ENGINEER
DATE: 7/12/2022

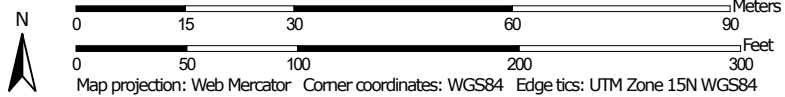
*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

Hydrologic Soil Group—Montgomery County, Texas



Soil Map may not be valid at this scale.

Map Scale: 1:1,040 if printed on A portrait (8.5" x 11") sheet.



**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 10**

Background/Information:

A re-submittal for a final plat was received on August 15, 2022.

Comments:

Final plan review expected to be issued before P&Z 8/18.

Action Requested:

Approve final plat for Glen Oaks Section 5.

Recommendation:

Approve preliminary plat for Glen Oaks Section 5 under the condition that it receives City Engineer approval.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

MIKALLA HODGES

Name

1575 SAWDUST RD, STE 400

Street Address

THE WOODLANDS, TX 77380

City, State Zip

281 363 4039

Phone

Fax

MHODGES@QUIDDITY.COM

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

MAGNOLIA I, LTD.

Name

5001 WOODWAY DR., UNIT 704

Street Address

HOUSTON, TX 77084

City, State Zip

713 703 7150

Phone

Fax

BILL@CARROLL-CPA.COM

E-mail

Engineer/Land Surveyor (if different)

WILLIAM AWALT

Name

1575 SAWDUST RD, STE 400

Street Address

THE WOODLANDS, TX 77380

City, State Zip

281 363 4039

Phone

Fax

WAWALT@QUIDDITY.COM

E-mail

PROPERTY PROFILE

Property ID # R56523

Legal Description CYRUS T. WARD SURVEY A-612, TRACT 6-D
(Subdivision) (Lot) (Block)

Current Zoning N/A.

Present Use of Property
VACANT

Proposed Use of the Property
SINGLE FAMILY RESIDENTIAL

Total Area of Site 35.20 ac

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

35.20 ac - TRACT 6-D, CYRUS T. WARD SURVEY, A-612

2. Description of proposed property change, including lot numbers, name, etc.

PROPOSED GLEN OAKS SEC 5 WILL CREATE 145 LOTS FOR SINGLE FAMILY RESIDENTIAL UNITS AND 5 RESERVES FOR OPEN SPACE / LANDSCAPE AND INCIDENTAL UTILITIES USE.

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
- Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

N/A

- The outer boundary lines of the parcel proposed for subdivision, with accurate distances, angles, and true bearings if available, and the exact location width of all recorded streets and ways intersecting the boundaries of the parcel being platted
- Distances and angles, or true bearings if available, to the established street lines or official monuments, which shall be accurately described on the plat
- Proposed names of streets
- Linear footage of proposed new right-of-way
- All block indications, if any; lot numbers; all individual areas designated by number or letter, and lots in new subdivision, numbered consecutively
- The accurate location, material, type and description of all permanent control monuments. Where no established bench mark exists, show permanent bench marks that have been established on the property based on mean sea level datum and shown on the plat
- Delineation and area of special use areas, including the location and size of proposed parks, playgrounds, protected resources and open spaces, sites for places of public assembly (including schools) or other special uses of land to be considered for dedication to public use, and of all property that may be granted by deed and covenants for the common use of the property owners in the subdivision, along with statements for responsibility for maintenance. Actual use descriptions must be provided on a separate attached description
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Proposed location, size, and linear footage of proposed potable water lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of natural gas lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of sanitary sewer lines and sewerage facilities, except individual treatment systems provided on utility and street construction plans
- Proposed location of fire hydrants, provided on utility and street construction plans
- N/A If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- N/A If the proposed subdivision is one of several phases, conceptual plans for the other phases
- N/A Traffic study (if necessary)
- All required notes, certifications, and signatures

I, MIRALLA HODGES (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.



Signature of Applicant

8/4/2022

Date

THE STATE OF TEXAS §
COUNTY OF MONTGOMERY §

We, MAGNOLIA I, L.P., a Texas limited partnership, acting by and through William Carroll, President (hereinafter referred to as "Owners") of the property subdivided in the above and foregoing map of Glen Oaks Section 5, do hereby make subdivision of said property according to the lines, streets, lots, alleys, parks, building lines, and easements thereon shown, and designate said subdivision as Glen Oaks Section 5, located in the Cyrus T. Ward, A-612, Montgomery County, Texas; and dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated

This is to certify that MAGNOLIA I, L.P., a Texas limited partnership, Owners of the property subdivided in the above and foregoing map of Glen Oaks Section 5, have complied or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners' Court of Montgomery County, Texas

FURTHER, Owners certifies that all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

1. That drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
2. Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

IN TESTIMONY WHEREOF, MAGNOLIA I, L.P., a Texas limited partnership, has caused these presents to be signed by William Carroll, President thereunto authorized, this ____day of _____, 20__.

MAGNOLIA I, L.P.,
a Texas limited partnership

By: _____
William Carroll, President

This is to certify that the City Council of the City of Magnolia, Texas has approved this plat and the subdivision of Glen Oaks Section 5 as shown thereon.

IN TESTIMONY WHEREOF, witness the official signature of the Mayor and the Secretary of the City Council of the City of Magnolia, Texas, this _____ day of _____, 2022.

Todd Kana
Mayor

Kandice Garrett
City Secretary

I, Jeff Johnson, P.E., county engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Montgomery County Commissioners Court.

I further certify that the plat of this subdivision complies with requirements for internal subdivision drainage as adopted by Commissioners Court; however, no certification is hereby given as to the effect of drainage from this subdivision on intercepting drainage artery or parent stream or on any other area of subdivision within the watershed.

Jeff Johnson, P.E.
County Engineer

I, Mark Turnbull, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 20____, at _____ o'clock __M., and duly recorded on _____, 20____, at _____ o'clock __M., in Cabinet ____Sheet _____, of record of Montgomery County for said county.

Witness my hand and seal of office, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk, County Court,
Montgomery County, Texas

by: _____
Deputy

Approved by the Commissioners Court of Montgomery County, Texas, this _____day of _____, 20____.

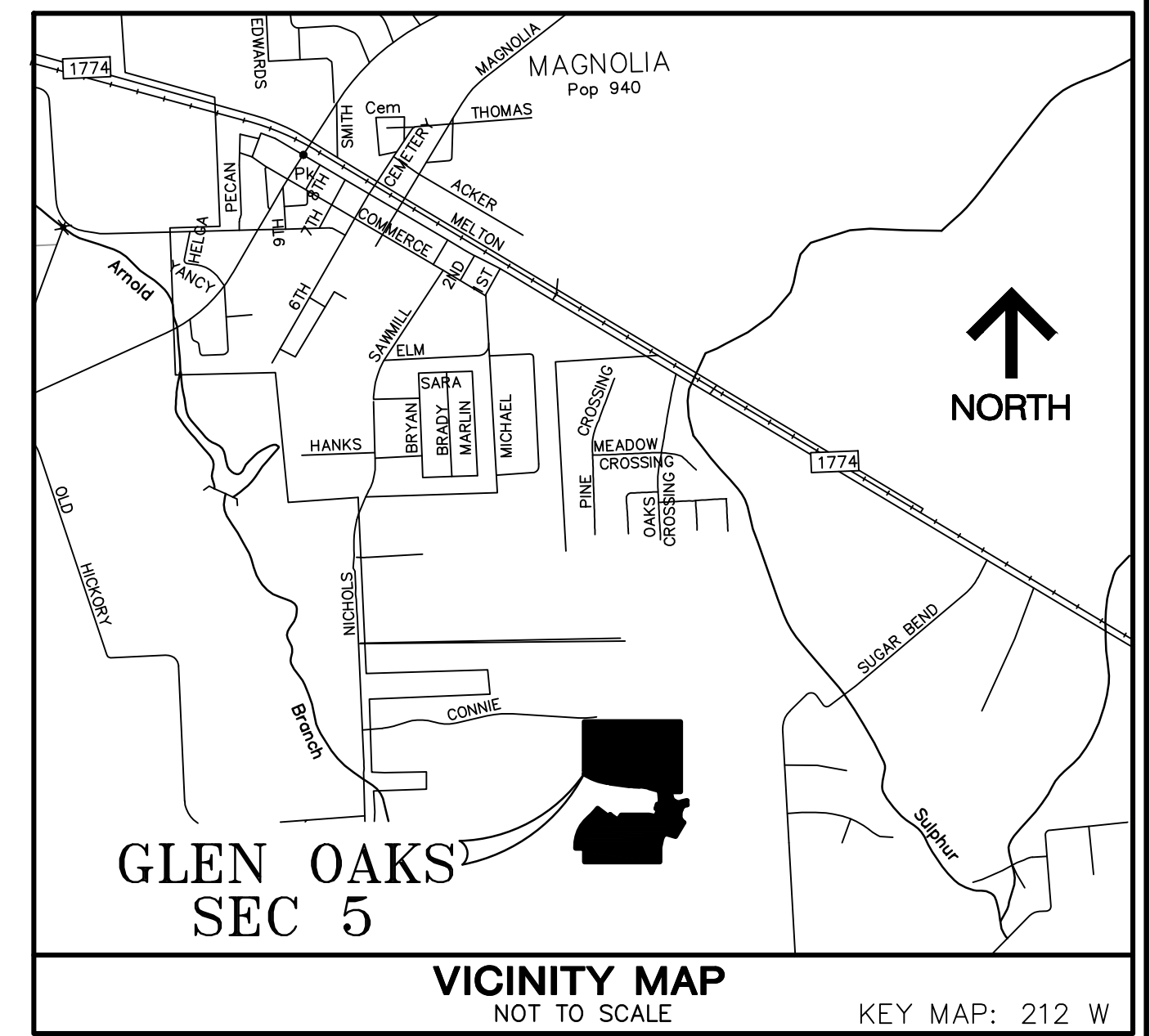
Robert C. Walker
Commissioner, Precinct 1

Charlie Riley
Commissioner, Precinct 2

Mark Keough
County Judge

James L. Noack
Commissioner, Precinct 3

James Metts
Commissioner, Precinct 4



STATE OF TEXAS §
COUNTY OF MONTGOMERY §

BEFORE ME, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein and herein state, and as the act and deed of said limited partnership.

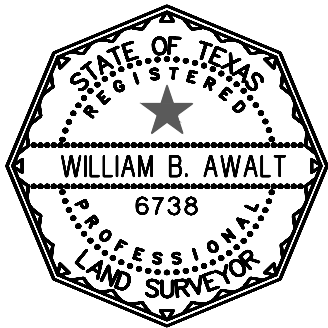
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____.

Notary Public in and for the State of Texas

Print Name

My Commission Expires:

I, William B. Awalt, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods have a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner.



William B. Awalt
Registered Professional Land Surveyor
Texas Registration No. 6738

GLEN OAKS SEC 5

A SUBDIVISION OF 35.20 ACRES OF LAND
OUT OF THE
CYRUS T. WARD SURVEY, A-612,
MONTGOMERY COUNTY, TEXAS

145 LOTS

5 RESERVES

10 BLOCKS

JULY 2022

DEVELOPER/OWNER:
MAGNOLIA I, LTD.
5001 Woodway Dr., Unit 704
Houston, Texas 77082

SURVEYOR:



ARNOLD ESTATES SECTION 1
CAB. D SHT. 110-B MCMR

CALLED 57.47 ACRES
MINERO HOLDINGS, LLC
CF NO. 2020074957
MCOPRRP

REMAINDER OF A CALLED
58.074 ACRES
MAGNOLIA I, LTD.
M.C.C.F. No. 98102745
MCOPRRP

GRAND OAKS
SECTION THREE
CABINET U, SHTS 195,
MCMR

GRAND OAKS
SECTION THREE
CABINET U, SHEET 195,
MCMR

GRAND OAKS
SECTION FOUR
REPLAT No. 2
CAB Z, SHT 4203
MCMR

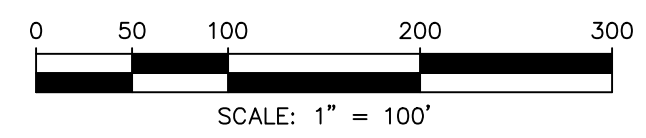
CALLED 8.000 ACRES
MITCHELL W. BETTIN AND WIFE,
TIFFANY A. BETTIN
CF NO. 2000-045141
MCOPRRP

CALLED 18.421 ACRES
DANIEL T. MINTER & VICKIE L. SANCHEZ
CF NO. 932490 MCOPRRP

CALLED 4.35464 ACRES (TRACT 1)
TROY STUCKEY AND SPOUSE LINDA STUCKEY
CF NO. 9725710 MCOPRRP

CALLED 4.32543 ACRES (TRACT 2)
TROY STUCKEY AND SPOUSE LINDA STUCKEY
CF NO. 9725710 MCOPRRP

- A RESTRICTED RESERVE "A"**
Restricted to Landscape/ Open Space/
Incidental Utility Purposes Only
0.02 AC
1,008 Sq. Feet
- B RESTRICTED RESERVE "B"**
Restricted to Landscape/ Open Space/
Incidental Utility Purposes Only
0.38 AC
16,863 Sq. Feet
- C RESTRICTED RESERVE "C"**
Restricted to Landscape/ Open Space/
Incidental Utility Purposes Only
0.84 AC
36,564 Sq. Feet
- D RESTRICTED RESERVE "D"**
Restricted to Landscape/ Open Space/
Incidental Utility Purposes Only
0.19 AC
8,119 Sq. Feet
- E RESTRICTED RESERVE "E"**
Restricted to Landscape/ Open Space/
Incidental Utility Purposes Only
0.31 AC
13,577 Sq. Feet



**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 11**

Background/Information:

An application for a preliminary plat was received on August 8, 2022.

Comments:

Plan review letter sent to applicant 8/15. Waiting for re-submittal as of 8/15.

Action Requested:

Approve preliminary plat for Water Plant #3.

Recommendation:

Approve preliminary plat for Water Plant #3 under the condition that it receives City Engineer approval.

Attachments:

Preliminary Plat



Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

CONTACT INFORMATION

Applicant

AMBER WHITING

Name

11111 RICHMOND AVE., SUITE 150

Street Address

HOUSTON, TEXAS 77082

City, State Zip

346-998-4044

Phone

N/A

Fax

amber.whiting@windroseservices.com

E-mail

Architect (if different)

N/A

Name

N/A

Street Address

N/A

City, State Zip

N/A

Phone

N/A

Fax

N/A

E-mail

Property Owner (if different)

MAGNOLIA 4A ECONOMIC DEVELOPMENT CORPORATION

Name

18111 BUDDY RILEY BLVD

Street Address

MAGNOLIA, TEXAS 77354

City, State Zip

281-356-2266

Phone

N/A

Fax

N/A

E-mail

Engineer/Land Surveyor (if different)

AEI ENGINEERING

Name

11450 COMPAQ CENTER DRIVE, SUITE 660

Street Address

HOUSTON, TEXAS 77070

City, State Zip

281-350-7027

Phone

N/A

Fax

JNoeldner@baxterwoodman.com

E-mail

PROPERTY PROFILE

Property ID # R51127

Legal Description J.B. RICHARDS SURVEY 1 1
(Subdivision) (Lot) (Block)

Current Zoning RURUAL RESIDENTIAL (RU)

Present Use of Property
PROPERTY IS CURRENTLY NOT DEVELOPED - IT IS A WOODED AREA

Proposed Use of the Property
2.281 ACRES, FOR THE INTENDED USE OF A WATER PLANT

Total Area of Site 2.281

I, AMBER WHITING (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.


Signature of Applicant

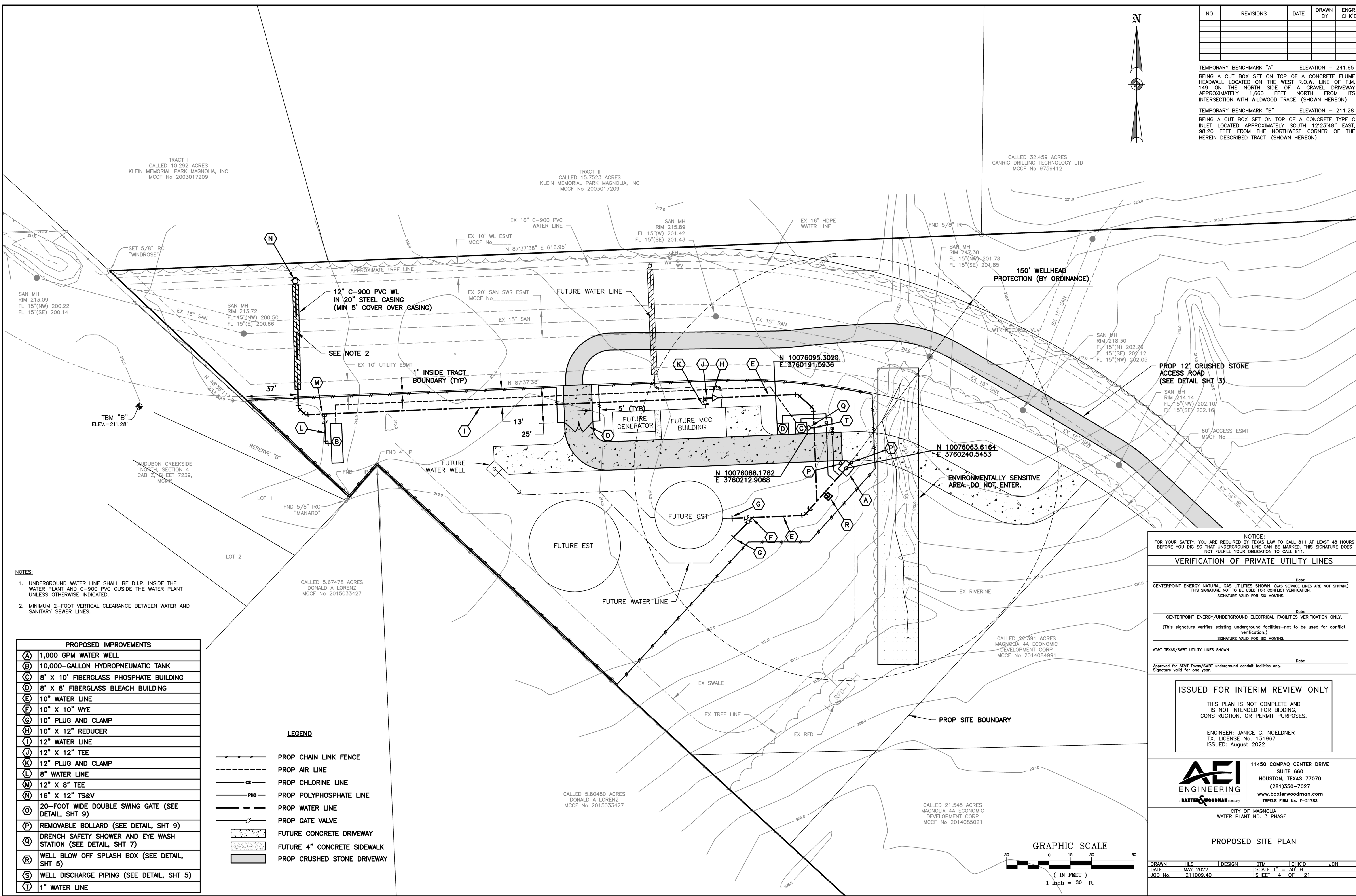
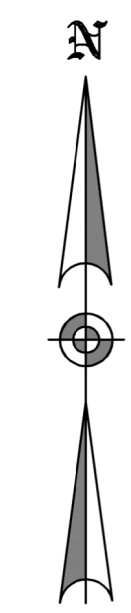
8/3/2022

Date

NO.	REVISIONS	DATE	DRAWN BY	ENGR. CHK'D

TEMPORARY BENCHMARK "A" ELEVATION - 241.65
 BEING A CUT BOX SET ON TOP OF A CONCRETE FLUME HEADWALL LOCATED ON THE WEST R.O.W. LINE OF F.M. 149 ON THE NORTH SIDE OF A GRAVEL DRIVEWAY APPROXIMATELY 1,660 FEET NORTH FROM ITS INTERSECTION WITH WILDWOOD TRACE. (SHOWN HEREON)

TEMPORARY BENCHMARK "B" ELEVATION - 211.28
 BEING A CUT BOX SET ON TOP OF A CONCRETE TYPE C INLET LOCATED APPROXIMATELY SOUTH 12°23'48" EAST, 98.20 FEET FROM THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT. (SHOWN HEREON)



- NOTES:**
- UNDERGROUND WATER LINE SHALL BE D.I.P. INSIDE THE WATER PLANT AND C-900 PVC OUTSIDE THE WATER PLANT UNLESS OTHERWISE INDICATED.
 - MINIMUM 2-FOOT VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINES.

PROPOSED IMPROVEMENTS	
(A)	1,000 GPM WATER WELL
(B)	10,000-GALLON HYDRO-PNEUMATIC TANK
(C)	8' X 10' FIBERGLASS PHOSPHATE BUILDING
(D)	8' X 8' FIBERGLASS BLEACH BUILDING
(E)	10" WATER LINE
(F)	10" X 10" WYE
(G)	10" PLUG AND CLAMP
(H)	10" X 12" REDUCER
(I)	12" WATER LINE
(J)	12" X 12" TEE
(K)	12" PLUG AND CLAMP
(L)	8" WATER LINE
(M)	12" X 8" TEE
(N)	16" X 12" TS&V
(O)	20-FOOT WIDE DOUBLE SWING GATE (SEE DETAIL, SHT 9)
(P)	REMOVABLE BOLLARD (SEE DETAIL, SHT 9)
(Q)	DRENCH SAFETY SHOWER AND EYE WASH STATION (SEE DETAIL, SHT 7)
(R)	WELL BLOW OFF SPLASH BOX (SEE DETAIL, SHT 5)
(S)	WELL DISCHARGE PIPING (SEE DETAIL, SHT 5)
(T)	1" WATER LINE

LEGEND

	PROP CHAIN LINK FENCE
	PROP AIR LINE
	PROP CHLORINE LINE
	PROP POLYPHOSPHATE LINE
	PROP WATER LINE
	PROP GATE VALVE
	FUTURE CONCRETE DRIVEWAY
	FUTURE 4" CONCRETE SIDEWALK
	PROP CRUSHED STONE DRIVEWAY

NOTICE:
 FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES CAN BE MARKED. THIS SIGNATURE DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.

VERIFICATION OF PRIVATE UTILITY LINES

Date: _____
 CENTERPOINT ENERGY NATURAL GAS UTILITIES SHOWN. (GAS SERVICE LINES ARE NOT SHOWN.) THIS SIGNATURE NOT TO BE USED FOR CONFLICT VERIFICATION. SIGNATURE VALID FOR SIX MONTHS.

Date: _____
 CENTERPOINT ENERGY/UNDERGROUND ELECTRICAL FACILITIES VERIFICATION ONLY. (This signature verifies existing underground facilities—not to be used for conflict verification.) SIGNATURE VALID FOR SIX MONTHS.

AT&T TEXAS/SWBT UTILITY LINES SHOWN
 Date: _____
 Approved for AT&T Texas/SWBT underground conduit facilities only. Signature valid for one year.

ISSUED FOR INTERIM REVIEW ONLY

THIS PLAN IS NOT COMPLETE AND IS NOT INTENDED FOR BIDDING, CONSTRUCTION, OR PERMIT PURPOSES.

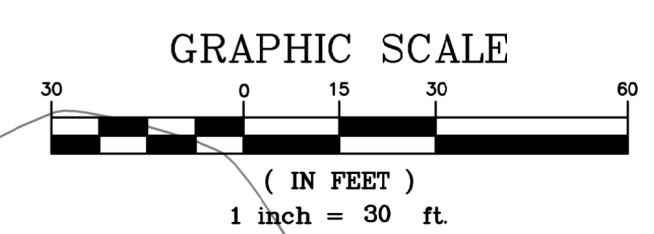
ENGINEER: JANICE C. NOELDNER
 TX. LICENSE No. 131967
 ISSUED: August 2022

AEI ENGINEERING
 11450 COMPAQ CENTER DRIVE SUITE 660 HOUSTON, TEXAS 77070 (281)350-7027 www.aei-engineering.com

CITY OF MAGNOLIA
 WATER PLANT NO. 3 PHASE I

PROPOSED SITE PLAN

DRAWN	HLS	DESIGN	DTM	CHK'D	JCN
DATE	MAY 2022	SCALE	1" = 30' H		
JOB No.	211009-40	SHEET	4 OF 21		



P:\MAGNOLIA\211009-Water Plant No. 3\10-Design\CAD\WP3-Phase 1\01-Plans\01_Plan.dwg, 8/4/2022 10:18:05 AM, Haley Miller

STATE OF TEXAS
COUNTY OF MONTGOMERY

We, Magnolia 4A Economic Development Corporation, acting by and through Robert Franklin, President, and Jake Kelly, Vice President, being officers of Magnolia 4A Economic Development Corporation, hereinafter referred to as the owner of the property subdivided in the above and foregoing map of WATER PLANT NO. 3, do hereby make subdivision of said property for and on behalf of said Magnolia 4A Economic Development Corporation, according to the lines, streets, alleys, parks, building lines, and easements therein shown, and designate said subdivision as WATER PLANT NO. 3, in the J.B. RICHARDS SURVEY, ABSTRACT NO. 449, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, and on behalf of said Magnolia 4A Economic Development Corporation, dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever, and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades, and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that WE, Magnolia 4A Economic Development Corporation, acting by and through Robert Franklin, President, and Jake Kelly, Vice President, being officers of Magnolia 4A Economic Development Corporation, owners of the property subdivided in the above and foregoing map of WATER PLANT NO. 3 have complied with or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

FURTHER, WE, Magnolia 4A Economic Development Corporation, acting by and through Robert Franklin, President, and Jake Kelly, Vice President, do hereby dedicate forever to the public a strip of land a minimum of fifteen (15) feet wide on each side of the centerline of all gullies, ravines, draws, sloughs or other natural drainage courses located in said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easement at any and all times for the purpose of construction and/or maintaining drainage work and/or structure.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

- The drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
- Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

IN TESTIMONY WHEREOF, WE, Magnolia 4A Economic Development Corporation has caused these presents to be signed by Robert Franklin, President, and Jake Kelly, Vice President, thereunto authorized, and its common seal hereunto affixed

this the _____ day of _____, 20____

By: MAGNOLIA 4A ECONOMIC DEVELOPMENT CORPORATION

By: Robert Franklin, President
Jake Kelly, Vice President

STATE OF TEXAS
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared Robert Franklin, President, and Jake Kelly, Vice President of Magnolia 4A Economic Development Corporation, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____

Notary Public in and for the State of Texas

My Commission Expires:

I, ROBERT KNESS, a Registered Professional Land Surveyor, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plot was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods having a diameter of less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plot boundary corners have been tied to the nearest survey corner.



ROBERT KNESS
Registered Professional Land Surveyor
Texas Registration No. 6486

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plot and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 20____, do approve this plot to be recorded in the official record at the Montgomery County Clerk's Office.

Scott A. Shelburne
Planning and Zoning Chairperson

Kandice Garrett
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plot and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 20____, do approve this plot to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana
Mayor

Kandice Garrett
City Secretary

I, Mark Turnbull, Clerk of the County Court of Montgomery County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 20____, at o'clock, ____M., and duly recorded on _____, 20____, at o'clock, ____M., in Cabinet _____, Sheet _____, of record of _____ for said County.

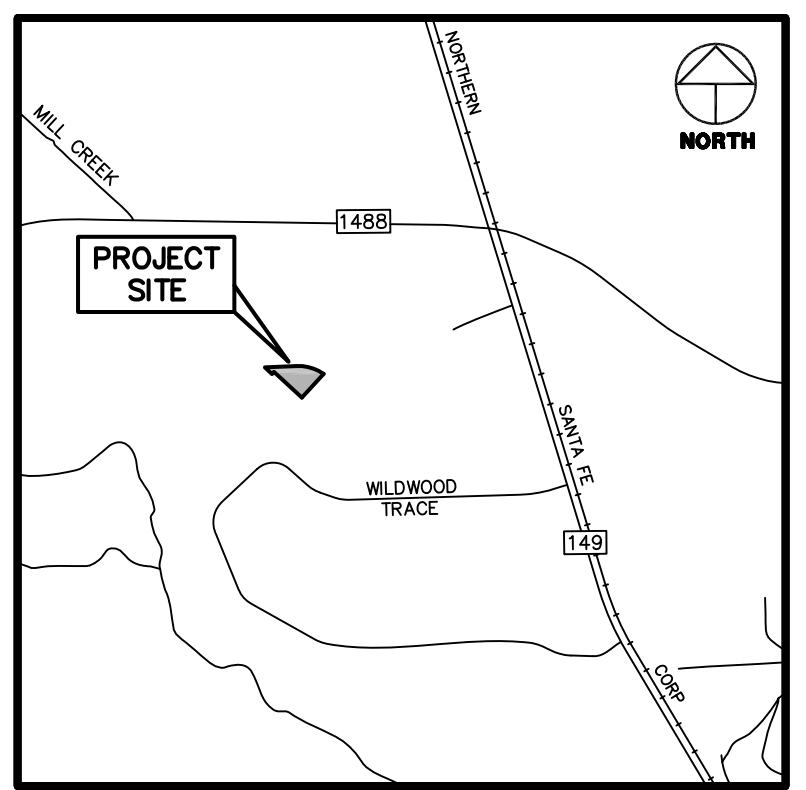
WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk, County Clerk
Montgomery County, Texas

By: _____
Deputy

GENERAL NOTES

- BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
- ALL COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES (NAD 83), AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999996245.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR MONTGOMERY COUNTY, TEXAS, MAP NO. 48029C0240G (REVISED/DATED SEPTEMBER 29, 2010), THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHARED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
- SUBDIVISION BENCHMARK IS A 3" BRASS DISK IN 6" CONCRETE COLUMN STAMPED "XXXXX XXXXX" SET ON THE NORTHWEST SIDE OF FM 1488, APPROXIMATELY 400' NORTH OF SMITH STREET. ELEVATION IS BASED ON STATIC OBSERVATIONS PERFORMED ON THE SITE AT THE TIME OF SURVEY THAT WAS POST PROCESSED THROUGH NGS OPUS. ELEVATION = XXXXX (NAVD 1988/91 ADJUSTED/GE0099).
- THE CITY OF MAGNOLIA HAS ADOPTED ZONING. THIS PROPERTY FALLS UNDER A RESIDENTIAL ZONING DISTRICT: RURAL RESIDENTIAL (RU). THIS DISTRICT IS FOR THE PURPOSE OF PRESERVING THE AGRICULTURAL USE OF LAND IN THE PERIPHERAL AREAS OF THE CITY. GENERALLY, IT IS NOT INTENDED FOR URBAN DEVELOPMENT YET IT MAY ACCOMMODATE INDIVIDUAL HOMESTEADS.
- PROPERTY IS SUBJECT TO THE ORDINANCES IF ANNEXATION EXECUTED BY THE CITY OF MAGNOLIA RECORDED UNDER COUNTY CLERK'S FILE NUMBERS 2014065510 AND 2014065511.



CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

VICINITY MAP
SCALE: 1" = 2,000'

ABBREVIATIONS

- FND - FOUND
- M.C.C.F. - MONTGOMERY COUNTY CLERK FILE
- M.C.D.R. - MONTGOMERY COUNTY DEED RECORDS
- M.C.M.R. - MONTGOMERY COUNTY MAP RECORDS
- IP - IRON PIPE
- IR - IRON ROD
- NO. - NUMBER
- PG. - PAGE
- R.O.W. - RIGHT-OF-WAY
- SQ. FT. - SQUARE FEET
- VOL. - VOLUME
- B.L. - BUILDING LINE
- W.L.E. - WATER LINE EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- U.E. - UTILITY EASEMENT

PRELIMINARY PLAT OF
WATER PLANT NO. 3
A SUBDIVISION OF
2.281 AC. / 99,358 SQ. FT.
SITUATED IN THE J.B. RICHARDS SURVEY,
ABSTRACT NO. 449, CITY OF MAGNOLIA,
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE

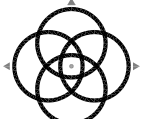
AUGUST 2022

Owner

Magnolia 4A Economic
Development Corporation

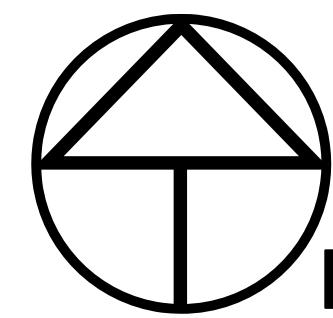
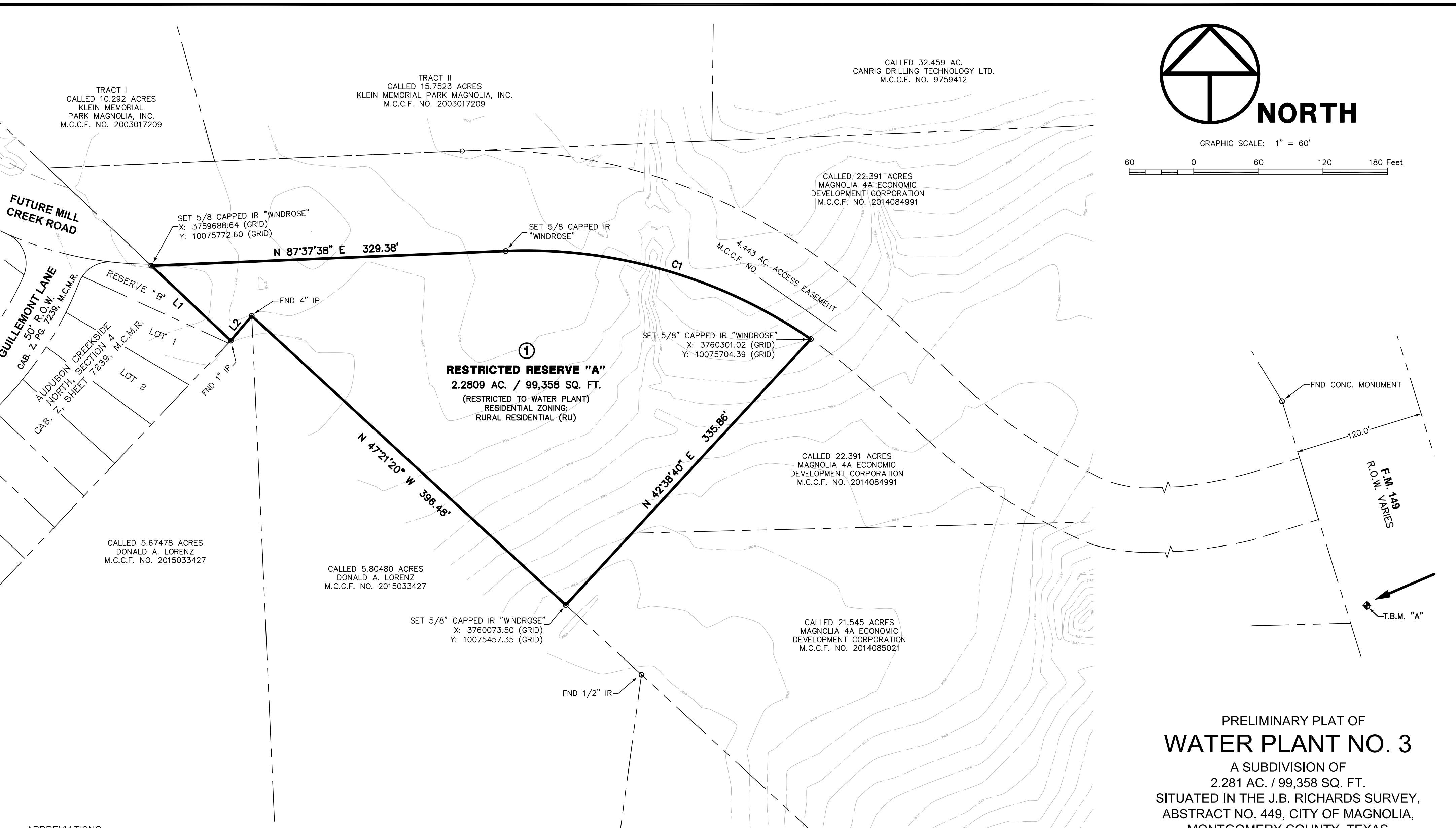
18111 Buddy Riley Blvd
Magnolia, TX 77354

Surveyor



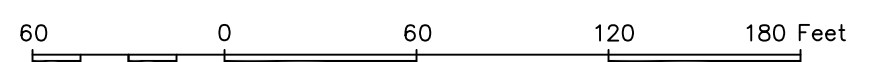
WINDROSE
LAND SURVEYING | PLATTING

11111 RICHMOND AVE., SUITE 150 | HOUSTON, TX 77062 | 713.458.2281
FIRM REGISTRATION NO. 10108890 | WINDROSESERVICES.COM



NORTH

GRAPHIC SCALE: 1" = 60'



ABBREVIATIONS

- FND - FOUND
- M.C.C.F. - MONTGOMERY COUNTY CLERK FILE
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- B.L. - BUILDING LINE
- W.L.E. - WATER LINE EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- U.E. - UTILITY EASEMENT

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	36°58'24"	465.00'	300.07'	S 73°53'10" E	294.89'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 46°38'11" W	101.40'
L2	S 40°21'23" W	30.13'

PRELIMINARY PLAT OF
WATER PLANT NO. 3
A SUBDIVISION OF
2.281 AC. / 99,358 SQ. FT.
SITUATED IN THE J.B. RICHARDS SURVEY,
ABSTRACT NO. 449, CITY OF MAGNOLIA,
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE

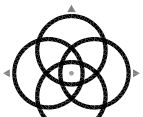
AUGUST 2022

Owner

Magnolia 4A Economic
Development Corporation

18111 Buddy Riley Blvd
Magnolia, TX 77354

Surveyor



WINDROSE
LAND SURVEYING | PLATTING

11111 RICHMOND AVE., SUITE 150 | HOUSTON, TX 77062 | 713.458.2281
FIRM REGISTRATION NO. 10108890 | WINDROSESERVICES.COM

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 12**

Background/Information:

An application for a major modification of a plat was received on August 9, 2022.

Comments:

Plan review letter was sent to applicant 8/12. Waiting for re-submittal as of 8/15.

Action Requested:

Approve major modification of plat for Melton Street Lots 1, 2, and 3.

Recommendation:

Approve major modification of plat for Melton Street Lots 1, 2, and 3 under the condition that it receives City Engineer approval.

Attachments:

Major Modification of Plat



Administrative Plat Application Form

This form shall be submitted with each application for an administrative plat.

CONTACT INFORMATION

Applicant

STEVE CREWS (C&C SURVEYING, INC.)

Name

33300 Egypt Lane, Suite F200

Street Address

MAGNOLIA, TEXAS 77354

City, State Zip

281-356-5172

Phone

N/A

Fax

survey@ccsurveying.com

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

NANCY R. PURVIS

Name

18806 Squirrel Oaks

Street Address

Magnolia, Texas 77355

City, State Zip

713-569-7320

Phone

N/A

Fax

nitamentalty@sbcglobal.net

E-mail

Engineer/Land Surveyor (if different)

Same as applicant

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____

STATE OF TEXAS

COUNTY OF MONTGOMERY

I, Nancy R. Purvis, owner of the property subdivided in the above foregoing map of Partial Replat of LEE ADDITION, do hereby make subdivision of said property according to the lines, streets, alleys, parks, building lines and easements therein shown, and designate said subdivision as Partial Replat of LEE ADDITION, in the Gamble Dawson Survey, Abstract Number 177, of Montgomery County, Texas; and dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our heirs and assigns to warrant and forever defend the title to the land so dedicated.

FURTHER, I, Nancy R. Purvis, do hereby dedicate forever to the public a strip of land a minimum of fifteen (15), feet wide on each side of the center line of any and all gullies, ravines, draws, sloughs or other natural drainage courses located in said subdivision, as easements for drainage purposes, giving Montgomery County and/or other public agency the right to enter upon said easement at any and all times for the purpose of construction and/or maintaining drainage work and/or structure.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title of the property, and shall be enforceable, at the the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

- 1. The drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
2. Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

FURTHER, we do hereby declare that all parcels of land designated as reserves on this plat are originally intended for the construction of commercial units thereon and shall be restricted for same under the terms and conditions of such restrictions filed separately, unless otherwise noted.

WITNESS MY HAND IN _____, Montgomery County, Texas, this __ day of _____, 2022.

Nancy R. Purvis

STATE OF TEXAS

COUNTY OF MONTGOMERY

Before me, the undersigned authority, on this day personally appeared Nancy R. Purvis, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and considerations therein expressed, and in the capacity therein set out.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of _____, 2022.

Notary Public in and for the State of Texas

My Commission expires: _____

I, Jeff Johnson, P.E., County Engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all the existing rules and regulations of this office as adopted by Montgomery County Commissioners Court.

I, further certify that the plat of this subdivision complies with the requirements for internal subdivision drainage as adopted by Commissioners Court; however, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other area of subdivision within the watershed.

Jeff Johnson, P.E.
County Engineer

APPROVED by the Commissioners Court of Montgomery County, Texas, this ___ day of _____, 20__.

Robert C. Walker, Charlie Riley
Commissioner, Precinct 1, Commissioner, Precinct 2

Mark Keough
County Judge

James Noack, James Metts
Commissioner, Precinct 3, Commissioner, Precinct 4

THE STATE OF TEXAS

COUNTY OF MONTGOMERY

I, Mark Turnbull, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 20__, at ___ o'clock, __M., and duly recorded on _____, 20__, at ___ o'clock, __M., and in cabinet _____, sheet _____, of record of _____ for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at the City of Conroe, the day and date last above written.

Mark Turnbull, Clerk, County Court,
Montgomery County, Texas

By: _____
Deputy

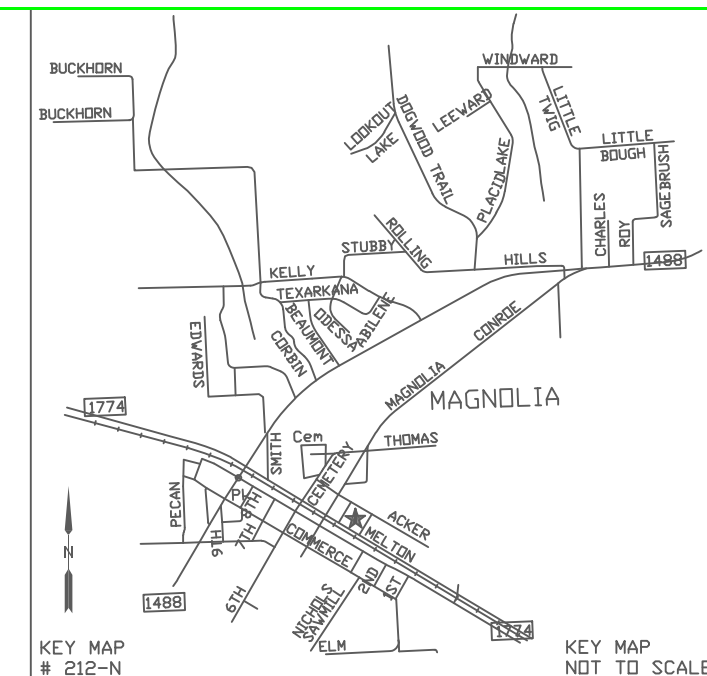
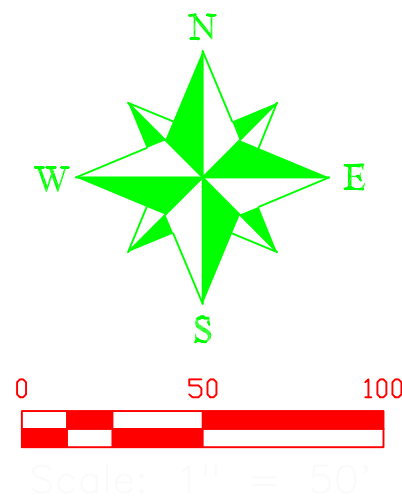
Approved this day of _____, 2022, by the City Council of the City of Magnolia, Texas.

Attest: _____

By: _____
City Secretary, Mayor

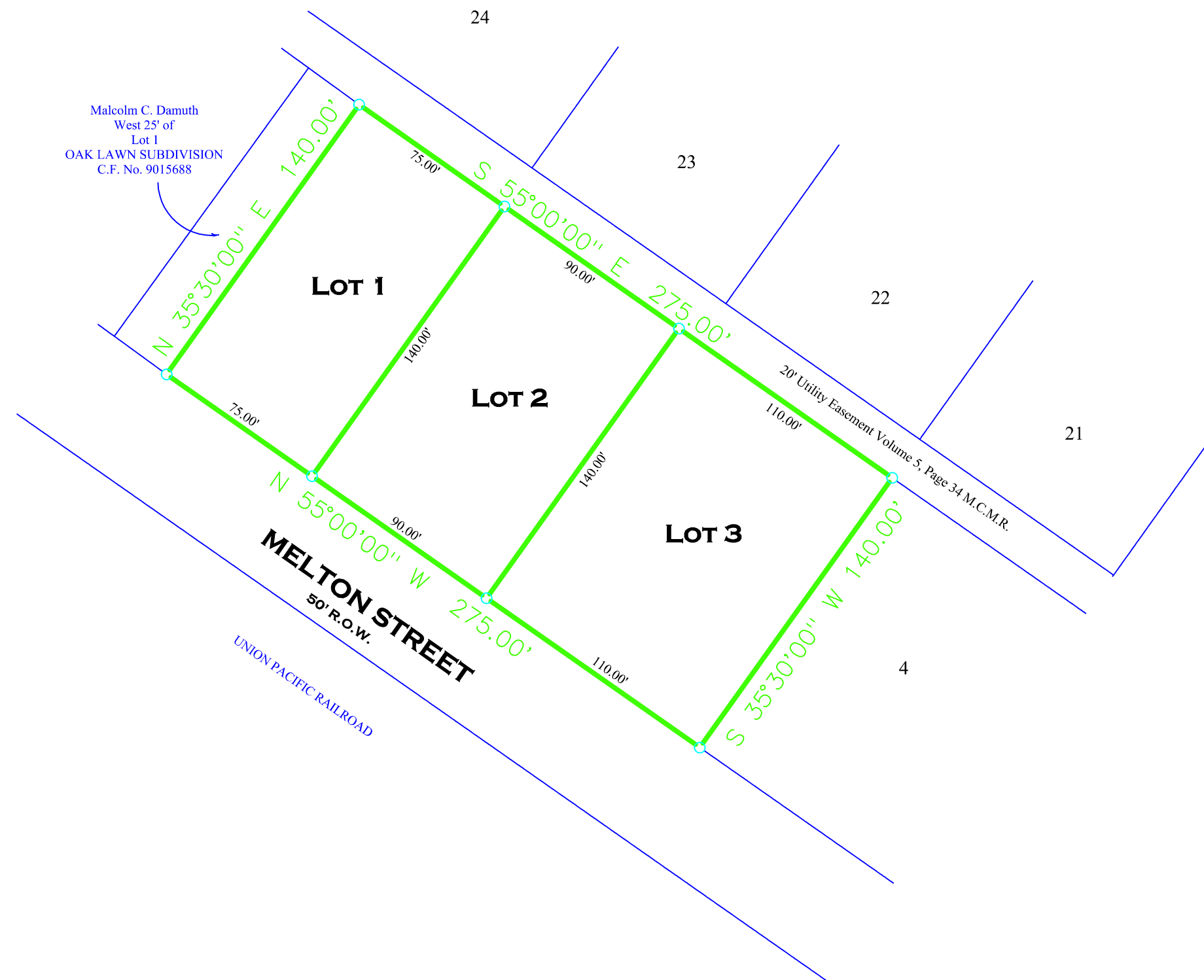
I, Steven L. Crews, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods have a diameter of not less than five-eighths of an inch (5/8"), and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner.

Steven L. Crews
Texas Registration No. 4141



- Notes:
1. Basis of Bearings: Recorded Plat.
2. This property lies within Zone 'X' as SCALED from FEMA Map Panel Number 48339C0478-F, dated December 19, 1996.
3. Subject to a 5 foot building line restriction on all side property lines unless stated otherwise.
4. Easements and building lines are per the recorded Replat of Deer Crossing.
5. The purpose of this Replat is to abandon two dedicated streets and cul-de-sacs, namely "Abilene" and "Laredo", to combine 10 lots into 2 reserves, and to change the use of "Reserve "E" from single family residential to restricted reserve for commercial purposes. Reserve "D" will be changed to restricted reserve for residential purposes.

M.R.M.C.T. = Map Records Montgomery County Texas
R.P.R.M.C.T. = Real Property Records Montgomery County Texas
FC# = Film Code Number
R.O.W. = Right of Way
B.L. & G.B.E. = Building Line & Green Belt Easement



Surveyor
NANCY R. PURVIS
18806 Aquirrel Oaks Drive,
Magnolia, Texas 77355

Surveyor
C & C SURVEYING INC.
Firm Number 10009400
33300 Egypt Lane, Suite F200
Magnolia, Texas 77354
Office: 281-356-5172
survey@surveying.com
www.ccsurveying.com

Partial Replat LEE ADDITION

Being a Replat of 0.884 acres situated in the Gamble Dawson Survey, Abstract Number 177, of Montgomery County, Texas, consisting of Lots 2 and 3 and the East 75 feet of Lot 1 of the LEE ADDITION TO MAGNOLIA, TEXAS, a subdivision according to the map or plat thereof recorded in Volume 5, Page 34, of the Map Records of Montgomery County, Texas.

Title 1 Block

August 2022
Sheet 1 of 1
28-0000

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 13**

Background/Information:

A re-submittal for a final plat was received on July 6, 2022.

Comments:

Plan review letter sent to applicant 8/15. Waiting for re-submittal as of 8/15.

Action Requested:

Approve final plat for Mill Creek Estates Section 7.

Recommendation:

Approve final plat for Mill Creek Estates Section 7 under the condition that it receives City Engineer approval.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

LJA Engineering, Inc.- Zach Zarse

Name

3600 W Sam Houston Parkway S Suite 600

Street Address

Houston, TX 77042

City, State Zip

713-580-4100

Phone

Fax

zzarse@lja.com

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Forestar (USA) Real Estate Group, Inc.

Name

3355 West Alabama Street, Suite 600

Street Address

Houston, TX 77098

City, State Zip

Phone

Fax

thomassikora@forestar.com

E-mail

Engineer/Land Surveyor (if different)

LJA Surveying, Inc.- Cameron S. Lowe

Name

3600 W Sam Houston Parkway S, Suite 175

Street Address

Houston, TX 77042

City, State Zip

713-953-5212

Phone

Fax

clowe@ljasurvey.com

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____

PROPERTY PROFILE

Legal Description Mill Creek Estates Section 7 176 7
 (Subdivision) (Lot) (Block)

Current Zoning PD

Present Use of Property
Agricultural/ Vacant

Proposed Use of the Property
Single Family Residential

Total Area of Site 47.307

Project Name: _____ Subdivision: _____ Reviewer: _____

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

N/A

2. Description of proposed property change, including lot numbers, name, etc.

Mill Creek Sec 7, 176 Lots, 7 Blocks, 6 Reserves (11.907 acres)

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

Project Name: _____ Subdivision: _____ Reviewer: _____

- The outer boundary lines of the parcel proposed for subdivision, with accurate distances, angles, and true bearings if available, and the exact location width of all recorded streets and ways intersecting the boundaries of the parcel being platted
- Distances and angles, or true bearings if available, to the established street lines or official monuments, which shall be accurately described on the plat
- Proposed names of streets
- Linear footage of proposed new right-of-way
- All block indications, if any; lot numbers; all individual areas designated by number or letter, and lots in new subdivision, numbered consecutively
- The accurate location, material, type and description of all permanent control monuments. Where no established bench mark exists, show permanent bench marks that have been established on the property based on mean sea level datum and shown on the plat
- Delineation and area of special use areas, including the location and size of proposed parks, playgrounds, protected resources and open spaces, sites for places of public assembly (including schools) or other special uses of land to be considered for dedication to public use, and of all property that may be granted by deed and covenants for the common use of the property owners in the subdivision, along with statements for responsibility for maintenance. Actual use descriptions must be provided on a separate attached description
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Proposed location, size, and linear footage of proposed potable water lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of natural gas lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of sanitary sewer lines and sewerage facilities, except individual treatment systems provided on utility and street construction plans
- Proposed location of fire hydrants, provided on utility and street construction plans
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)
- All required notes, certifications, and signatures

I, Zachary Zarse (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.

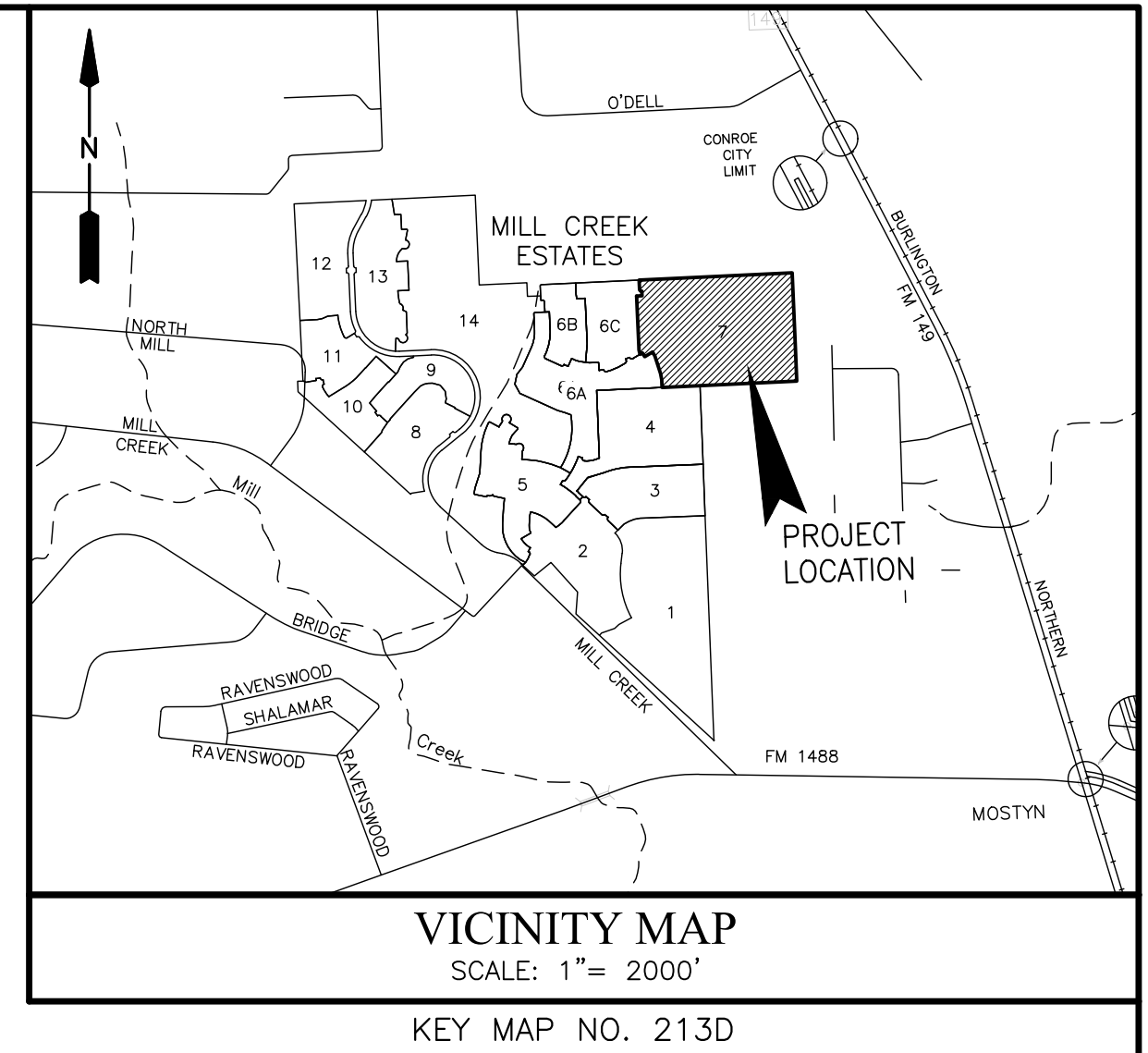
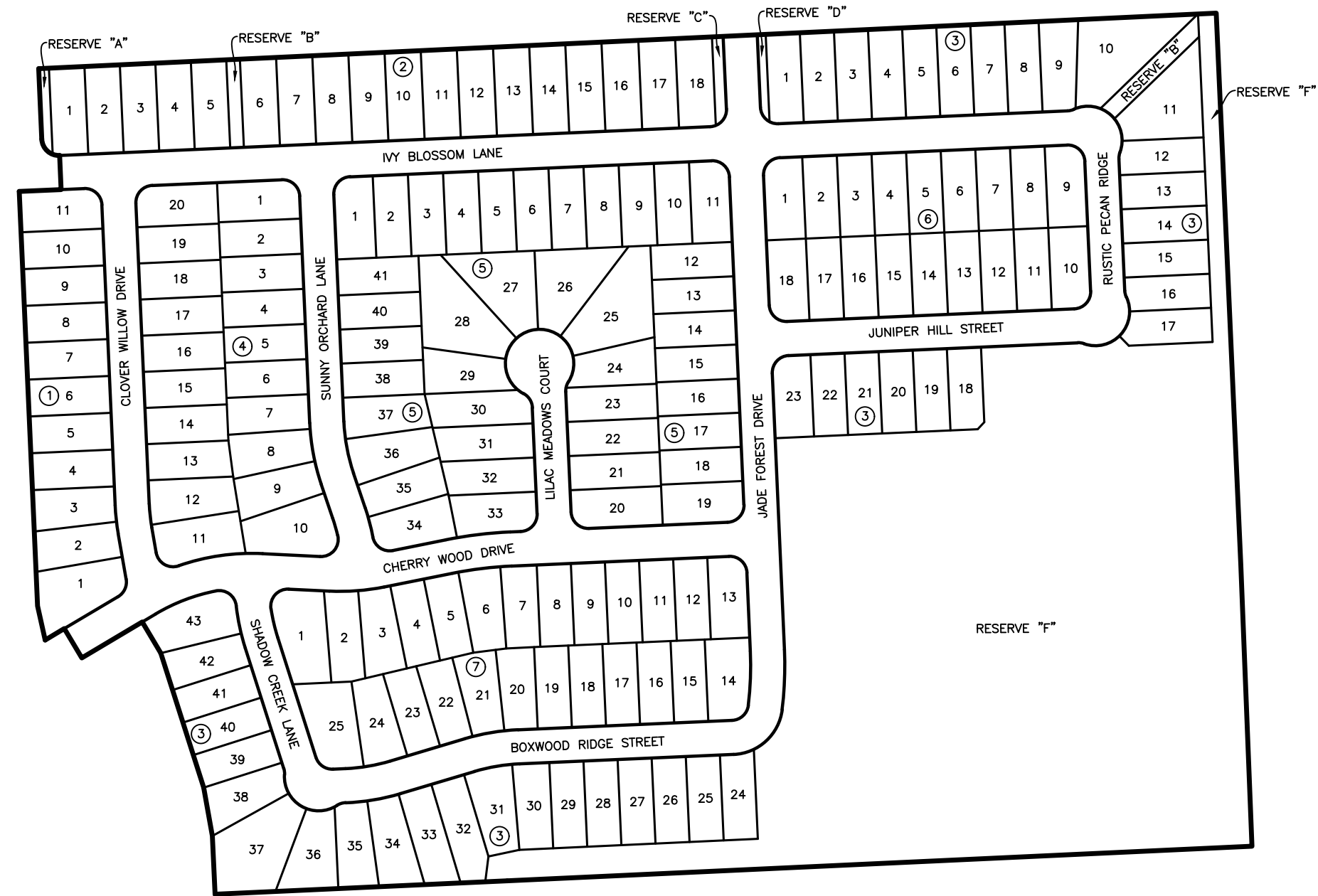
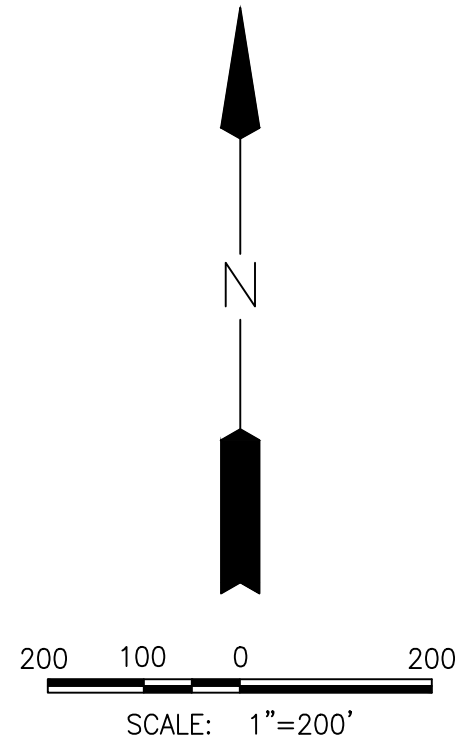


Signature of Applicant

08/08/2022

Date

Project Name: _____ Subdivision: _____ Reviewer: _____



MILL CREEK ESTATES SECTION 7

A SUBDIVISION OF 47.307 ACRES OF LAND SITUATED IN
THE JOHN B. RICHARDS SURVEY, ABSTRACT 449,
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS.

OWNER: FORESTAR (USA) REAL ESTATE GROUP, INC.
A DELAWARE CORPORATION
3355 WEST ALABAMA STREET, SUITE 210
HOUSTON, TEXAS 77098

DATE: AUGUST 3, 2022

176 LOTS
7 BLOCKS
6 RESERVES
11.907 ACRES IN RESERVE

SURVEYOR:

LJA Surveying, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 175 Fax 713.953.5026
Houston, Texas 77042 T.B.P.E.L.S. Firm No. 10194382

ENGINEER:

LJA Engineering, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

STATE OF TEXAS
COUNTY OF MONTGOMERY

WE, JUSTINE C. KLINKE AND BRIAN STIDHAM, VICE PRESIDENT AND DEVELOPMENT DIRECTOR, RESPECTIVELY OF FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MILL CREEK ESTATES SECTION 7, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MILL CREEK ESTATES SECTION 7, LOCATED IN THE JOHN B. RICHARDS SURVEY, ABSTRACT 449, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

THIS IS TO CERTIFY THAT WE, JUSTINE C. KLINKE AND BRIAN STIDHAM, VICE PRESIDENT AND DEVELOPMENT DIRECTOR, RESPECTIVELY OF FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MILL CREEK ESTATES SECTION 7, HAVE COMPLIED WITH OR WILL COMPLY WITH ALL REGULATIONS HERETOFORE ON FILE WITH THE MONTGOMERY COUNTY ENGINEER AND ADOPTED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY, TEXAS.

FURTHER, WE, FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, DO HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP OF LAND A MINIMUM OF FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE, WHICH RESTRICTIONS SHALL RUN WITH THE TITLE OF THE PROPERTY, AND SHALL BE ENFORCEABLE, AT THE OPTION OF MONTGOMERY COUNTY, BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION, AS FOLLOWS:

1. THE DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY, OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY, IS STRICTLY PROHIBITED.
2. DRAINAGE STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18" DIAMETER PIPE CULVERT).

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE ORIGINALLY INTENDED FOR THE CONSTRUCTION OF RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR THE SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY, UNLESS OTHERWISE NOTED.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF MILL CREEK ESTATES SECTION 7 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY JUSTINE C. KLINKE, ITS VICE PRESIDENT, THEREUNTO AUTHORIZED, BY ITS DEVELOPMENT DIRECTOR, BRIAN STIDHAM, THIS DAY OF _____, 2022.

FORESTAR (USA) REAL ESTATE GROUP, INC.
A DELAWARE CORPORATION

BY: _____
JUSTINE C. KLINKE, VICE PRESIDENT

ATTEST: _____
BRIAN STIDHAM, DEVELOPMENT DIRECTOR

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JUSTINE C. KLINKE, VICE PRESIDENT OF OF FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRIAN STIDHAM, DEVELOPMENT DIRECTOR OF OF FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, CAMERON S. LOWE, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT THE ELEVATION BENCHMARK REFLECTED ON THE FACE OF THE PLAT WAS ESTABLISHED AS REQUIRED BY REGULATION; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN FIVE-EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

CAMERON S. LOWE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6713

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MILL CREEK ESTATES SECTION 7 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

CHAIRMAN

CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS ACCEPTED THIS PLAT AND SUBDIVISION OF MILL CREEK ESTATES SECTION 7 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA
MAYOR

CITY SECRETARY

I, MARK J. MOONEY, P.E., COUNTY ENGINEER OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS' COURT.

I FURTHER CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH REQUIREMENTS FOR INTERNAL SUBDIVISION DRAINAGE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS' COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OR PARENT STREAM OR ON ANY OTHER AREA OF SUBDIVISION WITHIN THE WATERSHED.

MARK J. MOONEY, P.E.
MONTGOMERY COUNTY ENGINEER

APPROVED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY, TEXAS, THIS _____ DAY OF _____, 2022.

ROBERT C. WALKER
COMMISSIONER, PRECINCT 1

CHARLIE RILEY
COMMISSIONER, PRECINCT 2

MARK KEOUGH
COUNTY JUDGE

JAMES L. NOACK
COMMISSIONER, PRECINCT 3

JAMES METTS
COMMISSIONER, PRECINCT 4

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, MARK TURNBULL, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2022, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2022, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

MARK TURNBULL, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

OWNER: FORESTAR (USA) REAL ESTATE GROUP, INC.
A DELAWARE CORPORATION
3355 WEST ALABAMA STREET, SUITE 210
HOUSTON, TEXAS 77098

MILL CREEK ESTATES
SECTION 7

SHEET 2 OF 4

CALLED 75.690 ACRES
MIKE H. GARNER
DOC. NO. 2005072134
M.C.O.P.R.

CALLER 15.000 ACRES
MARK W. MCCOUGGIN AND
ANGELA B. MCCOUGGIN
DOC. NO. 2020026327
M.C.O.P.R.

CALLER 15.578 ACRES
JUAN RUEDA AND CATHERINE RUEDA
DOC. NO. 98101517
M.C.O.P.R.R.P.

CALLER 97.783 ACRES
CV, LLC.
DOC. NO. 2005072134, M.C.O.P.R.
DESCRIBED IN
F.N. 9453616, M.C.O.P.R.R.P.

P.O.B.
NAD83 GRID COORDINATES
X = 3,759,008.00
Y = 10,082,112.31

ROBIN GEORGE
SURVEY, A-469

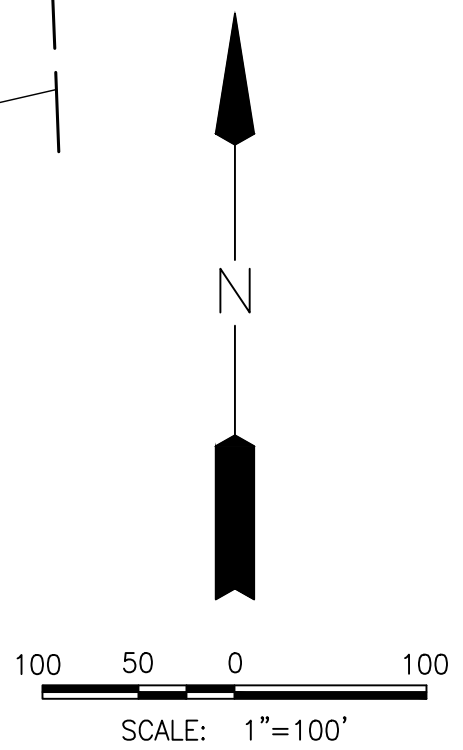
OWNER: FORESTAR (USA) REAL ESTATE GROUP, INC.
A DELAWARE CORPORATION
3355 WEST ALABAMA STREET, SUITE 210
HOUSTON, TEXAS 77098

MILL CREEK ESTATES
SECTION 7
SHEET 3 OF 4



RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	0.041	1,799	RESTRICTED TO LANDSCAPE/OPEN SPACE
B	0.059	2,585	RESTRICTED TO OPEN SPACE/DRAINAGE
C	0.046	2,024	RESTRICTED TO LANDSCAPE/OPEN SPACE
D	0.035	1,505	RESTRICTED TO LANDSCAPE/OPEN SPACE
E	0.106	4,622	RESTRICTED TO OPEN SPACE/DRAINAGE
F	11.620	506,188	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE
TOTAL	11.907	518,723	

- LEGEND**
- B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - STM.S.E. INDICATES STORM SEWER EASEMENT
 - D.E. INDICATES DRAINAGE EASEMENT
 - DOC. NO. INDICATES DOCUMENT NUMBER
 - F.N. INDICATES FILE NUMBER
 - CAB. INDICATES CABINET
 - SHTS. INDICATES SHEETS
 - M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
 - M.C.O.P.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
 - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
 - R.O.W. INDICATES RIGHT-OF-WAY
 - INDICATES STREET NAME CHANGE
 - P.O.B. INDICATES POINT OF BEGINNING
 - (F) INDICATES FOUND 5/8" INCH IRON ROD WITH CAP STAMPED "LJA SURVEY"
 - (S) INDICATES SET 5/8" INCH IRON ROD WITH CAP STAMPED "LJA SURVEY"



Date Time : 08 Aug 2022 14:50:00
Path Name : I:\Projects\PLATTING\1019 (03_PLATS)\Mill Creek Estates Section 7.dwg
MYLAR CHECK: COORD
DIR:



August 15, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: Mill Creek Estates Section 7 – Final Plat Review Letter
City of Magnolia
AEI Job No. 221696.80-001**

Dear Mr. Doering:

We received the final plat for the proposed Mill Creek Estates Section 7 development on August 8, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and are providing the following comments for your consideration:

1. Update the Montgomery County Engineer to Jeff Johnson for Sheet Two.
2. Update the notary signature blocks on Sheet Two for Montgomery County. They are currently shown as Harris County.
3. Provide radii at all cul-de-sacs and knuckles.
4. Label distances between the centerline and the right of way line where streets end of the plat boundary.
5. Update two recordation records for the abutting parcels on the west side of the plat near Cherry Creek Drive. Currently says, “Mill Creek Estates Section 6A Shts ---- MCMR”.
6. Provide a table with the square footage calculations for each lot in the subdivision.
7. Provide open space calculation for each lot below 5,400 square feet as the development agreement provides.
8. Provide interior lot, side, and rear street setbacks as provided in the development agreement.
9. Provide parkland dedication or fee in lieu as outlined in the development agreement at the time of final plat recordation.
10. Provide a draft copy of covenants, conditions, and restrictions as outlined in the development agreement at the time of final plat recordation.
11. Provide evidence that Mill Creek Estates Section 7 Preliminary Plat was approved.
12. Provide copies of the tax certificates.
13. Provide signed and sealed metes and bounds.
14. Approve proposed street names from Montgomery County Emergency Communication District.
15. Provide TCEQ approval for Mill Creek Section 7 water, sanitary, drainage, and pavement (WSDP) plans.
16. Provide evidence that the drainage plan, improvement plans, and Montgomery County maintenance bond have been approved per requirements in the development agreement.



17. Provide a Comment Response Letter indicating the changes made in the following review.
18. Final plat shall be signed and sealed by a Professional Surveyor licensed in Texas.
19. Obtain all applicable utility company and governmental agency signatures.
20. Construction shall not commence until final agency approvals are secured.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Robel E. Giackero, PE. – AEI Engineering, a Baxter & Woodman Company
Ms. Marie Escue – LJA Engineering, Inc.

**City of Magnolia
Planning & Zoning
Agenda Item Summary**

Date: August 15, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 14**

Background/Information:

An application for a site plan was received on August 1, 2022.

Comments:

Plan review letter expected to be sent to applicant by 8/15.

Action Requested:

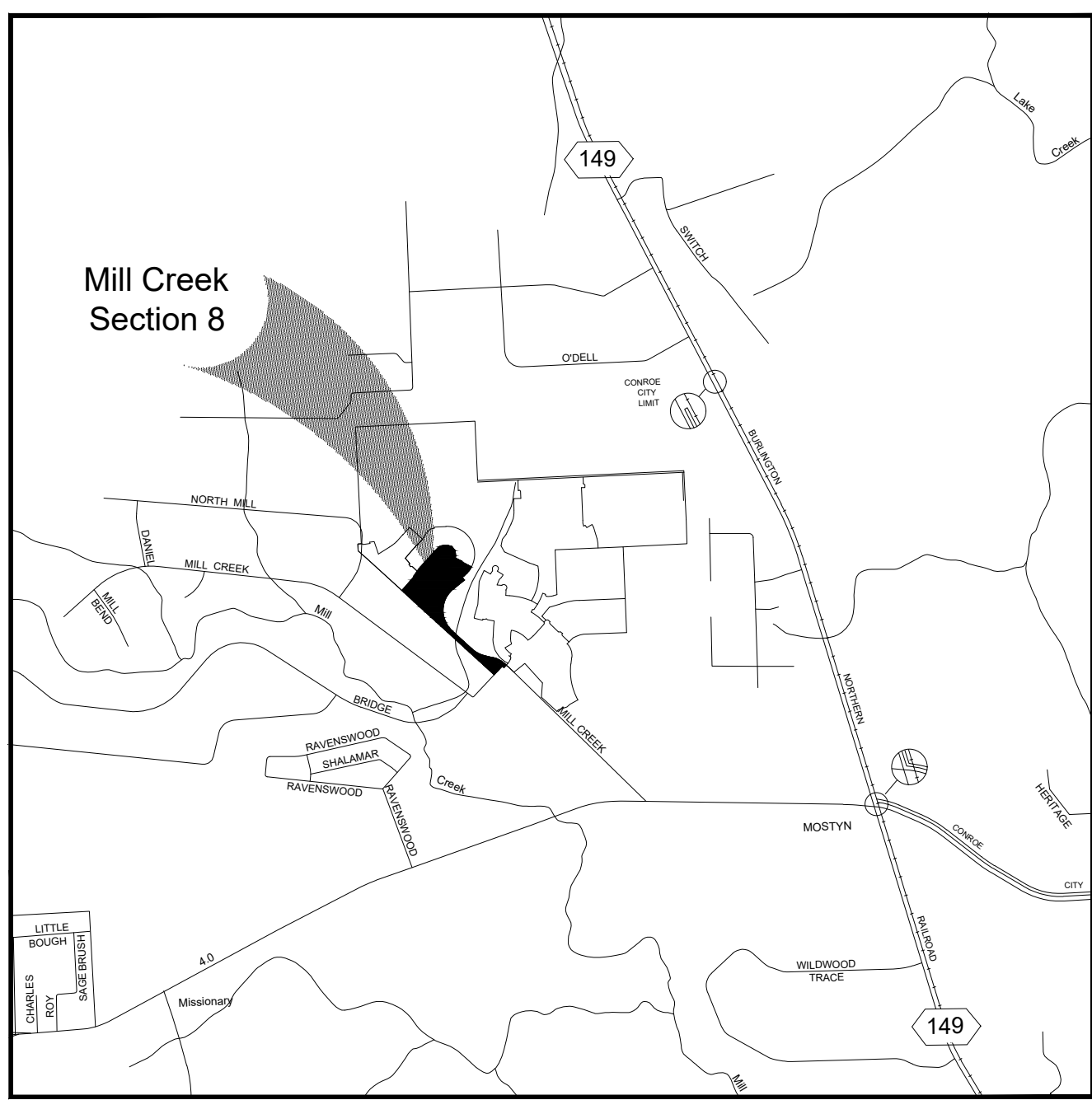
Approve site plan for Mill Creek Estates Boulevard.

Recommendation:

Approve site plan for Mill Creek Estates Boulevard under the condition that it receives City Engineer approval.

Attachments:

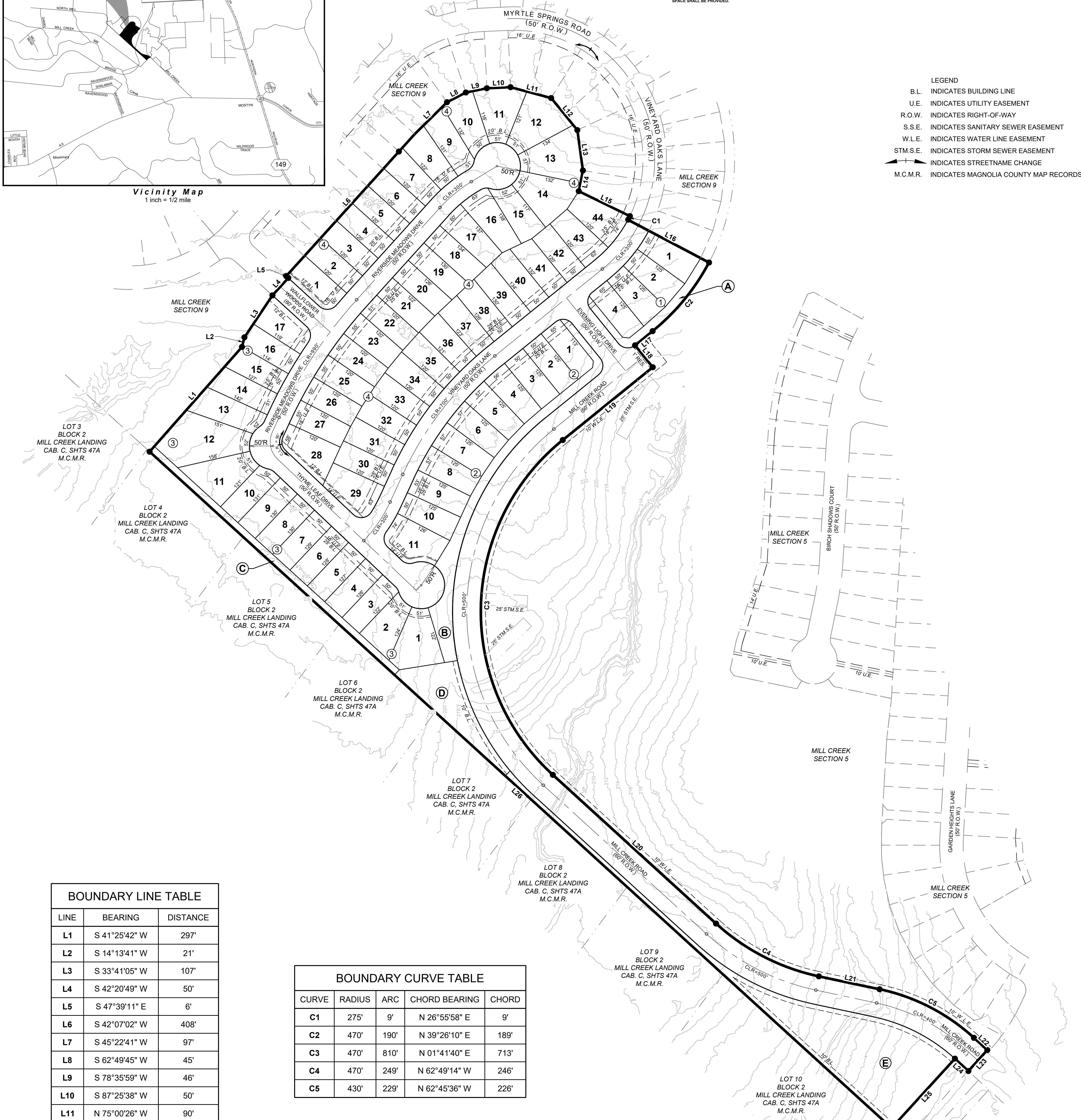
Site Plan



GENERAL NOTES:

1. "1' RES." INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACREAGE TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
2. ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
3. ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
4. ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
5. ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
6. SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 800 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
7. EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

- LEGEND**
- B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - R.O.W. INDICATES RIGHT-OF-WAY
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
 - STM.S.E. INDICATES STORM SEWER EASEMENT
 - INDICATES STREETNAME CHANGE
 - M.C.M.R. INDICATES MAGNOLIA COUNTY MAP RECORDS



LINE	BEARING	DISTANCE
L1	S 41°25'42" W	297'
L2	S 14°13'41" W	21'
L3	S 33°41'05" W	107'
L4	S 42°20'49" W	50'
L5	S 47°39'11" E	6'
L6	S 42°07'02" W	408'
L7	S 45°22'41" W	97'
L8	S 62°49'45" W	45'
L9	S 78°35'59" W	46'
L10	S 87°25'38" W	50'
L11	N 75°00'26" W	90'
L12	N 39°14'11" W	88'
L13	N 07°50'50" W	87'
L14	N 11°14'20" E	45'
L15	N 63°58'05" W	121'
L16	N 62°10'00" W	195'
L17	N 51°02'21" E	48'
L18	N 38°57'39" W	60'
L19	N 51°02'21" E	246'
L20	N 47°39'00" W	470'
L21	N 77°59'27" W	132'
L22	N 47°31'46" W	39'
L23	N 42°03'05" E	60'
L24	S 47°31'38" E	39'
L25	N 42°26'04" E	200'
L26	S 47°38'53" E	1112'

CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	275'	9'	N 26°55'58" E	9'
C2	470'	190'	N 39°26'10" E	189'
C3	470'	810'	N 01°41'40" E	713'
C4	470'	249'	N 62°49'14" W	246'
C5	430'	229'	N 62°45'36" W	226'

RESERVE	ACRES	TYPE
A	±0.16Ac.	Landscape / Open Space
B	±0.47Ac.	Landscape / Open Space
C	±0.24Ac.	Landscape / Open Space
D	±0.40Ac.	Lift Station / Landscape / Open Space
E	±1.43Ac.	Landscape / Open Space

A PRELIMINARY PLAT OF
MILL CREEK ESTATES
SECTION 8

±19.2 ACRES
76 LOTS (50' X 120' TYP.) AND
5 RESTRICTED RESERVES IN 4 BLOCKS

OUT OF THE
JOHN B. RICHARDS SURVEY, A-449
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:
FORESTAR (USA) REAL ESTATE GROUP, INC.
3355 W. ALABAMA STE. 1240
HOUSTON, TX 77098

PLANNER:



Land & Master Planning
Land Use/Feasibility Studies
Sustainable Design
Urban Design
Landscape Architecture
3600 W Sam Houston Pkwy S
Suite 600
Houston, Texas 77042
713.953.5200 • 713.953.5026



DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER LJA ENGINEERING, INC., NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR SUITABILITY TO THE PURPOSES INTENDED, OR ANY UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY PROVIDER. ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.

MONTGOMERY COUNTY MUNICIPAL UTILITY DISTRICT NO. 165
MONTGOMERY COUNTY, TEXAS

CONSTRUCTION PLANS FOR
**WATER, SANITARY SEWER,
DRAINAGE FACILITIES,
FORCE MAIN,
PAVING AND APPURTENANCES**

TO SERVE
MILL CREEK ESTATES BOULEVARD
CITY OF MAGNOLIA E.T.J.

JOB NO. 1019-3017 WS&D
PAVING

MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____
- COUNTY ENGINEER

DATE: _____

CITY OF MAGNOLIA ENGINEERING DEPARTMENT

APPROVED: _____
- CITY ENGINEER

DATE: _____

RECORD DRAWING

I CERTIFY THAT THIS DRAWING REFLECTS THE IMPROVEMENTS CONSTRUCTED AS TO SIZE, LOCATION AND GRADE AND THAT THE CONSTRUCTION WAS IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS

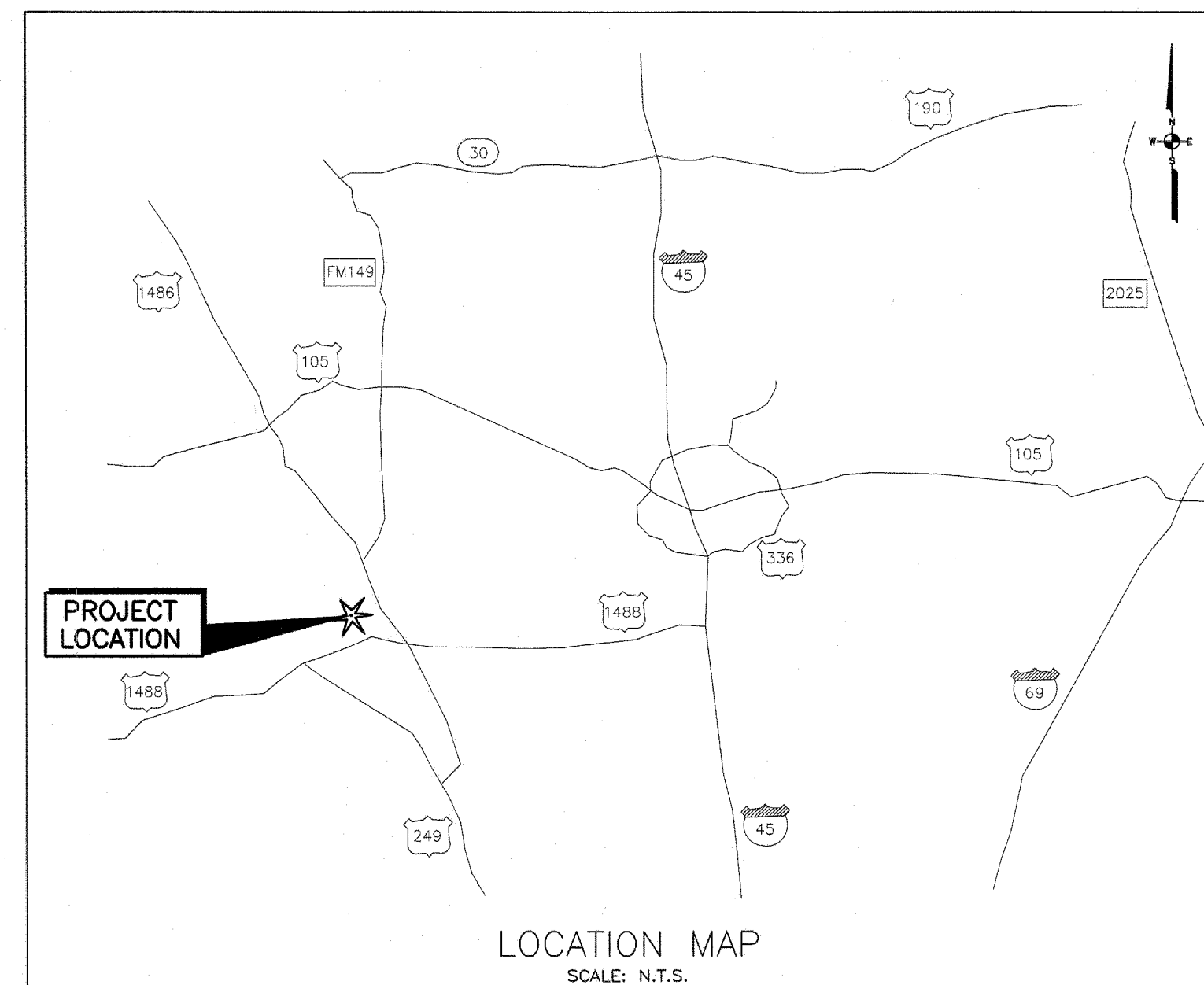
BY: _____ DATE: _____

TITLE: _____

MONTGOMERY COUNTY FIRE MARSHAL'S OFFICE

APPROVED: _____
- COUNTY FIRE MARSHAL

DATE: _____



DATE : JULY 2022

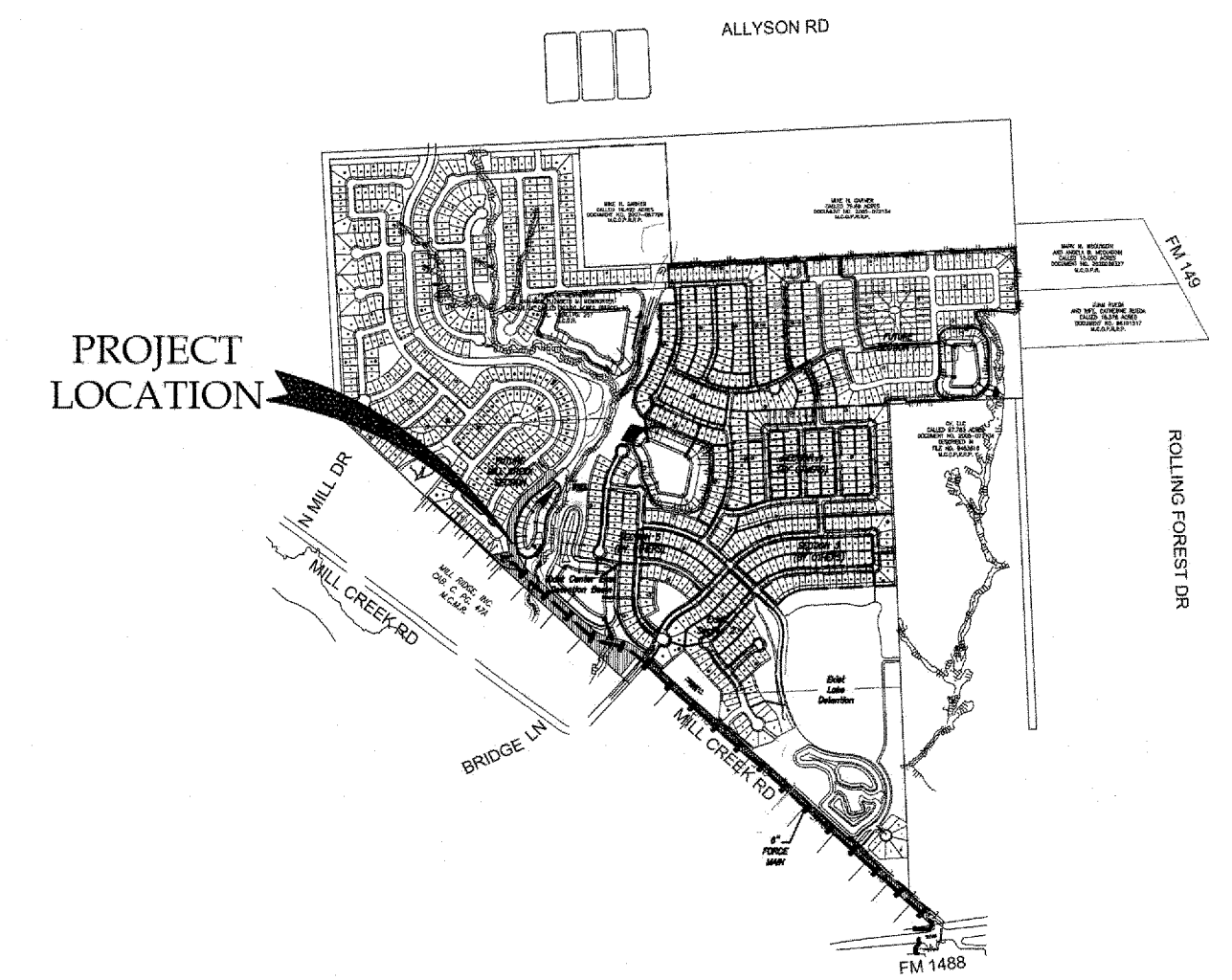
ENGINEER:

LJA Engineering, Inc.

3600 W Sam Houston Parkway S
Suite 600
Houston, Texas 77042

Phone 713.953.5200
Fax 713.953.5026
FRN-F-1386

OWNER: Forestar Group Inc.
3355 West Alabama, Suite 210
Houston, TX 77098



SHEET INDEX

- 01 COVER SHEET
- 02 GENERAL NOTES

LAYOUTS

- 03 WATER AND SANITARY SEWER LAYOUT
- 04 PAVING DRAINAGE AND PERMANENT SIGNAGE LAYOUT
- 05 DRAINAGE AREA MAP
- 06 5 YR DRAINAGE CALCULATIONS
- 07 100 YR DRAINAGE CALCULATIONS
- 08 STORM WATER POLLUTION PREVENTION PLAN
- 09 GRADING PLAN

PLAN & PROFILES

- 10 MILL CREEK ESTATES BOULEVARD..... STA. 0+00 TO 8+00
- 11 MILL CREEK ESTATES BOULEVARD..... STA. 8+00 TO 16+00
- 12 MILL CREEK ESTATES BOULEVARD STA. 16+00 TO END
- 13 OUTFALL B & 8 INCH. W.L..... STA. 0+00 TO END
- OUTFALL C STA. 0+00 TO END
- 14 CULVERT 1 STA. 0+00 TO END
- CULVERT 2 STA. 0+00 TO END
- 15 EVENING LIGHT DRIVE STA. 0+00 TO END
- 16 MILL CREEK ROAD FORCE MAIN..... STA. 0+00 TO 9+00
- 17 MILL CREEK ROAD FORCE MAIN STA. 9+00 TO 18+00
- 18 MILL CREEK ROAD FORCE MAIN..... STA. 18+00 TO 27+00
- 19 MILL CREEK ROAD FORCE MAIN..... STA. 27+00 TO 32+00
- 20 MILL CREEK ROAD FORCE MAIN..... STA. 32+00 TO 35+25

DETAILS

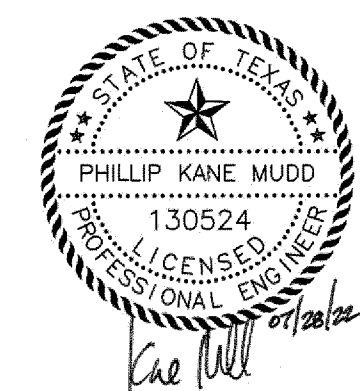
- 21 WATER DETAILS (SHEET 1 OF 2)
- 22 WATER DETAILS (SHEET 2 OF 2)
- 23 SANITARY SEWER DETAILS
- 24 STORM DETAILS (SHEET 1 OF 3)
- 25 STORM DETAILS (SHEET 2 OF 3)
- 26 STORM DETAILS (SHEET 3 OF 3)
- 27 PAVING DETAILS
- 28 BARRICADE PERMANENT SIGNAGE AND STRIPING DETAILS
- 29 STORM WATER POLLUTION PREVENTION PLAN DETAILS

FIRM MAP# 48339C0480G

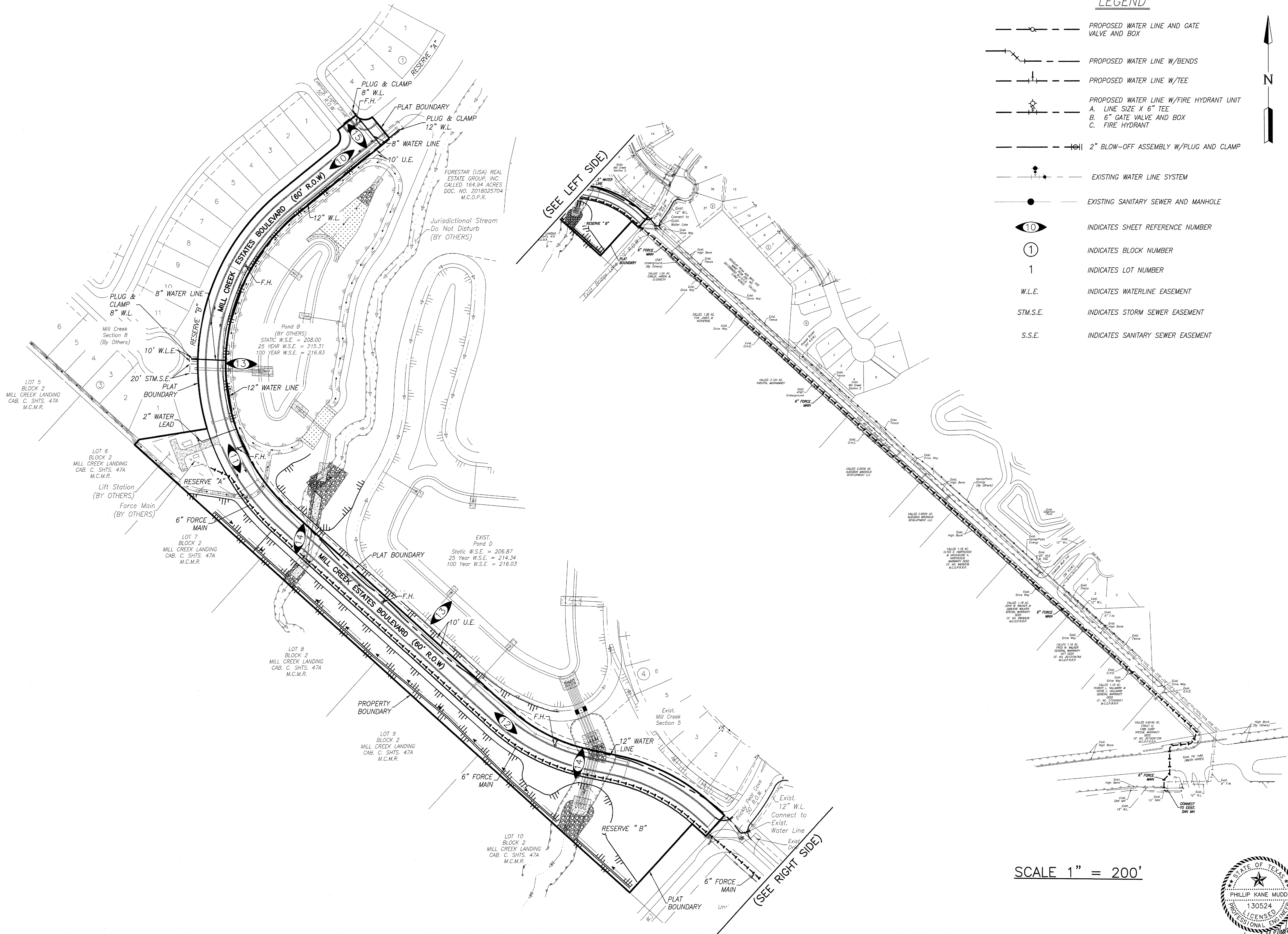
APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____

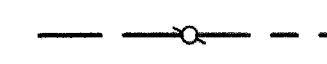
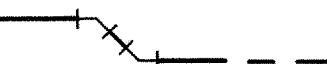
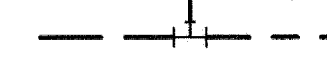



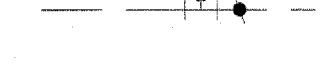



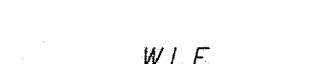

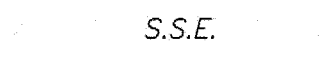
NOTE:
CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF EXISTING FACILITIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER IF EXISTING LOCATION & ELEVATION DO NOT MATCH THESE PLANS.

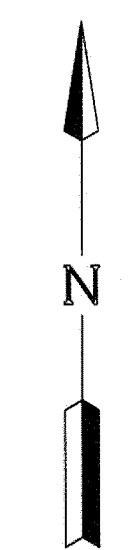


Date/Time : Mon, 25 Jul 2022, 7:15:00 AM User Name : shorvey Path Name : I:\Prof\sh\1019\3015 - Mill Creek Collector Road Phase 03 MC COLL WATER AND SANITARY SEWER LAYOUT.dwg



LEGEND

-  PROPOSED WATER LINE AND GATE VALVE AND BOX
-  PROPOSED WATER LINE W/BENDS
-  PROPOSED WATER LINE W/TEE
-  PROPOSED WATER LINE W/FIRE HYDRANT UNIT
A. LINE SIZE X 6" TEE
B. 6" GATE VALVE AND BOX
C. FIRE HYDRANT
-  2" BLOW-OFF ASSEMBLY W/PLUG AND CLAMP
-  EXISTING WATER LINE SYSTEM
-  EXISTING SANITARY SEWER AND MANHOLE
-  INDICATES SHEET REFERENCE NUMBER
-  INDICATES BLOCK NUMBER
-  INDICATES LOT NUMBER
-  W.L.E. INDICATES WATERLINE EASEMENT
-  STM.S.E. INDICATES STORM SEWER EASEMENT
-  S.S.E. INDICATES SANITARY SEWER EASEMENT



BENCHMARK:
PROJECT BM
 TSARP MONUMENT 110125: A BRASS DISK STAMPED RM100125 LOCATED ON THE DOWNSTREAM SIDE OF THE KUYKENDAH ROAD BRIDGE OVER CYPRESS CREEK. THE POINT IS LOCATED +/- 0.60 MILES SOUTHWEST OF THE INTERSECTION OF KUYKENDAH ROAD AND FLINTRIDGE DRIVE.
 ELEVATION = 143.57 FEET (NAVD88 2001 ADJ.)
 SURFACE COORDINATES: N 10057959.086 E 3810217.487

SITE TBM
 TBM-A: A CHISELED BOX IN CONCRETE ON TOP OF A STORM SEWER CURB INLET WITHIN AN UNDEVELOPED SECTION OF MILL CREEK. THE POINT IS LOCATED +/- 1100 FEET NORTHEAST OF MILL CREEK ROAD AND +/- 2020 FEET NORTH OF FM 1488.
 ELEVATION = 216.12 FEET (NAVD88 2001 ADJ.)
 SURFACE COORDINATES: N 10079696.593 E 3757838.329

- NOTES**
1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF EXISTING FACILITIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER IF EXISTING LOCATION AND/OR ELEVATION DO NOT MATCH THESE PLANS.
 2. ALL STORM SEWER IS 24" R.C.P. UNLESS OTHERWISE NOTED
 3. FOR ALL SANITARY SEWER CROSSINGS OF ALL WATER LINES, CONTRACTOR SHALL CONSTRUCT SEWER IN ACCORDANCE WITH "SANITARY SEWER CONSTRUCTION NOTES", SHEET NO. 2.
 4. THE HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN ALL SIDEWALKS AND CURB RAMPS

MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____ COUNTY ENGINEER

DATE: _____

RECORD DRAWING

I CERTIFY THAT THIS DRAWING REFLECTS THE IMPROVEMENTS CONSTRUCTED AS TO SIZE, LOCATION AND GRADE AND THAT THE CONSTRUCTION WAS IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS

BY _____ DATE _____


TITLE _____

DATE	REVISION	BY

MONTGOMERY COUNTY MUD NO. 165
 FORESTAR GROUP INC.

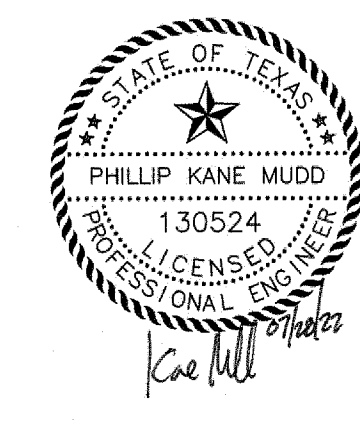
MILL CREEK ESTATES
 BOULEVARD

**WATER AND SANITARY SEWER
 LAYOUT**

LJA Engineering, Inc. 
 3600 W Sam Houston Parkway S Phone 713.953.5200
 Suite 600 Fax 713.953.5026
 Houston, Texas 77042 FRN - F-1386

LJA PROJECT NO.: 1019-3017
 DESIGNED BY: SH DRAWN BY: WW/JAS DATE: JULY 2022

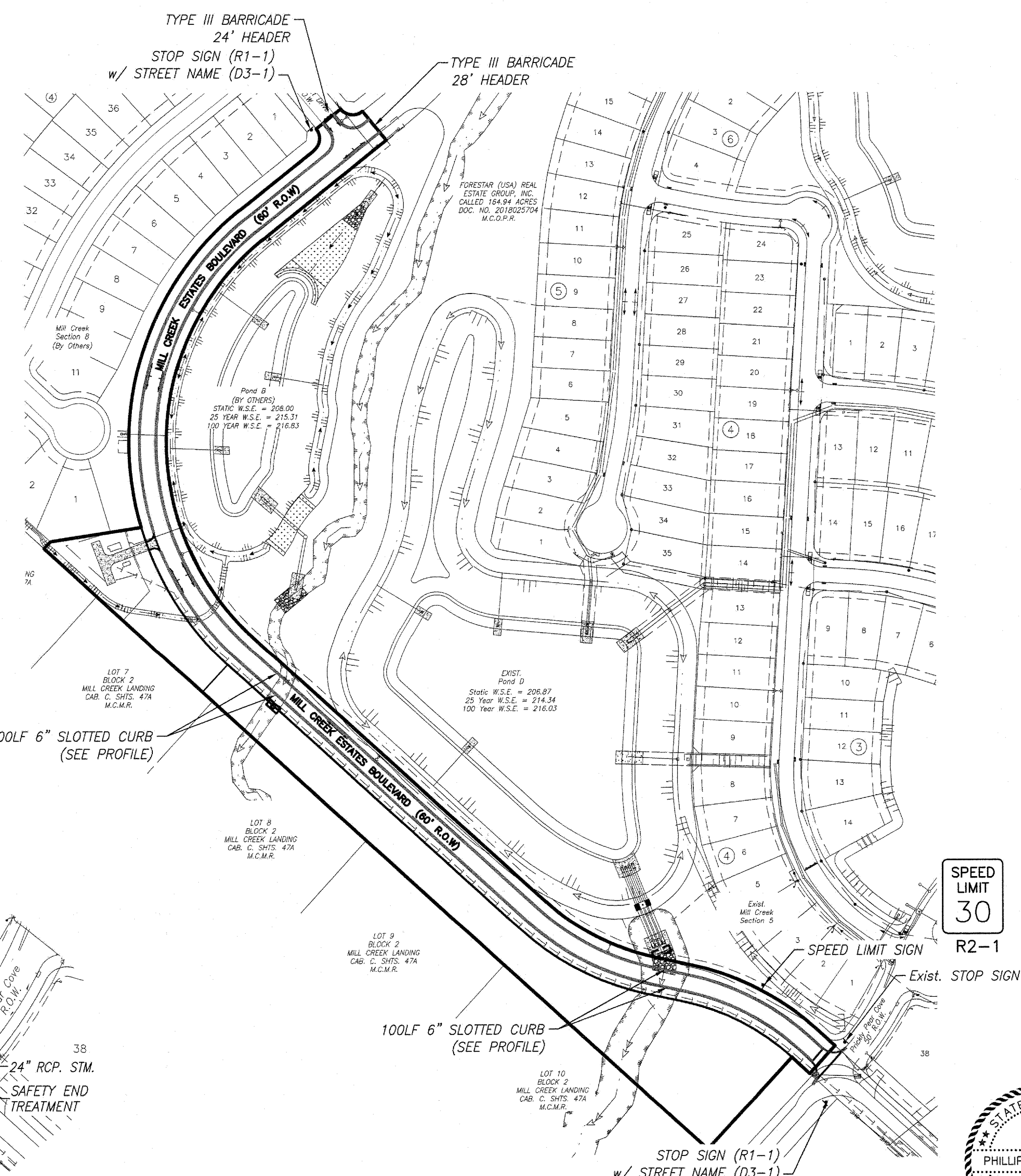
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SCALE 1" = 200'

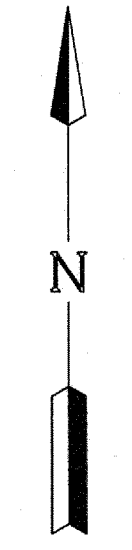
MONTGOMERY COUNTY M.U.D. No. 165
 MILL CREEK ESTATES BOULEVARD JOB NO. 1019-3017 (W.S.&D.)(PAV.)(FM.)

User Name : shorvey
 Date/Time : Mon, 25 Jul 2022, 7:16am
 Path Name : I:\Projects\1019\3015 - Mill Creek Collector Road Phase 1\CAD\Sheet_Files\104 MC COLL PAVING DRAINAGE AND PERMANENT SIGNAGE LAYOUT.dwg



LEGEND

- PROPOSED STORM SEWER & MANHOLE
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE, AND STD CURB INLETS
- PROPOSED PAVEMENT
- INDICATES PAVING SUMMIT
- INDICATES STORM SEWER EASEMENT
- INDICATES STREET SIGNS
- INDICATES SHEET REFERENCE NUMBER
- INDICATES BLOCK NUMBER
- INDICATES LOT NUMBER



BENCHMARK:
PROJECT BM
 TSARP MONUMENT 110125: A BRASS DISK STAMPED RM100125 LOCATED ON THE DOWNSTREAM SIDE OF THE KUYKENDahl ROAD BRIDGE OVER CYPRESS CREEK. THE POINT IS LOCATED +/- 0.60 MILES SOUTHWEST OF THE INTERSECTION OF KUYKENDahl ROAD AND FLINTRIDGE DRIVE.
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 E 3810217.487

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 ELEVATION = 216.12 FEET (NAVD88 2001 ADJ.)
 SURFACE COORDINATES: N 10079696.593
 E 3757838.329

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MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____ COUNTY ENGINEER
 DATE: _____

RECORD DRAWING
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DATE	REVISION	BY

MONTGOMERY COUNTY MUD NO. 165
 FORESTAR GROUP INC.

MILL CREEK ESTATES
 BOULEVARD

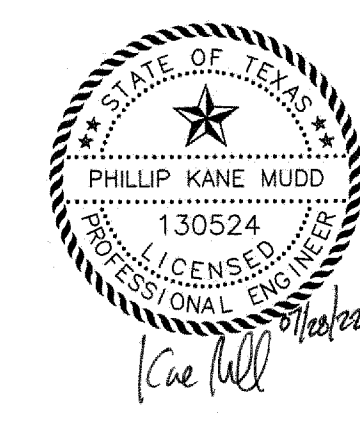
PAVING DRAINAGE AND
 PERMANENT SIGNAGE LAYOUT

LJA Engineering, Inc.
 3600 W Sam Houston Parkway S Phone 713.953.5200
 Suite 600 Fax 713.953.5026
 Houston, Texas 77042 FRN - F-1386

LJA PROJECT NO.: 1019-3017
 DESIGNED BY: SH DRAWN BY: WW/JAS DATE: JULY 2022

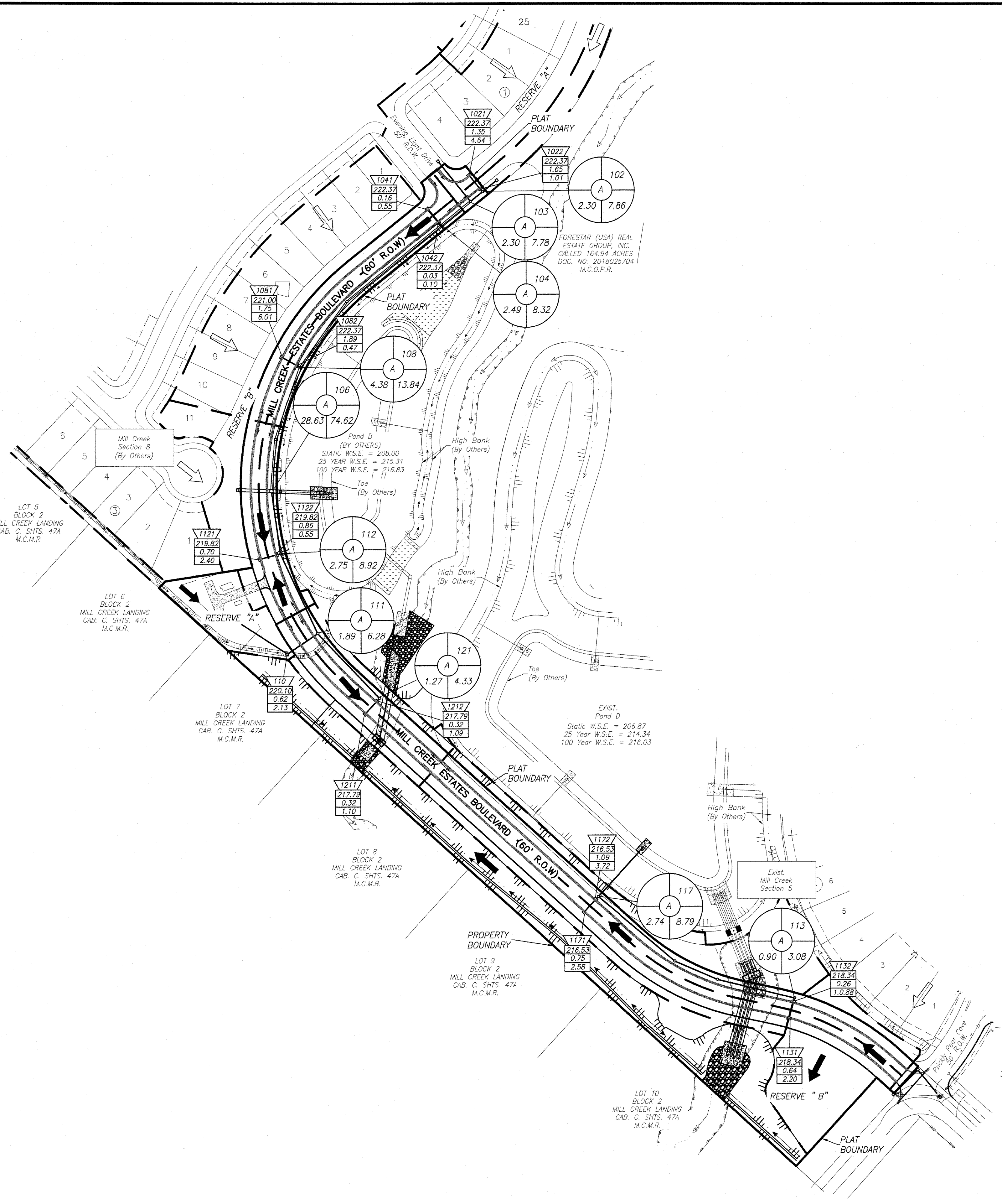
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 SHEET NO. 04 OF 29

PERMANENT SIGNAGE LAYOUT
 N.T.S.



MONTGOMERY COUNTY M.U.D. NO. 165
 MILL CREEK ESTATES BOULEVARD JOB NO. 1019-3017 (W.S.&D.)(PAV.)(FM.)

Date/Time : Mon, 25 Jul 2022 - 7:16am
 User Name : shorvay
 Path Name : E:\Projects\1019\3017 - Mill Creek Collector Road Phase 1\ACAD\Sheet Files\US MC COLL DRAINAGE AREA MAP.dwg



LEGEND

- PROPOSED STORM SEWER AND MANHOLE
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE, AND STD. INLETS
- INDICATES PROPOSED PAVEMENT
- INDICATES MANHOLE NUMBER
- INDICATES DRAINAGE SYSTEM
- INDICATES ACCUMULATED DRAINAGE AREA IN ACRES
- INDICATES ACCUMULATED RUN OFF IN C.F.S.
- INDICATES INLET NUMBER
- INDICATES TOP OF CURB
- INDICATES DRAINAGE AREA IN ACRES
- INDICATES RUN OFF IN C.F.S.
- INDICATES PAVING SUMMIT
- INDICATES DRAINAGE AREA DIVIDE
- INDICATES SHEET FLOW
- INDICATES EXISTING SHEET FLOW
- INDICATES EXISTING NATURAL GROUND CONTOURS



BENCHMARK:
PROJECT BM
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MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____ COUNTY ENGINEER
 DATE: _____

RECORD DRAWING

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BY: _____ DATE: _____

DATE	REVISION	BY

MONTGOMERY COUNTY MUD NO. 165
 FORESTAR GROUP INC.

MILL CREEK ESTATES
 BOULEVARD

DRAINAGE AREA MAP

LJA Engineering, Inc.
 3600 W Sam Houston Parkway S Phone 713.953.5200
 Suite 600 Fax 713.953.5026
 Houston, Texas 77042 FRN - F-1386

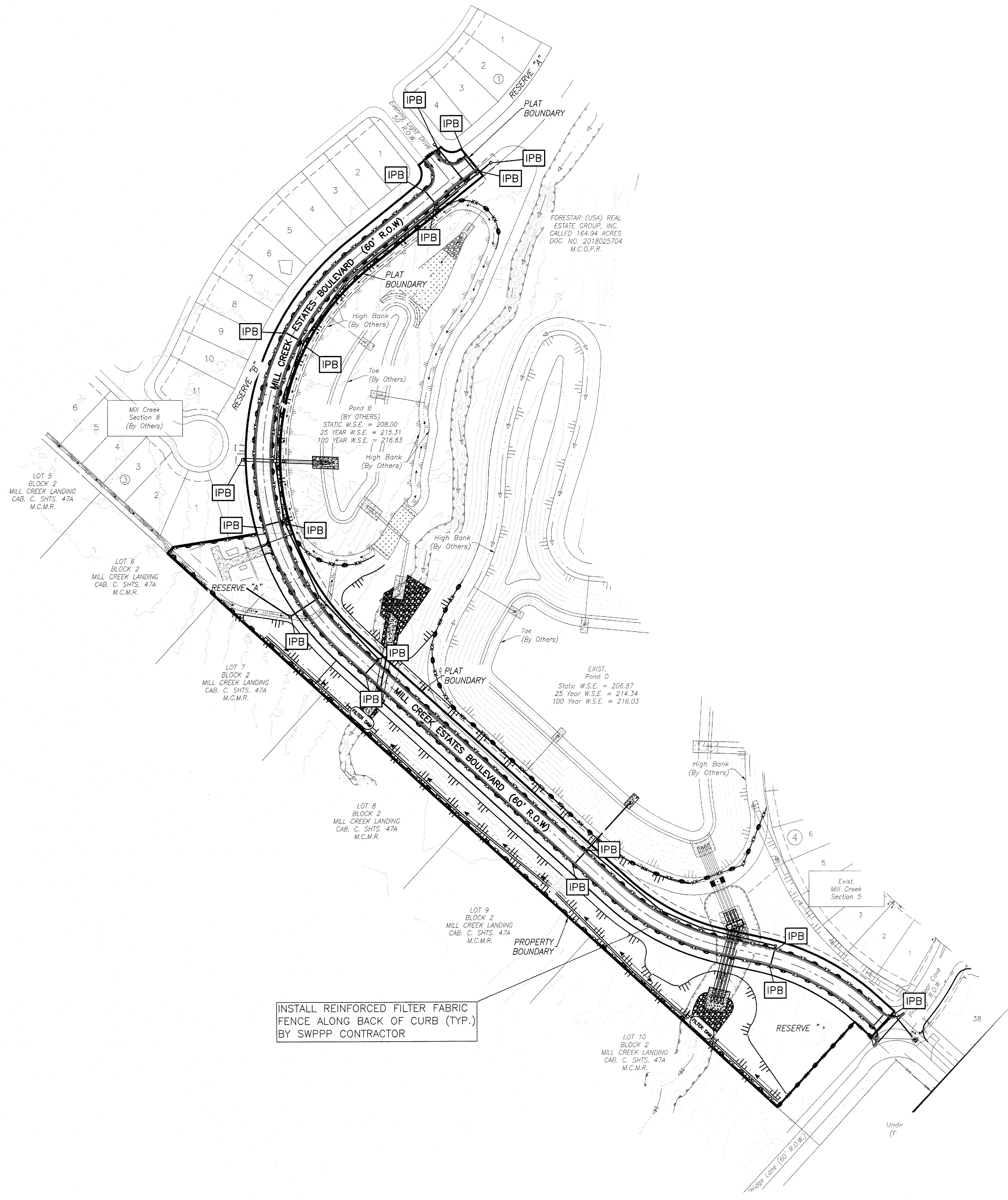
LJA PROJECT NO.: 1019-3017
 DESIGNED BY: SH DRAWN BY: WW/JAS DATE: JULY 2022

SCALE: 1"=100' SHEET NO. 05 OF 29



MONTGOMERY COUNTY M.U.D. No. 165
 MILL CREEK ESTATES BOULEVARD JOB NO. 1019-3017 (W.S.&D.)(PAV.)(FM.)

User Name : shorvey
 Date/Time : Mon, 25 Jul 2022 - 7:17am
 Path Name : I:\Projects\1019\3015 - Mill Creek Collector Road Phase\ACAD\Sheet_Files\08 MC COLL STORM WATER POLLUTION PREVENTION PLAN.dwg



INSTALL REINFORCED FILTER FABRIC FENCE ALONG BACK OF CURB (TYP.) BY SWPPP CONTRACTOR

- LEGEND**
- = STABILIZED CONSTRUCTION EXIT
 - = INLET PROTECTION BARRIER
 - = REINFORCED FABRIC FENCE
 - = FILTER FABRIC FENCE



BENCHMARK:
PROJECT BM
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 E 3810217.487

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 ELEVATION = 216.12 FEET (NAVD88 2001 ADJ.)
 SURFACE COORDINATES: N 10079696.593
 E 3757838.329

- NOTES**
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 - THE HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN ALL SIDEWALKS AND CURB RAMPS

MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____
 - COUNTY ENGINEER

DATE: _____

RECORD DRAWING
 I CERTIFY THAT THIS DRAWING REFLECTS THE IMPROVEMENTS CONSTRUCTED AS TO SIZE, LOCATION AND GRADE AND THAT THE CONSTRUCTION WAS IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS

BY: _____ DATE: _____

DATE	REVISION	BY

MONTGOMERY COUNTY MUD NO. 165
 FORESTAR GROUP INC.

MILL CREEK ESTATES
 BOULEVARD

STORM WATER POLLUTION
 PREVENTION PLAN

LJA Engineering, Inc.
 3600 W Sam Houston Parkway S Phone 713.953.5200
 Suite 600 Fax 713.953.5026
 Houston, Texas 77042 FRN - F-1386

LJA PROJECT NO.: 1019-3017

DESIGNED BY: SH	DRAWN BY: WW/JAS	DATE: JULY 2022
--------------------	---------------------	--------------------

SCALE: 1"=100'

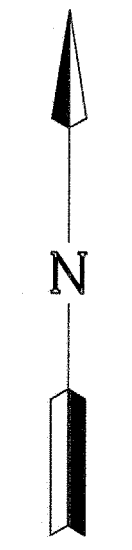
SHEET NO. 08 OF 29



MONTGOMERY COUNTY M.U.D. No. 165
 MILL CREEK ESTATES BOULEVARD JOB NO. 1019-3017 (W.S.&D.)(PAV.)(FM.)

LEGEND

- STM. INLET
- TC=71.50 TOP OF CURB ELEVATION
- 72 - INDICATES PROPOSED CONTOUR
- 73 - INDICATES EXISTING NATURAL GROUND CONTOUR



BENCHMARK:
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 E 3810217.487

SITE TBM
 TBM-A: A CHISELED BOX IN CONCRETE ON TOP OF A STORM SEWER CURB INLET WITHIN AN UNDEVELOPED SECTION OF MILL CREEK. THE POINT IS LOCATED +/- 1100 FEET NORTHEAST OF MILL CREEK ROAD AND +/- 2020 FEET NORTH OF FM 1488.
 ELEVATION = 216.12 FEET (NAVD88 2001 ADJ.)
 SURFACE COORDINATES: N 10079696.593
 E 3757838.329

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 - THE HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN ALL SIDEWALKS AND CURB RAMPS

MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____ COUNTY ENGINEER

DATE: _____

RECORD DRAWING

I CERTIFY THAT THIS DRAWING REFLECTS THE IMPROVEMENTS CONSTRUCTED AS TO SIZE, LOCATION AND GRADE AND THAT THE CONSTRUCTION WAS IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS

BY _____ DATE _____

TITLE _____

DATE	REVISION	BY

MONTGOMERY COUNTY MUD NO. 165
FORESTAR GROUP INC.

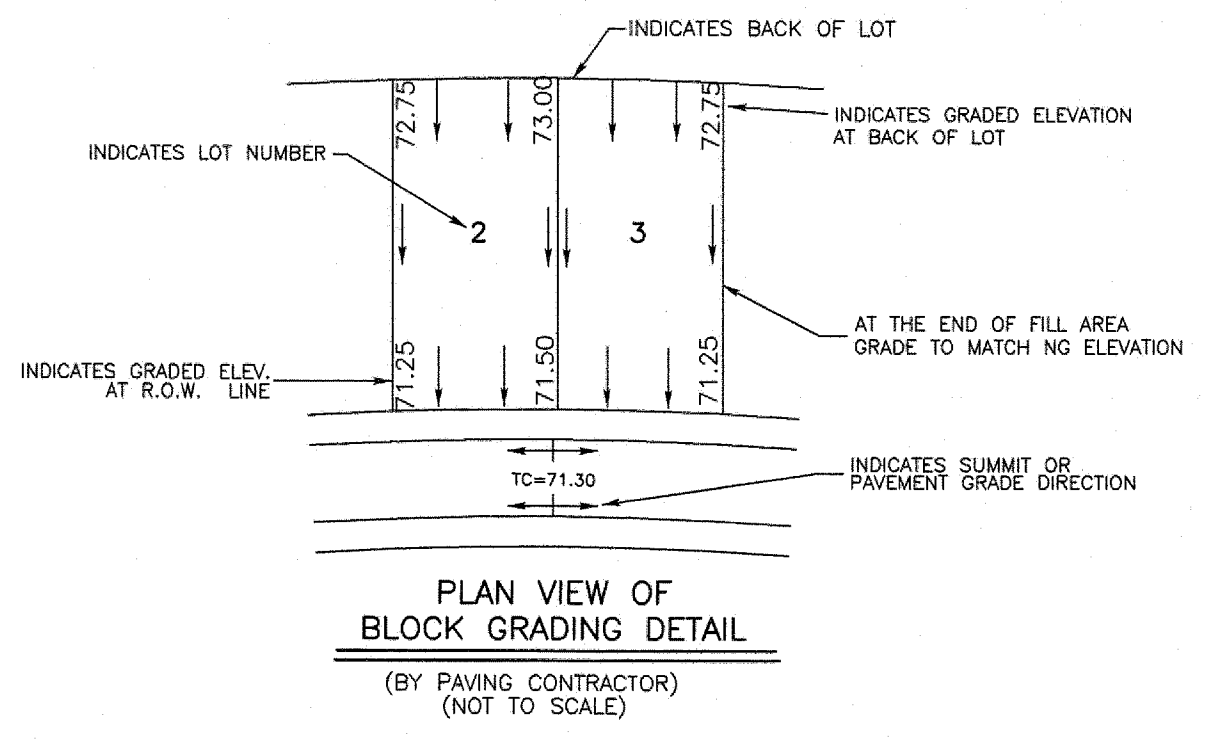
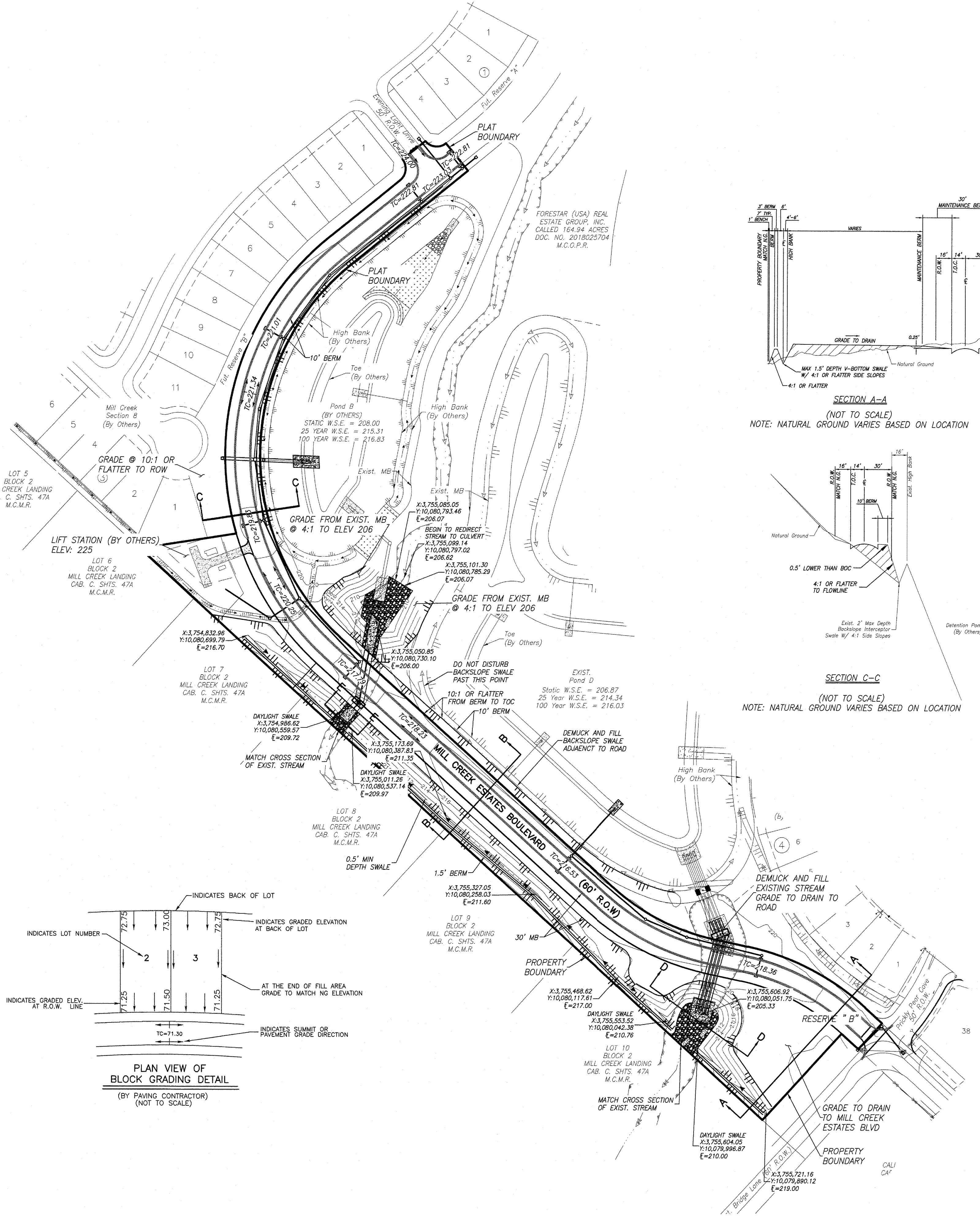
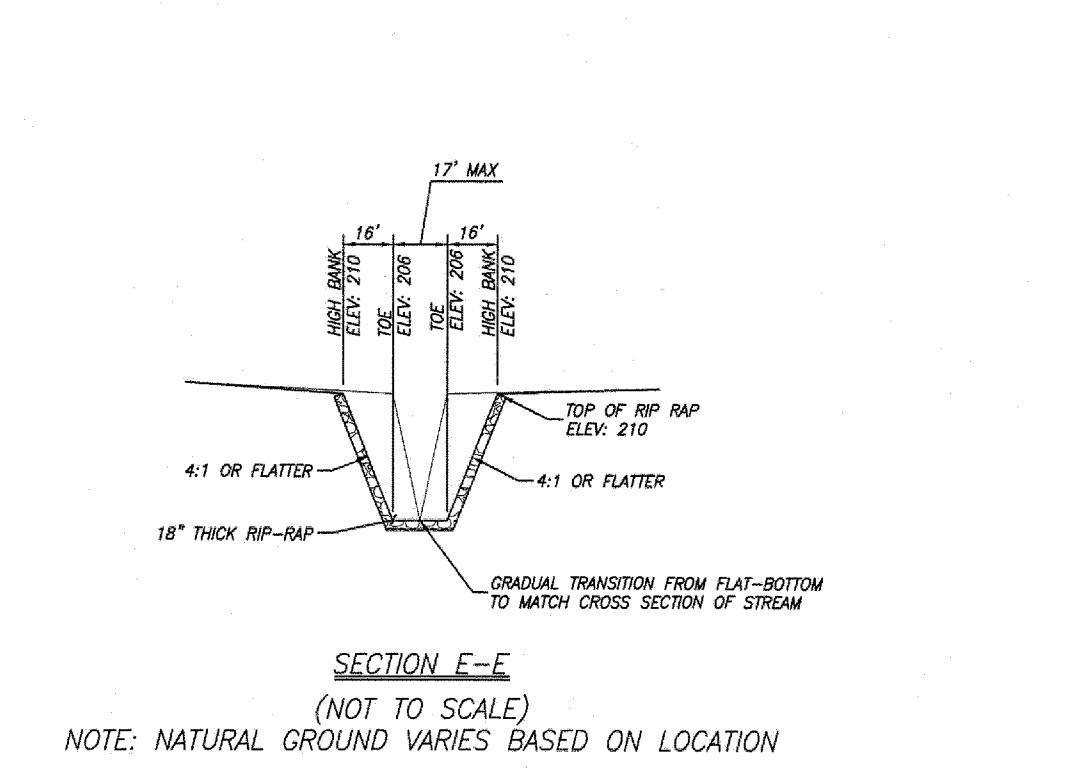
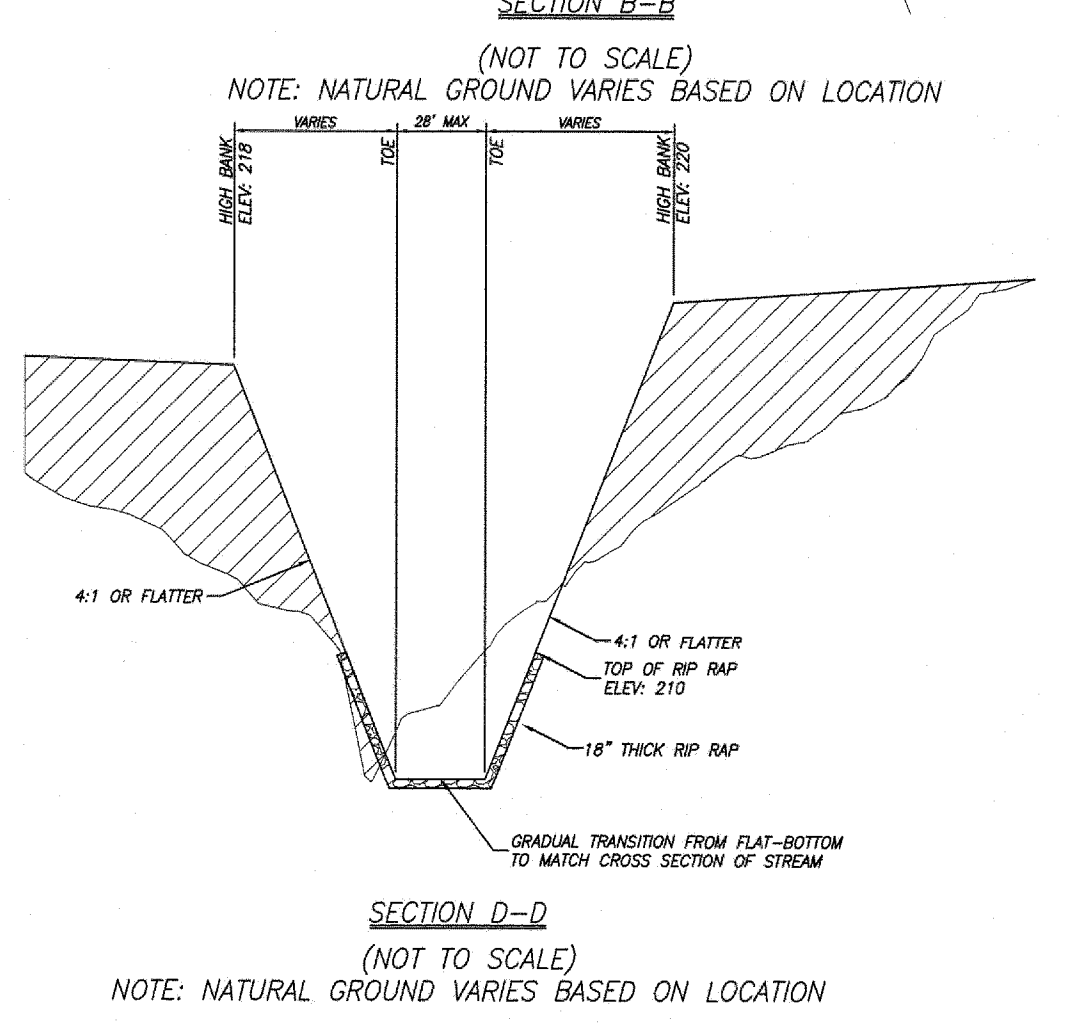
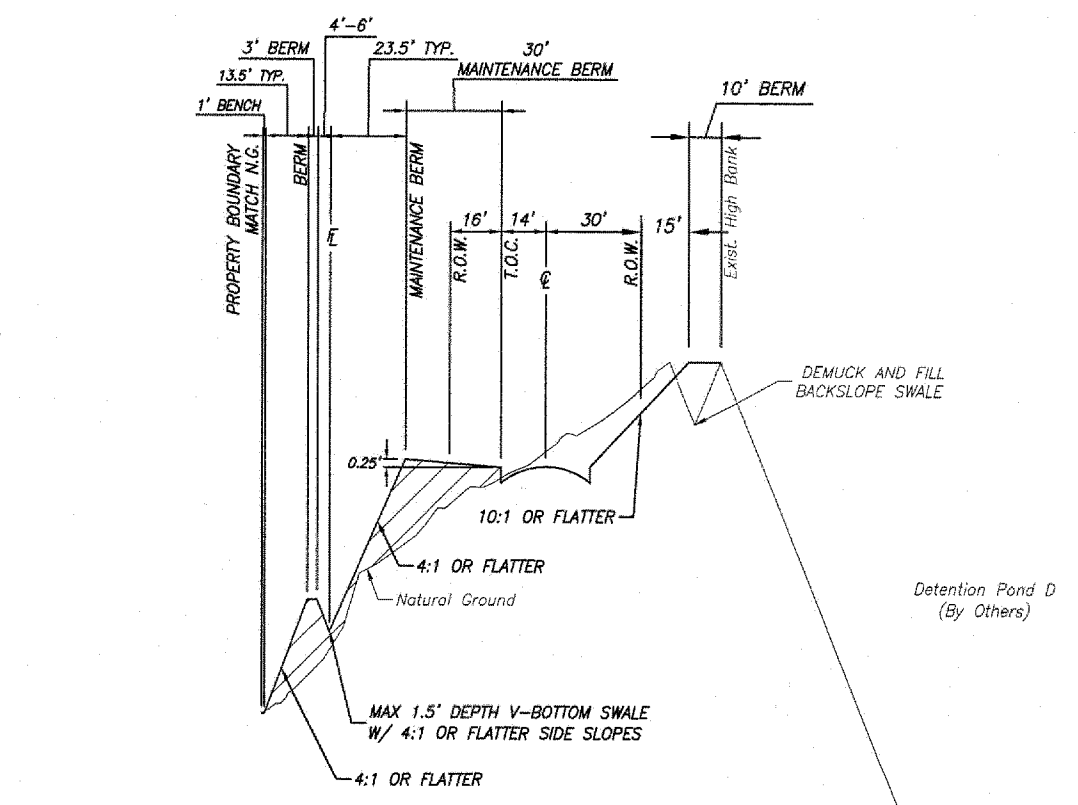
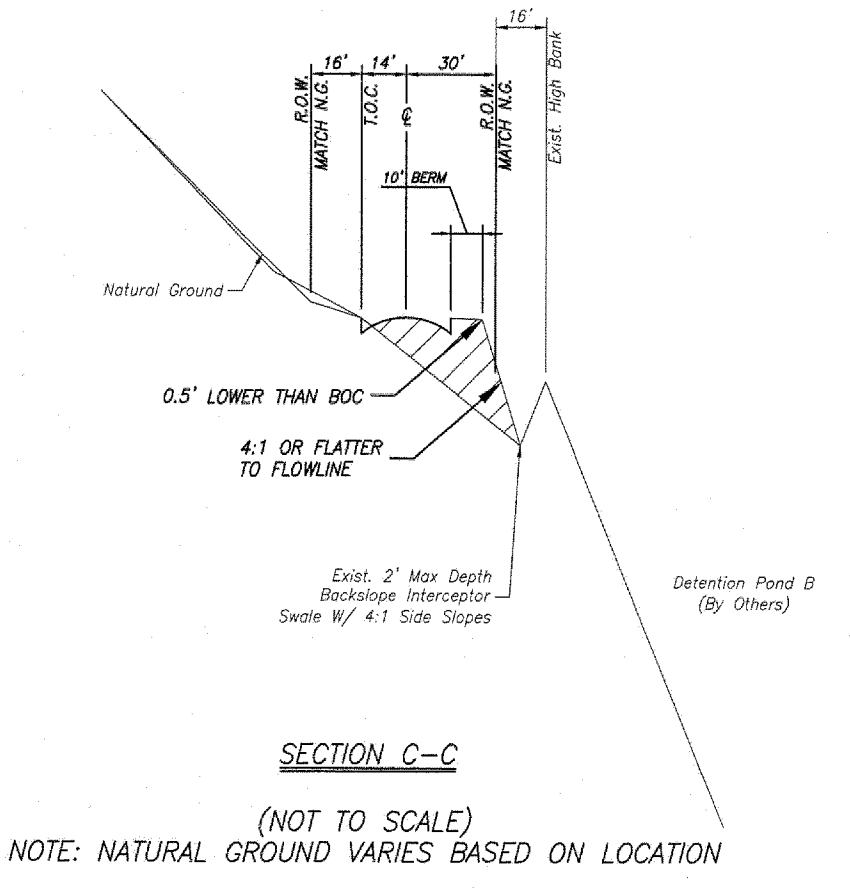
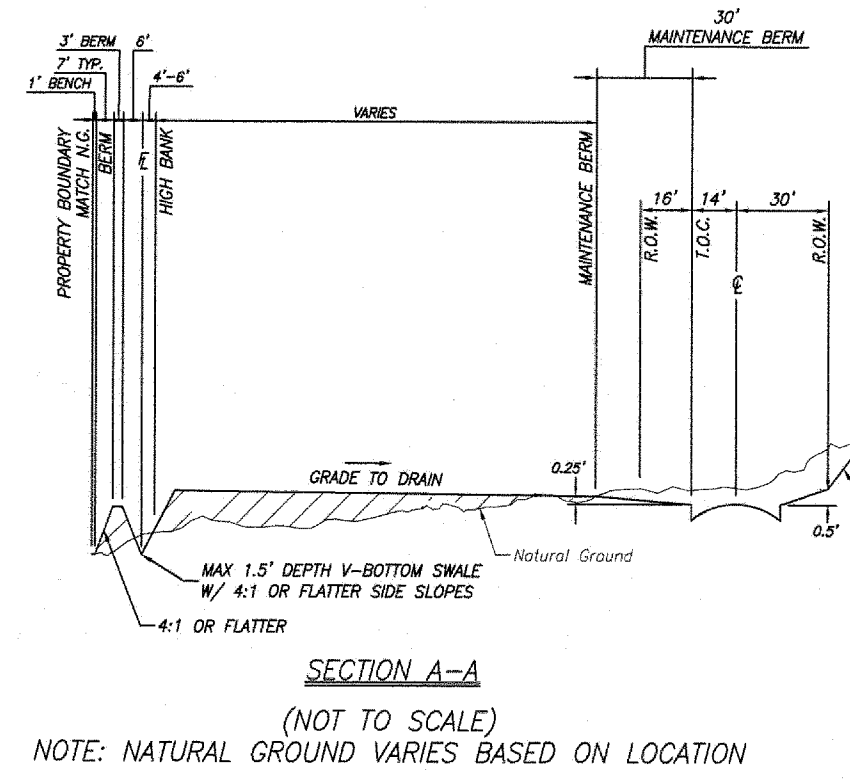
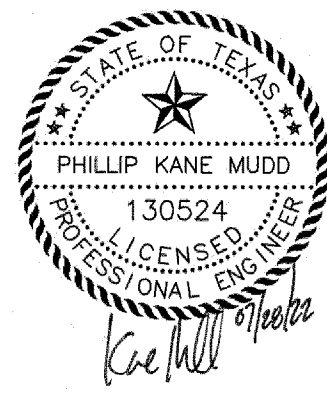
MILL CREEK ESTATES
BOULEVARD

GRADING PLAN

LJA Engineering, Inc.
 3800 W Sam Houston Parkway S Phone 713.953.5200
 Suite 600 Houston, Texas 77042 Fax 713.953.5026
 FRN - F-1386

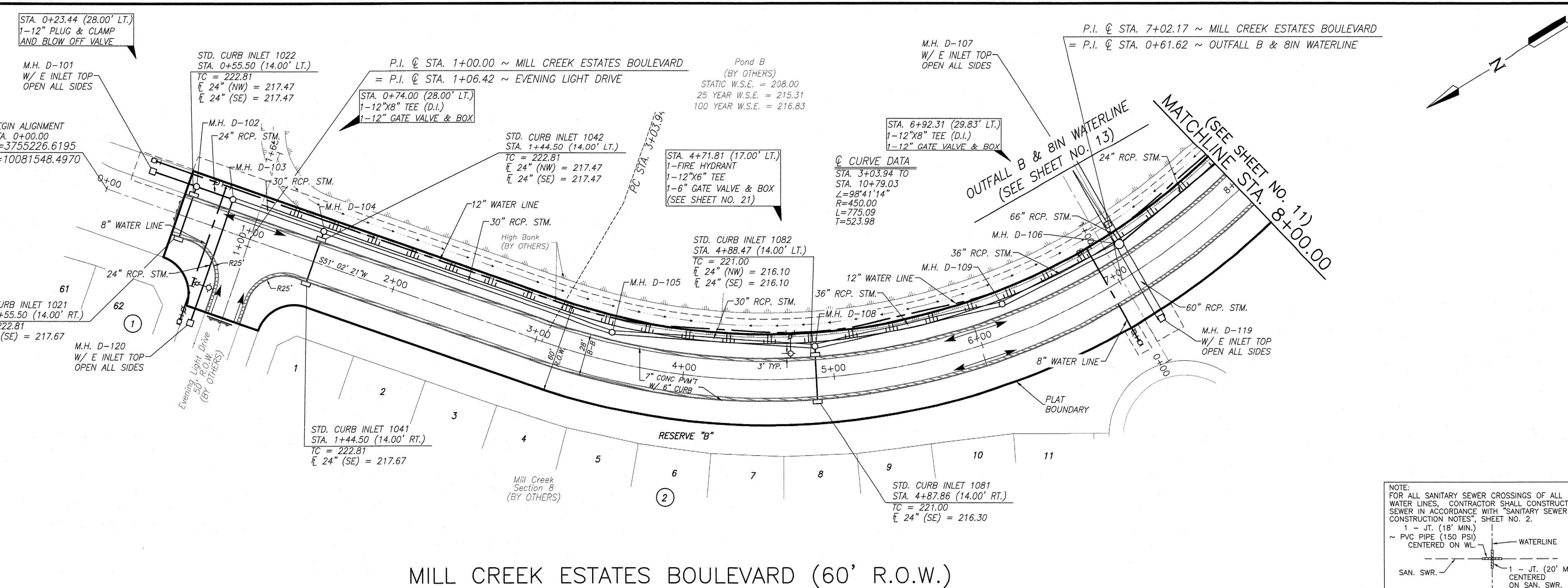
LJA PROJECT NO.: 1019-3017
 DESIGNED BY: SH DRAWN BY: WW/JAS DATE: JULY 2022

SCALE: 1"=100' SHEET NO. 09 of 29



Date: Mon, 25 Jul 2022 7:10am User Name: shorvey
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Date/Time: Mon, 25 Jul 2022 7:18:00 AM User Name: shorvey Path: \\profjkt1\1019_3015 - Mill Creek Collector Road Phase [XGAD] Sheet Files\10 MC COLL P&P MILL CREEK ROAD.dwg



BENCHMARK:
PROJECT BM
 TSARP MONUMENT 110125: A BRASS DISK STAMPED RM100125 LOCATED ON THE DOWNSTREAM SIDE OF THE KUYKENDahl ROAD BRIDGE OVER CYPRESS CREEK. THE POINT IS LOCATED +/- 0.60 MILES SOUTHWEST OF THE INTERSECTION OF KUYKENDahl ROAD AND FLINTRIDGE DRIVE.
 ELEVATION = 143.57 FEET (NAVD88 2001 ADJ.)
 SURFACE COORDINATES: N 10057959.086 E 3810217.487

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NOTES

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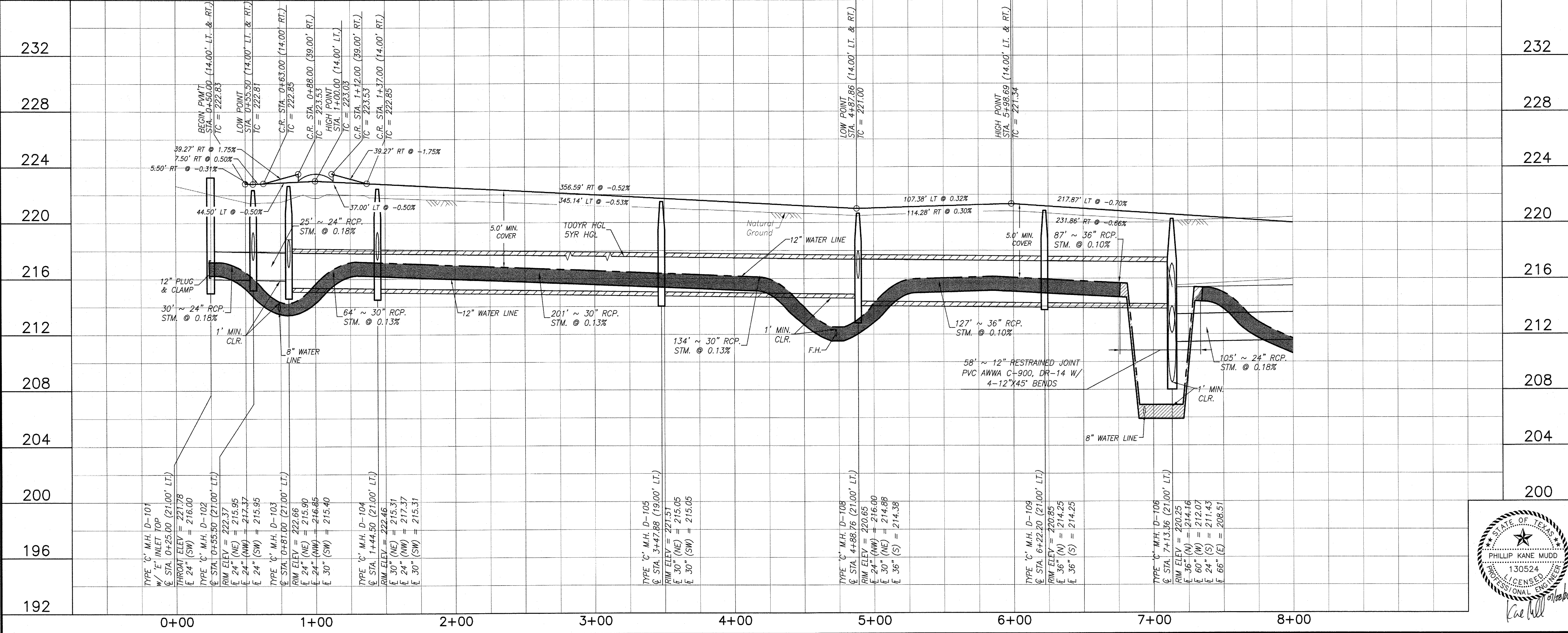
MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____ COUNTY ENGINEER

DATE: _____

NOTE:
 FOR ALL SANITARY SEWER CROSSINGS OF ALL WATER LINES, CONTRACTOR SHALL CONSTRUCT SEWER IN ACCORDANCE WITH "SANITARY SEWER CONSTRUCTION NOTES", SHEET NO. 2.
 1 - JT. (18" MIN.)
 ~ PVC PIPE (150 PSI)
 CENTERED ON WL.
 WATERLINE
 1 - JT. (20" MIN.)
 CENTERED ON SAN. SWR.
 SAN. SWR.

MILL CREEK ESTATES BOULEVARD (60' R.O.W.)



232
228
224
220
216
212
208
204
200
196
192

232
228
224
220
216
212
208
204
200

RECORD DRAWING
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BY _____ DATE _____

TITLE _____

DATE	REVISION	BY

MONTGOMERY COUNTY MUD NO. 165
 FORESTAR GROUP INC.

MILL CREEK ESTATES
 BOULEVARD

MILL CREEK ESTATES
 BOULEVARD
 STA. 0+00 TO 8+00

LJA Engineering, Inc.
 3600 W Sam Houston Parkway S Phone 713.953.5200
 Suite 600 Phone 713.953.5026
 Houston, Texas 77042 FRN - F-1386

LJA PROJECT NO.: 1019-3017

DESIGNED BY: SH DRAWN BY: WW/JAS DATE: JULY 2022

HORZ: 1" = 40'
 VERT: 1" = 4'

SHEET NO. 10 OF 29

STATE OF TEXAS
 PHILIP KANE MUDD
 130524
 PROFESSIONAL ENGINEERING
 LICENSE NO. 130524

MONTGOMERY COUNTY M.U.D. No. 165
 MILL CREEK ESTATES BOULEVARD JOB NO. 1019-3017 (W.S.&D.)(PAV.)(FM.)

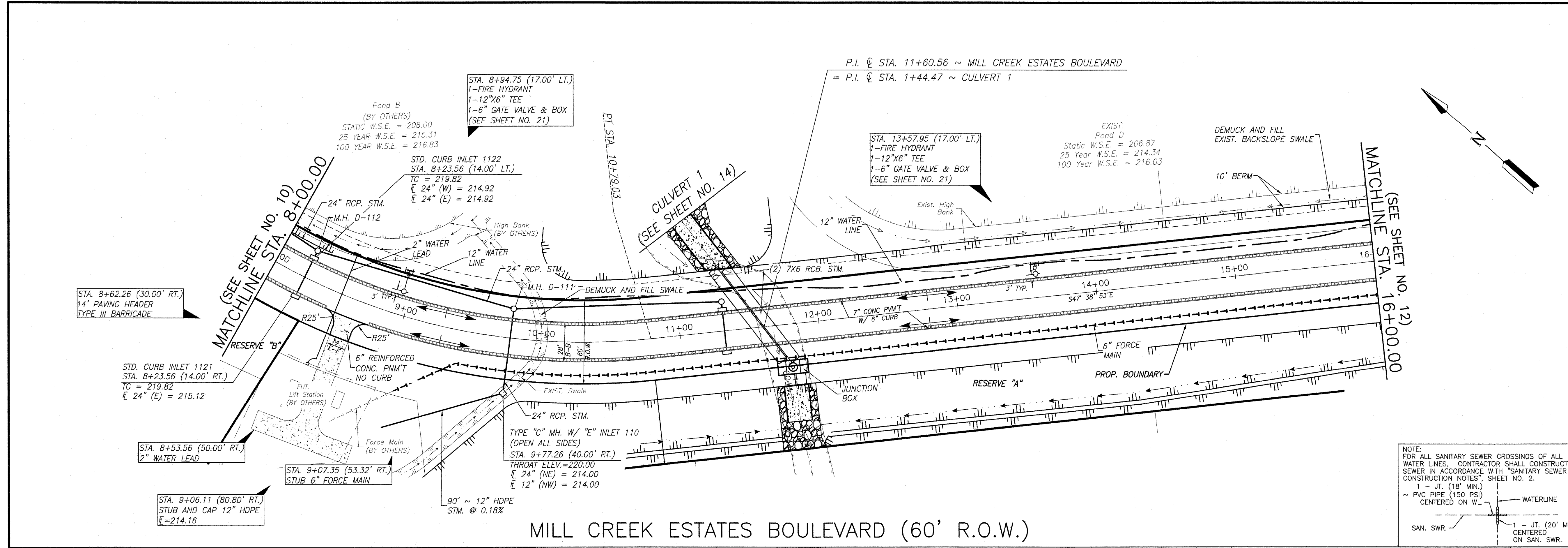
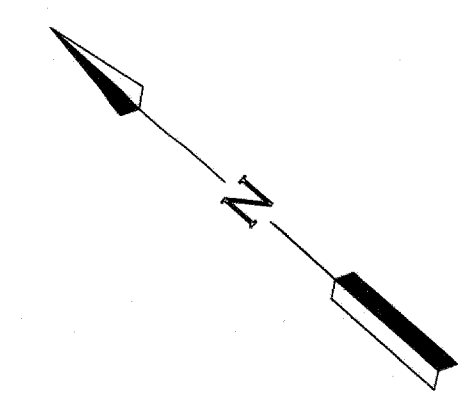
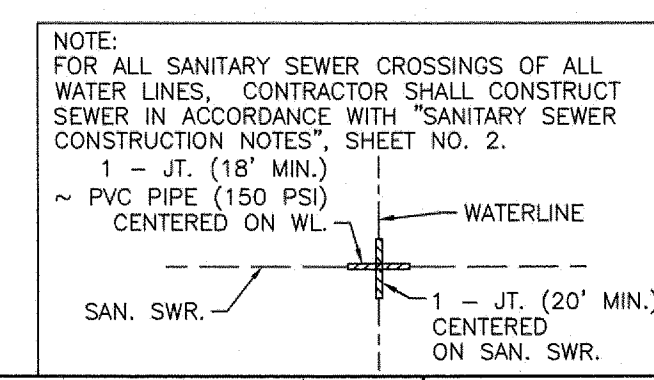
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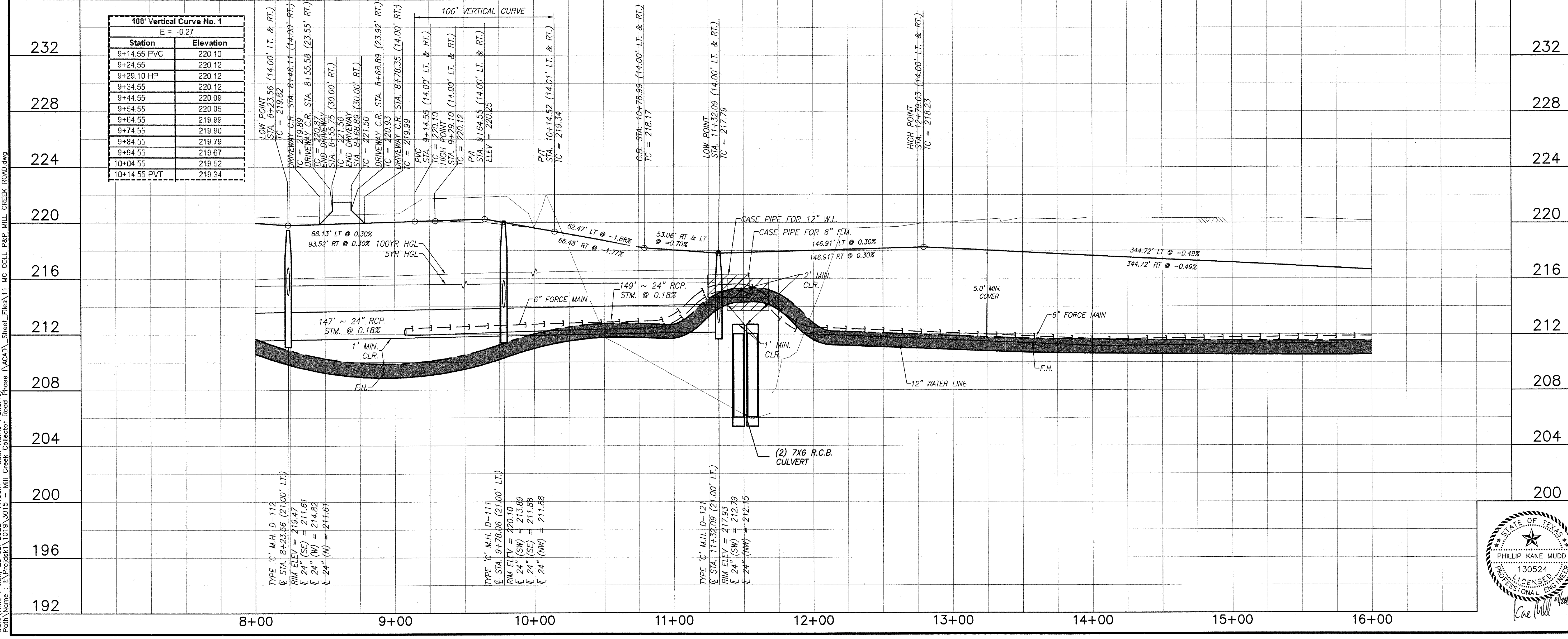
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MONTGOMERY COUNTY ENGINEERING DEPARTMENT

APPROVED: _____ COUNTY ENGINEER
DATE: _____



MILL CREEK ESTATES BOULEVARD (60' R.O.W.)



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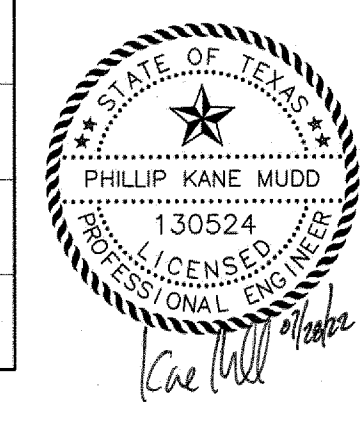
DATE	REVISION	BY

MONTGOMERY COUNTY MUD NO. 165
FORESTAR GROUP INC.
MILL CREEK ESTATES BOULEVARD
MILL CREEK ESTATES BOULEVARD
STA. 8+00 TO 16+00

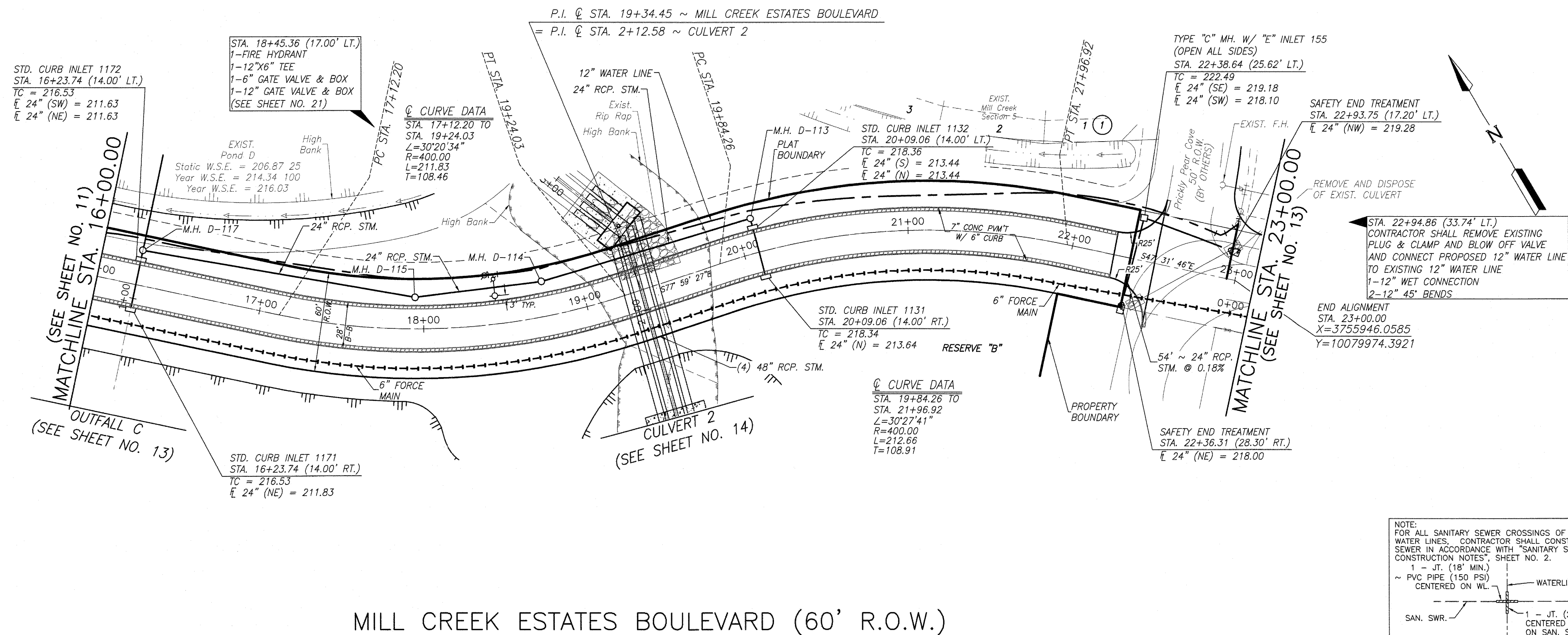
LJA Engineering, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5206
Houston, Texas 77042 FRN - F-1386

LJA PROJECT NO.: 1019-3017
DESIGNED BY: SH DRAWN BY: WW/JAS DATE: JULY 2022

HORZ: 1" = 40'
VERT: 1" = 4'
SHEET NO. 11 OF 29



Date: Mon, 25 Jul 2022 - 7:20am
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MILL CREEK ESTATES BOULEVARD (60' R.O.W.)

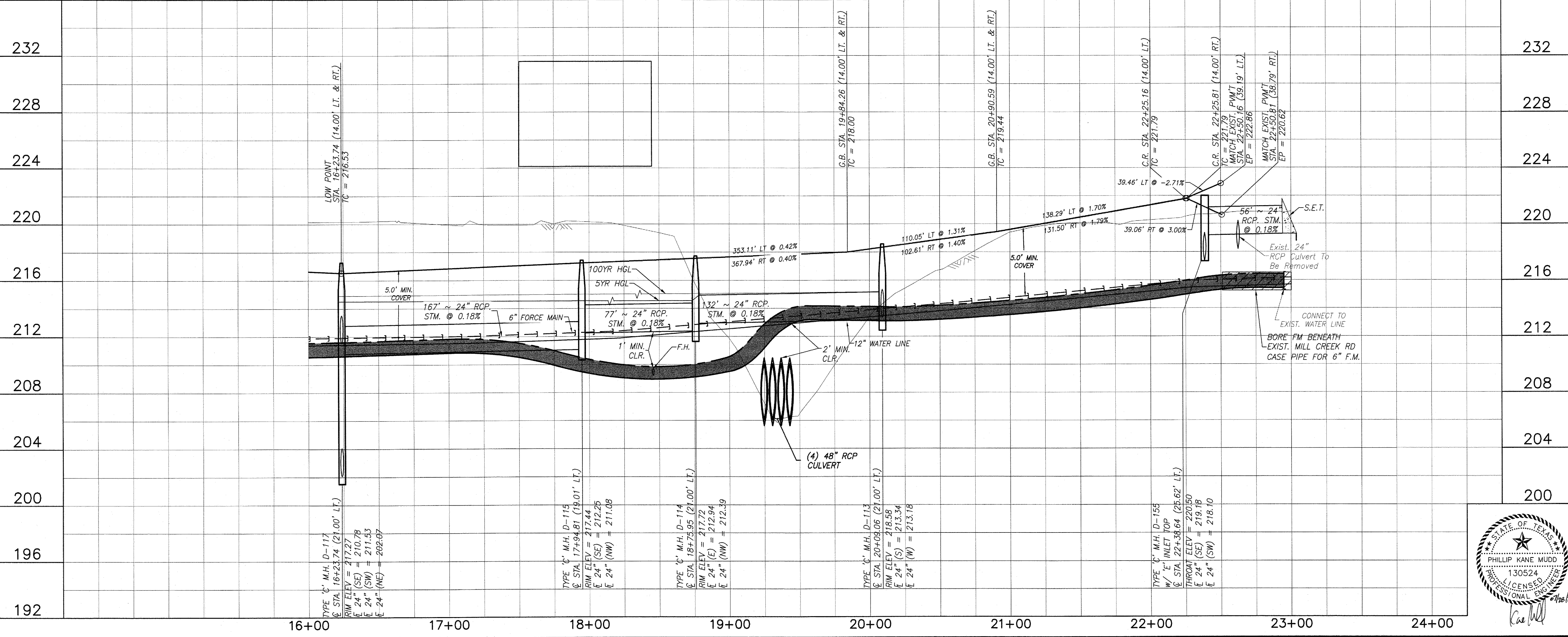
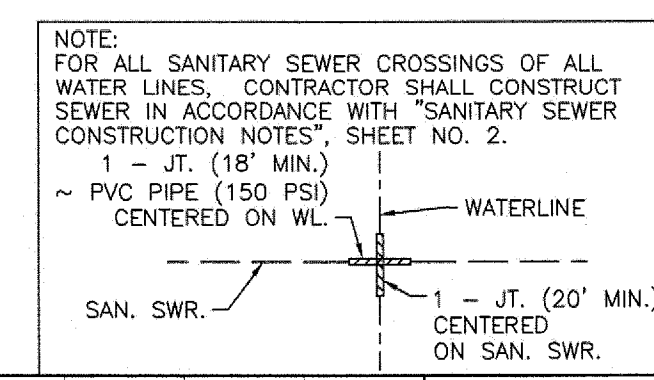
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MONTGOMERY COUNTY ENGINEERING DEPARTMENT

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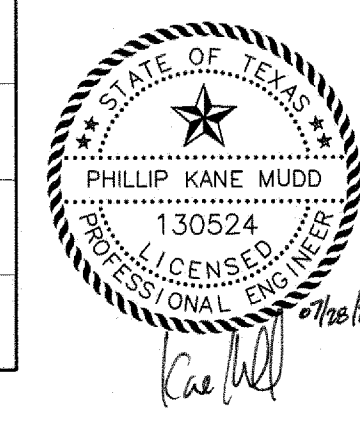
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 FORESTAR GROUP INC.
 MILL CREEK ESTATES BOULEVARD
 MILL CREEK ESTATES BOULEVARD
 STA. 16+00 TO 23+00

LJA Engineering, Inc.
 3600 W Sam Houston Parkway S Phone 713.953.5200
 Suite 600 Fax 713.953.5026
 Houston, Texas 77042 FRN - F-1386



LJA PROJECT NO.: 1019-3017
 DESIGNED BY: SH DRAWN BY: WW/JAS DATE: JULY 2022
 HORZ: 1" = 40'
 VERT: 1" = 4'
 SHEET NO. 12 OF 29

MONTGOMERY COUNTY M.U.D. No. 165
 MILL CREEK ESTATES BOULEVARD JOB NO. 1019-3017 (W.S.&D.)(PAV.)(FM.)