

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III

City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Tim Robertson
Baxter & Woodman, Mike Kurzy
Interim City Secretary, Christian Gable



NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, NOVEMBER 16, 2023 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the regular meeting held October 19, 2023.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

- 6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MAGNOLIA VILLAGE PHASE 2
- 7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR LOWE'S
- 8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR SALAD AND GO
- 9. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR SWIG
- 10. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MISTER CAR WASH
- 11. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR THE OAKS ON 6TH STREET
- 12. FUTURE AGENDA ITEMS
- 13. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
 TIME _____
 TAKEN DOWN _____

 Christian Gable, Interim City Secretary



Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III



City Administrator, Don Doering
City Attorney, Leonard Schneider
City Engineer, Tim Robertson
Baxter & Woodman, Mike Kurzy
Interim City Secretary, Christian Gable

MINUTES OF THE PLANNING & ZONING COMMISSION REGULAR MEETING – OCTOBER 19, 2023

A meeting of the Planning & Zoning Commission was held on October 19, 2023, beginning at 4:30pm in the Sewall Smith Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Scott Shelburne called the meeting to order at 4:30 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Holly Knee, Anne Sundquist, Tom Mayhew, and Robert Barker III.

Absent: Josh Jakubik

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. **CONSIDERATION – APPROVAL OF MINUTES**

Consideration and possible action to approve the minutes of the special meeting held September 21, 2023.

MOTION: Upon a motion to approve the Consent Agenda made by Robert Barker and seconded by Anne Sundquist, the Commission members voted, and the motion carried unanimously, 4-0.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. *Statements of specific factual information given in response to an inquiry;*
- b. *A recitation of existing policy in response to an inquiry;*
- c. *A proposal to place the subject on a future agenda.*

None

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.

None

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

Planning Coordinator Christian Gable provided a spreadsheet of current development. Chairman Shelburne informed of development progress within Heritage Green: MOD Pizza and Wendy's are expected to open early November, Valvoline will begin construction within the next couple of weeks, and the final commercial tenant has signed their lease.

6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO SANDRA DEE LANE SECTION 1, FINAL PLAT, +/- 1.925 ACRES

MOTION: Upon a motion to approve pending resolution of comments listed on the review letter dated September 22nd from Baxter & Woodman made by Tom Mayhew and seconded by Holly Knee, the Commission members voted, and the motion carried unanimously, 4-0.

7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO GIRASOL STREET AND RESERVE, FINAL PLAT, +/- 13.384 ACRES

MOTION: Upon a motion to approve pending resolution of comments listed on the review letter dated September 22nd from Baxter & Woodman made by Tom Mayhew and seconded by Holly Knee, the Commission members voted, and the motion carried unanimously, 4-0.

8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MAGNOLIA VILLAGE PHASE 2

The commission members discussed that the comments listed on the review letter could impact the site plan and decided to table this item until comments are addressed by the applicant.

No action taken.

9. FUTURE AGENDA ITEMS

None

10. ADJOURN

MOTION: Upon a motion to adjourn made by Anne Sundquist and seconded by Robert Barker, the Commission members voted, the motion carried unanimously, and Chairman Shelburne adjourned the meeting at 4:44 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the special meeting of the City of Magnolia Planning and Zoning Commission held on October 19, 2023.

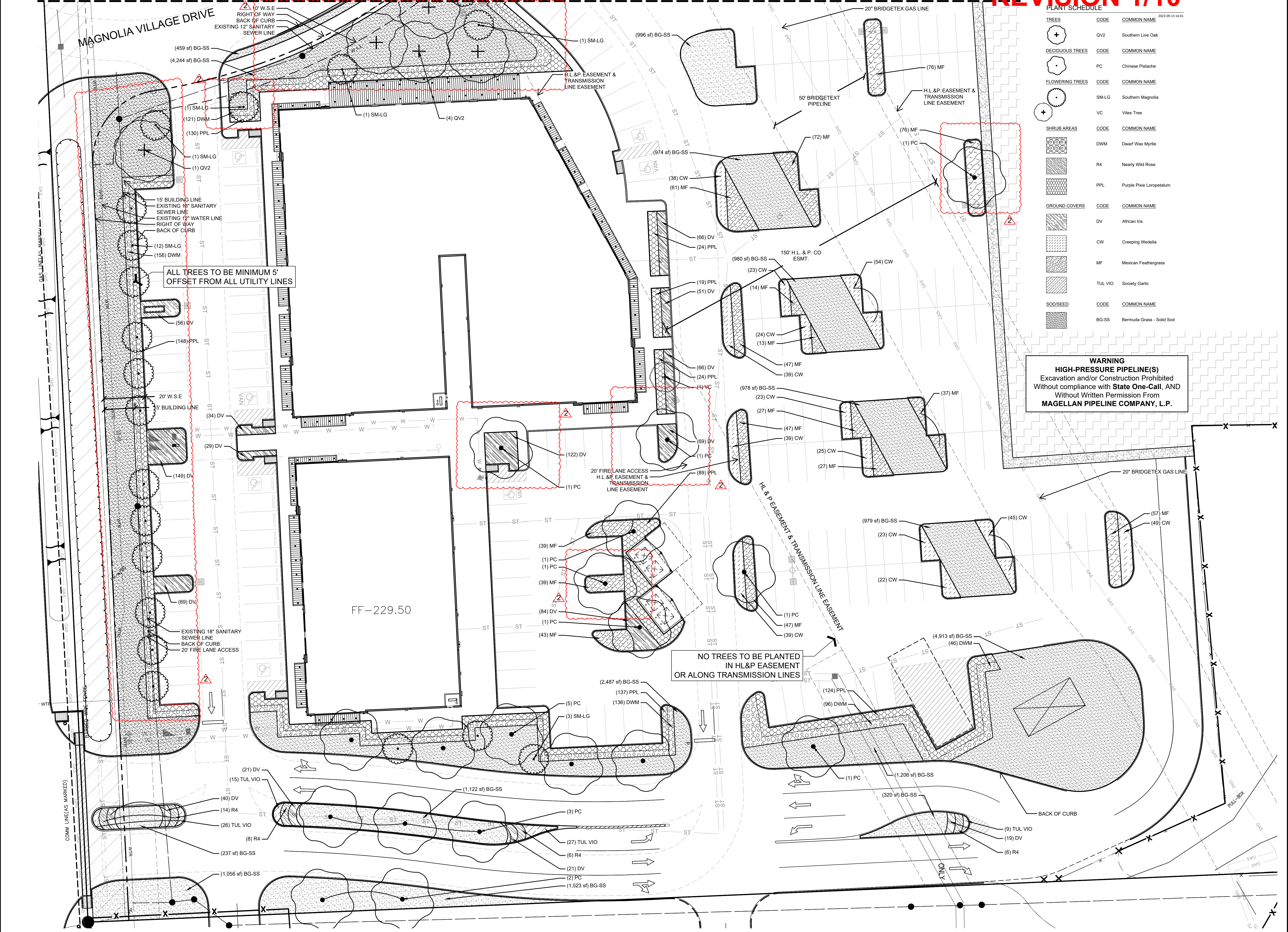
ATTEST:

Christian Gable, Interim City Secretary



MATCHLINE 'A', SEE DETAIL (L7-02)

REVISION 1/10



PLANT SCHEDULE

| TREES | CODE | COMMON NAME |
|-----------------|---------|---------------------------|
| + | QV2 | Southern Live Oak |
| DECIDUOUS TREES | CODE | COMMON NAME |
| ◊ | PC | Chinese Pistache |
| FLOWERING TREES | CODE | COMMON NAME |
| ○ | SM-LG | Southern Magnolia |
| ○ | VC | Vitex Tree |
| SHRUB AREAS | CODE | COMMON NAME |
| ◻ | DWM | Dwarf Wax Myrtle |
| ◻ | R4 | Nearly Wild Rose |
| ◻ | PPL | Purple Pixie Loropetalum |
| GROUND COVERS | CODE | COMMON NAME |
| ◻ | DV | African Iris |
| ◻ | CW | Creeping Wedelia |
| ◻ | MF | Mexican Feathergrass |
| ◻ | TUL VIO | Society Garlic |
| SOD/SEED | CODE | COMMON NAME |
| ◻ | BG-SS | Bermuda Grass - Solid Sod |

WARNING
HIGH-PRESSURE PIPELINE(S)
 Excavation and/or Construction Prohibited
 Without compliance with State One-Call, AND
 Without Written Permission From
MAGELLAN PIPELINE COMPANY, L.P.

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 Jacob Clark

STRUCTURAL:
 C/J Engineers
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 Fax (713) 780-3712
 Britt G. Gardner

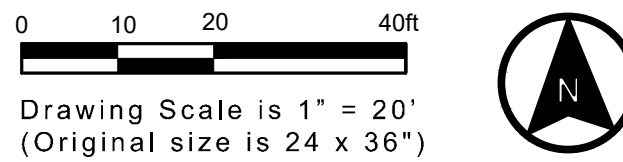
MEP:
 Salas O'Brien
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 Houston, TX 77044
 Phone (281) 664-1900
 Israel Moreno

OWNER:
 GC Magnolia, LP
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 Suite 208
 Houston, TX 77024

OWNER'S REPRESENTATIVE:
 Gulf Coast Commercial Group, INC.
 788 W Sam Houston Parkway N
 Suite 208
 Houston, TX 77024
 Phone (713) 412-5873
 Email: david.green@gulfcoastcg.com
 David Green

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 713.595.2150

identityARCHITECTS



| NO. | DATE | REVISION ISSUE |
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| 1 | 09/13/23 | ISSUE FOR PERMIT |
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PROJECT NAME AND ADDRESS:
**MAGNOLIA VILLAGE RETAIL CENTER
 PHASE 2 SITEWORK TO SERVE
 RETAIL BUILDINGS B, C1, AND C2
 MAGNOLIA, TEXAS 77354**

DRAWN: RB CHECKED: JC

REFERENCE NUMBER: **18050-02**

TITLE:
 LANDSCAPE LAYOUT PLAN

DRAWING NUMBER:

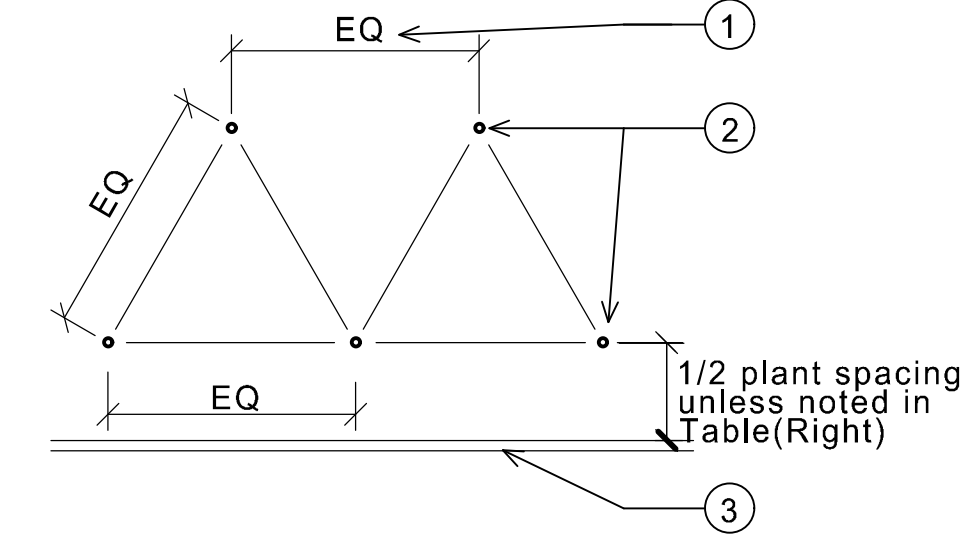
L7-01

REVISION 3/10

| PLANT SCHEDULE | | | | | | | | |
|---------------------------|-------------------------------------|--------|----------|----------|----------|----------|-----------|--|
| TREES | BOTANICAL NAME | CONT | CAL | HEIGHT | SPREAD | | QTY | REMARKS |
| Southern Live Oak | Quercus virginiana | 65 | | | | | 5 | |
| DECIDUOUS TREES | BOTANICAL NAME | CONT | CAL | HEIGHT | SPREAD | | QTY | REMARKS |
| Chinese Pistache | Pistacia chinensis | 65 gal | 2.5" Cal | 8' - 10' | 5' - 6' | | 18 | Single trunk, matching, 2 1/2" cal. Min., container grown |
| FLOWERING TREES | BOTANICAL NAME | CONT | CAL | HEIGHT | SPREAD | | QTY | REMARKS |
| Southern Magnolia | Magnolia grandiflora 'Little Gem' | 45 gal | 2.5" | 8' - 10' | 4' - 6' | | 20 | Single, straight trunk; full, green canopy, container grown, well rooted |
| Vitex Tree | Vitex agnus-castus | 45 gal | 2.5" | 6' - 8' | 4' - 6' | | 1 | Multi trunk; full, green canopy, container grown, well rooted, purple flower |
| SHRUB AREAS | BOTANICAL NAME | CONT | HEIGHT | SPREAD | SPACING | SPACING | QTY | REMARKS |
| Dwarf Wax Myrtle | Myrica cerifera 'Pumila' | 3 gal | 18" | 18" | 24" O.C. | 30" o.c. | 555 | Container grown, well rooted, full, green foliage |
| Nearly Wild Rose | Rosa x 'Nearly Wild' | 3 gal | 24" | 24" | | 30" o.c. | 34 | full pot, container grown |
| Purple Pixie Loropetalum | Loropetalum chinense 'Purple Pixie' | 5 gal | 24" | 24" | 30" O.C. | 30" o.c. | 695 | Container grown, well rooted, full, purple foliage |
| GROUND COVERS | BOTANICAL NAME | CONT | HEIGHT | SPREAD | SPACING | SPACING | QTY | REMARKS |
| African Iris | Dietes vegeta | 3 gal | 24" | 12" | 18" o.c. | | 896 | full pot, container grown |
| Creeping Wedelia | Sphagneticola trilobata | 1 gal | 12" | 12" | 24" o.c. | | 443 | Container grown, well rooted, full, green foliage |
| Mexican Feathergrass | Stipa tenuissima | 3 gal | 12" | 12" | 24" o.c. | | 722 | Container grown, well rooted, full |
| Society Garlic | Tulbaghia violacea | 1 gal | 8" | 8" | 18" o.c. | | 77 | |
| SOD/SEED | BOTANICAL NAME | CONT | HEIGHT | SPREAD | SPACING | SPACING | QTY | REMARKS |
| Bermuda Grass - Solid Sod | Cynodon dactylon | sod | | | | | 48,379 sf | Viable, dense, strongly rooted, free of weeds and undesirable grasses |

SPACING CHART

| Spacing | Plants required per sq/ft |
|----------|---------------------------|
| 6" O.C. | 4.61 |
| 8" O.C. | 2.60 |
| 9" O.C. | 1.78 |
| 10" O.C. | 1.66 |
| 12" O.C. | 1.15 |
| 18" O.C. | .50 |
| 24" O.C. | .28 |
| 30" O.C. | .18 |
| 36" O.C. | .12 |
| 48" O.C. | .07 |



C SHRUB/GROUND COVER SPACING
NTS

Detail Callout Legend:

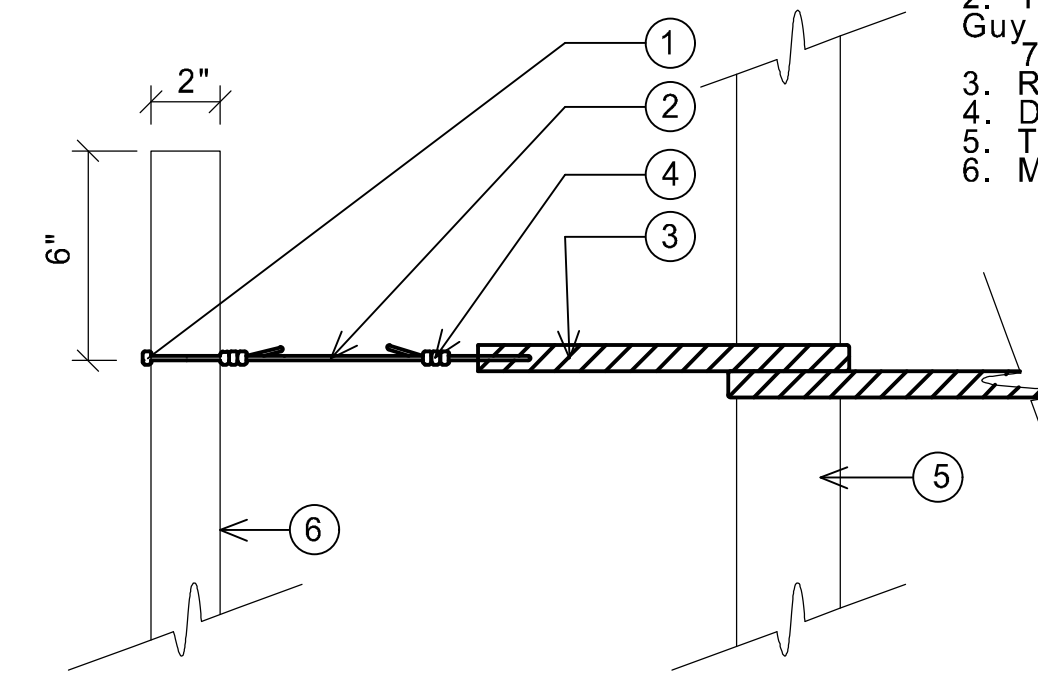
- Spacing As Noted.
- Typical Plant Location.
- Edge of planting (Steele edging, curb, walls...etc) as defined on plan See Detail F, This Sheet For Steele Edge Planting Section

| Common Name | Planting Distance |
|-------------|-------------------|
| | From Curb |

NOTE:
Contractor shall use this spacing chart to determine total Quantities of Shrubs and Groundcover. Contractor shall round total up to nearest whole plant. The Contractor shall be responsible for providing all plantings necessary to fill all planting areas shown on the plans, based upon plant spaces provided by the spacing diagram and chart. Any quantities given by the owner or landscape architect, or determined by the contractor shall be **FOR REFERENCE ONLY**. The contractor shall be responsible for all costs associated with underestimates.

Detail Callout Legend:

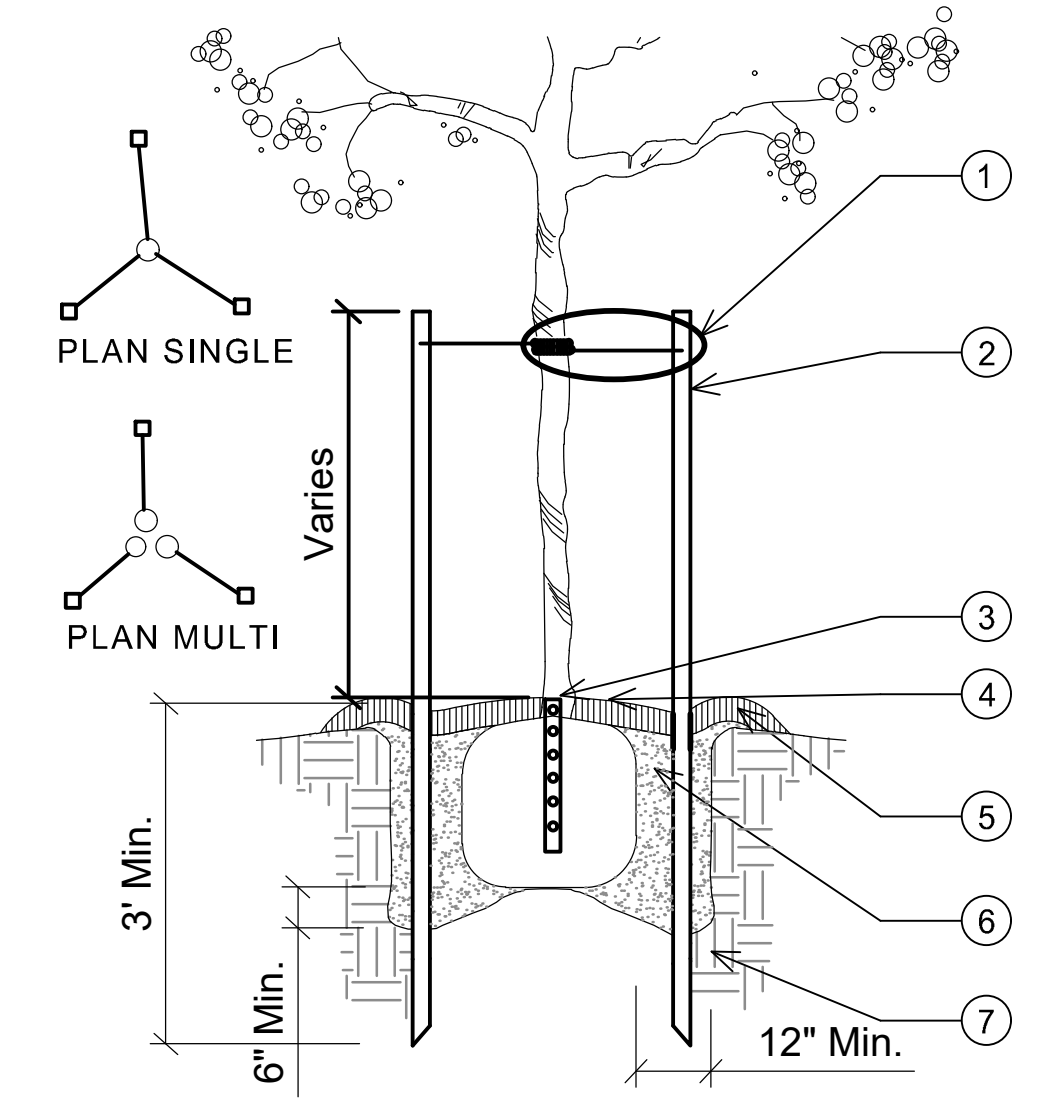
- Staple Nail.
- 1/8" Aircraft Cable Tree Guy.
- 7x7 Strands.
- Rubber Tie, Black.
- Double Crimped Clamp.
- Tree Trunk.
- Metal Stake.



B TREE TIE DETAIL
NTS

Detail Callout Legend:

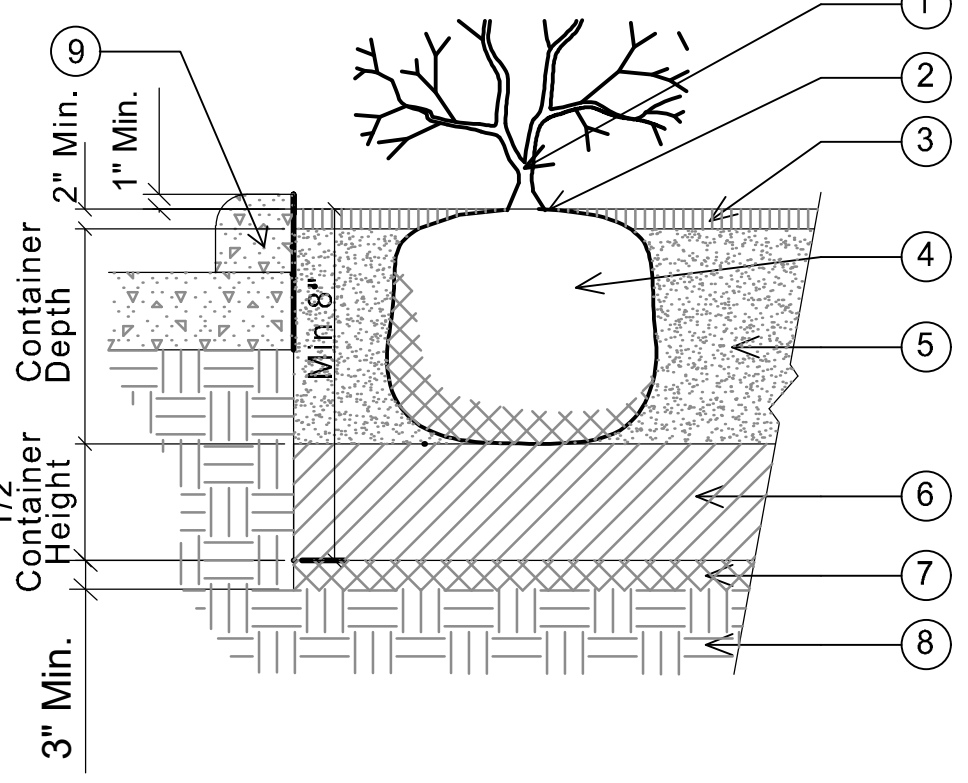
- Tree Tie Detail, See Detail B, This Sheet.
- Metal T-Post, Drive Stakes Min. 3' Into The Ground. Poles Shall be Parallel And Vertical, Top Of Stake Shall Be Even. (3-Min. 30 Gal. And Larger, 2" Min. Smaller Than 30 Gal. 2" Dia. x 24" Long Perforated P.V.C. Pipe (2 Per tree).
- 3" Scarification Layer.
- Undisturbed Soil.
- Concrete Curb or sidewalk (If Applicable)
- 2" Shredded Hardwood Mulch.
- 3" Soil Saucer.
- Compacted Backfill Mix.
- Existing Subgrade.



A TREE STAKING DETAIL
NTS

Detail Callout Legend:

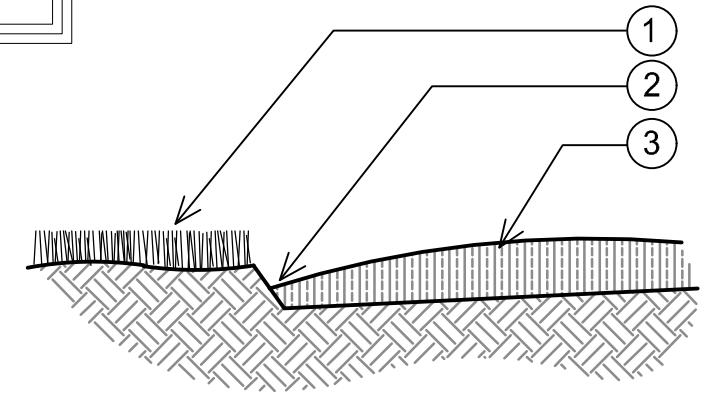
- Plant.
- Top Of Rootball To Be Flush With Grade.
- 2" Shredded Black Hardwood Mulch.
- Rootball.
- Planting Mix Per Soils Analysis.
- Compacted Prepared Planting Mix With Parent Material.
- 3" Scarification Layer.
- Undisturbed Soil.
- Concrete Curb or sidewalk (If Applicable)



D SHRUB/GROUND COVER PLANTING DETAIL
NTS

Detail Callout Legend:

- Lawn
- Shovel Cut Bed Edge
- Prepared bed.



SHOVEL CUT EDGING ALONG ALL SHRUB BEDS UNLESS OTHERWISE NOTED ON THE PLANS

NOTE:
Contractor shall edge at all shrub beds adjacent to turf, unless otherwise noted on plans.

E SHOVEL CUT EDGING DETAIL
NTS

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OWNER'S REPRESENTATIVE:
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Phone (713) 412-5873
Email: david.green@gulfcoastcg.com
David Green

| NO. | DATE | REVISION | ISSUE |
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PROJECT NAME AND ADDRESS:
**MAGNOLIA VILLAGE RETAIL CENTER
PHASE 2 SITINGWORK TO SERVE
RETAIL BUILDINGS B, C1, AND C2
MAGNOLIA, TEXAS 77354**

DRAWN: RB CHECKED: JC
REFERENCE NUMBER: **18050-02**

TITLE:
LANDSCAPE DETAILS

DRAWING NUMBER:
L7-03

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 713.595.2150

September 26, 2023

A d Y \ S ^ E g T _ [f f S ^ X a _ A l f _ W W \ Y T W \ e z W W

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Magnolia Village Site Plan Phase 2 Plan Review
City of Magnolia
AEI Job No. 2325710.00*

(Plans have also been submitted as Magnolia Village Phase 2 Site Plan, Site Work 38860 Spur 149 and 38870 Spur 149, as well as Magnolia Village Phase 2 Site Plan- Retail A1 and A2)

Dear Mr. Doering:

We received the Magnolia Village Site Plan Resubmittal on September 21, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and are offering no objection to the following comments for review and consideration:

1. On the drawings, please provide calculation tables to confirm the required and provided open space, maximum and actual gross density, and the landscaped surface ratio.
2. Provide documentation of the 20' Right of Way acquisition along Spur 149
3. Once site tenants are finalized, please provide lighting and signage packages for review.
4. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter & Woodman Consulting Engineers
TBPELS Registration No. F-21783

Magnolia Reserve A Site submittal

38860-38870 Spur 149

Magnolia, TX 77354

City of Magnolia Project # 2325525.00

City Comments Response, September 15, 2023

| General Comments | |
|-------------------------|--|
| 1. | <p>COMMENT: Provide drawings and plans for site elevation, including building heights and elevation schedule</p> <p>RESPONSE: Elevations have been added to the plans. Refer to A200-A202</p> |
| 2. | <p>COMMENT: Provide tables and calculations showing the required and provided landscape ratio for the development and Magnolia Village, base site area and net buildable area, net and gross densities, and total floor area.</p> <p>RESPONSE: Table has been added to the plans. Refer to L7-02.</p> |
| 3. | <p>COMMENT: Provide a copy of the metes and bounds of the pad sites provided.</p> <p>RESPONSE: A copy of the metes and bounds have been added.</p> |
| 4. | <p>COMMENT: Show the proposed setbacks and bufferyards for the development.</p> <p>RESPONSE: All the easements are shown on C07. They match the recorded plat.</p> |
| 5. | <p>COMMENT: Indicate the land use for each site.</p> <p>RESPONSE: The site will be used for mercantile development. The tenants are to be determined. They will be a mix of business, mercantile or restaurant.</p> |
| 6.. | <p>COMMENT: Indicate where the proposed utility easements are located as approved in the water, sanitary, drainage, and pavement plans.</p> <p>RESPONSE: All existing easements are shown on C07. They match the recorded plat. The proposed water meter utility easements are shown C0.8.</p> |
| 7. | <p>COMMENT: The Magnolia Village Planned Development Amendment was approved July 11, 2023. Per the Magnolia Village Planned Development Agreement:</p> <ul style="list-style-type: none"> a. Standard signage and lighting are allowed. Provide the documentation and plans for review. b. Note the location and dimension of fire lane access. c. Draw the sidewalk's location and width along Magnolia Village Drive. d. Revise the application to list current zoning as Auto-Urban Commercial and Mixed Use Residential. |

RESPONSE:

- a. Proposed signage is shown on A011. Design of signage will be submitted in separate submittal. The lighting matches adjacent lot and photometric with lights is shown on E001.
- b. Fire lane is shown on A011.
- c. Sidewalk is 8 ft and dimension has been added to C07.
- d. The application has been revised.

FREELAND and KAUFFMAN, INC.

ENGINEERS / LANDSCAPE ARCHITECTS

October 12, 2023

To: Timothy Robertson
From: Ankita Kot
Subject: Lowe's of Magnolia, TX

Below please find responses for the comments received on 10/6/2023 for the above referenced project.

1. Sheet 1 – Cover Sheet
 - a) Utility contact for water and sewer has been updated.
 - b) Phone number for city engineer has been changed.
 - c) We have received a physical address for store site from Montgomery County addressing. It is 4427 Magnolia Village Dr, Magnolia, TX 77354.
2. Storm drain calculations have been provided on sheet #29 for 5-yr and 100-yr storm. Refer to sheet #29 & 30.
3. Sheet 3 – Site Plan: Site address is 4427 Magnolia Village Dr, Magnolia, TX 77354.
4. Sheet 2 & 3 – Sheet 3 shows proposed 30' wide access easement. Legal document will be provided at a later date. Since, Sheet 2 is existing condition plan, it does not show proposed easement.
5. Sheet 2: Signed survey map has been included with this submittal. Refer to sheet #2 & 2A.
6. Sheet 18 – Landscape Plan: Landscape plan has been revised per PD document. Refer to sheet #18. Revised Irrigation plan will be provided at a later date.
7. Sheet 2 – Parking area at customer loading canopy: 10" storm drain pipe is intended to connect to the roof drain for the canopy.
8. Sheet 10 – Spot elevations have been provided at all islands. The stormwater sheet flow across the parking lot and around the islands to inlets 10, 9, 8 & 7. Refer to sheet #10.
9. Sheet 10 – At the southwest corner of the site, 2.5:1 slope is only 2 feet high. The slope height is not that high.
10. Sheet 10 – Note has been revised. Wye inlet will be converted into manhole and top of manhole will flush with proposed grade. Currently, stormwater drain from Lowe's site onto the adjacent tract along the western property line. We are not changing drainage pattern.

FREELAND and KAUFFMAN, INC.

ENGINEERS / LANDSCAPE ARCHITECTS

11. Sheet 3 –The parking complies with this UDC.
12. So noted.
13. So noted. Architect will submit to TAS.

Please contact me at 864-672-3425 or via e-mail akot@fk-inc.com with any questions.

SITE DEVELOPMENT PLANS FOR



OF MAGNOLIA TEXAS CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

UTILITY CONTACTS

WATER & SEWER
CITY OF MAGNOLIA
18111 BUDDY RILEY BLVD
MAGNOLIA, TX 77354
CONTACT: BURT SMITH
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E-MAIL: BSMITH@CITYOFMAGNOLIA.COM

ELECTRIC
CENTERPOINT ENERGY
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CYPRESS, TX 77429

(FOR TRANSFORMER)
CONTACT: TANVI JAGGI
PHONE: 713-207-6242
E-MAIL: TANVI.JAGGI@CENTERPOINTENERGY.COM

(FOR SERVICE LINE)
CONTACT: CHARLES BROWNE
PHONE: 832-773-6057
E-MAIL: SOTERO.BROWNE@CENTERPOINTENERGY.COM

NATURAL GAS
DAYLIGHT PETROLEUM
PHONE: 405-428-7200
E-MAIL: BSCHALK@DAYLIGHTPETROLEUM.COM

TELEPHONE
AT&T
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ROOM 205
HOUSTON, TX 77037
CONTACT: JEFF LUCAS
PHONE: 832-331-7582
E-MAIL: JL4625@ATT.COM

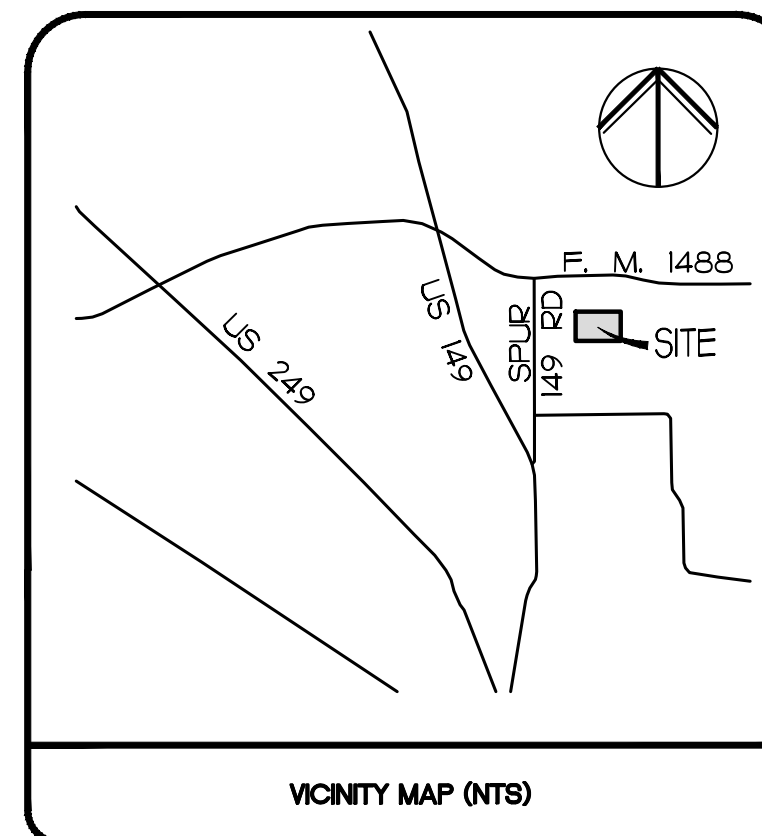
GOVERNMENT CONTACTS

PLANNING
CITY OF MAGNOLIA
18111 BUDDY RILEY BLVD
MAGNOLIA, TX 77354
CONTACT: CHRISTIAN GABLE
PHONE: 281-305-0550
E-MAIL: CGABLE@CITYOFMAGNOLIA.COM

ENGINEER
CITY OF MAGNOLIA
18111 BUDDY RILEY BLVD
MAGNOLIA, TX 77354
CONTACT: TIMOTHY ROBERTSON
PHONE: 979-551-6868
E-MAIL: TROBERTSON@CITYOFMAGNOLIA.COM

FIRE MARSHAL
501 NORTH THOMPSON
SUITE 100
CONROE, TX 77301
CONTACT: BRIAN CROSS
PHONE: 936-538-8288
E-MAIL: BRIAN.CROSS@MCTX.ORG

MONTGOMERY COUNTY MUD 108
1904 WEST GRAND PARKWAY NORTH
SUITE 100
KATY, TX 77449
CONTACT: DAVID RIVERA
PHONE: 713-953-5277
E-MAIL: DRIVERA@LJA.COM



SITE ADDRESS
4427 MAGNOLIA VILLAGE DR
MAGNOLIA, TX 77354
PARCEL ID - R529858, R529857

GENERAL NOTES:

1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12", WHICHEVER IS LESS, CONTACT FREELAND AND KAUFFMAN, INC. (864-233-5497) AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. OWNER AND FREELAND AND KAUFFMAN, INC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
4. CALL UTILITY LOCATION SERVICE: UTILITY LOCATOR SERVICE 72 HOURS IN ADVANCE OF DIGGING 811.
5. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CURRENT LOWE'S SITE WORK SPECIFICATIONS.
6. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR STATE/LOCAL ACCESSIBILITY CODE, WHICHEVER IS MORE RESTRICTIVE.
7. PRE-CAST DRAINAGE AND SANITARY SEWER STRUCTURES HAVE BEEN SPECIFIED ON THE PLANS. OWNER AND FREELAND AND KAUFFMAN, INC. HOWEVER, ASSUME NO RESPONSIBILITY FOR THESE STRUCTURES AS FIELD CONDITIONS DURING CONSTRUCTION OFTEN DICTATE MINOR ELEVATION ADJUSTMENTS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND EXPENSE FOR MODIFYING THESE STRUCTURES TO ACCOMMODATE THESE FIELD ADJUSTMENTS.
8. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT, PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT WATER AND SEWER PLANS TO BE SUBMITTED TO CITY OF MAGNOLIA UTILITY DEPARTMENT AND/OR FDEP. ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH OBTAINING PERMITS TO OPERATE AND RELEASE OF BONDS.
9. ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF THE CITY OF MAGNOLIA UTILITY DEPARTMENT AND/OR FDEP.
10. A COPY OF THE NPDES APPROVAL, NOTICE OF COVERAGE, AND THE STORM WATER POLLUTION PREVENTION PLAN MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
11. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY CITY OF MAGNOLIA UTILITY DEPARTMENT AND/OR FDEP.
12. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
13. EROSION & SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO INSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
14. ALL DRAINAGE STRUCTURES MUST MEET TxDOT SPECIFICATIONS.

SHEET LIST TABLE

| NO. | TITLE |
|-----|-------------------------------|
| 1 | COVER SHEET |
| 2 | ALTA-NSPS LAND TITLE SURVEY-1 |
| 2A | ALTA-NSPS LAND TITLE SURVEY-2 |
| 3 | SITE PLAN |
| 4 | SITE DETAILS 1 |
| 5 | SITE DETAILS 2 |
| 6 | UTILITY PLAN |
| 7 | UTILITY DETAILS 1 |
| 8 | UTILITY DETAILS 2 |
| 9 | UTILITY DETAILS 3 |
| 10 | GRADING PLAN |
| 11 | STORM DRAIN DETAILS-1 |
| 12 | STORM DRAIN DETAILS-2 |
| 13 | PROFILES |
| 14 | ESC PHASE 1 |
| 15 | ESC PHASE 2 |
| 16 | SWPPP DETAILS 1 |
| 17 | SWPPP DETAILS 2 |
| 18 | LANDSCAPE PLAN |
| 19 | LANDSCAPE DETAILS |
| 20 | SITE PHOTOMETRIC PLAN |
| 21 | SITE LIGHTING PLAN-1 |
| 22 | SITE LIGHTING PLAN-2 |
| 23 | IRRIGATION PLAN IR-1 |
| 24 | IRRIGATION PLAN IR-2 |
| 25 | IRRIGATION PLAN IR-3 |
| 26 | IRRIGATION PLAN IR-4 |
| 27 | IRRIGATION PLAN IR-5 |
| 28 | IRRIGATION PLAN IR-6 |
| 29 | STORM DRAIN CALCULATIONS-1 |
| 30 | STORM DRAIN CALCULATIONS-2 |

ENGINEER:

FREELAND & KAUFFMAN, INC.
209 WEST STONE AVENUE
GREENVILLE, SC 29609
ATTN: TODD SIMMONS, PE
PHONE: (864) 672-3426
E-MAIL: TSIMMONS@FK-INC.COM
TX FIRM LICENSE #139055

DEVELOPER:

LOWE'S HOME CENTERS, LLC
1000 LOWE'S BOULEVARD
MOORESVILLE, NC 28117
ATTN: DAVID DEAL
PHONE: (704) 883-6814
E-MAIL: DAVID.S.DEAL@LOWES.COM



10-12-2023

| DATE | REVISIONS |
|------|-----------|
| | |
| | |
| | |
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SHEET 1
OCTOBER 12, 2023

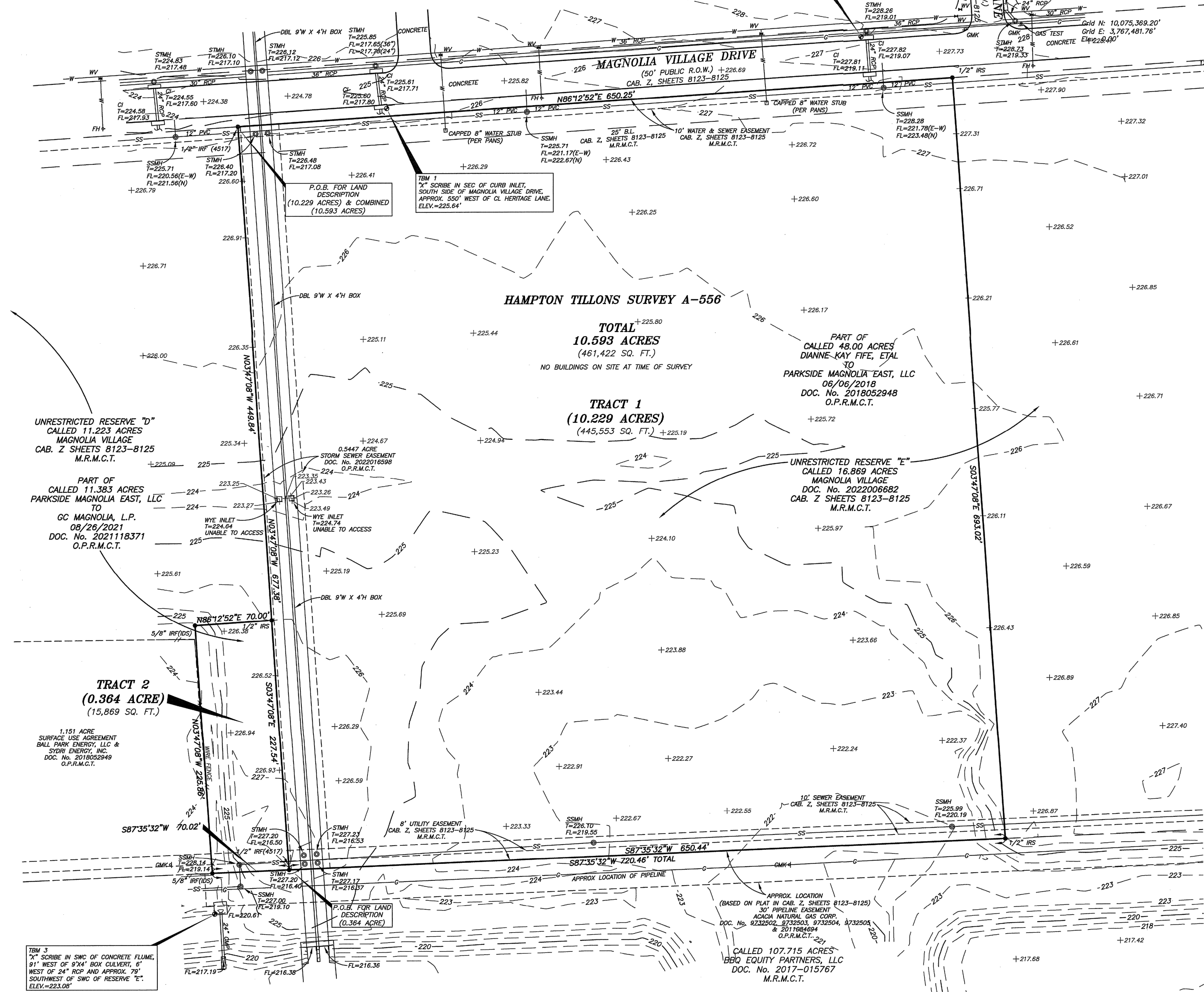
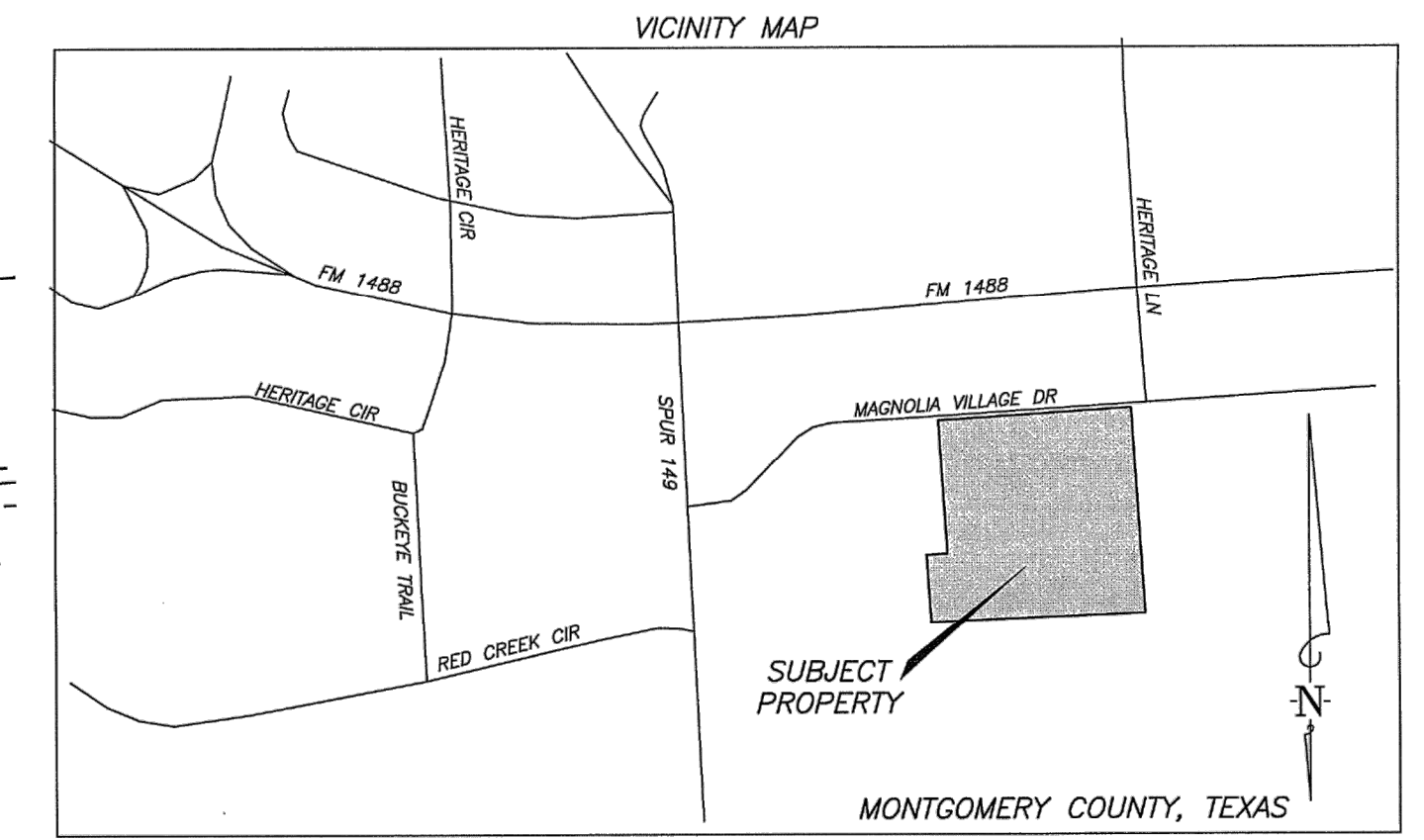
NOTE: THE VERTICAL DATUM OF THIS SURVEY IS 0.63' LOWER THAN THE SITE BENCHMARK SHOWN ON THE PLANS FOR PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER. PLAN BENCHMARK: "TBM 3" ON THE SWC OF A CONCRETE BASE OF A TSOB PEDESTAL LOCATED AT THE SEC OF THE INTERSECTION OF FM 1488 & SPUR 149. PLAN ELEVATION = 229.00' NAVD 88 (2011 ADJUSTMENT) = 228.37' (THIS SURVEY DATUM)

FLOOD NOTE:
ACCORDING TO FIRM MAP COMMUNITY PANELS 48339C0485G, MAP REVISED AUGUST 18, 2014, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE "A" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SCALED FROM SAID MAP, THIS IS NOT A DETERMINATION BY THE SURVEYOR AS TO WHETHER OR NOT THE SUBJECT PROPERTY WILL ACTUALLY EXPERIENCE FLOODING.

UNRESTRICTED RESERVE "A"
CALLED 10.068 ACRES
MAGNOLIA VILLAGE
CAB. Z SHEETS 8123-8125
M.R.M.C.T.

TBM 2
"X" SCRIBE IN NWC OF CURB INLET,
NORTH SIDE OF MAGNOLIA VILLAGE DRIVE,
APPROX. 117' WEST OF CL HERITAGE LANE,
ELEV.=227.83'

UNRESTRICTED RESERVE "B"
CALLED 6.620 ACRES
MAGNOLIA VILLAGE
CAB. Z SHEETS 8123-8125
M.R.M.C.T.



BASED ON COMMITMENT FOR TITLE INSURANCE OF No. SAT-41-4000412300748-CV, EFFECTIVE DATE AUGUST 2, 2023, ISSUED AUGUST 15, 2023 SUPPLIED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, THE EASEMENT DOCUMENTS LISTED IN SCHEDULE "B" THEREIN AFFECTING THE SUBJECT PROPERTY ARE SHOWN BELOW:

THE FOLLOWING INSTRUMENTS DO AFFECT THE SUBJECT PROPERTY

- 1) CAB. Z. SHEETS 8123-8125 - PLAT OF MAGNOLIA VILLAGE (BOTH TRACTS)
- 1) DOC. No. 2021118370 - DECLARATION OF ACCESS, UTILITIES DRAINAGE EASEMENTS, COVENANTS AND CONDITIONS (BOTH TRACTS)
- 10a) CAB. Z. SHEETS 8123-8125 - PLAT OF MAGNOLIA VILLAGE (25' BUILDING LINE) (TRACT 1)
- 10j) CAB. Z. SHEETS 8123-8125 - PLAT OF MAGNOLIA VILLAGE (10' WATER & SEWER EASEMENT) (TRACT 1)
- 10j,ad) CAB. Z. SHEETS 8123-8125 - PLAT OF MAGNOLIA VILLAGE (10' SEWER EASEMENT) (BOTH TRACTS)
- 10j,ac) CAB. Z. SHEETS 8123-8125 - PLAT OF MAGNOLIA VILLAGE (8' UTILITY EASEMENT) (BOTH TRACTS)
- 10j) DOC. No. 2018052949 - 0.153 ACRE SURFACE USE AGREEMENT
- 10m) DOC. No. 2021118370 - DECLARATION OF ACCESS, UTILITIES AND DRAINAGE EASEMENTS, COVENANTS AND CONDITIONS (BOTH TRACTS)
- 10n) DOC. No. 2022016598 - 0.5447 ACRE STORM SEWER EASEMENT (TRACT 1)
- 10o) DOC. No. 2019021395 - ORDINANCE No. 0-2019-008 ANNEXATION TO CITY OF MAGNOLIA, TX (BOTH TRACTS)
- 10j) DOC. No. 2022015213 - ORDER ADDING LAND TO MONTGOMERY CO. MUNICIPAL UTILITY DISTRICT 108 (BOTH TRACTS)
- 10z) DOC. No. 2023047453 - WAIVER OF SPECIAL APPRAISAL FOR MONTGOMERY CO. MUNICIPAL UTILITY DISTRICT 108 (BOTH TRACTS)
- 10aa) DOC. No. 2023038910 - PARTIAL ASSIGNMENT AND ASSUMPTION OF DEVELOPMENT AGREEMENT (BOTH TRACTS)
- 10ae) DOC. No. 2021118371 - WARRANTY DEED (11.383 ACRES) (TRACT 2)

THE FOLLOWING INSTRUMENTS DO NOT AFFECT THE SUBJECT PROPERTY

- 10k) VOL. 106 PG. 405 EASEMENT TO SINCLAIR PIPELINE CO. (PARTIAL RELEASED IN DOC. No. 2019010568)
- 10ab) DOC. No. 20211899596 - BLANKET EASEMENT TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC

THE FOLLOWING INSTRUMENTS ARE BLANKET EASEMENTS ACROSS A 100 ACRE TRACT, BASED SOLELY ON THE LOCATION AS SHOWN ON THE PLAT OF MAGNOLIA VILLAGE, RECORDED IN DOC. No. 202206682 (CAB. Z. SHEETS 8123-8125), DO NOT AFFECT THE SUBJECT PROPERTY

- 10j) DOC. No. 9411414 - 30' EASEMENT TO WINNIE PIPELINE COMPANY (BLANKET)
- 10j) DOC. No. 9732502, 9732503, 9732504 AND 9732505 - 30' EASEMENT TO ACACIA NATURAL GAS CORP. (BLANKET)
- 10j) DOC. No. 2011094694 - ASSIGNMENT TO SOUTHWESTERN GAS PIPELINE, INC.

THE FOLLOWING INSTRUMENTS AS THEY PERTAIN TO ANY OIL, GAS OR MINERAL INTEREST IS NOT ADDRESSED HEREIN, THEREFORE THE CURRENT EFFECT ON THE SUBJECT PROPERTY HAS NOT BEEN DETERMINED BY THIS SURVEY.

- 10p) VOL. 130 PG. 359, VOL. 217 PG. 178, VOL. 331 PG. 257
- 10q) VOL. 326 PG. 238, DOC. No. 2000-039041, DOC. No. 2000-039042, DOC. No. 2000-039043
- 10r) VOL. 724 PG. 347, DOC. No. 9156451, DOC. No. 9301403, DOC. No. 9462612, DOC. No. 9539591
- DOC. No. 9715928, DOC. No. 9733112, DOC. No. 9809847, DOC. No. 9818109, DOC. No. 9890417
- DOC. No. 99014119, DOC. No. 2002-006787, DOC. No. 2015034597, DOC. No. 2015034598, DOC. No. 2015034599
- 10e) DOC. No. 2018052948
- 10i) VOL. 237 PG. 468
- 10u) DOC. No. 9300578
- 10v) DOC. No. 9052475, DOC. No. 9052476
- 10w) DOC. No. 9139611

SEE SHEET 2 OF 2 FOR LAND DESCRIPTIONS

To: Lowe's Home Centers, LLC and Fidelity National Title Insurance Company

I, Joe W. Clark, a Registered Professional Land Surveyor in the State of Texas, hereby certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on 06/13/2023.

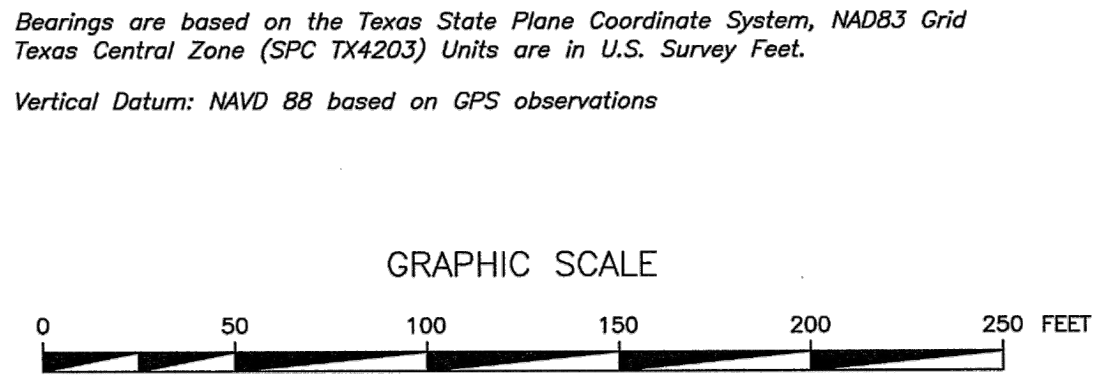
Joe W. Clark 09/12/2023
Joe W. Clark
Registered Professional Land Surveyor No. 4356



NOTE:
UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON A COMBINATION OF VISIBLE FIELD SURVEY DATA, SUPPLIED UTILITY MAPS AND MARKED LOCATION BY THE UTILITY OWNERS. THE UTILITIES SHOWN MAY NOT REFLECT ALL UNDERGROUND UTILITIES IN THE AREA. SURVEYOR DID NOT PHYSICALLY ENTER MANHOLES, CURB INLETS OR GRATE INLETS. UNDERGROUND PIPE SIZES AND FLOWING ELEVATIONS WERE DETERMINED BY A "MEASURE-DOWN" METHOD FROM RIM OR TOP OF STRUCTURE AND DEPENDING ON THE CONDITIONS, MAY BE APPROXIMATE. PRIOR TO ANY CONSTRUCTION, THESE UTILITIES SHOULD BE VERIFIED BY LOCAL UTILITY COMPANIES AND AUTHORIZED EXPOSURE WHERE PRECISE ELEVATION OR LOCATION ARE CRITICAL.

SYMBOL LEGEND

| | | | |
|-----|----------------------------------|------|--------------------------|
| SS | SANITARY SEWER | GMK | GAS MARKER |
| W | WATER LINE | SSMH | SANITARY SEWER MANHOLE |
| UGT | UNDERGROUND TELEPHONE | CO | SANITARY SEWER CLEAN-OUT |
| FOC | UNDERGROUND FIBER OPTIC CABLE | STMH | STORM MANHOLE |
| USE | UNDERGROUND ELECTRIC | FH | FIRE HYDRANT |
| G | GAS PIPELINE | WM | WATER METER |
| IRF | IRON ROD FOUND W/4517 OR IDS CAP | WV | WATER VALVE |
| IRS | IRON ROD SET W/SUMMIT CAP | B | BENCHMARK |
| | | T | TOP |
| | | FL | FLOWLINE |



ALTA/NSPS LAND TITLE SURVEY
10.593 ACRES
HAMPTON TILLONS SURVEY A-556
MONTGOMERY COUNTY, TEXAS

| | |
|-------------|--------|
| DATE | BY |
| 08/21/23 | JWC |
| 09/12/23 | JWC |
| REVISIONS | ISSUE |
| PRELIMINARY | ISSUED |

Summit Surveying, Inc.
Land Boundary • Topography • GPS • Geodetic
2040 Deerebrook Drive, Tyler, Texas 75703 • (903)-561-9544
TBPLS Firm No. 10081000

ALTA/NSPS LAND TITLE SURVEY
10.593 ACRES
HAMPTON TILLONS SURVEY A-556
MONTGOMERY COUNTY, TEXAS

| | |
|-------------|----------|
| PROJECT NO. | 23-035 |
| DATE | 09/12/23 |
| BY | JWC |
| CHECKED BY | MLN |
| DATE | 09/12/23 |

SUMMIT SURVEYING, INC. 10.229 ACRES

Tract 1
10.229 Acres

All that certain tract or parcel of land situated in the Hampton Tillons Survey Abstract No. 556, Montgomery County, Texas, and being a part of a called 48.00 acre tract as described by deed from Dianne Kay Fife, et al to Parkside Magnolia East, LLC, dated June 6, 2018 and recorded in Document No. 2018052948 in the Official Public Records of Montgomery County, Texas, same being a part of Unrestricted Reserve "E" as shown on the plat of Magnolia Village, recorded in Document No. 2022006682 (Cabinet Z, Sheets 8123-8125) in the Map Records of Montgomery County, Texas (the "Magnolia Village Plat") and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found with cap "4517" for the northwest corner of said Unrestricted Reserve "E" and the northeast corner of Unrestricted Reserve "D" as shown on the Magnolia Village Plat, same being in the south right of way line of Magnolia Village Drive (50.0 feet public right of way);

THENCE North 86 deg. 12 min. 52 sec. East with the north line of said Unrestricted Reserve "E" and with said south right of way line of Magnolia Village Drive, a distance of 650.25 feet to a 1/2 inch iron rod set with "Summit" cap for corner in same;

THENCE South 03 deg. 47 min. 08 sec. East across said Unrestricted Reserve "E", a distance of 693.02 feet to a 1/2 inch iron rod set with "Summit" cap for corner in the south line of said Unrestricted Reserve "E" and being in the north line of a called 107.715 acre tract as described by deed to BBO Equity Partners, LLC, recorded in Document No. 2017-015767 in said Official Public Records;

THENCE South 87 deg. 35 min. 32 sec. West with said south line of said Unrestricted Reserve "E" and said north line of said property of BBO Equity Partners, LLC a distance of 650.44 feet to a 1/2 inch iron rod found with cap "4517" for the southwest corner of said Unrestricted Reserve "E" and the southeast corner of said Unrestricted Reserve "D";

THENCE North 03 deg. 47 min. 08 sec. West with the west line of said Unrestricted Reserve "E" and the east line of said Unrestricted Reserve "D", a distance of 677.38 feet to the PLACE OF BEGINNING and containing 10.229 acres (445,553 sq. ft.) of land.

Tract 2
0.364 of an Acre

All that certain tract or parcel of land situated in the Hampton Tillons Survey Abstract No. 556, Montgomery County, Texas, and being a part of a called 11.383 acre tract as described by deed from Parkside Magnolia East, LLC to GC Magnolia, LP, dated August 26, 2021 and recorded in Document No. 2021118371 in the Official Public Records of Montgomery County, Texas, same being a part of Unrestricted Reserve "D" as shown on the plat of Magnolia Village, recorded in Document No. 2022006682 (Cabinet Z, Sheets 8123-8125) in the Map Records of Montgomery County, Texas (the "Magnolia Village Plat") and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found with cap "4517" for the southeast corner of said Unrestricted Reserve "D", same being the southwest corner of Unrestricted Reserve "E" as shown on said Magnolia Village Plat;

THENCE South 87 deg. 35 min. 32 sec. West with the south line of said Unrestricted Reserve "D" and said 11.383 acre tract, a distance of 70.02 feet to a 1/2 inch iron rod set with "Summit" cap set for corner in same;

THENCE across said Unrestricted Reserve "D" as follows:

- North 03 deg. 47 min. 08 sec. West a distance of 225.86 feet to a 1/2 inch iron rod set with "Summit" cap for corner and,
- North 86 deg. 12 min. 52 sec. East a distance of 70.00 feet to a 1/2 inch iron rod set with "Summit" cap for corner in the east line of said Unrestricted Reserve "D" and the west line of said Unrestricted Reserve "E";

THENCE South 03 deg. 47 min. 08 sec. East with the east line of said Unrestricted Reserve "D" and the west line of said Unrestricted Reserve "E", a distance of 227.54 feet to the PLACE OF BEGINNING and containing 0.364 of an acre (15,869 sq. ft.) of land.

Combined Parcel
10.593 Acres

All that certain tract or parcel of land situated in the Hampton Tillons Survey Abstract No. 556, Montgomery County, Texas, and being (i) a part of a called 48.00 acre tract as described by deed from Dianne Kay Fife, et al to Parkside Magnolia East, LLC, dated June 6, 2018 and recorded in Document No. 2018052948 in the Official Public Records of Montgomery County, Texas, and (ii) a part of a called 11.383 acre tract as described by deed from Parkside Magnolia East, LLC to GC Magnolia, LP, dated August 26, 2021 and recorded in Document No. 2021118371 in the Official Public Records of Montgomery County, Texas, same being a part of Unrestricted Reserve "D" and a part of Unrestricted Reserve "E" as shown on the plat of Magnolia Village, recorded in Document No. 2022006682 (Cabinet Z, Sheets 8123-8125) in the Map Records of Montgomery County, Texas (the "Magnolia Village Plat") and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found with cap "4517" for the northwest corner of said Unrestricted Reserve "E" and the northeast corner of Unrestricted Reserve "D" as shown on the Magnolia Village Plat, same being in the south right of way line of Magnolia Village Drive (50.0 feet public right of way);

THENCE North 86 deg. 12 min. 52 sec. East with the north line of said Unrestricted Reserve "E" and with said south right of way line of Magnolia Village Drive, a distance of 650.25 feet to a 1/2 inch iron rod set with "Summit" cap for corner in same;

THENCE South 03 deg. 47 min. 08 sec. East across said Unrestricted Reserve "E", a distance of 693.02 feet to a 1/2 inch iron rod set with "Summit" cap for corner in the south line of said Unrestricted Reserve "E" and being in the north line of a called 107.715 acre tract as described by deed to BBO Equity Partners, LLC, recorded in Document No. 2017-015767 in said Official Public Records;

THENCE South 87 deg. 35 min. 32 sec. West with said south line of said Unrestricted Reserve "E" and said north line of said property of BBO Equity Partners, LLC a distance of 650.44 feet to a 1/2 inch iron rod found with cap "4517" for the southwest corner of said Unrestricted Reserve "E" and the southeast corner of said Unrestricted Reserve "D";

THENCE South 87 deg. 35 min. 32 sec. West with the south line of said Unrestricted Reserve "D" and said 11.383 acre tract, a distance of 70.02 feet to a 1/2 inch iron rod set with "Summit" cap set for corner in same;

THENCE across said Unrestricted Reserve "D" as follows:

- North 03 deg. 47 min. 08 sec. West a distance of 225.86 feet to a 1/2 inch iron rod set with "Summit" cap for corner and,
- North 86 deg. 12 min. 52 sec. East a distance of 70.00 feet to a 1/2 inch iron rod set with "Summit" cap for corner in the east line of said Unrestricted Reserve "D" and the west line of said Unrestricted Reserve "E";

THENCE North 03 deg. 47 min. 08 sec. West with the west line of said Unrestricted Reserve "E" and the east line of said Unrestricted Reserve "D", a distance of 449.84 feet to the PLACE OF BEGINNING and containing 10.593 acres (461,422 sq. ft.) of land.

To: Lowe's Home Centers, LLC and Fidelity National Title Insurance Company

I, Joe W. Clark, a Registered Professional Land Surveyor in the State of Texas, hereby certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on 06/13/2023.

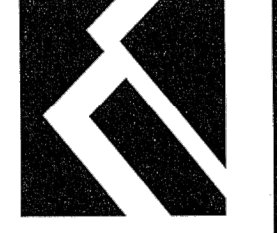
Joe W. Clark 09/12/2023
Joe W. Clark
Registered Professional Land Surveyor No. 4366



ALTA/NSPS LAND TITLE SURVEY
10.593 ACRES
HAMPTON TILLONS SURVEY A-556
MONTGOMERY COUNTY, TEXAS
SHEET 2 OF 2

| REVISIONS | DATE | BY |
|-----------|----------|-----|
| ISSUED | 08/21/23 | JWC |
| | 09/12/23 | JWC |

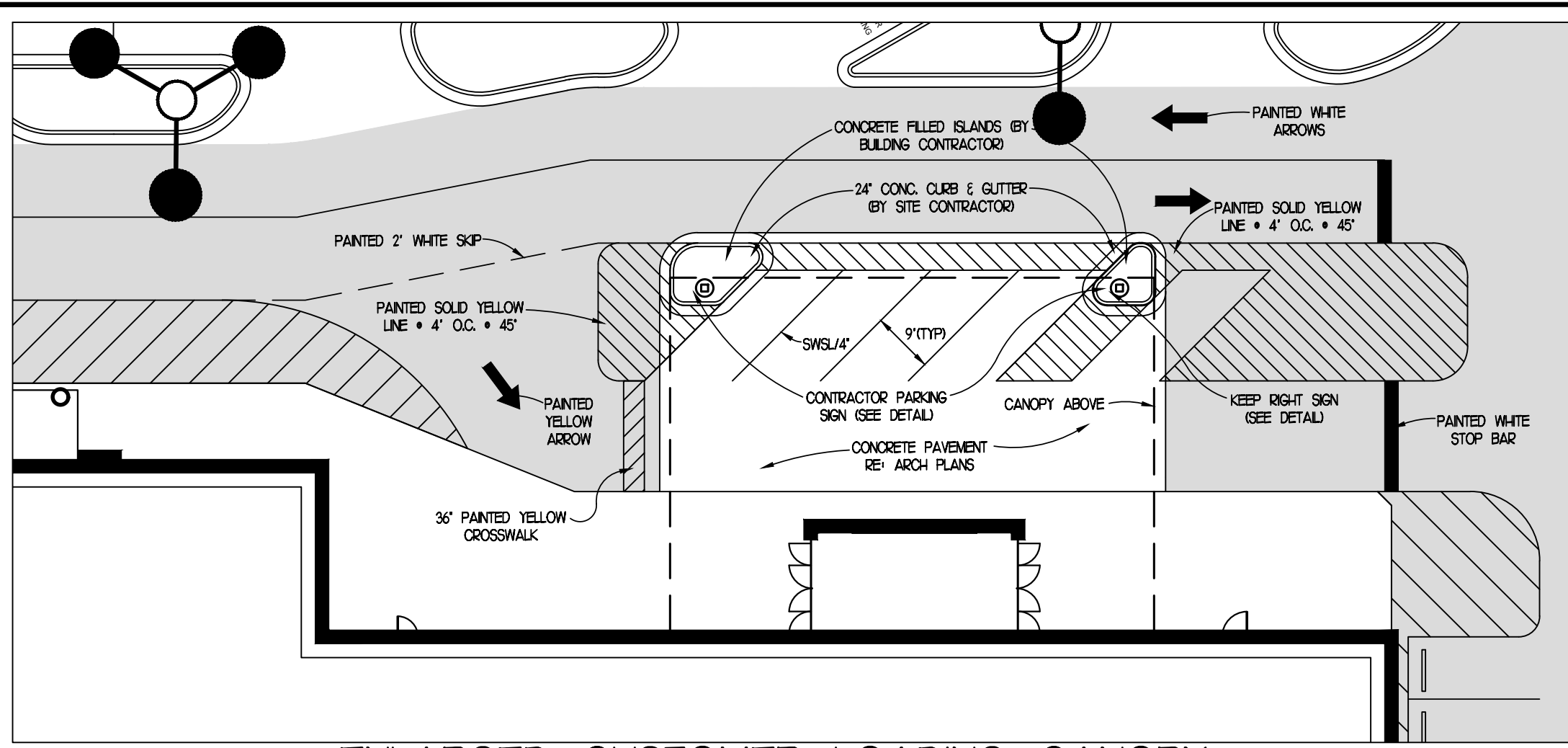
Summit Surveying, Inc.
Land Boundary • Topography • GPS • Geodetic
2040 Deerbroke Drive, Tyler, Texas 75703 • (903)-561-9544
TBP/LS Firm No. 10081000



ALTA/NSPS LAND TITLE SURVEY
10.593 ACRES
HAMPTON TILLONS SURVEY A-556
MONTGOMERY COUNTY, TEXAS

This drawing and all related documents are the property of Summit Surveying, Inc. and are not to be reproduced, copied, or disseminated in any form without the written consent of Summit Surveying, Inc. The surveyor's seal and signature are required for all copies of this drawing. The surveyor's seal and signature are required for all copies of this drawing.

| | |
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| PROJECT MGR. | JWC |
| PROJECT TECH. | JWC |
| CHECKED BY | MLN |
| JOB NO. | 23-035 |



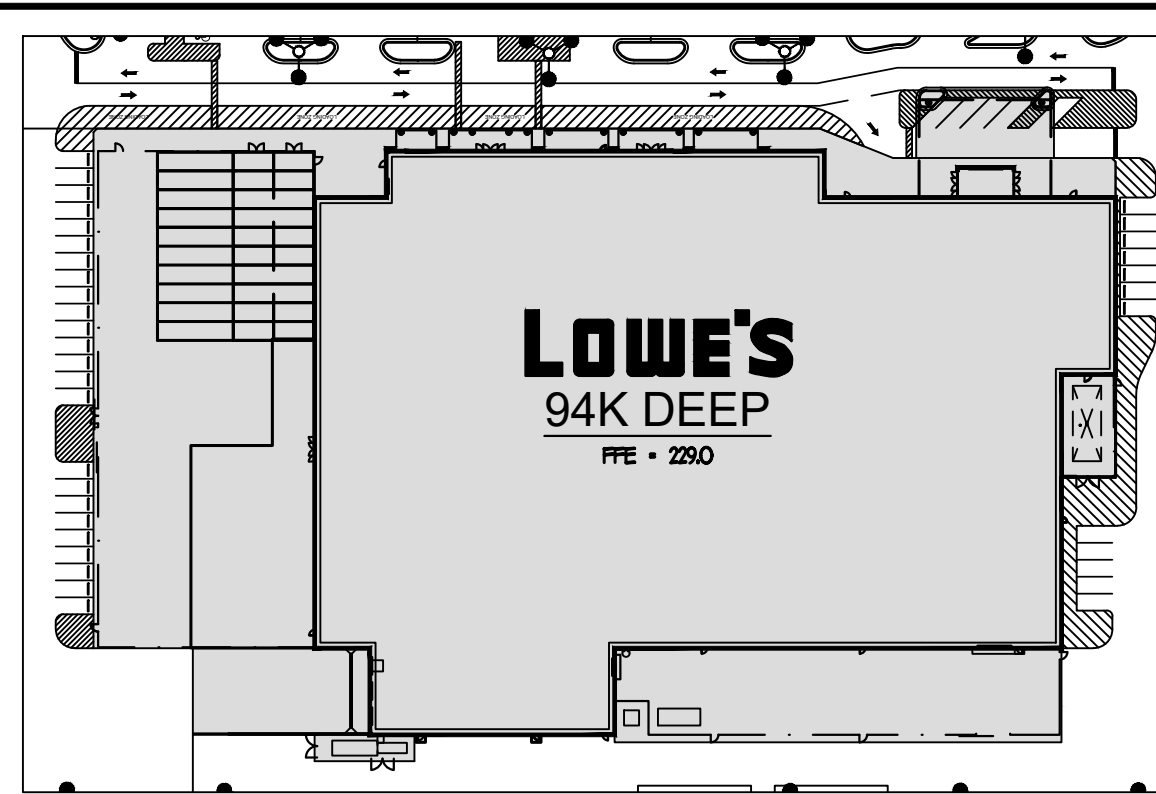
ENLARGED CUSTOMER LOADING CANOPY

SCALE = 1:20

TBM 1
"X" SCRIBE IN SEC OF CURB INLET, SOUTH SIDE OF MAGNOLIA VILLAGE DRIVE, APPROX. 550' WEST OF CL HERITAGE LANE. ELEV.=225.64'

UNRESTRICTED RESERVE "A"
CALLED 10.068 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

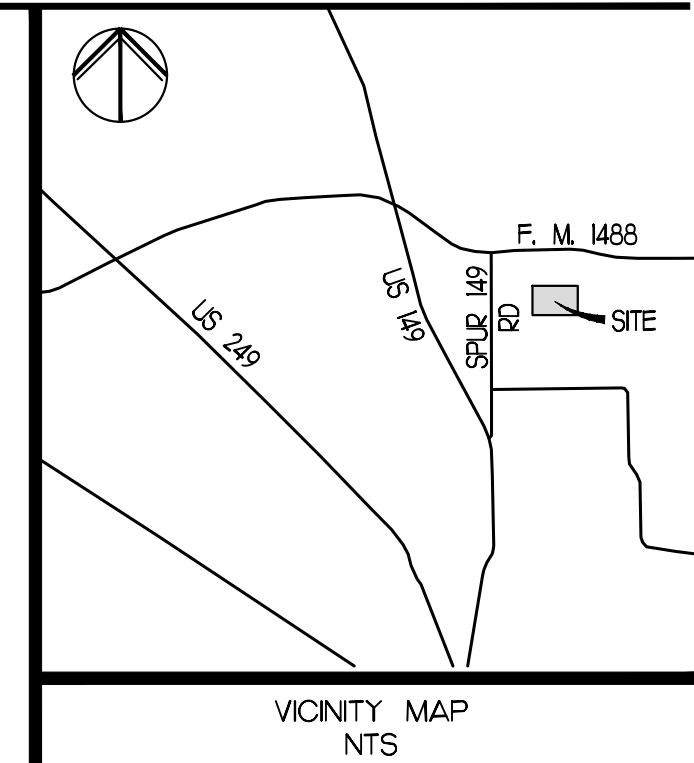
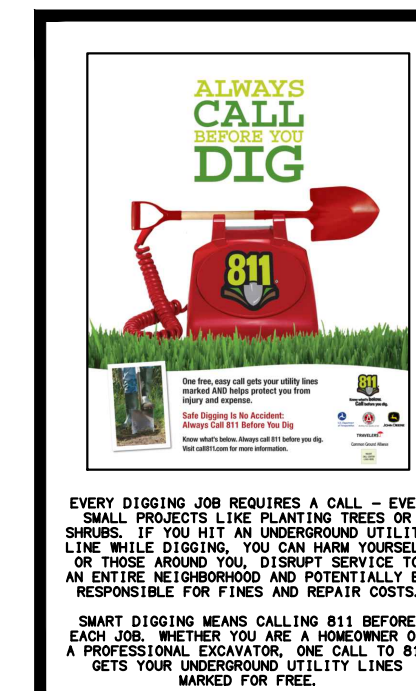
TBM 2
"X" SCRIBE IN NWC OF CURB INLET, NORTH SIDE OF MAGNOLIA VILLAGE DRIVE, APPROX. 117' WEST OF CL HERITAGE LANE. ELEV.=227.83'



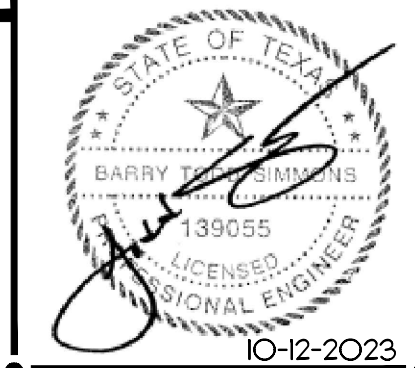
BUILDING LIMITS
NOT TO SCALE

| SITE DATA | |
|--|--|
| ADDRESS: | 4427 MAGNOLIA VILLAGE DRIVE, MAGNOLIA, TEXAS 77354 |
| PROJECT AREA: | 10.59 AC |
| USE: | EXISTING-VACANT / PROPOSED RETAIL |
| PARCEL ID : | R529858, R529857 |
| TAX PARCEL: | 7109-00-00400, 7109-00-00300 |
| ZONING: | PD OVERLAY ZONING DISTRICT "PD" |
| LEGAL DESCRIPTION: | ST10900-MAGNOLIA VILLAGE-RES "D" AND "E" |
| REQUIRED SETBACKS: | FRONT - 25', SIDE - 5', REAR - 10' |
| REQUIRED BUFFER: | SIDE - 5', FRONT - 20' |
| LOT COVERAGE : | N/A |
| OPEN SPACE REQUIREMENT | |
| REQUIRED: | 20% OF THE GROSS ACREAGE OF THE PD |
| OPEN SPACE PROVIDED (FOR LOWE'S TRACT) : | 49.36 SF (U3 AC) |

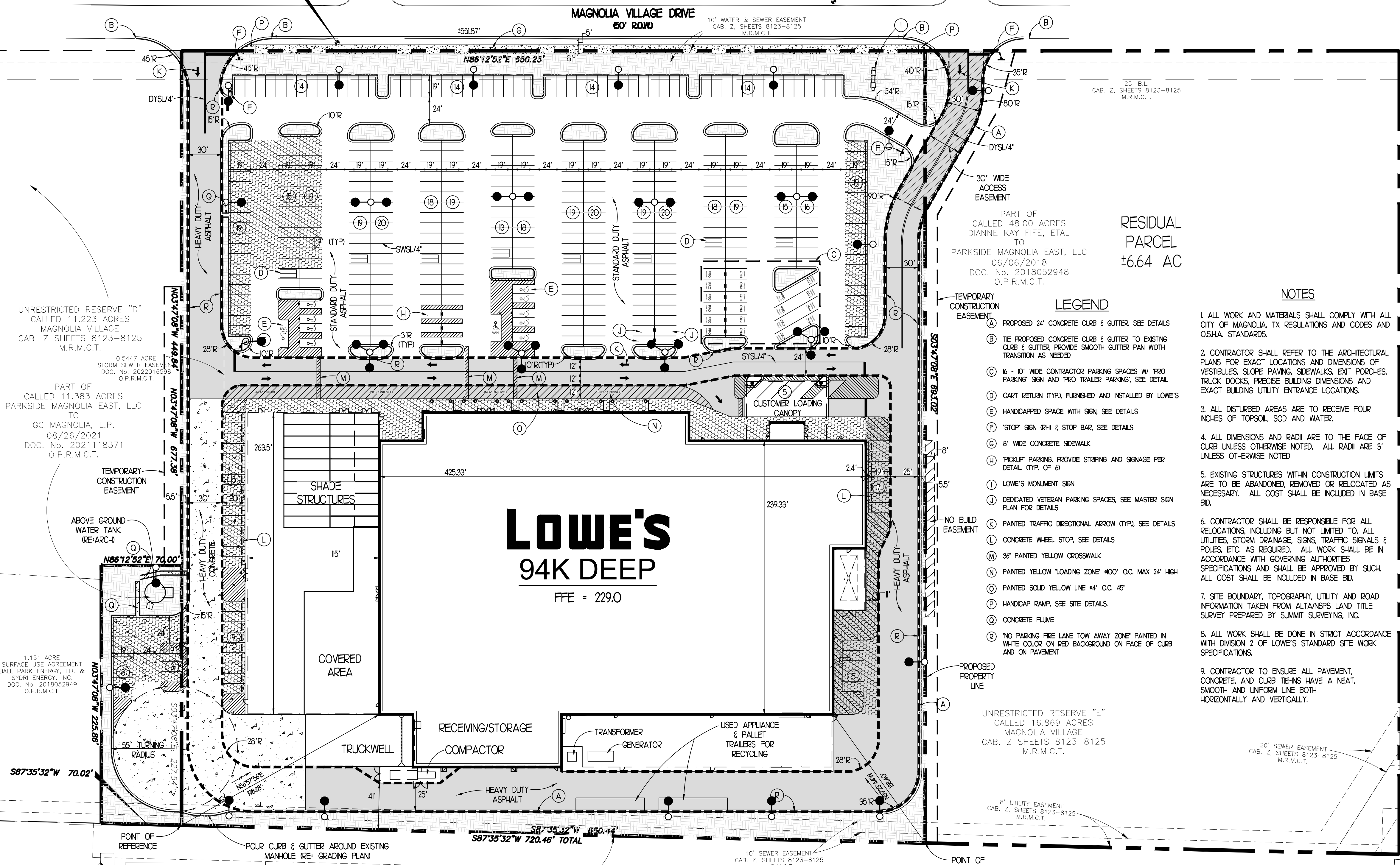
| PAINT STRIPING LEGEND | |
|-----------------------|------------------------------------|
| SWSL/4" | SINGLE WHITE SOLID LINE / 4" WIDE |
| DYSL/4" | DOUBLE YELLOW SOLID LINE / 4" WIDE |
| SYSL/4" | SINGLE YELLOW SOLID LINE / 4" WIDE |



| REVISIONS | |
|-----------|-------------|
| DATE | DESCRIPTION |
| | |
| | |



| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|----------------------------|
| (O) | (O) | NUMBER OF SPACES PER ROW |
| — | — | CART CORRAL SIGN |
| — | — | HANDICAP SYMBOL |
| — | — | HD CONCRETE PAVEMENT |
| — | — | HEAVY DUTY ASPHALT PAVING |
| — | — | OUTDOOR SALES/DISPLAY AREA |
| — | — | CURB & GUTTER |
| — | — | FIRE LANE STRIPING |
| — | — | OPEN SPACE |



RESIDUAL PARCEL #6.64 AC

- LEGEND**
- (A) PROPOSED 24" CONCRETE CURB & GUTTER, SEE DETAILS
 - (B) THE PROPOSED CONCRETE CURB & GUTTER TO EXISTING CURB & GUTTER, PROVIDE SMOOTH GUTTER PAN WIDTH TRANSITION AS NEEDED
 - (C) 16 - 10' WIDE CONTRACTOR PARKING SPACES W/ PRO PARKING SIGN AND PRO TRAILER PARKING, SEE DETAIL
 - (D) CART RETURN (TYP), FURNISHED AND INSTALLED BY LOWE'S
 - (E) HANDICAPPED SPACE WITH SIGN, SEE DETAILS
 - (F) STOP SIGN (R) & STOP BAR, SEE DETAILS
 - (G) 8' WIDE CONCRETE SIDEWALK
 - (H) PICKUP PARKING, PROVIDE STRIPING AND SIGNAGE PER DETAIL (TYP. OF G)
 - (I) LOWE'S MONUMENT SIGN
 - (J) DEDICATED VETERAN PARKING SPACES, SEE MASTER SIGN PLAN FOR DETAILS
 - (K) PAINTED TRAFFIC DIRECTIONAL ARROW (TYP), SEE DETAILS
 - (L) CONCRETE WHEEL STOP, SEE DETAILS
 - (M) 36" PAINTED YELLOW CROSSWALK
 - (N) PAINTED YELLOW "LOADING ZONE" 400' O.C. MAX 24" HIGH
 - (O) PAINTED SOLID YELLOW LINE 44" O.C. 45'
 - (P) HANDICAP RAMP, SEE SITE DETAILS
 - (Q) CONCRETE FLUME
 - (R) NO PARKING FIRE LANE TOW AWAY ZONE PAINTED IN WHITE COLOR ON RED BACKGROUND ON FACE OF CURB AND ON PAVEMENT

- NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF MAGNOLIA, TX REGULATIONS AND CODES AND OSHA STANDARDS.
 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SOD AND WATER.
 4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
 5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM ALTA/NSPS LAND TITLE SURVEY PREPARED BY SUMMIT SURVEYING, INC.
 8. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE WORK SPECIFICATIONS.
 9. CONTRACTOR TO ENSURE ALL PAVEMENT, CONCRETE AND CURB TIES HAVE A NEAT, SMOOTH AND UNIFORM LINE BOTH HORIZONTALLY AND VERTICALLY.

| SITE DATA | |
|--------------------------------------|------------------------|
| ACREAGE | LOWE'S TRACT #10.59 AC |
| MAIN BUILDING: | |
| SALES FLOOR | 95,144 S.F. |
| TOOL RENTAL | 2,326 S.F. |
| OFFICE | 3,249 S.F. |
| REVIEWING/STORAGE | 5,958 S.F. |
| UTILITY ROOMS | 1,715 S.F. |
| VESTIBULES | 1,438 S.F. |
| MAIN BUILDING TOTAL | 109,830 S.F. |
| GARDEN CENTER: | |
| SHADE STRUCTURES | 5,327 S.F. |
| COVERED AREA | 11,374 S.F. |
| OPEN AREA | 13,659 S.F. |
| GARDEN CENTER TOTAL | 30,360 S.F. |
| OUTDOOR SALES TOTAL | 37,518 S.F. |
| PARKING REQUIREMENTS: | |
| LOWE'S PARKING REQ'D: | |
| STANDARD | 313 |
| HANDICAPPED | 11 |
| TOTAL PARKING REQ'D | 324 |
| RATIO = 295 (SPACES/1000 SF) | |
| LOCAL PARKING REQ'D: | |
| HEAVY RETAIL/HOME CENTER | |
| SALES/TOOL RENTAL/OFFICE | |
| REQUIRED PARKING (1/250 SF) | 403 |
| OUTDOOR SALES OR DISPLAY AREA | |
| GARDEN CENTER | |
| REQUIRED PARKING (1/1000 SF) | 30 |
| TOTAL PARKING REQ'D | 433 |
| PARKING PROVIDED: | |
| STANDARD | 422 |
| HANDICAPPED | 11 |
| TOTAL PARKING PROVIDED | 433 |

PRIOR TO STARTING WORK, CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS. ALL EXISTING ITEMS THAT ARE IN CONFLICT WITH PROPOSED IMPROVEMENTS ARE TO BE RELOCATED/REMOVED AS NEEDED & CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION AND FOR INCLUDING ALL COSTS IN BASE BID.

UNRESTRICTED RESERVE "D"
CALLED 11.223 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

0.5447 ACRE STORM SEWER EASEMENT DOC. NO. 2022016598 O.P.R.M.C.T.

PART OF CALLED 11.383 ACRES PARKSIDE MAGNOLIA EAST, LLC TO GC MAGNOLIA, L.P. 08/26/2021 DOC. NO. 2021118371 O.P.R.M.C.T.

1.151 ACRE SURFACE USE AGREEMENT BALL PARK ENERGY, LLC & STORI ENERGY, INC. DOC. NO. 2018052949 O.P.R.M.C.T.

TBM 3
"X" SCRIBE IN SWC OF CONCRETE FLUME, 81' WEST OF 9"x4" BOX CULVERT, 6' WEST OF 24" RCP AND APPROX. 79' SOUTHWEST OF SWC OF RESERVE "E". ELEV.=223.08'

APPROX. LOCATION (BASED ON PLAT IN CAB. Z, SHEETS 8123-8125) 30" PIPELINE EASEMENT ACACIA NATURAL GAS CORP. DOC. NO. 9732502, 9732503, 9732504, 9732505 & 2011084694 O.P.R.M.C.T.

UNRESTRICTED RESERVE "E"
CALLED 16.869 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

UNRESTRICTED RESERVE "B"
CALLED 6.620 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

UNRESTRICTED RESERVE "A"
CALLED 10.068 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

UNRESTRICTED RESERVE "D"
CALLED 11.223 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

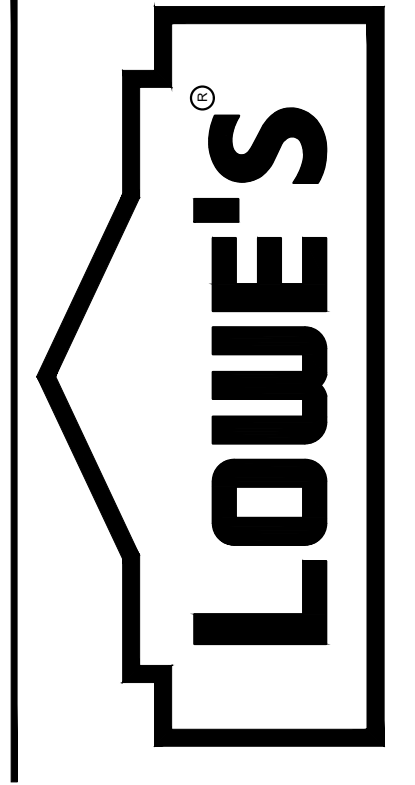
UNRESTRICTED RESERVE "E"
CALLED 11.789 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

UNRESTRICTED RESERVE "F"
CALLED 11.789 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

UNRESTRICTED RESERVE "G"
CALLED 11.789 ACRES MAGNOLIA VILLAGE CAB. Z SHEETS 8123-8125 M.R.M.C.T.

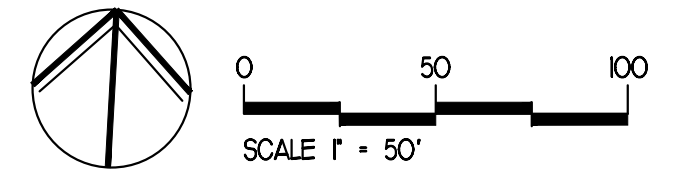
FREELAND and KAUFFMAN, INC.
Engineers • Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
(864) 233-5497

LOWE'S HOME CENTERS, LLC
1000 LOWE'S BOULEVARD
MOORESVILLE, NC 28117
704.758.1000 (PH)



SITE PLAN
LOWE'S OF:
MAGNOLIA, TX
CITY OF MAGNOLIA, TEXAS
DRAWN BY: AK

ORIGINAL ISSUE DATE: 10/12/2023
PERMIT SET ISSUE DATE:
CONSTRUCTION SET ISSUE DATE:
DRAWING NUMBER:
3



City of Magnolia



**18111 Buddy Riley Blvd.
Magnolia, Texas 77354**

10/9/23

**Re: Salad & Go
13345 FM 1488, Magnolia, Texas 77354
Plan Review Comments (Site Plan)**

Response From City Engineer: Revise and Resubmit

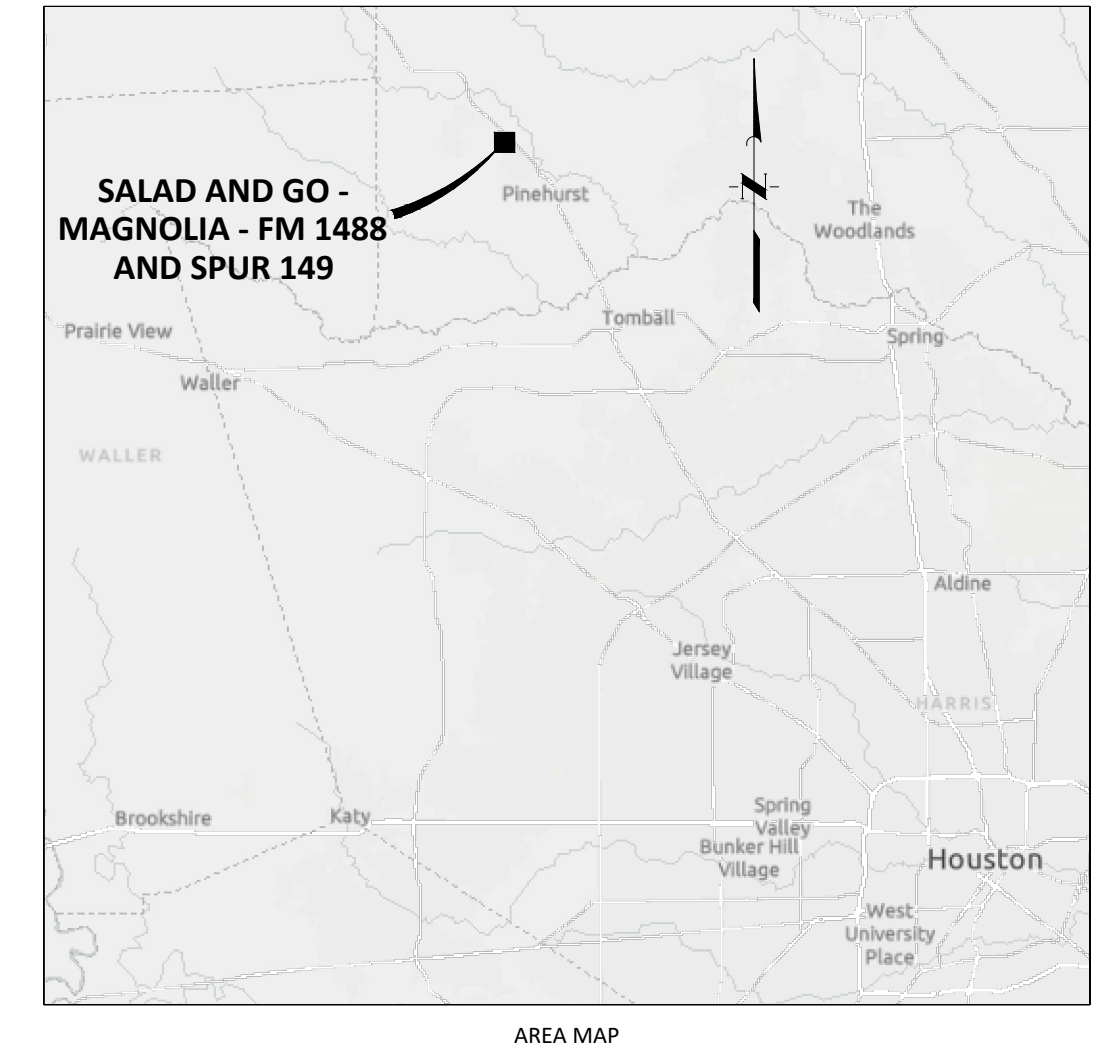
Project approval will not be put on the agenda for the Planning and Zoning Commission until plan revisions are completed, resubmitted and approved by City Engineer. Resubmittal is subject to a full review and, if necessary, additional comments.

Comments:

1. Re: Sheet Nos. C-14 and C-15. The time of concentrations listed in the low and mid 20 minutes are long for a commercial site this size. Please adjust the times appropriately or supply detailed calculations that substantiate these calculated times.
2. Submit a photometric plan and lighting notes/details for site lighting.
3. Re: Sheet No. C-12. Connection between 6" san sewer yard line and existing 8" san sewer stub on south side of lot to be made with a 8"X6" PVC, Gasketed Eccentric Bell Reducer.
4. Provide embedment and backfill detail for HDPE storm sewer pipe.
5. Re: Sheet C-15. For connecting 18" HDPE storm sewer to 36" RCP storm sewer, make connection using a concrete junction box instead of a HDPE X RCP wye connection (southwest corner of lot).
6. Re: Sheet C-12. 1" water meter(s) are to be provided and installed by City of Magnolia. All other portions of water services (i.e. taps, service line, meter settings, meter boxes, etc.) to be provided and installed by owner's contractor.
7. City personnel do not perform a plan review to confirm compliance with Texas Accessibility Standards (TAS). It is the responsibility of the owner and/or design professional to follow the procedures of the Texas Department of Licensing and Regulation - Architectural Barriers Program and comply with TAS. Please confirm and acknowledge.

Prepared By:
Timothy W. Robertson, P.E.
City Engineer
M: 979-551-6868
E: trobertson@cityofmagnolia.com
October 9, 2023

CONSTRUCTION OF CIVIL SITE WORK FOR SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149 FOR AND GO CONCEPTS LLC, dba SALAD AND GO 13345 FM 1488 MAGNOLIA, TEXAS 77354 MONTGOMERY COUNTY, TEXAS



LANDLORD

GC MAGNOLIA, LP
788 W.SAM HOUSTON PKWY NORTH
SUITE 206
HOUSTON, TEXAS 77024
TEL (713) 412-5873
EMAIL: DAVID.GREEN@GULFCOASTCG.COM
CONTACT: DAVID GREEN

DEVELOPER

AND GO CONCEPTS, LLC dba SALAD AND GO
5555 EAST VAN BUREN STREET
PHOENIX, ARIZONA 85008
TEL (410) 371-1563
CONTACT: MATTHEW COPENHAVER

ARCHITECT

ROGUE ARCHITECTS
513 MAIN STREET,
SUITE 300
FORT WORTH, TEXAS 76102
TEL (817) 820-0433
CONTACT: ASHLEY BLOMMER

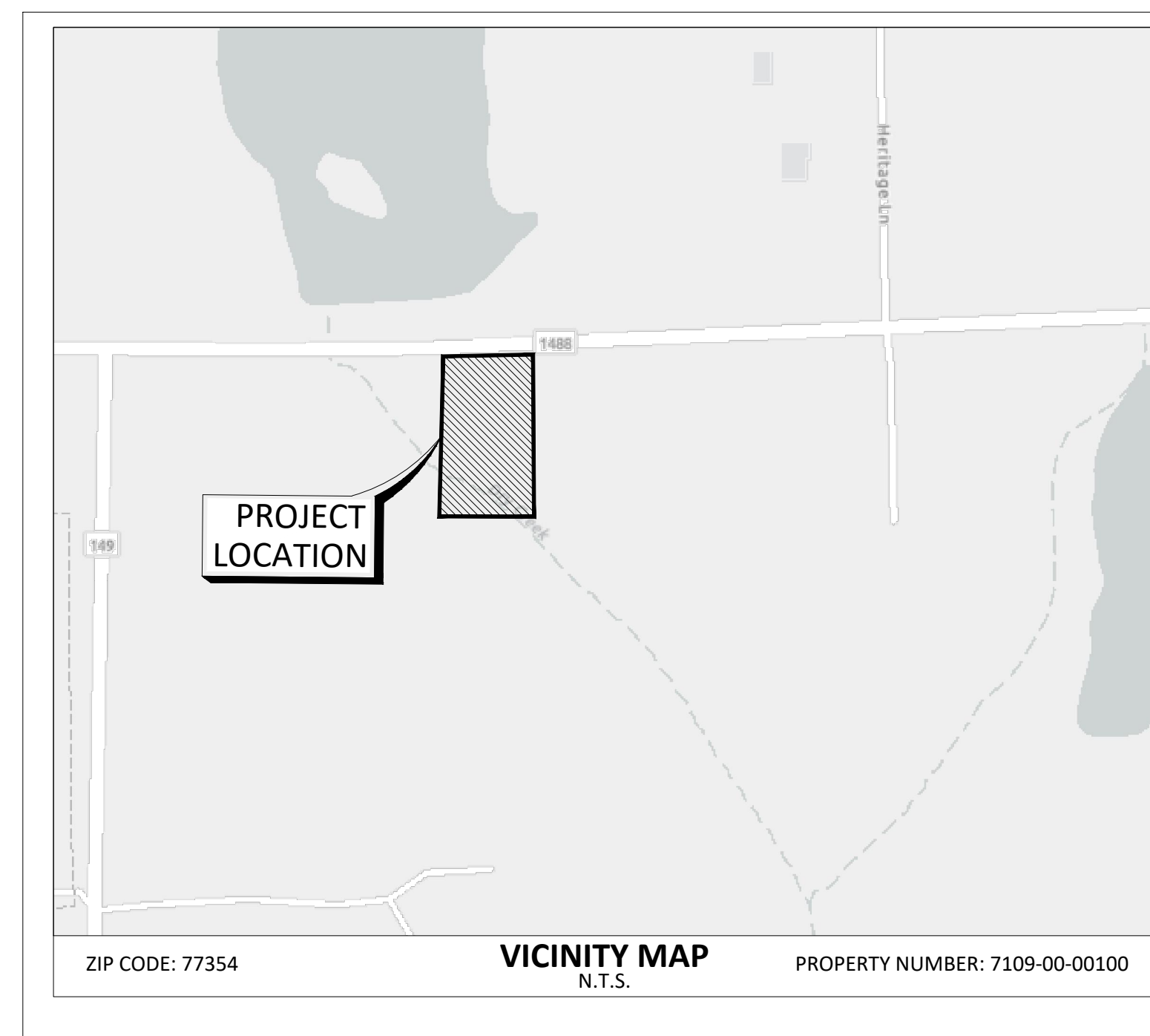
CIVIL ENGINEER

QUIDDITY ENGINEERING
4500 MERCANTILE PLAZA DRIVE,
SUITE 210
FORT WORTH, TEXAS 76137
TEL (682) 268-2200
CONTACT: RYAN J. ALCALA, PE

LANDSCAPE

AWR DESIGNS, LLC
P.O. BOX 1746
ALEDO, TEXAS 76008
TEL (512) 517-5589
CONTACT: AMANDA W. RICHARDSON

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INDEX OF DRAWINGS

| Sheet Number | Sheet Title |
|--------------|--|
| C-1 | COVER |
| C-2 | MAGNOLIA VILLAGE RECORDED PLAT (1 OF 3) |
| C-3 | MAGNOLIA VILLAGE RECORDED PLAT (2 OF 3) |
| C-4 | MAGNOLIA VILLAGE RECORDED PLAT (3 OF 3) |
| C-5 | TOPOGRAPHIC SURVEY |
| C-6 | GENERAL CONSTRUCTION NOTES |
| C-7 | SITE PLAN |
| C-8 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C-9 | STORM WATER POLLUTION PREVENTION PLAN |
| C-10 | STORM WATER POLLUTION PREVENTION DETAILS |
| C-11 | DIMENSION CONTROL AND PAVING PLAN |
| C-12 | UTILITY PLAN |
| C-13 | EXISTING DRAINAGE AREA MAP |
| C-14 | PROPOSED DRAINAGE AREA MAP |
| C-15 | STORM PLAN |
| C-16 | GRADING PLAN |
| C-17 | PAVING DETAILS |
| C-18 | CITY OF MAGNOLIA STANDARD DETAILS |
| C-19 | MISCELLANEOUS DETAILS |
| L1.01 | LANDSCAPE PLAN |
| L1.02 | LANDSCAPE SPECIFICATIONS AND DETAILS |
| L2.01 | IRRIGATION PLAN |
| L2.02 | IRRIGATION SPECIFICATIONS AND DETAILS |

NOVEMBER 2023

PREPARED BY
QUIDDITY

Texas Board of Professional Engineers and Land Surveyors Reg. No. F-23290
4500 Mercantile Plaza Drive, Suite 210 Fort Worth, Texas 76137 682.268.2200

JOB NUMBER 17007-0104-00



Aaron Hawkins 11/08/2023

ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREA OF MINIMAL FLOOD HAZARD.

| No. | Date | REVISIONS | App. |
|-----|------|-----------|------|
| | | | |
| | | | |
| | | | |
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| | | | |

CIVIL SITE WORK - SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149



JOB NUMBER 17007-0104-00

SHEET NO.

OF C-19 **C-1**

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, BRETT F. WALKER, VICE PRESIDENT OF PARKSIDE CAPITAL, LLC, a Texas limited liability company, being manager of PARKSIDE MAGNOLIA EAST, LLC, a Texas limited liability company, and THOMAS H. LILE, PRESIDENT OF GULF COAST GP, INC., a Texas Corporation, being manager of GC MAGNOLIA, L.P., a Texas limited partnership, being owners of the property subdivided in the above and foregoing map of the MAGNOLIA VILLAGE, do hereby make subdivision of said property, according to the lines, streets, alleys, parks, and easements therein shown, and designate said subdivision as MAGNOLIA VILLAGE in the Hampton Tillons Survey, Abstract 356, in Montgomery County, Texas; and dedicate to public use, as such, the streets, alleys, parks and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades and do hereby bind ourselves, or our heirs and assigns to warrant and forever defend the title to the land so dedicated. There is also dedicated for utilities an unobstructed easement 5 feet wide from a plane 20 feet above ground upward located as shown hereon. We have also complied with all regulations hereto before adopted by the Planning and Zoning Commission of the City of Magnolia, located in Montgomery County, Texas.

IN TESTIMONY WHEREOF, PARKSIDE MAGNOLIA EAST, LLC, a Texas limited liability company, has caused these presents to be signed by BRETT F. WALKER, VICE PRESIDENT, thereto authorized, this the 5th day of JANUARY, 2022.

PARKSIDE MAGNOLIA EAST, LLC,
a Texas limited liability company

BY: PARKSIDE CAPITAL, LLC,
a Texas limited liability company,
Its Manager

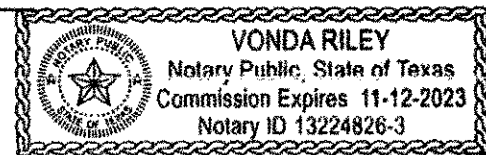
BY: [Signature]
BRETT F. WALKER, VICE PRESIDENT

STATE OF TEXAS
COUNTY OF HARRIS

Before me, the undersigned authority, on this day personally appeared BRETT F. WALKER, VICE PRESIDENT, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said entity.
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 5TH DAY OF JANUARY, 2022.

Vonda Riley
Notary Public in and for the State of Texas.

My Commission expires: 11-12-2023



IN TESTIMONY WHEREOF, GC MAGNOLIA, L.P., a Texas limited partnership, has caused these presents to be signed by THOMAS H. LILE, PRESIDENT, thereto authorized, this the 5TH day of JANUARY, 2022.

GC MAGNOLIA, L.P.,
a Texas limited partnership

BY: GULF COAST GP, INC.,
a Texas corporation,
Its Manager

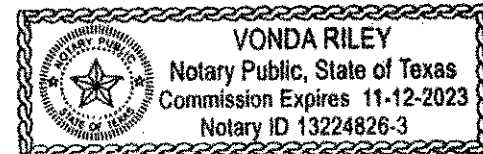
BY: [Signature]
THOMAS H. LILE, PRESIDENT

STATE OF TEXAS
COUNTY OF HARRIS

Before me, the undersigned authority, on this day personally appeared THOMAS H. LILE, PRESIDENT, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said entity.
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 5TH DAY OF JANUARY, 2022.

Vonda Riley
Notary Public in and for the State of Texas.

My Commission expires: 11-12-2023



I, Michael L. Swan, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron pipe or rods having a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner and NAD83 state plane projections.



Michael L. Swan
Michael L. Swan
Registered Professional Land Surveyor
Texas Registration No. 5551

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of MAGNOLIA VILLAGE as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the 19th day of JANUARY, 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

City of Magnolia
18111 Buddy Riley Blvd.
Magnolia, TX 77354

[Signature]
Robert Franklin
Chairperson

[Signature]
Kandice Garrett
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of MAGNOLIA VILLAGE as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the 19th day of JANUARY, 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

City of Magnolia
18111 Buddy Riley Blvd.
Magnolia, TX 77354

[Signature]
Todd Kana
Mayor

[Signature]
Kandice Garrett
City Secretary

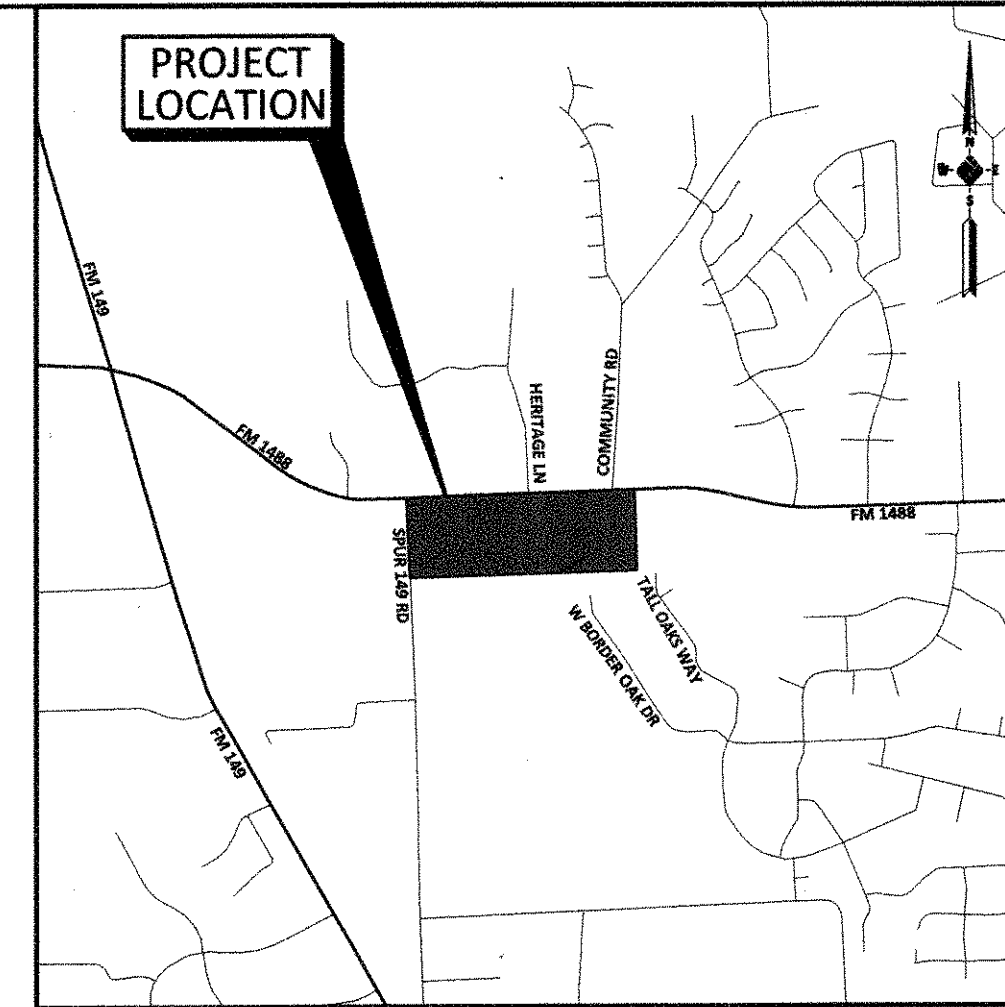
I, Mark Turnbull, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on this the 19 day of JANUARY, 2022, at 2:25 o'clock P.M., and duly recorded on JANUARY 19, 2022, at 2:58 o'clock P.M., in Cabinet 002, Sheet 8123-8125, of record of MAP for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

[Signature]
Mark Turnbull, Clerk of the County Court
Montgomery County, Texas.
By: [Signature]
Deputy

NOTES:

- B.L. indicates a building line
U.E. indicates a utility easement
A.E. indicates an aerial easement
W.S.E. indicates a water line and sewer easement
STM. S.E. indicates a storm sewer easement
W.L.E. indicates a water line easement
S.S.E. indicates a sanitary sewer easement
D.E. indicates a drainage easement
ESMT. indicates easement
VOL., PG. indicates Volume, Page
M.C.M.R. indicates Montgomery County Map Records
E.T.J. indicates Extraterritorial Jurisdiction
I.R. indicates Iron Rod
FND. I.R. indicates Found Iron Rod
● indicates found 5/8" iron rod (unless otherwise noted)
○ indicates set 5/8" iron rod with plastic cap stamped "IDS" (unless otherwise noted)
- All bearings based on the the Texas Coordinate System of 1983, Central Zone.
- The coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Surface Coordinates (NAD83) and may be brought to grid by applying the combined scale factor of 0.99997000.
- One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revert in the dedicator, his heirs, assigns or successors.
- According to Flood Insurance Rate Map No. 48339C0485 G, dated August 18, 2014, published by the Federal Emergency Management Agency, the property shown on this plat lies within Zone X, defined as areas determined to be outside the 500-year floodplain.
- This subdivision plat is consistent with the PD Overlay Zoning District 1 ("PD1") as defined and described under City of Magnolia Ordinance No. O-2019-009.
- The tract shown hereon is subject to the easements as recorded under File Nos. 2021118370 and 2021169596 in the Official Public Records of Real Property of Montgomery County, Texas.



LOCATION MAP
N.T.S.
(KEY MAP # 213 G & L)

MAGNOLIA VILLAGE

A SUBDIVISION OF
61.003 ACRES
OUT OF
HAMPTON TILLONS SURVEY, A-556
MONTGOMERY COUNTY, TEXAS
**4 BLOCKS &
5 RESERVES (56.828 AC.)**

OWNERS: GC MAGNOLIA, L.P.
(RESERVES A, B, C & D)
A TEXAS LIMITED PARTNERSHIP
788 W. SAM HOUSTON PARKWAY NORTH, SUITE 206
HOUSTON, TX 77024
713-532-0977

PARKSIDE MAGNOLIA EAST, LLC
(RESERVES E & F)
A TEXAS LIMITED LIABILITY COMPANY
3003 W. ALABAMA ST.
HOUSTON, TX 77098
713-271-5900

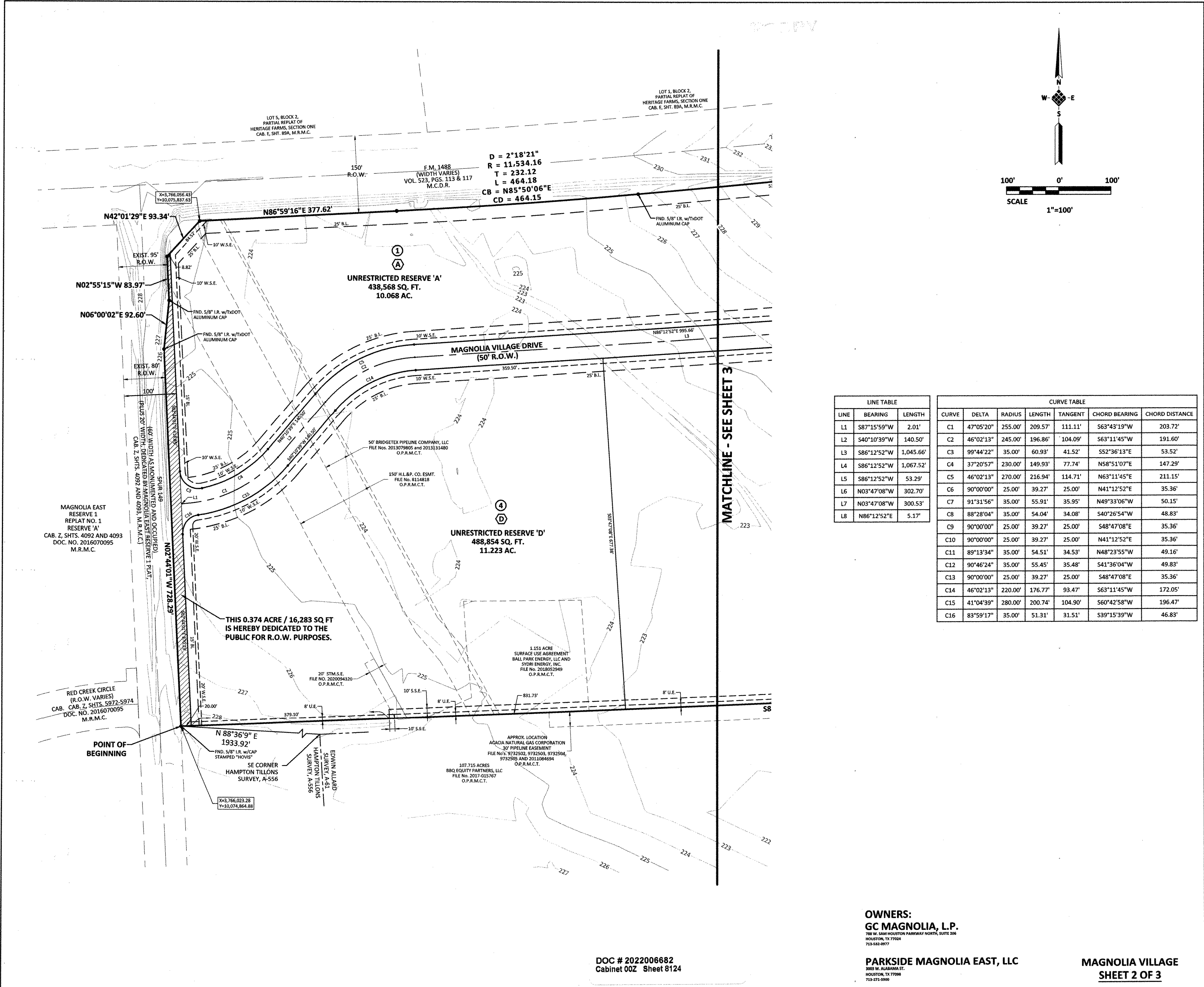
ENGINEER: **IDS**
Engineering Group

13430 NW. Freeway
Suite 700
Houston, Tx. 77040
713.462.3178
Texas Firm 2726
TxSurv Firm 10110700

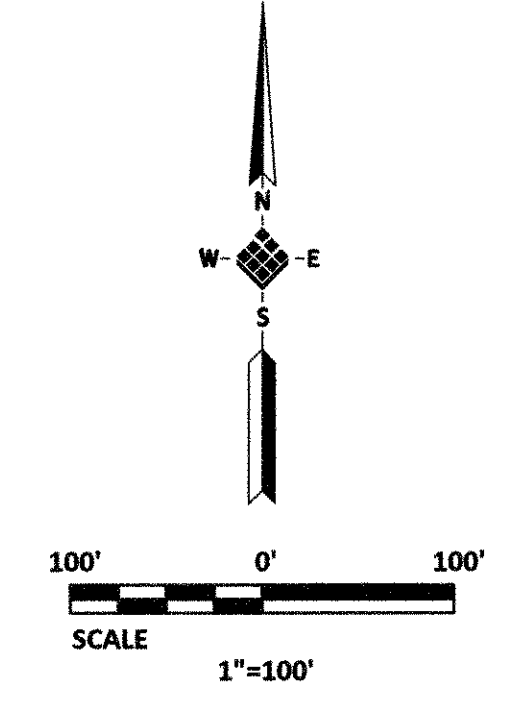
January 3, 2022 PROJECT No. 2024-014-03
SHEET 1 OF 3

DOC # 202200682
Cabinet 002 Sheet 8123

\\sps\Projects\20200\2024\014\03\213 G & L\DWG\DWG_C\SPR\A1.dwg [1] Plotted Jan 03, 2022 at 11:57am by ahhman [User Saved By: ahhman]



$D = 2'18'21''$
 $R = 11,534.16$
 $T = 232.12$
 $L = 464.18$
 $CB = N85'50'06''E$
 $CD = 464.15$



| LINE | BEARING | LENGTH |
|------|-------------|-----------|
| L1 | S87°15'59"W | 2.01' |
| L2 | S40°10'39"W | 140.50' |
| L3 | S86°12'52"W | 1,045.66' |
| L4 | S86°12'52"W | 1,067.52' |
| L5 | S86°12'52"W | 53.29' |
| L6 | N03°47'08"W | 302.70' |
| L7 | N03°47'08"W | 300.53' |
| L8 | N86°12'52"E | 5.17' |

| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD BEARING | CHORD DISTANCE |
|-------|-----------|---------|---------|---------|---------------|----------------|
| C1 | 47°05'20" | 255.00' | 209.57' | 111.11' | S63°43'19"W | 203.72' |
| C2 | 46°02'13" | 245.00' | 196.86' | 104.09' | S63°11'45"W | 191.60' |
| C3 | 99°44'22" | 35.00' | 60.93' | 41.52' | S52°36'13"E | 53.52' |
| C4 | 37°20'57" | 230.00' | 149.93' | 77.74' | N58°51'07"E | 147.29' |
| C5 | 46°02'13" | 270.00' | 216.94' | 114.71' | N63°11'45"E | 211.15' |
| C6 | 90°00'00" | 25.00' | 39.27' | 25.00' | N41°12'52"E | 35.36' |
| C7 | 91°31'56" | 35.00' | 55.91' | 35.95' | N49°33'06"W | 50.15' |
| C8 | 88°28'04" | 35.00' | 54.04' | 34.08' | S40°26'54"W | 48.83' |
| C9 | 90°00'00" | 25.00' | 39.27' | 25.00' | S48°47'08"E | 35.36' |
| C10 | 90°00'00" | 25.00' | 39.27' | 25.00' | N41°12'52"E | 35.36' |
| C11 | 89°13'34" | 35.00' | 54.51' | 34.53' | N48°23'55"W | 49.16' |
| C12 | 90°46'24" | 35.00' | 55.45' | 35.48' | S41°36'04"W | 49.83' |
| C13 | 90°00'00" | 25.00' | 39.27' | 25.00' | S48°47'08"E | 35.36' |
| C14 | 46°02'13" | 220.00' | 176.77' | 93.47' | S63°11'45"W | 172.05' |
| C15 | 41°04'39" | 280.00' | 200.74' | 104.90' | S60°42'58"W | 196.47' |
| C16 | 83°59'17" | 35.00' | 51.31' | 31.51' | S39°15'39"W | 46.83' |

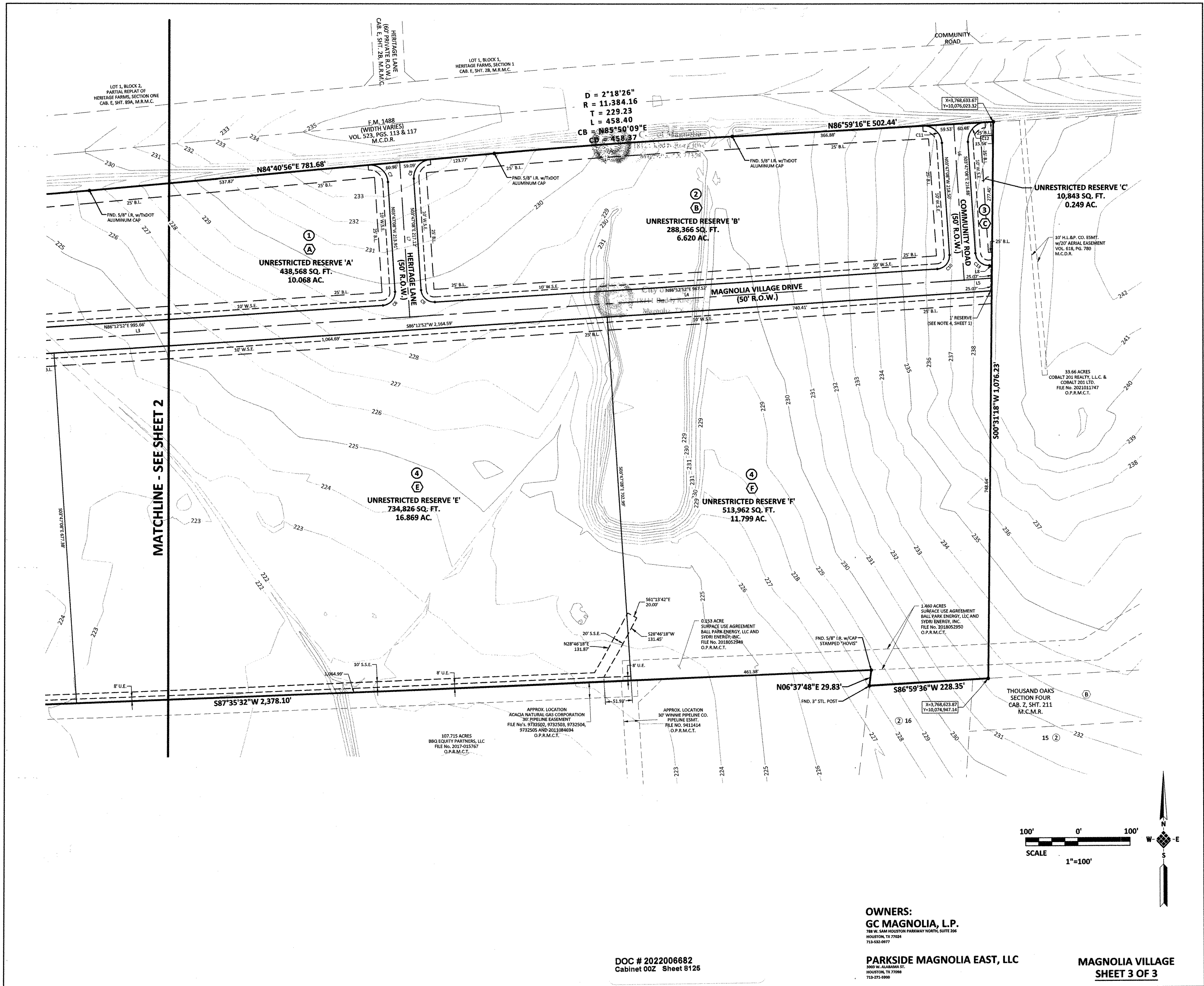
THIS 0.374 ACRE / 16,283 SQ FT
 IS HEREBY DEDICATED TO THE
 PUBLIC FOR R.O.W. PURPOSES.

OWNERS:
GC MAGNOLIA, L.P.
 780 W. IAHN HOUSTON PARKWAY NORTH, SUITE 206
 HOUSTON, TX 77064
 713-542-0977

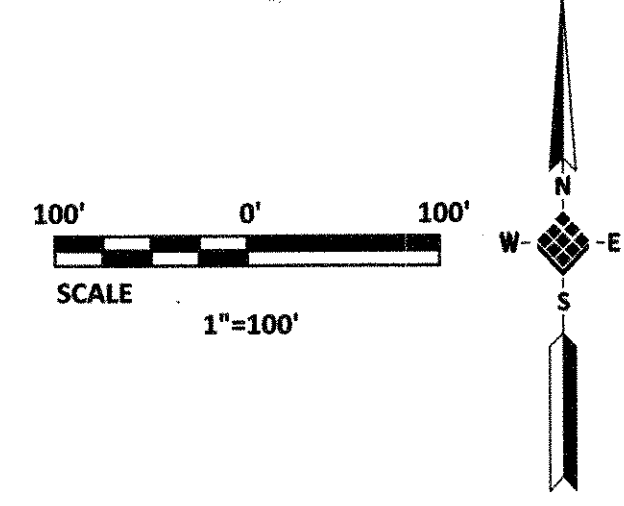
PARKSIDE MAGNOLIA EAST, LLC
 2803 W. AURORA ST.
 HOUSTON, TX 77068
 713-971-9900

MAGNOLIA VILLAGE
SHEET 2 OF 3

DOC # 2022006882
 Cabinet 002 Sheet 8124



MATCHLINE - SEE SHEET 2



OWNERS:
GC MAGNOLIA, L.P.
 788 W. SAM HOUSTON PARKWAY NORTH, SUITE 206
 HOUSTON, TX 77064
 713-882-8077

PARKSIDE MAGNOLIA EAST, LLC
 3000 W. ALABAMA ST.
 HOUSTON, TX 77066
 713-275-9900

MAGNOLIA VILLAGE
SHEET 3 OF 3

DOC # 2022006682
 Cabinet 00Z Sheet 8125

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND OTHER CONSTRUCTION DRAWINGS OF DIFFERING DISCIPLINES & SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE CROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS...
3. DURING THE EXECUTION OF THE WORK, THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN AN ORDERLY AND ACCEPTABLE MANNER AS FAR AS PRACTICAL...
4. CONTRACTOR SHALL COMPLY WITH LATEST EDITION OF OSHA REGULATIONS AND THE STATE OF TEXAS LAWS CONCERNING EXCAVATION.
5. A COPY OF THE APPROVED CONSTRUCTION DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES THROUGH OUT THE ENTIRE DURATION OF CONSTRUCTION OF THIS PROJECT...
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFEGUARDING AND PROTECTING ALL MATERIAL AND EQUIPMENT STORED ON THE JOBSITE...
7. CONTRACTOR SHALL SAW CUT REMOVE AND REPLACE CONCRETE PAVEMENT, CURB AND GUTTER AS REQUIRED TO CONSTRUCT PROPOSED IMPROVEMENTS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR AND OBTAIN ALL REQUIRED PERMITS AND INSPECTION APPROVALS FOR ALL WORK SHOWN.
9. ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO THEIR EXISTING CONDITIONS OR BETTER.
10. ALL WORK WITHIN THE STATE, COUNTY, OR CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS AS TO THE INSTALLATION AND EROSION CONTROL PROTECTION.
11. ALL EXPOSED DIRT SURFACES SHALL BE SEEDED/HYDROMULCHED. YARDS WITH SOD SHALL BE RESODDED TO THE SAME CONDITIONS OR BETTER.
12. THE CONTRACTOR SHALL NOT CREATE A DIRT NUISANCE OR SAFETY HAZARD IN ANY STREET. THE PAVEMENT SHALL BE CLEANED DAILY.
13. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
14. THE CONTRACTOR SHALL COORDINATE ALL FENCE REMOVAL AND REPLACEMENT WITH THE DEVELOPER.
15. THE CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE APPLICABLE REGULATORY AGENCY.
16. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.

A. SUBGRADE:

- 1. EXISTING TREES, STUMPS, AND LARGE TREE ROOT SYSTEMS, SHALL BE GRUBBED AND REMOVED, VEGETATION SHALL BE REMOVED AND THE TOP 6" OF TOP SOIL AND SUBGRADE SHALL BE STRIPPED FROM THE AREAS COVERED BY THE PROPOSED IMPROVEMENTS.
2. PAVING AREAS SHALL BE PROOF-ROLLED AND, IF REQUIRED AT THE TIME OF CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE WEAK AREAS AS DIRECTED BY THE ENGINEER. MITIGATION OF WEAK AREAS MAY INCLUDE OVER EXCAVATION AND BACKFILLING, REPROCESSING TO REMOVE MOISTURE, MODIFICATION WITH LIME OR CEMENT ADMIXTURE, OR USING GEOTEXTILES, FOLLOWING PROOF-ROLLING...
3. EXISTING DRAINAGE WAYS THAT ARE TO BE FILLED SHALL HAVE BENCHES EXCAVATED INTO THE SIDE WALLS OF THE CHANNEL SIDE SLOPES PRIOR TO PLACEMENT OF FILL BENCHES...
4. MATERIAL EXCAVATED ON-SITE EXCLUDING THE TOP 6", MAY BE USED AS FILL MATERIAL, UNDER PAVEMENT AREAS ONLY, AS LONG AS THE PI IS BETWEEN 19 AND 35, WITH A LIQUID LIMIT LESS THAN 49, AND THE MATERIAL IS FREE FROM TRASH, LUMPS, CLOUDS, ORGANIC SUBSTANCE & OTHER FOREIGN MATTER.
5. SUBGRADE MATERIAL, UNDER PAVEMENT STRUCTURES, CONSISTING OF GRANULAR SOILS WITH A LOW PLASTICITY (PI<7) SHALL BE STABILIZED WITH TYPE 1 PORTLAND CEMENT (APPROXIMATELY 4% BY WEIGHT).
6. SUBGRADE MATERIAL, UNDER PAVEMENT STRUCTURES, CONSISTING OF CLAYEY SANDS, SANDY CLAYS AND CLAYS OF INTERMEDIATE PLASTICITY (6<PI<24) SHALL BE STABILIZED WITH EQUAL RATIOS OF LIME AND FLY ASH (APPROXIMATELY 3% EACH BY WEIGHT).
7. SUBGRADE MATERIAL, UNDER PAVEMENT STRUCTURES, CONSISTING OF CLAYS OF HIGH PLASTICITY (PI>20) SHALL BE STABILIZED WITH TYPE A HYDRATED LIME (APPROXIMATELY 6% BY WEIGHT).
8. STABILIZED MATERIAL OR FILL MATERIAL SHALL BE PLACED IN EIGHT INCH MAXIMUM LOOSE LIFTS, WITH EACH LIFT WETTED OR DRIED TO A MOISTURE CONTENT RANGE OF 0% TO +3% OF THE OPTIMUM MOISTURE CONTENT AND COMPACTED TO A UNIFORM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698.
9. COMPACTION TESTS, FOR FILL, SHALL BE VERIFIED BY IN-PLACE DENSITY TESTS FOR EACH LIFT (1 TEST PER 5,000 SQ.FT. OF FILL AREA) WITH A MINIMUM OF THREE (3) TEST BEING PERFORMED PER LIFT.
10. STABILIZED MATERIAL SHOULD BE ROTARY TILLED TO PROVIDE A HOMOGENOUS MIXTURE THAT MEETS THE GRADATION REQUIREMENTS SPECIFIED IN THE TXDOT, (JUNE 1, 2004) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS & BRIDGES, ITEM NO. 260 FOR LIME TREATMENT AND ITEM NO. 265 FOR FLY ASH.
11. THE SUBGRADE SHALL BE STABILIZED TWO FOOT (2') BEYOND THE BACK OF CURB OR EDGE OF PAVEMENT, WHICHEVER IS GREATER, UNLESS OTHERWISE SPECIFIED BY STRICTER REQUIREMENTS.
12. COMPACTION TEST, FOR STABILIZED MATERIAL, SHALL BE VERIFIED BY IN-PLACE DENSITY TEST FOR EACH LIFT (1 TEST PER 5,000 SQ.FT. OF FILL AREA) WITH A MINIMUM OF THREE (3) TEST BEING PERFORMED PER LIFT.

B. PORTLAND CEMENT CONCRETE:

- 1. ALL CONCRETE, UNLESS OTHERWISE SPECIFIED, SHALL BE 5 SACK MIX WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
2. ALL CONCRETE SHALL BE PROPERLY VIBRATED WHEN PLACED AND NOT RAKED A DISTANCE GREATER THAN TEN (10) FEET.
3. THE CONTRACTOR SHALL FOLLOW THE GENERAL INTENT OF THE JOINT PLANS SHOWN. JOINT SPACING SHALL NOT EXCEED 15' IN ANY DIRECTION TO ANOTHER JOINT OR EDGE OF PAVEMENT. CONTROL JOINTS SHALL BE CUT BETWEEN 4 AND 18 HOURS AFTER PLACEMENT OF CONCRETE AND MAY BE SUBSTITUTED WITH CONSTRUCTION JOINTS.
4. EXPANSION JOINTS SHALL NOT EXCEED A MAXIMUM SPACING OF 60' AND SHOULD NOT BE PLACED THROUGH THE MIDDLE OF AREA INLET OR JUNCTION BOXES LOCATED IN THE PAVEMENT. ALL AREA INLETS OR JUNCTION BOXES, LOCATED IN PAVEMENT AREAS, SHALL BE INSTALLED WITH ISOLATION JOINTS BETWEEN THE STRUCTURE AND THE PAVEMENT.
5. ALL JOINTS SHALL BE SEALED WITH SONBORN SONOLASTIC SLL, OR APPROVED EQUIVALENT.
6. AS FAR AS PRACTICAL, THE CONTRACTOR SHALL ALIGN ALL SIDEWALK JOINTS WITH CURB AND PAVEMENT JOINTS.
7. CONCRETE SHALL NOT BE PLACED IF THE AIR TEMPERATURE IS 50°F AND FALLING OR 95°F OR HIGHER, CONCRETE MAY BE PLACED IF THE AIR TEMPERATURE IS 40°F AND RISING OR LESS THAN 95°F.

C. STEEL:

- 1. ALL REINFORCING STEEL SHALL BE DEFORMED BILLED STEEL BAR HAVING A MINIMUM YIELD STRENGTH OF NOT LESS THAN 60 KSI CONFORMING TO ASTM A615, GRADE 60.
2. ALL REINFORCING STEEL SHALL BE FREE FROM RUST OR OTHER BOND REDUCING AGENTS.
3. ALL SPLICES IN PAVEMENT AND CURBING STEEL SHALL BE STAGGERED AND LAPPED 30"XBAR DIAMETER OR 12", WHICHEVER IS GREATER.
4. CONCRETE COVERAGE FOR THE REINFORCING STEEL SHALL COMPLY WITH THE A.C.I. CODE, LATEST EDITION, THE STEEL SHALL HAVE A MINIMUM 1 1/2" CLEARANCE WITH THE SOIL.

TRAFFIC CONTROL NOTES

- 1. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD, MOST RECENT EDITION WITH REVISIONS) DURING CONSTRUCTION.
2. LANE CLOSURE WILL NOT BE ALLOWED UNLESS APPROVED BY THE AREA OR CITY ENGINEER, WHICHEVER IS APPLICABLE.
3. THE WORK SHALL BE COMPLETED SUCH THAT THE ROADWAY WILL BE FULLY OPENED TO TRAFFIC OVERNIGHT. OVERNIGHT LANE CLOSURES WILL NOT BE PERMITTED, UNLESS OTHERWISE APPROVED BY THE APPLICABLE ENGINEER.
4. PLASTIC DRUMS SHALL BE USED FOR OVERNIGHT DELINEATION OF OFF ROADWAY WORK AREAS.
5. THE STANDARD TXDOT TRAFFIC CONTROL PLAN (TCP-1-98) IS ISSUED FOR REFERENCE ONLY. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE TXDOT WITH A SITE SPECIFIC TRAFFIC CONTROL PLAN FOR APPROVAL AND USE.

EROSION CONTROL NOTES:

- 1. EROSION CONTROL MEASURES SHOWN SHALL BE CONSIDERED THE VERY MINIMAL REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT ALL OTHER EROSION CONTROL MEASURE (DIVERSION BERMS, DRAINAGE STRUCTURES, SWALES, ADDITIONAL FENCING, ETC...) NECESSARY TO KEEP THE EXISTING IMPROVEMENTS AND DEVELOPMENTS FROM DAMAGE OF ANY KIND, DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
2. THE SITE OPERATOR, OR HIS REPRESENTATIVE ESTABLISHED BY A LETTER OF DELEGATION, SHALL MAKE A VISUAL INSPECTION OF ALL SILTATION CONTROLS AND NEWLY STABILIZED AREAS ON A DAILY BASES, ESPECIALLY AFTER A RAINFALL TO INSURE THAT ALL CONTROLS ARE MAINTAINED AND PROPERLY FUNCTIONING. ANY DAMAGED CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY, INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING, IF NECESSARY.
3. ALL SEDIMENT TRAPPING DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER THE AREA HAS BEEN DISTURBED, ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED WHEN THE SEDIMENT LEVEL REACHES 25% CAPACITY, SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN BEST MANAGEMENT PRACTICE (BMP), SEDIMENT FENCE, HAY BALE BARRIERS, OR OTHER SEDIMENT FENCE TRAPPING DEVICES SHALL CONTROL ALL STORM WATER LEAVING THE SITE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING TEMPORARY EROSION CONTROL MEASURES AS REQUIRED FOR DIFFERENT PHASES OF CONSTRUCTION. EROSION CONTROL MEASURES SHOWN MAY NEED TO BE ADJUSTED TO HANDLE INCREASED OR CONCENTRATED FLOWS CREATED BY VARIOUS STAGES OF THE CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR FILING A NOTICE OF INTENT PRIOR TO COMMENCEMENT OF WORK AND A NOTICE OF TERMINATION AT THE COMPLETION OF THE PROJECT TO THE TCEQ, A LAMINATED COPY OF THE CONSTRUCTION SITE NOTICE NOI AND SWPPP, VISIBLE FROM THE PUBLIC RIGHT-OF-WAY, SHALL BE POSTED AT THE SITE.
7. PHASE TWO EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY AFTER CONSTRUCTION OF THEIR ASSOCIATE IMPROVEMENTS. INLET PROTECTION BARRIERS SHALL BE CONSTRUCTED WITH HAY BALES OR SILT FENCING. INLETS LOCATED IN PAVEMENT SHALL BE PROTECTED WITH SAND BAGS, REPLACING THE HAY BALES OR SILT FENCING, ONCE THE PAVEMENT IS IN PLACE, EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE UNTIL UPSTREAM DRAINAGE AREAS ARE FULLY STABILIZED.
8. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SEDIMENT CONTROL DEVICES AFTER THE SITE HAS BEEN SEEDED AND/OR SODDED, AND GROUND COVER HAS TAKEN ROOT.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT ALL DISTURBED AREAS ARE STABILIZED. DESIGNATED AREAS SHALL BE BLOCK SODDED, AND ALL OTHER AREAS DISTURBED DUE TO CONSTRUCTION SHALL BE HYDRO-MULCHED SEEDED. THESE STABILIZED AREAS SHALL BE SODDED OR SEEDED, FERTILIZED, AND WATERED TO ESTABLISH A SOLID GROUND COVER WITHIN 30 DAYS OF COMPLETION, OR IF ACTIVITY CEASES FOR MORE THAN 14 DAYS.
10. WHEN HYDROMULCH IS REQUIRED, CONTRACTOR SHALL KEEP MULCH MOIST AFTER INSTALLATION AND UNTIL AREA SHOWS GROWTH.
11. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY EXCAVATION OR DEMOLITION WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WINDBLOWN LITTER FROM THE PROJECT SITE.

DEMOLITION NOTES:

- 1. DEMOLITION OF EXISTING STRUCTURES AND IMPROVEMENTS SHALL INCLUDE ALL WORK CONTAINED ON THESE PLANS, BUT SHALL NOT BE LIMITED TO THE ITEMS SPECIFICALLY IDENTIFIED. ANY MATERIALS TO BE DEMOLISHED OR CLEARED SHALL BE COMPLETELY REMOVED AND DISPOSED OF. THIS WORK WILL NOT ONLY CONSIST OF ABOVE GROUND ITEMS, BUT UNDERGROUND ELEMENTS AS WELL, INCLUDING BUT NOT LIMITED TO: TREE ROOTS, FOUNDATION SYSTEMS, OLD PIPES, ETC... THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY ADDITIONAL ITEMS THAT REQUIRE DEMOLITION, NOT IDENTIFIED ON THIS PLAN, PRIOR TO REMOVAL.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO STAGE AND SEQUENCE ALL DEMOLITION WORK WITH THE ENGINEER & UTILITY COMPANIES TO PROVIDE MINIMAL INTERRUPTION AND INCONVENIENCE OF UTILITY SERVICES AND SUCH SEQUENCE AND STAGING OF WORK SHALL BE APPROVED BY THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
3. DEMOLISHED SURPLUS MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE.
4. ALL PAVEMENT EDGES, BOUNDING THE CONSTRUCTION AREA & MATCHING WITH NEW CONSTRUCTION, SHALL BE NEATLY SAW CUT, UNLESS GRAVEL, FLEXIBLE PAVEMENT SHALL BE SAW CUT A MINIMUM OF 24" BEYOND ANY PROPOSED STRUCTURES.
5. THE CONTRACTOR SHALL CLEAR ALL RIGHT-OF-WAYS AND EASEMENTS CONTAINED IN THESE CONSTRUCTION DRAWINGS.
6. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
7. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER/DEVELOPER.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PERMITS AND PAY ANY FEES REQUIRED FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE AUTHORITIES.
9. THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES, AS SHOWN ON THE SWPPP, PRIOR TO COMMENCING DEMOLITION WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES THAT ARE TO REMAIN IN PLACE.
11. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO ANY EXISTING ROAD SURFACE.
12. ALL EXISTING ITEM THAT ARE TO REMAIN IN PLACE WHICH ARE ADVANTAGED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION, OR BETTER, AT THE SOLE EXPENSE OF THE CONTRACTOR.
13. SHOULD ANY EXISTING UTILITIES NOT SHOWN INCORRECTLY ON THIS PLAN BE FOUND ON SITE, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY TO DISCUSS ANY POSSIBLE CONFLICTS BEFORE PROCEEDING WITH ANY WORK IN THAT AREA.
14. AN ASBESTOS SURVEY MUST BE PERFORMED PRIOR TO THE DEMOLISHING ON ANY STRUCTURES, THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN THE ASBESTOS SURVEY AND REPORT.

DIMENSIONAL CONTROL NOTES:

- 1. THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THE SITE PLAN FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED, BY QUIDDITY ENGINEERING (QUIDDITY), FOR THIS PROJECT IS CONSIDERED BY QUIDDITY TO BE CONFIDENTIAL, WHEN ISSUED. ITS USE IS INTENDED SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. THIS MATERIAL IS INTENDED FOR USE BY THE RECIPIENT NAMED, ONLY, AND PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR FASHION, THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED "AS IS" WITHOUT ANY WARRANTY AS TO ITS PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGH ITS USE. THE RECIPIENT ALSO UNDERSTANDS AND AGREES THAT QUIDDITY, UPON RELEASE OF SUCH DATA, IS NO LONGER RESPONSIBLE FOR THEIR USE OR MODIFICATION. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
2. ALL DIMENSIONS SHOWN ARE TO BE USED IN CONJUNCTION WITH THESE PLANS FOR LOCATING ALL IMPROVEMENTS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR FOR WORKABILITY PRIOR TO CONSTRUCTION OF IMPROVEMENTS.
3. UNLESS OTHERWISE SHOWN, ALL DIMENSIONING IS TO THE FACE OF CURB OR EDGE OF PAVEMENT, WHICHEVER IS APPLICABLE.
4. THE BOUNDARY SURVEY AND TOPOGRAPHICAL DATA FOR THE SITE WAS PROVIDED & PERFORMED BY QUIDDITY (COLLEGE STATION, TX)

Table with columns: No., Date, Revisions

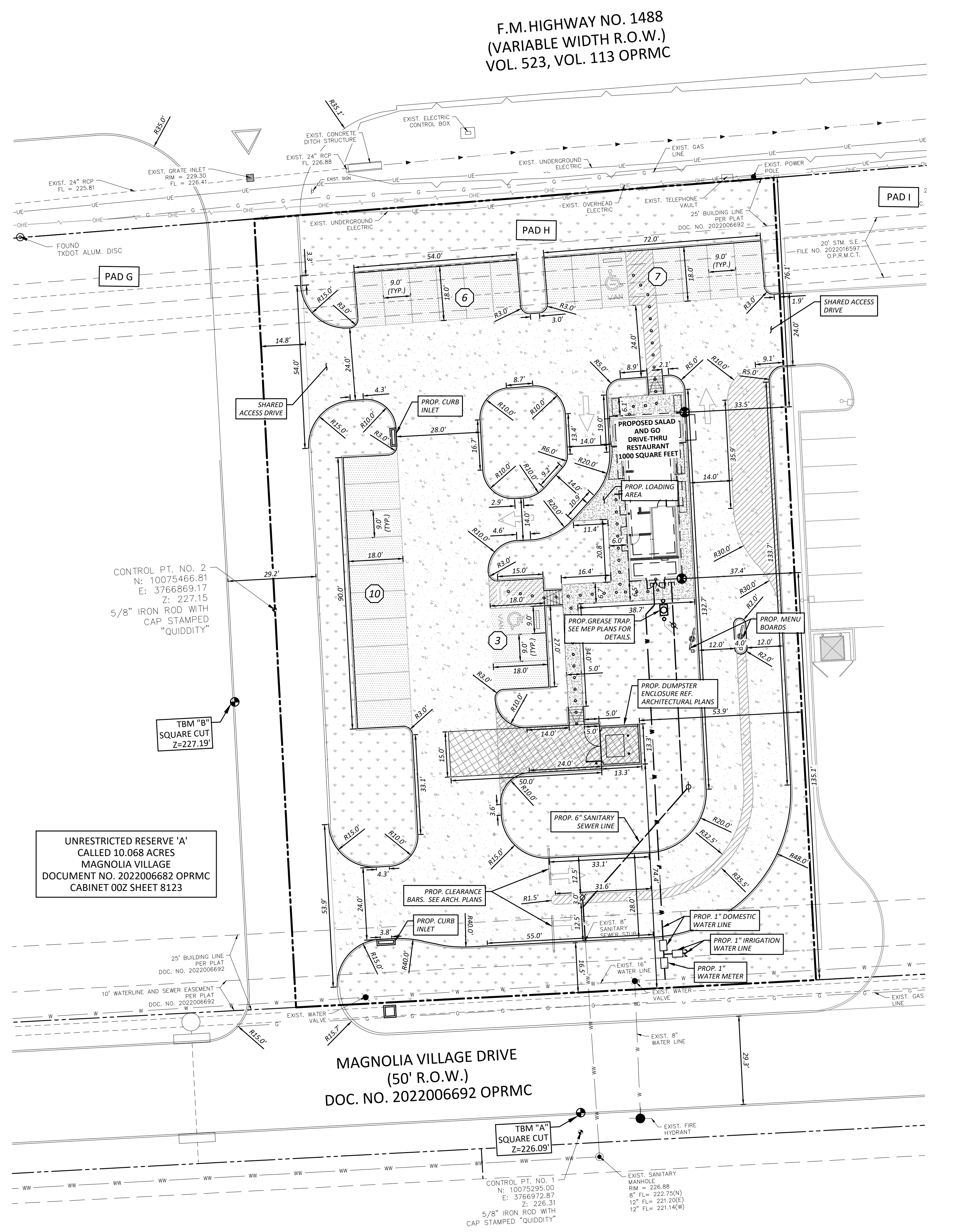
QUIDDITY logo and contact information. Includes fields for Scale, Date, Job No., and Designer/Checker/Drawer names.



SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13345 FM 1488, MAGNOLIA, TX 77354
GENERAL CONSTRUCTION NOTES

| SITE DATA BASED ON SALAD AND GO PROPOSED DEVELOPMENT MAGNOLIA VILLAGE BLOCK 1 RESERVE A, PAD H | | |
|---|--|----------------------|
| GENERAL | | |
| EXISTING ZONING: | AUTO URBAN COMMERCIAL (AC) WITH SEMI-URBAN RESIDENTIAL | |
| PROPOSED ZONING: | AUTO URBAN COMMERCIAL (AC) WITH SEMI-URBAN RESIDENTIAL | |
| CURRENT USE: | EMPTY PAD LOT | |
| PROPOSED USE: | DRIVE-THRU RESTAURANT | |
| OVERALL SITE | | |
| GROSS SITE AREA: | 1.045 ACRES (45,508 SQUARE FEET) | |
| SITE FRONTAGE: | 172.5 FEET | |
| SITE WIDTH: | 172.5 FEET | |
| SITE DEPTH: | 262 FEET | |
| IMPERVIOUS COVER: | 29,717 SQUARE FEET (0.682 ACRES) | |
| PERVIOUS COVER: | 15,791 SQUARE FEET (0.363 ACRES) | |
| BUILDING DATA | | |
| BUILDING AREA: | 780 SQUARE FEET | |
| BUILDING HEIGHT: | 20 FEET (1 STORY) | |
| BUILDING COVERAGE: | 1.71% | |
| FLOOR-AREA RATIO: | 0.017 : 1 | |
| PROPERTY DEVELOPMENT REGULATIONS | | |
| | REQUIRED | PROPOSED |
| FRONT SETBACK: | 25 FEET | 75 FEET |
| SIDE SETBACK: | 5 FEET (YARD) & 10 FEET (STREET) | 33.5 FEET & 114 FEET |
| REAR SETBACK: | 10 FEET | 135 FEET |
| LANDSCAPE AREA: | 0.157 ACRES (15%) | 0.363 ACRES (34.7%) |
| PARKING SPACE RATIO: | 1/200 SF | 1/38 SF |
| PARKING SPACES: | 5 SPACES | 26 SPACES |
| ADA PARKING SPACES: | 1 SPACE | 2 SPACES |

| UTILITY PROVIDERS | |
|-------------------|--------------------------|
| SANITARY SEWER | MUD 108 |
| WATER | MUD 108 |
| TELEPHONE | HOUSTON LIGHTING & POWER |
| GAS | *NO ONSITE GAS* |



F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC

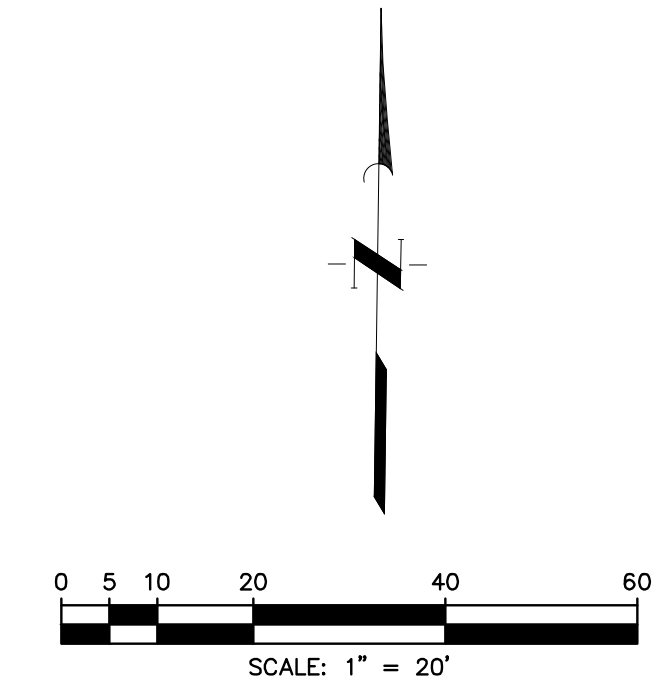
UNRESTRICTED RESERVE 'A'
CALLED 10.068 ACRES
MAGNOLIA VILLAGE
DOCUMENT NO. 2022006682 OPRMC
CABINET 00Z SHEET 8123

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88, DERIVED FROM GPS OBSERVATIONS PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL (WWW.NGS.NOAA.GOV/OPUS/)

TBM A
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE SOUTH SIDE OF THE DRIVEWAY ENTRANCE DRIVE FROM MAGNOLIA VILLAGE, APPROXIMATELY 80 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT TRACK ALONG THE PROPERTY LINE AND 40 FEET SOUTH OF THE SUBJECT TRACT. ELEVATION 226.09 FEET, NAVD 88 (2011 ADJUSTMENT).

TBM B
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE WEST SIDE OF THE ENTRANCE DRIVE FROM F.M. HIGHWAY 1488, APPROXIMATELY 160 FEET SOUTH OF NORTHWEST CORNER OF THE SUBJECT TRACK ALONG THE PROPERTY LINE AND 15 FEET WEST OF THE SUBJECT TRACT. ELEVATION 227.19 FEET, NAVD 88 (2011 ADJUSTMENT).

FEMA FLOOD STATEMENT
ACCORDING TO MAP NO. 4839C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



- LEGEND**
- PROPERTY LINE
 - PROP. BARRIER FREE RAMP
 - PARKING COUNT
 - ADA ROUTE
 - BUILDING CORNERS
 - PROP. 5" REINFORCED CONCRETE PAVEMENT
 - PROP. 6" REINFORCED CONCRETE PAVEMENT
 - PROP. 7" REINFORCED CONCRETE PAVEMENT
 - PROP. SIDEWALK
 - PROP. LANDSCAPE AREA
 - EXIST. OVERHEAD POWER
 - PROP. MENU BOARD

- NOTES**
1. ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
 2. ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
 3. SEE ARCHITECT PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
 4. CONTRACTOR TO USE CARE NOT TO DISTURB EXISTING LANDSCAPING OUTSIDE DISTURBED AREA. IF DISTURBED, CONTRACTOR TO RESTORE TO ORIGINAL CONDITIONS OR BETTER.
 5. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES.
 6. REFERENCE ARCHITECT PLANS FOR SIGNAGE.

OWNER
GULF COAST CRE
788 W. SAM HOUSTON PKWY NORTH
SUITE 206
HOUSTON, TEXAS 77024
TEL (713) 292-0960
CONTACT: DANNY MILLER

ENGINEER
QUIDDITY, INC.
4500 MERCANTILE PLAZA DRIVE
SUITE 210
FORT WORTH, TEXAS 76137
TEL (972) 265-7190
CONTACT: RYAN ALCALA, PE

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

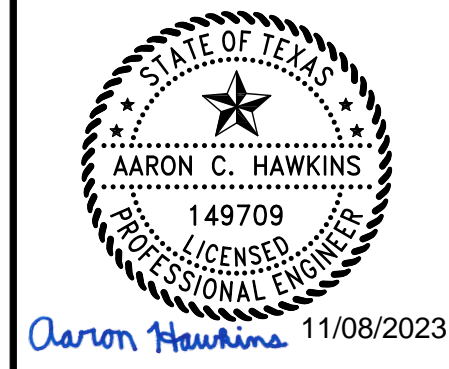
TEXAS811 NOTIFICATION SYSTEM
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Texas811 or 1-800-545-6005

| App. | Revisions |
|------|-----------|
| No. | Date |

QUIDDITY
Civil, Mechanical, Electrical, and Land Surveying
4500 Mercantile Plaza Drive, Suite 210, Fort Worth, Texas 76137-2820

SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO.: 17007-0104-00

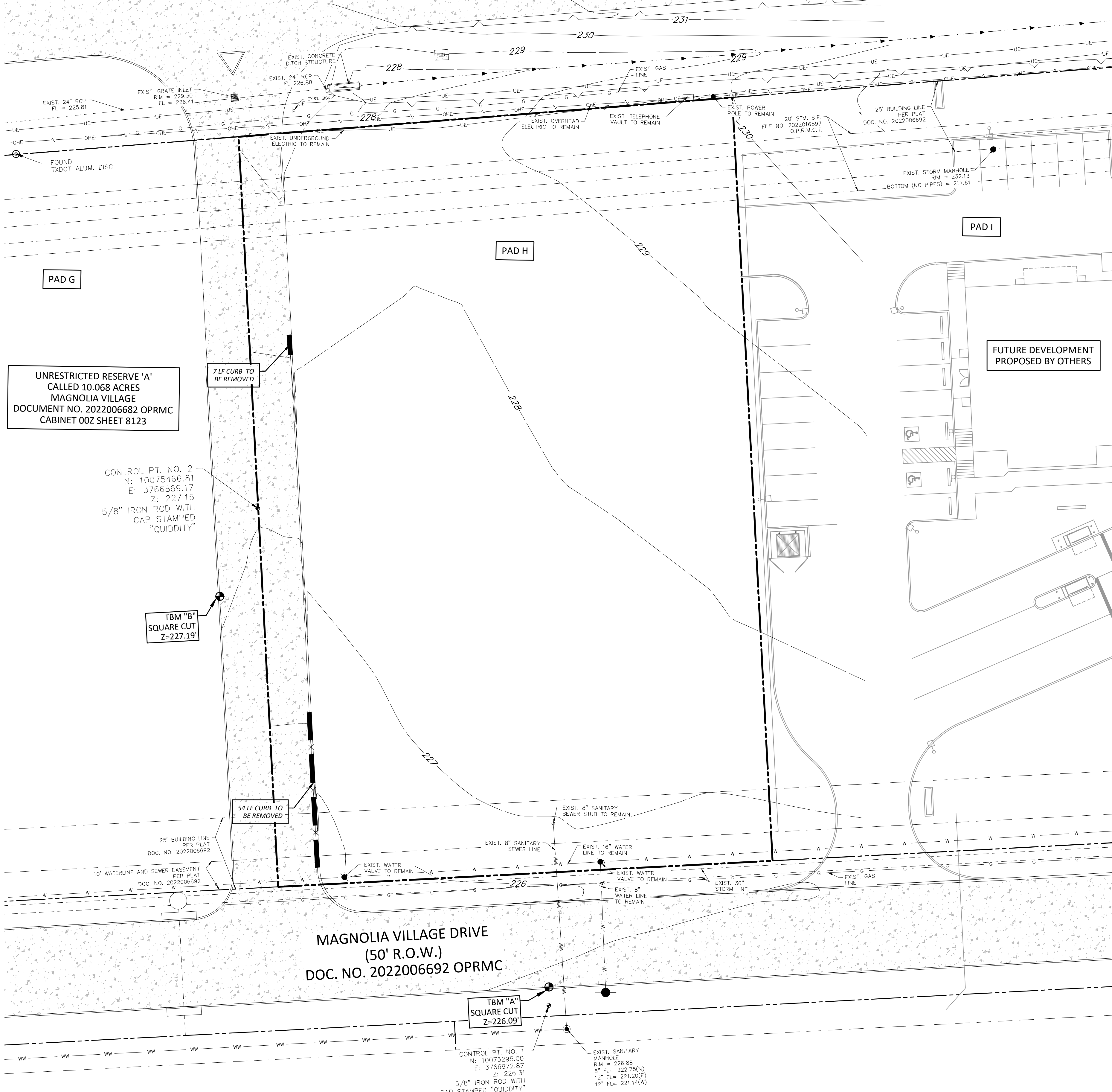
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CHECKED BY: RJA
DRAWN BY: CLC



SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13345 FM 1488, MAGNOLIA, TX 77354

SITE PLAN
BLOCK 1, RESERVE A, PAD H
MAGNOLIA VILLAGE
13345 FM 1488
MAGNOLIA, TX 77354

F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC

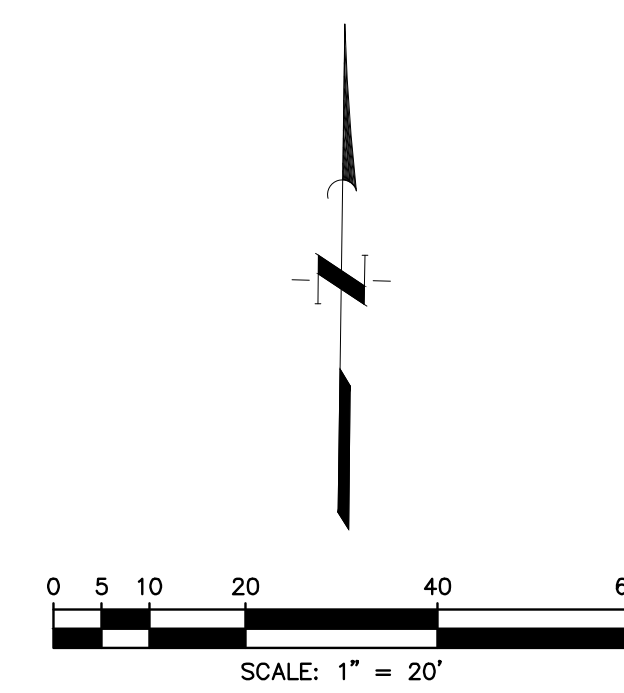


BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88, DERIVED FROM GPS OBSERVATIONS PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL (WWW.NGS.NOAA.GOV/OPUS/)

TBM A
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE SOUTH SIDE OF THE DRIVEWAY ENTRANCE DRIVE FROM MAGNOLIA VILLAGE, APPROXIMATELY 80 FEET WEST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT ALONG THE PROPERTY LINE AND 40 FEET SOUTH OF THE SUBJECT TRACT. ELEVATION 226.09 FEET, NAVD 88 (2011 ADJUSTMENT).

TBM B
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE WEST SIDE OF THE ENTRANCE DRIVE FROM F.M. HIGHWAY 1488, APPROXIMATELY 160 FEET SOUTH OF NORTHWEST CORNER OF THE SUBJECT TRACT ALONG THE PROPERTY LINE AND 15 FEET WEST OF THE SUBJECT TRACT. ELEVATION 227.19 FEET, NAVD 88 (2011 ADJUSTMENT).

FEMA FLOOD STATEMENT
ACCORDING TO MAP NO. 48399C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- W --- EXIST. WATERLINE
- WW --- EXIST. SANITARY SEWER
- EXIST. STORM SEWER
- EXIST. OVERHEAD POWER
- G --- EXIST. GAS LINE
- EXIST. TELECOMMUNICATIONS
- EXIST. UNDERGROUND ELECTRIC
- EXIST. FIRE HYDRANT
- ⊙ --- EXIST. STORM SEWER CURB INLET AND MANHOLE
- EXIST. CONCRETE PAVEMENT
- EXIST. CURB TO BE REMOVED
- PROPOSED SAWCUT / DEMOLITION LIMITS

DEMOLITION NOTES

1. IN ORDER TO MAINTAIN SERVICES, THE EXISTING SANITARY SEWER AND WATERLINE ARE NOT TO BE REMOVED OR DISTURBED.
2. POST DEMOLITION, GRADING SHALL PROVIDE POSITIVE DRAINAGE AND R.O.W. AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
3. ALL EXISTING TREES SHALL NOT BE DISTURBED WITHOUT OWNER APPROVAL.
4. THE APPROXIMATE LOCATION OF EXISTING UTILITIES ARE GIVEN FOR REFERENCE ONLY. BEFORE COMMENCING THE WORK ON THIS CONTRACT, THE CONTRACTOR SHALL VERIFY BY FIELD INVESTIGATION THE ACTUAL LOCATIONS OF ALL UTILITY FACILITIES WITHIN AND ADJACENT TO THE LIMITS OF THE WORK THAT MAY BE AFFECTED BY THE WORK, CONDUCTS WHICH RESULT DUE TO NEGLIGENCE BY THE CONTRACTOR TO LOCATE, HORIZONTALLY AND VERTICALLY, EXISTING UTILITIES WHICH ARE SHOWN ON THE CONSTRUCTION DRAWINGS, OR WHICH THE CONTRACTOR HAS BEEN GIVEN NOTICE OR HAS KNOWLEDGE OF, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF REMEDIAL WORK, REMOVAL OF PORTIONS OF THE WORK OR EXTENSIVE DESIGN CHANGES OCCASIONED BY THE FAILURE OF THE CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES AS DESCRIBED ABOVE SHALL BE BORNE BY THE CONTRACTOR.
5. CONTRACTOR SHALL COMPLY WITH O.S.H.A. REGULATIONS AND TEXAS STATE LAW.
6. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAW-CUT PAVEMENT AT FULL DEPTH TO PROVIDE SMOOTH JOINT WITH PROPOSED PAVEMENT. CONTRACTOR BID TO INCLUDE SAW-CUT AND REMOVAL OF CONCRETE PAVEMENT REGARDLESS OF PAVEMENT THICKNESS.
7. ALL DEMOLISHED MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR, AND SHALL BE HAULED AND LEGALLY DISPOSED OF OFF-SITE.
8. NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF REMOVAL AND DEMOLITION EITHER IN DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR MUST VISIT THE SITE AND STUDY EXISTING PHYSICAL CONDITIONS, REVIEW THE DRAWINGS, AND REACH THEIR OWN CONCLUSION ON WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY THE PROJECT DOCUMENTS. IF ANY DISCREPANCY IN FIELD CONDITIONS AND PROJECT DOCUMENTS PLEASE CONTACT ENGINEER.

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

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| No. | Date | REVISIONS |
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| | | |

QUIDDITY
A Division of Professional Engineers and Land Surveyors, Inc. No. 22202
400 Westwood Plaza, Suite 100, Houston, Texas 77060-2202

SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO.: 17007-0104-00

DESIGNED BY: HTF
CHECKED BY: RJA
DRAWN BY: CLC



SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13345 FM 1488, MAGNOLIA, TX 77354

EXISTING CONDITIONS AND DEMOLITION PLAN

F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC

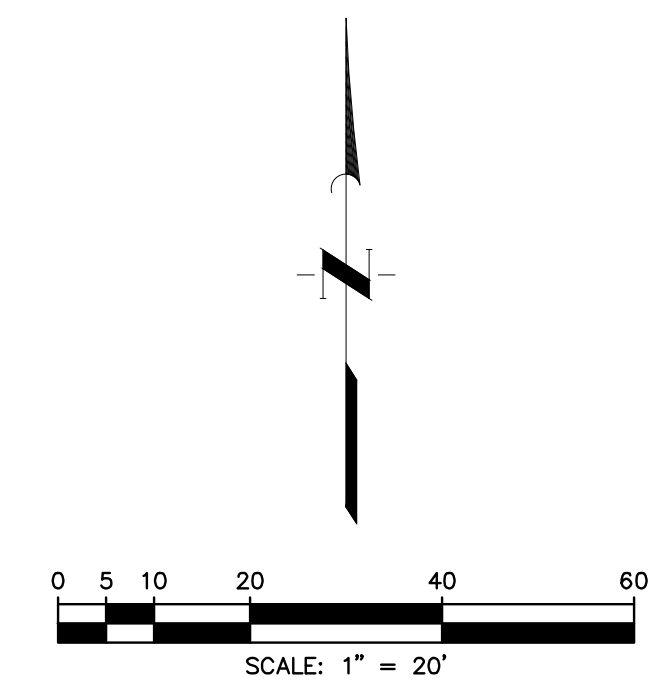
| | |
|-------------------------|----------|
| ON-SITE DISTURBED AREA | 1.045 AC |
| OFF-SITE DISTURBED AREA | 0.00 AC |
| TOTAL DISTURBED AREA | 1.045 AC |

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88, DERIVED FROM GPS OBSERVATIONS PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL (WWW.NGS.NOAA.GOV/OPUS/)

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BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE SOUTH SIDE OF THE DRIVEWAY ENTRANCE DRIVE FROM MAGNOLIA VILLAGE, APPROXIMATELY 80 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT TRACT ALONG THE PROPERTY LINE AND 40 FEET SOUTH OF THE SUBJECT TRACT. ELEVATION 226.09 FEET, NAVD 88 (2011 ADJUSTMENT).

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LEGEND

- L.O.C. - LIMITS OF CONSTRUCTION
- RFB - X - REINFORCED FILTER FABRIC BARRIER
- 130 - EXIST. MAJOR CONTOUR
- 129 - EXIST. MINOR CONTOUR
- 130 - PROP. MAJOR CONTOUR
- 129 - PROP. MINOR CONTOUR
- [Symbol] - CONCRETE TRUCK WASHOUT AREA
- [Symbol] - STABILIZED CONSTRUCTION ACCESS
- [Symbol] - INLET PROTECTION BARRIER

INSTALLATION SEQUENCE

- UTILITY CONTRACTOR:**
- INSTALL [Symbol] AT START OF CONSTRUCTION
 - INSTALL [Symbol] FOR EXISTING GRATE AND CURB INLETS
 - INSTALL [Symbol] AND [Symbol] AT DESIGNATED LOCATIONS
- PAVING CONTRACTOR:**
- MAINTAIN EXISTING FACILITIES
 - MAINTAIN [Symbol] FOR EXISTING INLETS UPON COMPLETION OF PAVING
 - INSTALL [Symbol] ALONG ALL BACK OF CURB UPON COMPLETION OF PAVING
 - HYDRO-MULCH SEEDING
- UTILITY AND PAVING CONTRACTOR TO FOLLOW ALL PROTECTION REQUIREMENTS AND COMPLETE ALL FORMS AS LISTED IN BOUND SWPPP.**

SEE SHEET C-10 FOR STORM WATER POLLUTION PREVENTION DETAILS.

ALL INLETS WITHIN PROPOSED PAVING AREA WILL REQUIRE BOTH STAGE I AND STAGE II INLET PROTECTION.

- EROSION AND SEDIMENTATION CONTROL NOTES**
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATION SHOWN ON PLANS.
 - CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS SPECIFIED HEREIN, AT A MINIMUM OF ONCE EVERY CALENDAR DAY.
 - CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEM THROUGHOUT THE DURATION OF THE CONTRACT. (NO SEPARATE PAY).
 - CONTRACTOR SHALL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER POTENTIALLY TOXIC MATERIALS. (NO SEPARATE PAY).
 - CONTRACTOR SHALL LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. CONTRACTOR SHALL USE SILT FENCING, HAY BALES, OR BERMS AROUND FUEL STORAGE AREAS. (NO SEPARATE PAY).
 - CONTRACTOR SHALL ADVISE OWNER IMMEDIATELY, VERBALLY, AND IN WRITING, OF ANY FUEL OR TOXIC MATERIAL SPILLS ONTO THE PROJECT/CONSTRUCTION AREA AND THE ACTION TAKEN TO REMEDY THE PROBLEM.
 - CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF HIS FUELS, MATERIALS, AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER. (NO SEPARATE PAY).
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE ENVIRONMENTAL LAWS.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATELY MAINTAINED SANITARY FACILITIES.
 - AT COMPLETION OF THE CONTRACT, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE EROSION AND SEDIMENTATION CONTROL SYSTEM BEFORE RELIEVING CONTRACTOR OF HIS MAINTENANCE RESPONSIBILITIES.
 - IF THE EROSION AND SEDIMENTATION CONTROL SYSTEM IS EXISTING FROM PRIOR CONTRACTS, OWNER AND/OR OWNER'S REPRESENTATIVES WITH THE CONTRACTOR SHALL EXAMINE THE EXISTING EROSION AND SEDIMENTATION CONTROL SYSTEM FOR DAMAGE PRIOR TO CONTRACTOR STARTING CONSTRUCTION OF THE CONTRACT. ANY DAMAGE NOTED AT THIS TIME SHALL BE REPAIRED AT OWNER'S EXPENSE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR STREET CLEANING, ON A DAILY BASIS, ALL MUD AND DIRT DEPOSITED ON THE EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY.
 - IF PAVING CONTRACTOR REMOVES OR PUNCTURES TIMBER GRATE TO ESTABLISH DRAINAGE, INLET MUST BE SURROUNDED BY FILTER FABRIC FENCE AS SHOWN IN DETAIL ON THIS SHEET.
 - EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
 - ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF MAGNOLIA ENGINEERING DIVISION.
 - IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
 - IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH THE CITY OF MAGNOLIA EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.

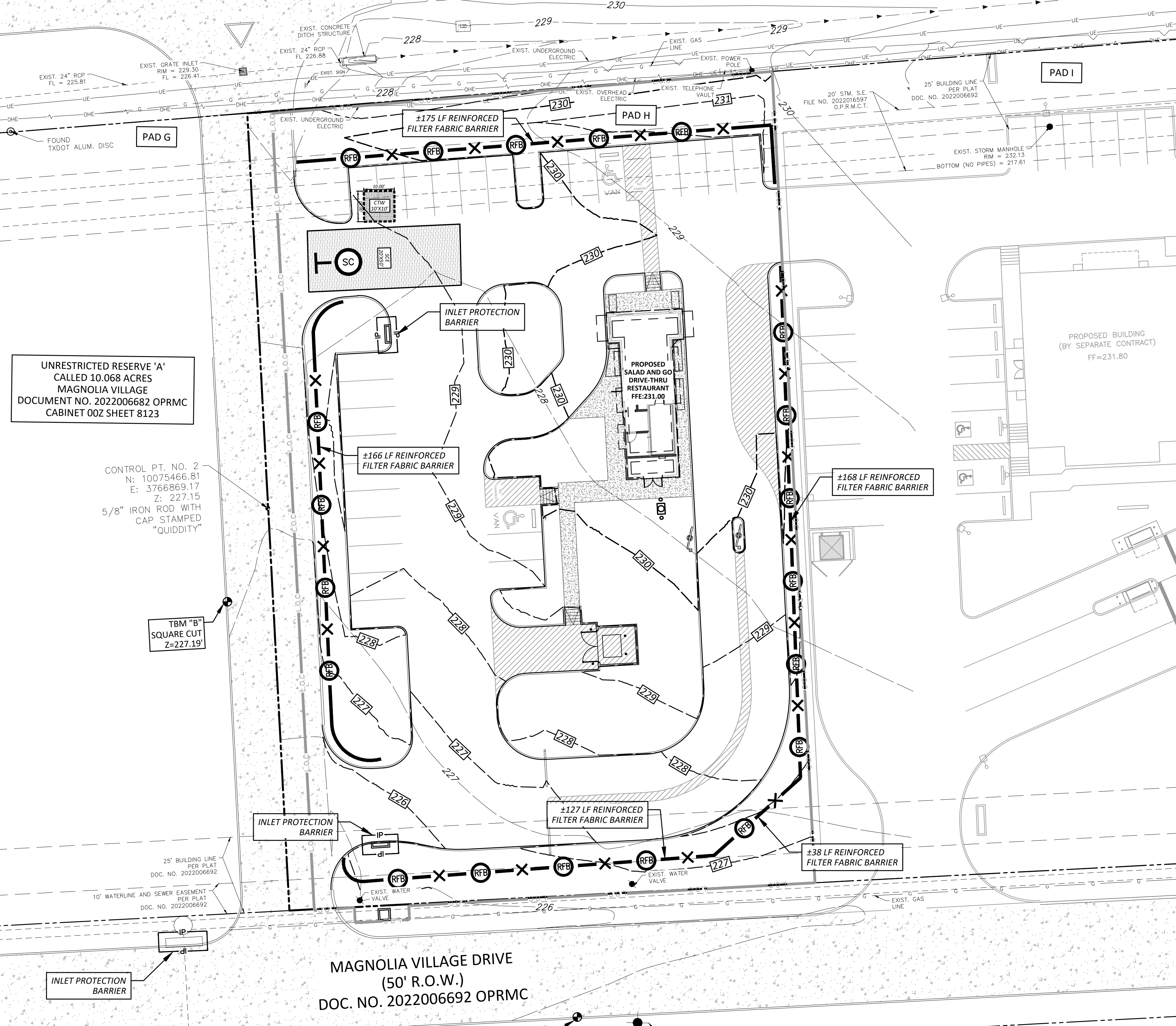
- MANHOLE/INLET PROTECTION NOTES**
- INLETS AND MANHOLES THAT ARE NOT COMPLETE AND/OR ARE SUBJECT TO CONVEYING STORM WATER FLOWS ARE TO BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING THE PROPOSED OR EXISTING STORM SEWER SYSTEM.
 - PROTECTION SHALL CONSIST OF ONE LAYER OF 3x12-INCH OAK TIMBERS, ONE (1) INCH APART, COVERED WITH ONE LAYER OF WOVEN POLYPROPYLENE OR POLYESTER FILTER FABRIC (EXXON GTF 100s, PHILLIPS SUPAC 4WS[UW] OR APPROVED EQUAL) HELD IN PLACE WITH 1/2" STAPLES. TIMBERS SHALL BE HELD IN PLACE WITH TWO (2) 2x4s NAILLED SECURELY TO EACH TIMBER OVER THE FILTER FABRIC. THE FILTER FABRIC SHALL EXTEND BEYOND THE PERIMETER OF THE OAK TIMBERS AS TO ENSURE ONE (1) FOOT OF BURY BETWEEN THE MANHOLE OR INLET AND THE SURROUNDING SOIL AS SHOWN.
 - FILTER FABRIC TO BE CLEANED OR REPLACED WHEN IT CEASES TO FUNCTION PROPERLY OR AS DIRECTED BY THE ENGINEER.
 - CONTRACTOR MAY SUBMIT PLANS FOR ALTERNATE METHODS OF PROTECTION. THESE ALTERNATE METHODS MUST BE APPROVED PRIOR TO USE IN THE FIELD.

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Texas811 or 1-800-545-6005

CAUTION: EXISTING GAS FACILITIES IN AREA



UNRESTRICTED RESERVE 'A'
CALLED 10.068 ACRES
MAGNOLIA VILLAGE
DOCUMENT NO. 2022006682 OPRMC
CABINET 002 SHEET 8123

CONTROL PT. NO. 2
N: 10075466.81
E: 3766869.17
Z: 227.15
5/8" IRON ROD WITH
CAP STAMPED
"QUIDDITY"

TBM "B"
SQUARE CUT
Z=227.19'

25' BUILDING LINE
PER PLAT
DOC. NO. 2022006692

10' WATERLINE AND SEWER EASEMENT
PER PLAT
DOC. NO. 2022006692

MAGNOLIA VILLAGE DRIVE
(50' R.O.W.)
DOC. NO. 2022006692 OPRMC

TBM "A"
SQUARE CUT
Z=226.09'

CONTROL PT. NO. 1
N: 10075295.00
E: 3766972.87
Z: 226.31
5/8" IRON ROD WITH
CAP STAMPED
"QUIDDITY"

App. _____

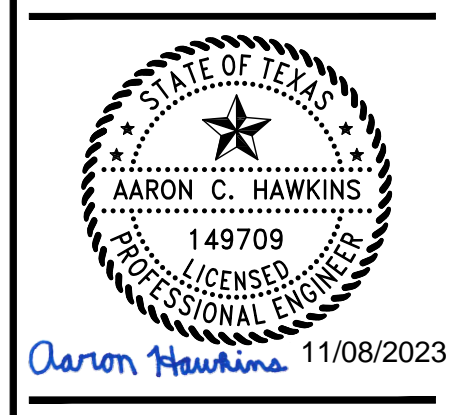
No. _____ Date _____

REVISIONS

QUIDDITY
Civil, Mechanical, Electrical, and Land Surveying
400 Westwood Park Drive, Suite 100, Houston, Texas 77060-2220

SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO.: 17007-0104-00

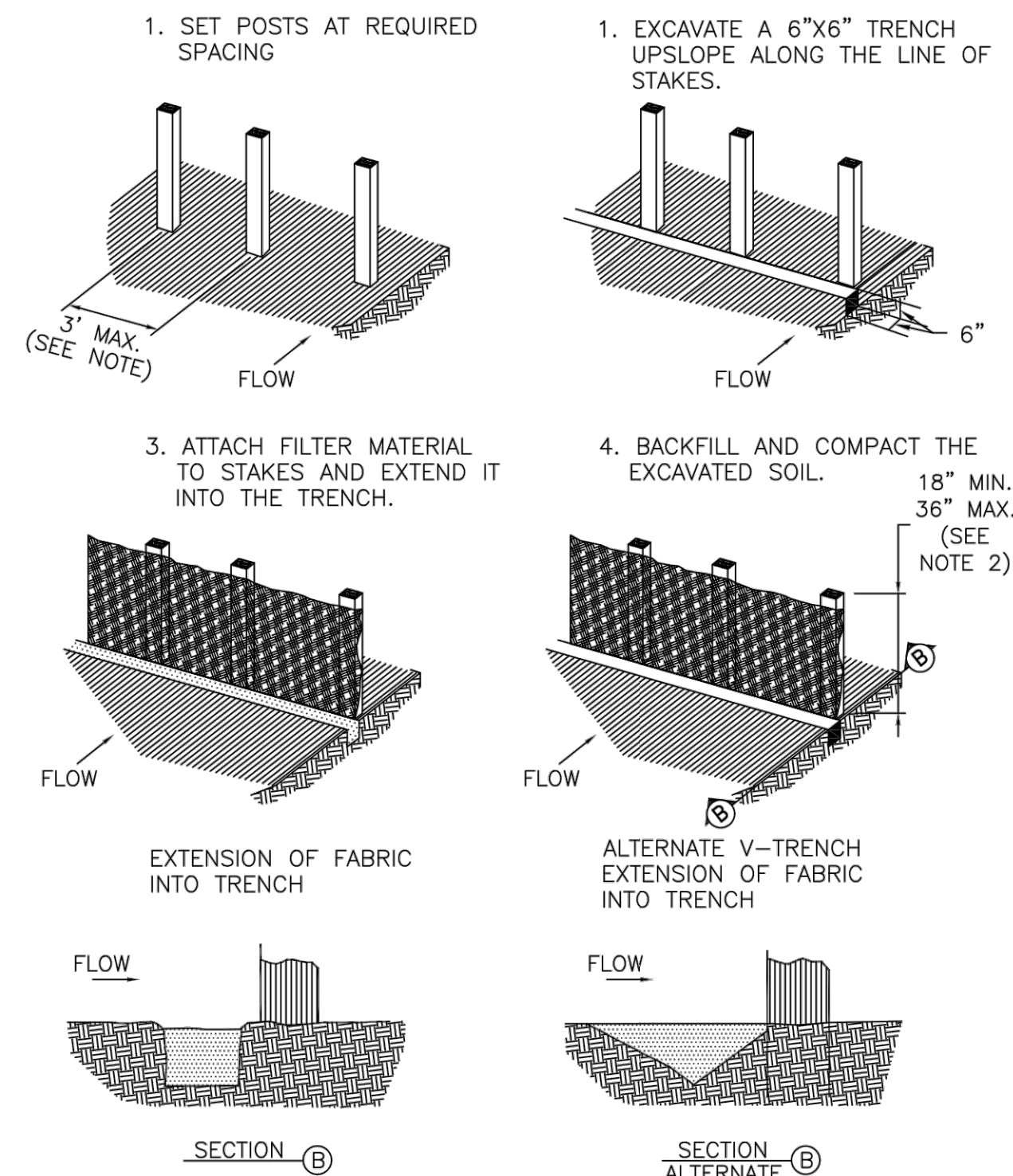
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SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13945 FM 1488, MAGNOLIA, TX 77354

STORM WATER POLLUTION PREVENTION PLAN

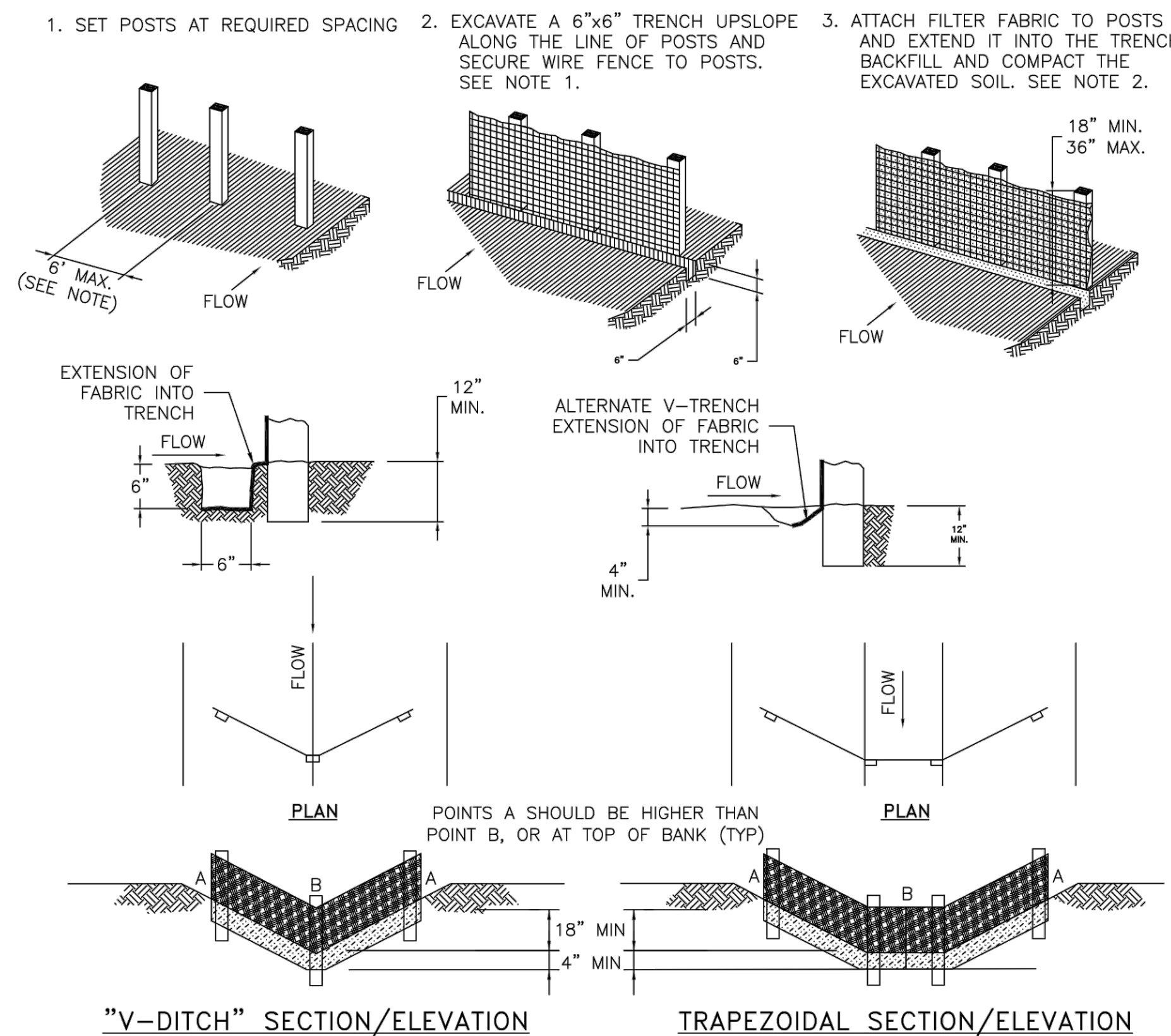
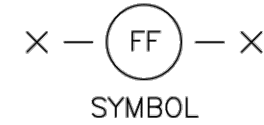
© 2023, Quiddity
K:\17007\17007-0104-00 salad and go - fm 1488 and spur 149 - ma\2 design phase\CAD\Plans\Site\17007-0104 EROSION CTRL AND DETAILS.dwg HTF: November 08, 2023



CONSTRUCTION NOTES:

- 2-INCH THICK BY 2 INCH WOODEN STAKES TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED A MIN OF 8 INCHES. IF PREASSEMBLED BARRIER WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 8 FEET MAX.
- ATTACH FILTER FABRIC TO WOODEN STAKES.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE POSTS, AND FOLDED.
- REMOVE SEDIMENT DEPOSIT WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.

FILTER FABRIC BARRIER



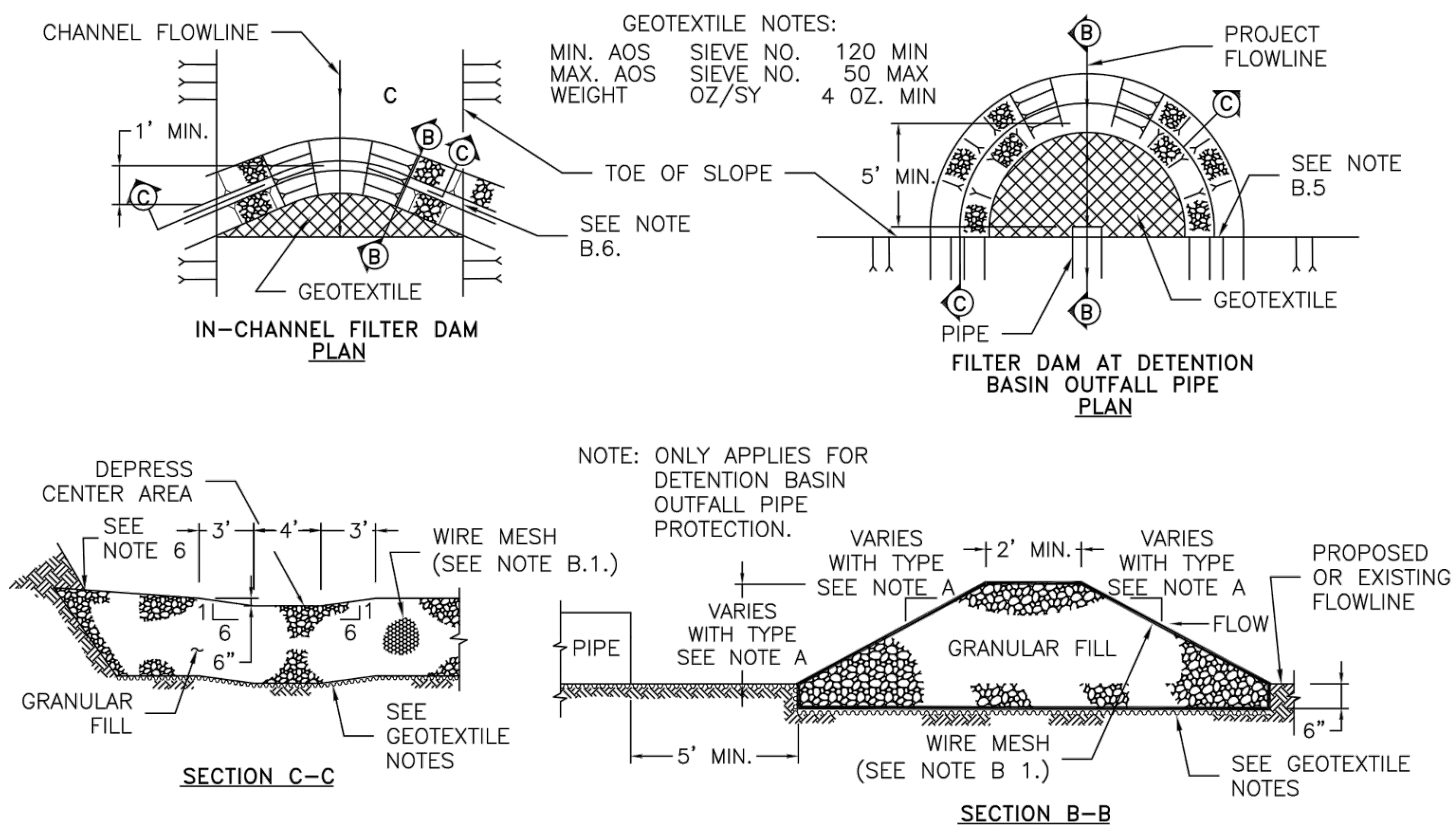
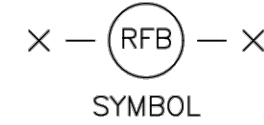
"V-DITCH" SECTION/ELEVATION

TRAPEZOIDAL SECTION/ELEVATION

GENERAL NOTES:

- SECURELY FASTEN MESH FENCING TO POSTS WITH STAPLES OR TIE WIRES.
- SECURELY FASTEN FILTER FABRIC TO MESH FENCING, WITH TIES SPACED EVERY 24 INCHES AT TOP AND MIDSECTION.
- WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, OVERLAP 6 INCHES AT A POST, FOLD TOGETHER, AND ATTACH TO A POST.
- REMOVE SEDIMENT DEPOSITS WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.

REINFORCED FILTER FABRIC BARRIER



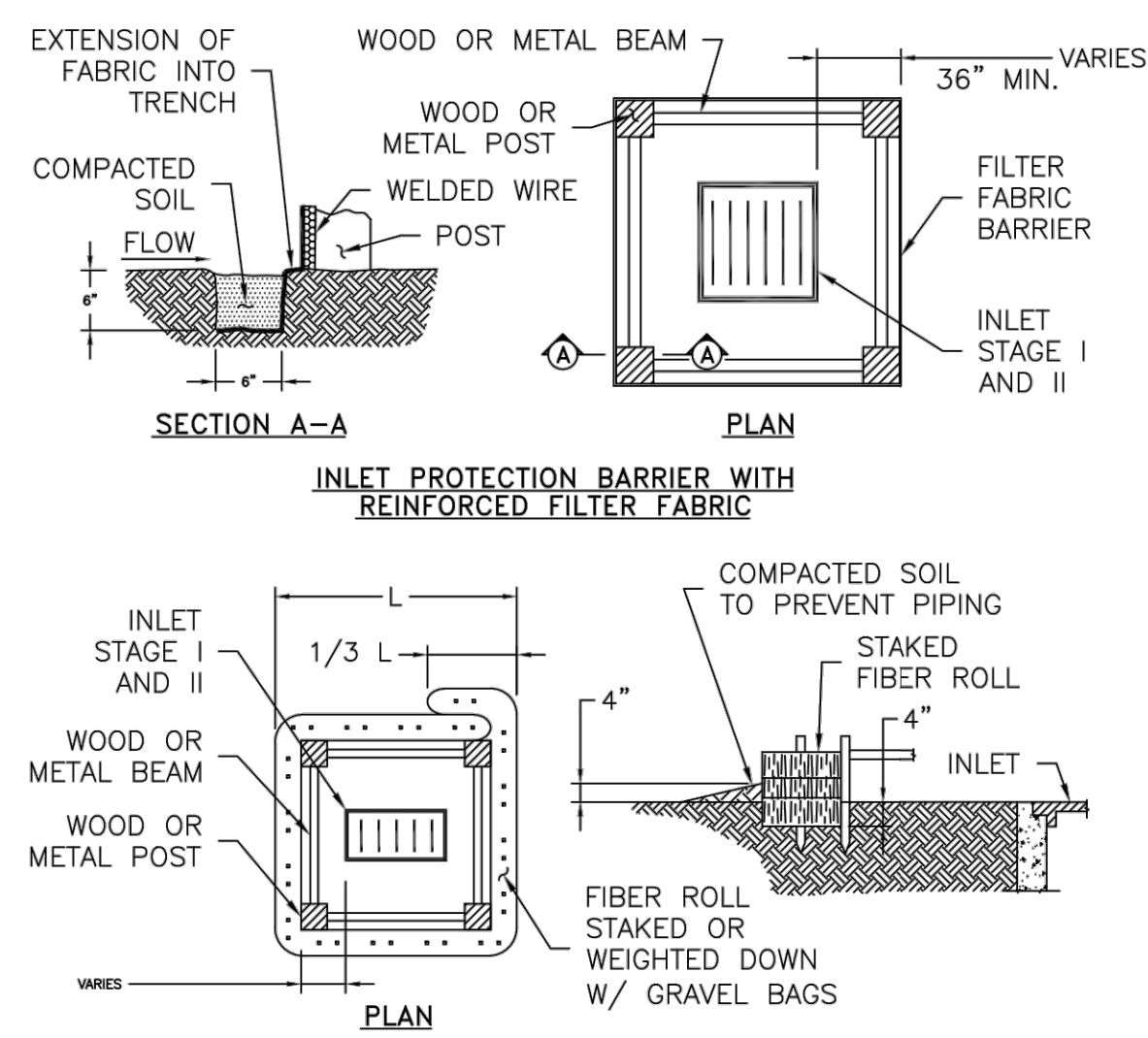
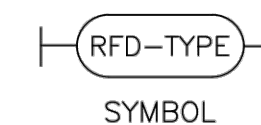
A. TYPES OF FILTER DAMS

- TYPE 1 (NON-REINFORCED)**
 - HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - TOP WIDTH - 2 FEET (MINIMUM)
 - SLOPES - 2:1 (MAXIMUM)
- TYPE 2 (REINFORCED)**
 - HEIGHT - 18-36 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - TOP WIDTH - 2 FEET (MINIMUM)
 - SLOPES - 2:1 (MAXIMUM)
- TYPE 3 (REINFORCED)**
 - HEIGHT - 36-48 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - TOP WIDTH - 2 FEET (MINIMUM)
 - SLOPES - 3:1 (MAXIMUM)
- TYPE 4 (GABION)**
 - HEIGHT - 30 INCHES (MINIMUM). MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - TOP WIDTH - 2 FEET (MINIMUM)
- TYPE 5. AS SHOWN ON THE PLANS.**

B. CONSTRUCT FILTER DAMS ACCORDING TO THE FOLLOWING CRITERIA UNLESS SHOWN OTHERWISE ON THE PLANS.

- TYPE 2 AND 3 FILTER DAMS:** SECURE WITH 20 GAUGE GALVANIZED WOVEN WIRE MESH WITH 1 INCH DIAMETER HEXAGONAL OPENINGS.
- PLACE GRANULAR FILL ON THE WIRE MESH TO HEIGHT AND SLOPES SHOWN ON PLANS OR AS SPECIFIED BY THE ENGINEER.**
 - 3-5 INCHES FOR ROCK FILTER DAM TYPES 1, 2 AND 4.
 - 4-8 INCHES FOR ROCK FILTER DAM TYPE REFER TO GRANULAR FILL IN SPECIFICATION SECTION No. 02378 RIPRAP AND GRANULAR FILL.
- FOLD WIRE MESH AT UPSTREAM SIDE OVER GRANULAR FILL AND TIGHTLY SECURED TO ITSELF ON THE DOWNSTREAM SIDE USING WIRE TIES OR HOG RINGS.**
- IN STREAMS:** SECURE OR STAKE MESH TO STREAM BED PRIOR TO AGGREGATE PLACEMENT.
- EMBED ONE FOOT MINIMUM INTO SLOPE AND RAISE ONE FOOT HIGHER THAN CENTER OF DEPRESSED AREA AT SLOPE.**

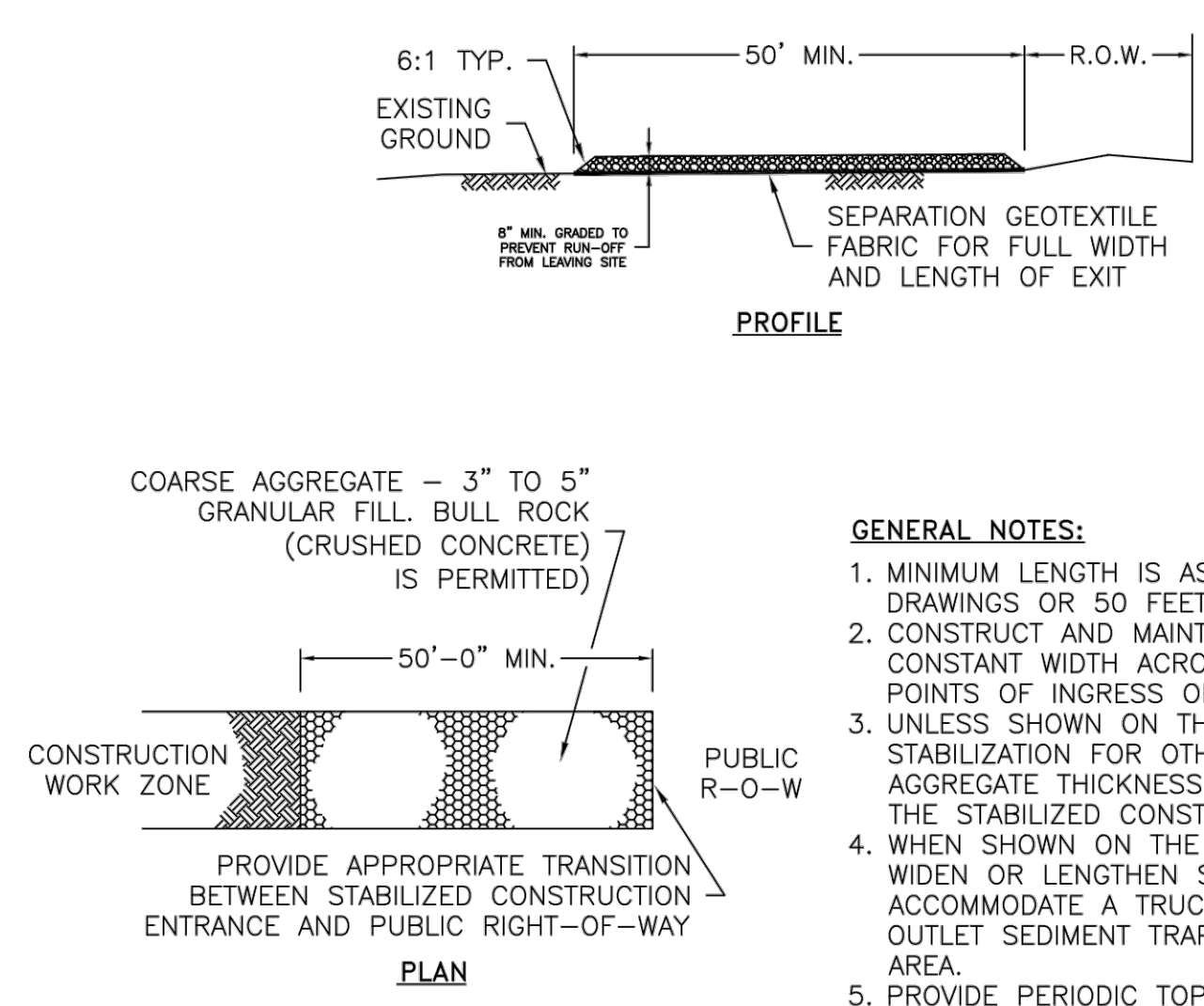
FILTER DAM



GENERAL NOTES:

- FIBER ROLLS WILL BE UTILIZED ONLY WHEN SITE CONDITIONS DO NOT PERMIT THE USE OF FILTER FABRIC BARRIER, AND AS APPROVED BY THE ENGINEER.

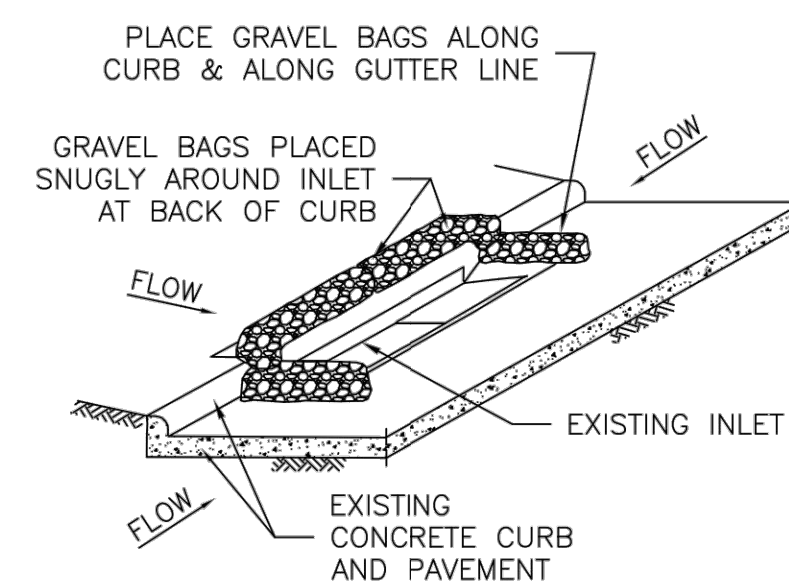
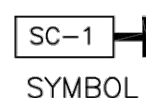
INLET PROTECTION BARRIERS FOR STAGE I INLETS



GENERAL NOTES:

- MINIMUM LENGTH IS AS SHOWN ON CONSTRUCTION DRAWINGS OR 50 FEET, WHICHEVER IS MORE.
- CONSTRUCT AND MAINTAIN CONSTRUCTION EXIT WITH CONSTANT WIDTH ACROSS ITS LENGTH, INCLUDING ALL POINTS OF INGRESS OR EGRESS.
- UNLESS SHOWN ON THE CONSTRUCTION DRAWINGS, STABILIZATION FOR OTHER AREAS WILL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT.
- WHEN SHOWN ON THE CONSTRUCTION DRAWINGS, WIDEN OR LENGTHEN STABILIZED AREA TO ACCOMMODATE A TRUCK WASHING AREA. PROVIDE OUTLET SEDIMENT TRAP FOR THE TRUCK WASHING AREA.
- PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL COARSE AGGREGATE TO MAINTAIN THE REQUIRED DEPTH OR WHEN SURFACE BECOMES PACKED WITH MUD.
- PERIODICALLY TURN AGGREGATE TO EXPOSE A CLEAN DRIVING SURFACE.
- MINIMUM 14' WIDTH FOR ONE WAY TRAFFIC AND 20' WIDTH FOR TWO WAY TRAFFIC.

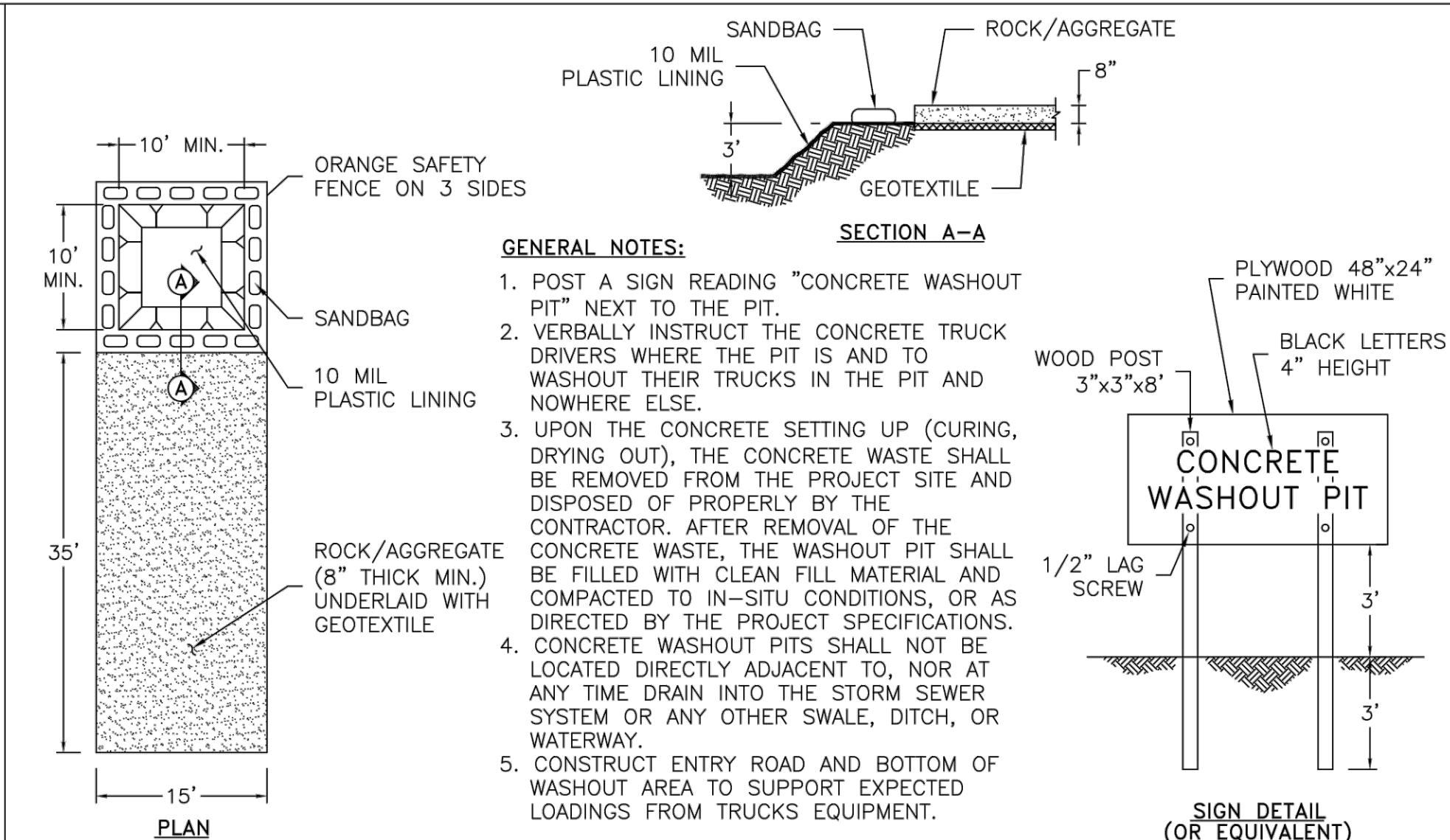
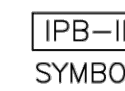
STABILIZED CONSTRUCTION ACCESS



GENERAL NOTES:

- REMOVE SEDIMENT DEPOSIT WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BARRIER.
- GRAVEL BAGS SHALL NOT BLOCK THROAT OF INLET UNLESS DIRECTED BY ENGINEER.

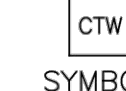
INLET PROTECTION BARRIERS FOR STAGE II INLETS



GENERAL NOTES:

- POST A SIGN READING "CONCRETE WASHOUT PIT" NEXT TO THE PIT.
- VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.
- UPON THE CONCRETE SETTING UP (CURING, DRYING OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACTED TO IN-SITU CONDITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.
- CONCRETE WASHOUT PITS SHALL NOT BE LOCATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE, DITCH, OR WATERWAY.
- CONSTRUCT ENTRY ROAD AND BOTTOM OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.

CONCRETE TRUCK WASHOUT AREA



| NO. | REVISIONS | DATE | NAME |
|-----|-----------|------|------|
| | | | |
| | | | |
| | | | |



| | |
|--------------------|--|
| PROJECT TITLE: | |
| SHEET DESCRIPTION: | |
| DRAWN BY: JLS | CITY OF MAGNOLIA STANDARD DETAIL |
| CHK'D BY: REG | EFFECTIVE DATE: 8/3/2022 NO SCALE SHEET XX OF XX |

REVISIONS

| No. | Date |
|-----|------|
| | |
| | |
| | |

QUIDDITY
 AS SHOWN
 SCALE: AS SHOWN
 DATE: NOVEMBER 2023
 JOB NO.: 17007-0104-00

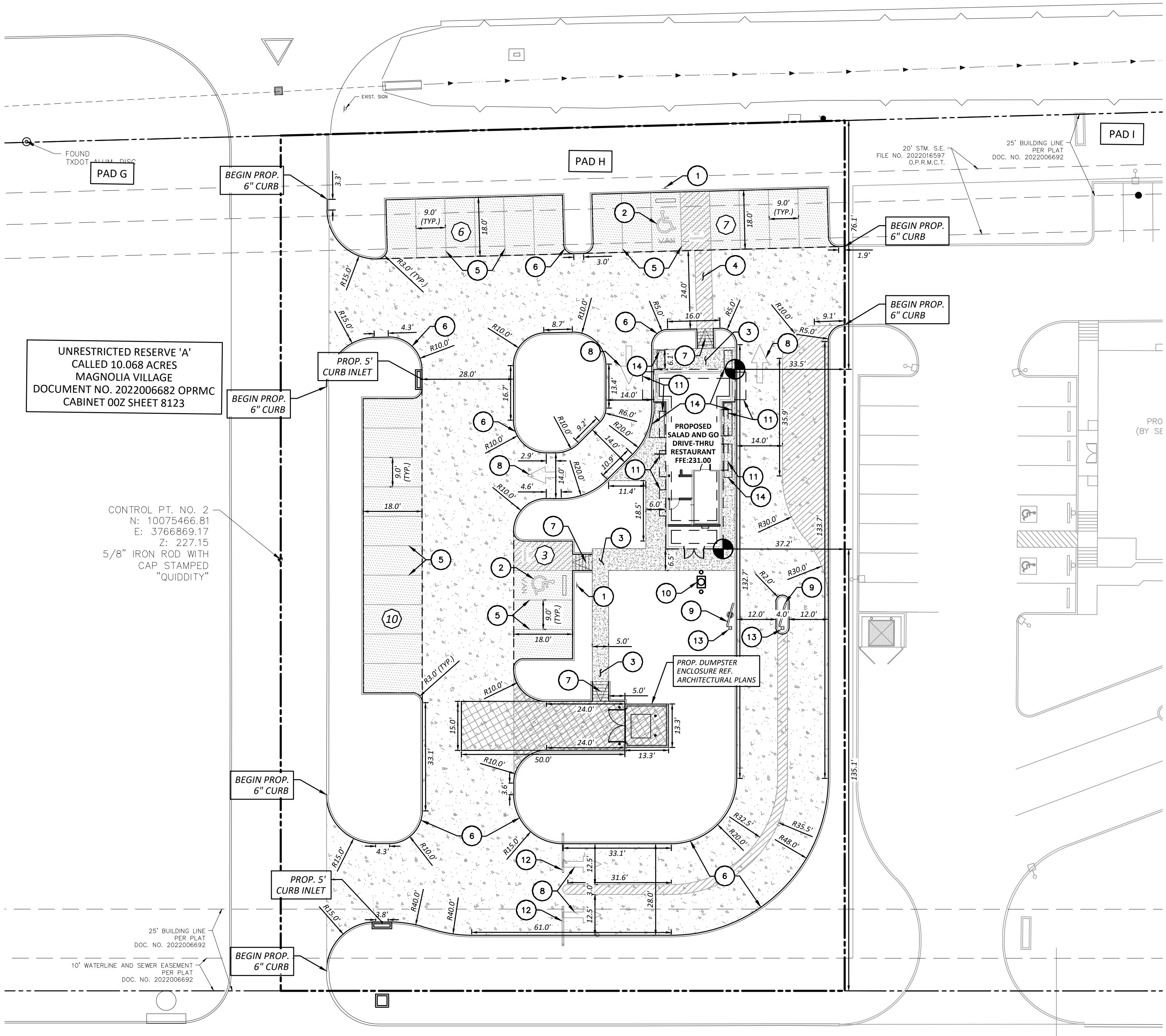
DESIGNED BY: HTF
 CHECKED BY: RJA
 DRAWN BY: CLC

STATE OF TEXAS
 149709
 AARON C. HAWKINS
 PROFESSIONAL ENGINEER
 11/08/2023

SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
 13345 FM 1488, MAGNOLIA, TX 77354

STORM WATER POLLUTION PREVENTION DETAILS

F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC



UNRESTRICTED RESERVE 'A'
CALLED 10.068 ACRES
MAGNOLIA VILLAGE
DOCUMENT NO. 2022006682 OPRMC
CABINET 00Z SHEET 8123

CONTROL PT. NO. 2
N: 10075466.81
E: 3766869.17
Z: 227.15
5/8" IRON ROD WITH
CAP STAMPED
"QUIDDITY"

MAGNOLIA VILLAGE DRIVE
(50' R.O.W.)
DOC. NO. 2022006692 OPRMC

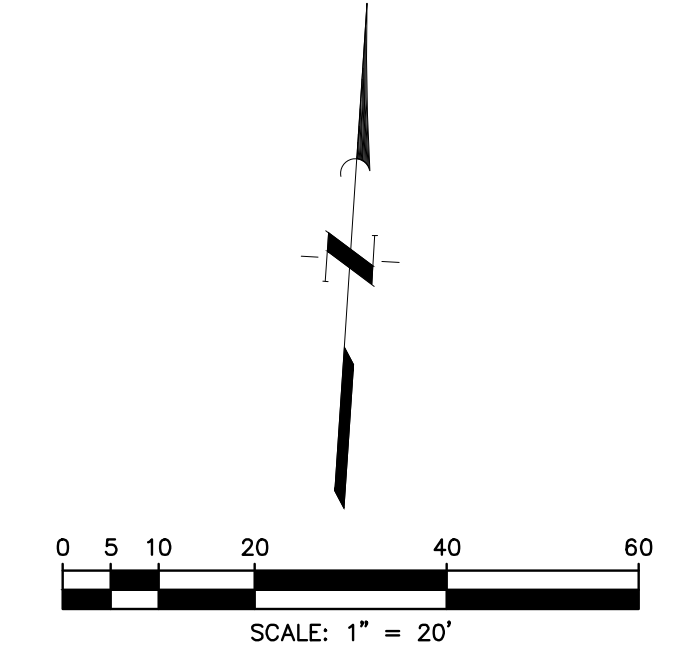
CONTROL PT. NO. 1
N: 10075285.00
E: 3766972.87
Z: 226.51
5/8" IRON ROD WITH
CAP STAMPED "QUIDDITY"

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88, DERIVED FROM GPS OBSERVATIONS PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL (WWW.NGS.NOAA.GOV/OPUS/)

TBM A
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE SOUTH SIDE OF THE DRIVEWAY ENTRANCE DRIVE FROM MAGNOLIA VILLAGE, APPROXIMATELY 80 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT TRACK ALONG THE PROPERTY LINE AND 40 FEET SOUTH OF THE SUBJECT TRACK. ELEVATION 226.09 FEET, NAVD 88 (2011 ADJUSTMENT).

TBM B
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE WEST SIDE OF THE ENTRANCE DRIVE FROM F.M. HIGHWAY 1488, APPROXIMATELY 160 FEET SOUTH OF NORTHWEST CORNER OF THE SUBJECT TRACK ALONG THE PROPERTY LINE AND 15 FEET WEST OF THE SUBJECT TRACK. ELEVATION 227.19 FEET, NAVD 88 (2011 ADJUSTMENT).

FEMA FLOOD STATEMENT
ACCORDING TO MAP NO. 4839C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



KEY NOTES

- 1. PROP. ADA HANDICAP VAN ACCESSIBLE SIGN, TYP.
- 2. PROP. ADA HANDICAP VAN PARKING SPACE, TYP.
- 3. PROP. ADA LANDING PAD
- 4. PROP. 4" PAINTED WHITE CROSSWALK/ACCESS AISLE
- 5. PROP. 4" PAINTED WHITE PARKING STRIPE PER CITY OF MAGNOLIA MANUAL, TYP.
- 6. PROP. 6" CONCRETE CURB, TYP.
- 7. PROP. BARRIER FREE RAMPS CONSTRUCTED PER CITY OF MAGNOLIA (1:12 MAX.)
- 8. PROP. PAINTED DIRECTIONAL ARROW, TYP.
- 9. PROP. MENU BOARDS, TYP. SEE ARCHITECT PLANS FOR DETAILS
- 10. PROP. GREASE TRAP, SEE MEP PLANS FOR DETAILS
- 11. PROP. CANOPY, SEE ARCHITECT PLANS FOR DETAILS
- 12. PROP. CLEARANCE BAR. SEE ARCHITECT PLANS FOR DETAILS.
- 13. PROP. SPEAKER BASE SEE ARCHITECT PLANS FOR DETAILS
- 14. PROP. PLANTER, SEE ARCHITECT AND LANDSCAPE PLANS FOR DETAILS.

LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- PROP. GRADE BREAK
- [Pattern] PROP. 7" REINFORCED CONCRETE
- [Pattern] PROP. 6" REINFORCED CONCRETE
- [Pattern] PROP. 5" REINFORCED CONCRETE
- [Pattern] PROP. 4" REINFORCED CONCRETE SIDEWALK
- [Pattern] PROP. LANDSCAPING / GREEN SPACE
- [Symbol] PARKING COUNT
- [Symbol] PROP. BUILDING CORNERS (SLAB EDGE)

NOTES

1. ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CURBS, INCLUDING ISLANDS, SHALL BE 6" (SEE DETAIL ON SHEET C-17), UNLESS NOTED OTHERWISE.
3. ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
4. SEE ARCHITECT PLANS FOR EXACT BLDG DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
5. CONCRETE SHOULD HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
6. THE DESIGN OF THE STEEL REINFORCEMENT SHOULD BE IN ACCORDANCE WITH ACCEPTED CODES IN ASTM A615
7. FOR PAVING DETAILS SEE SHEET C-17.
8. CONTRACTOR TO REFER TO GEOTECHNICAL ENGINEERING REPORT PREPARED BY PROFESSIONAL SERVICE INDUSTRIES, INC. PROJECT NUMBER 286-2920.

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

Texas811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

App. _____

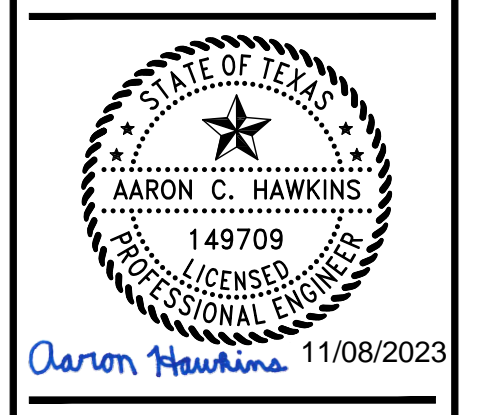
No. _____ Date _____

REVISIONS

QUIDDITY
A Division of Professional Engineers and Land Surveyors, Inc. No. 22202
400 Westwood Plaza, Suite 100, Houston, Texas 77060-2202

SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO.: 17007-0104-00

DESIGNED BY: HTF
CHECKED BY: RJA
DRAWN BY: CLC



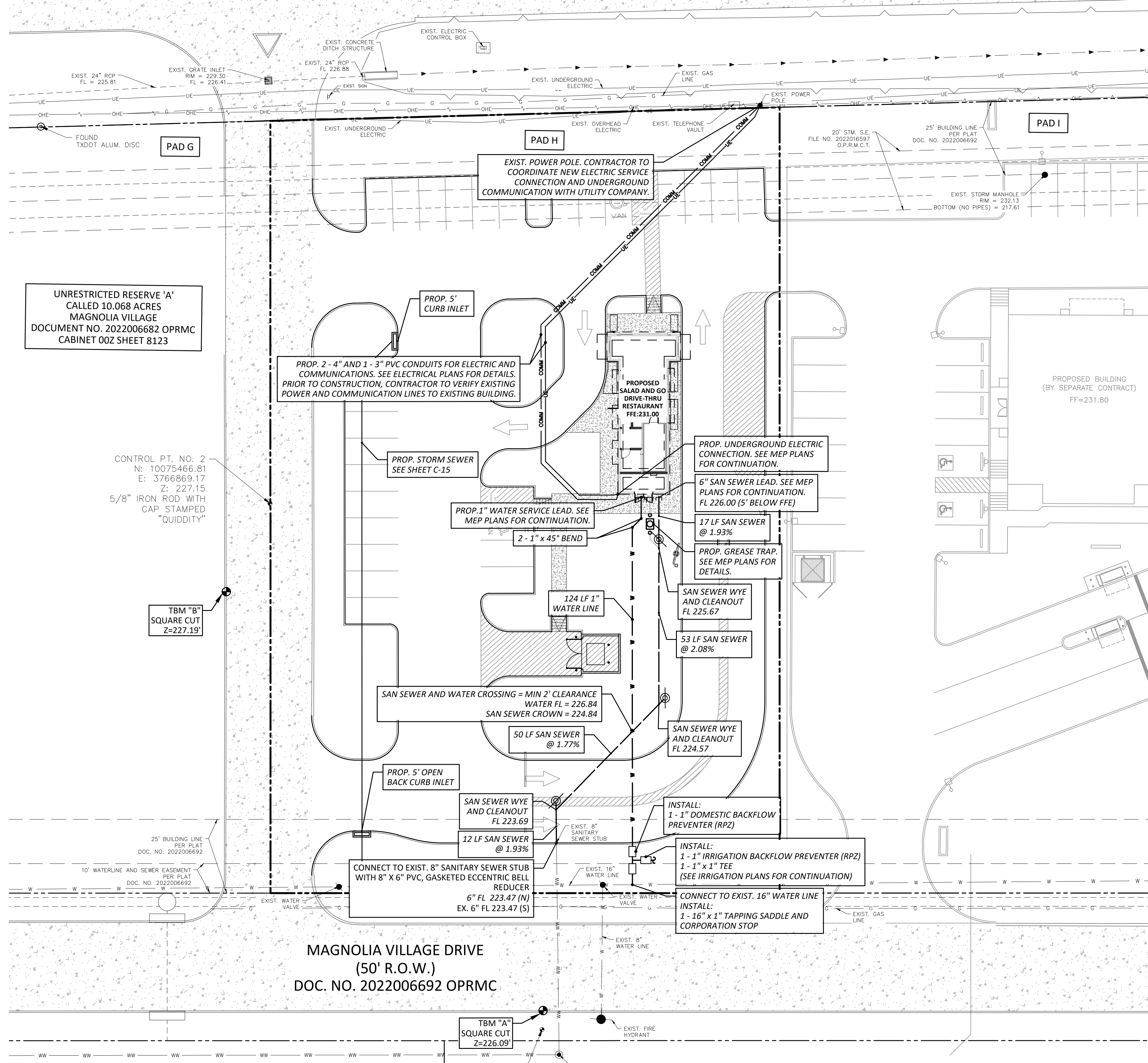
SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13945 FM 1488, MAGNOLIA, TX 77354

DIMENSION CONTROL AND PAVING PLAN

SHEET NO. **C-11**

© 2022, Quiddity
K:\17007\17007-0104-00 salad and go - fm 1488 and spur 149 - ma\2 design phase\CAD\Plans\Site\17007-0104 DIM CNTRL AND PAVING PLAN.dwg HTF: November 08, 2023

F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC

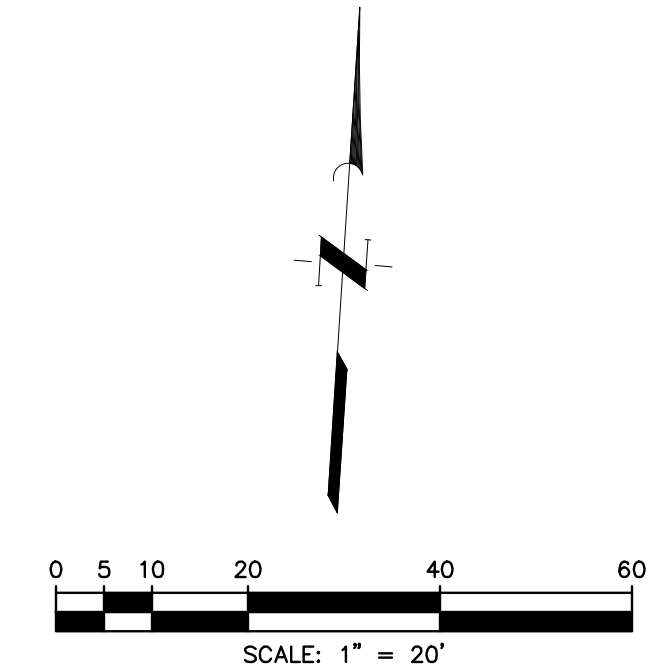


BENCHMARK
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PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL
(WWW.NGS.NOAA.GOV/OPUS/)

TBM A
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE SOUTH SIDE OF THE DRIVEWAY ENTRANCE
DRIVE FROM MAGNOLIA VILLAGE, APPROXIMATELY 80 FEET WEST OF THE SOUTHEAST CORNER OF
THE SUBJECT TRACT ALONG THE PROPERTY LINE AND 40 FEET SOUTH OF THE SUBJECT TRACT.
ELEVATION 226.09 FEET, NAVD 88 (2011 ADJUSTMENT).

TBM B
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE WEST SIDE OF THE ENTRANCE DRIVE FROM
F.M. HIGHWAY 1488, APPROXIMATELY 160 FEET SOUTH OF NORTHWEST CORNER OF THE SUBJECT
TRACT ALONG THE PROPERTY LINE AND 15 FEET WEST OF THE SUBJECT TRACT.
ELEVATION 227.19 FEET, NAVD 88 (2011 ADJUSTMENT).

FEMA FLOOD STATEMENT
ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S
FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT
TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE
THE 0.2% ANNUAL CHANCE FLOODPLAIN.



LEGEND

- PROPERTY LINE
- W --- EXIST. WATERLINE
- G --- EXIST. GAS
- SW --- EXIST. SANITARY SEWER
- SS --- EXIST. STORM SEWER
- OHE --- EXIST. OVERHEAD POWER
- UE --- PROP. UNDERGROUND ELECTRIC
- COMM --- PROP. COMMUNICATION LINE
- SS --- PROP. SANITARY SEWER
- W --- PROP. WATERLINE
- SS --- PROP. STORM SEWER

NOTES

1. ALL SANITARY SEWER LINES SHALL BE PVC SDR-26.
2. ALL WATERLINES SHALL BE C-900 PVC DR-18.
3. CONTRACTOR TO VERIFY EXISTING FLOW LINES BEFORE COMMENCING CONSTRUCTION.
4. NO PERSON SHALL OPEN, TURN-OFF, INTERFERE WITH, ATTACH ANY HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE TOWN UNLESS DULY AUTHORIZED TO DO SO BY THE CITY OF MAGNOLIA.
5. ARRANGEMENTS FOR CONSTRUCTION OF WATER SHALL BE MADE THROUGH THE CITY OF MAGNOLIA.
6. ANY WATER OR SANITARY SEWER SERVICE LOCATED OUTSIDE OF A STREET, ALLEY, OR EASEMENT SHALL BE INSTALLED BY A PLUMBER AND BE INSPECTED BY BUILDING INSPECTORS.
7. EXISTING FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF THE EXISTING MAGNOLIA VILLAGE DRIVE ON THE FAR SOUTH SIDE OF THE SUBJECT TRACT. FIRE HYDRANT IS APPROXIMATELY 178 FOOT HOSE LAY FROM SOUTHWEST CORNER OF THE PROPOSED BUILDING.
8. CONTRACTOR TO PLACE DOMESTIC SHUTOFF VALVE AT METER.
9. WATER METER TO BE PROVIDED AND INSTALLED BY THE CITY OF MAGNOLIA. ALL OTHER PORTIONS OF WATER SERVICES ARE TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

PRIOR TO SANITARY SEWER AND STORM SEWER
INSTALLATION AND CONNECTION, CONTRACTOR TO
FIELD VERIFY LOCATION AND DEPTH OF ALL POTENTIAL
DRY UTILITY CONFLICTS WITHIN ROW. IF CONFLICT
IDENTIFIED, CONTRACTOR TO NOTIFY ENGINEER.

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING
EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES
ON SITE AND STAY AWAY FROM ALL OVERHEAD
POWER. CONTRACTOR SHALL COMPLY WITH ALL
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DEALING WITH CLEARANCES AND CONSTRUCTION
ACTIVITIES.

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OF ALL EXISTING UTILITIES PRIOR TO
COMMENCEMENT OF ANY NEW CONSTRUCTION

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Texas811 or 1-800-545-6005

| No. | Date | REVISIONS |
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| | | |

QUIDDITY
A Division of Professional Engineers and Land Surveyors, Inc. No. 228292
400 Westwood Plaza, Suite 100, Magnolia, Texas 77355-2229

SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO.: 17007-0104-00

DESIGNED BY: HTF
CHECKED BY: RJA
DRAWN BY: CLC



SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13945 FM 1488, MAGNOLIA, TX 77354

SHEET NO.
C-12

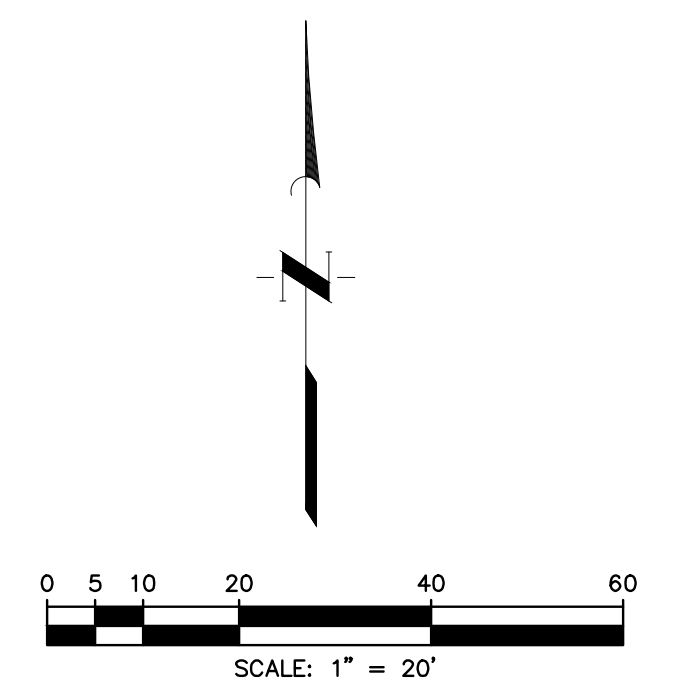
F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88, DERIVED FROM GPS OBSERVATIONS PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL (WWW.NGS.NOAA.GOV/OPUS/)

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ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



- EXISTING LEGEND**
- PROPERTY LINE
 - STORM SEWER
 - STORM SEWER MANHOLE
 - STORM SEWER CURB INLET
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EXIST. DRAINAGE AREA LINE
 - All** DRAINAGE AREA NUMBER
 - DRAINAGE AREA IN ACRES
 - EXIST. DRAINAGE DIRECTION

UNRESTRICTED RESERVE 'A'
CALLED 10.068 ACRES
MAGNOLIA VILLAGE
DOCUMENT NO. 2022006682 OPRMC
CABINET 00Z SHEET 8123

CONTROL PT. NO. 2
N: 10075466.81
E: 3766869.17
Z: 227.15
5/8" IRON ROD WITH
CAP STAMPED
"QUIDDITY"

TBM "B"
SQUARE CUT
Z=227.19'

25' BUILDING LINE
PER PLAT
DOC. NO. 2022006692

10' WATERLINE AND SEWER EASEMENT
PER PLAT
DOC. NO. 2022006692

EXIST. 10' CURB INLET AI
Q₁₀₀ (DRY) = 9.73 CFS
Q_{CAP} = 11.06 CFS

TBM "A"
SQUARE CUT
Z=226.09'

CONTROL PT. NO. 1
N: 10075295.00
E: 3766972.87
Z: 226.31
5/8" IRON ROD WITH
CAP STAMPED "QUIDDITY"

MAGNOLIA VILLAGE DRIVE
(50' R.O.W.)
DOC. NO. 2022006692 OPRMC

PROPOSED BUILDING
(BY SEPARATE CONTRACT)
FF=231.80

SALAD AND GO - FM 1488 AND SPUR 149, MAGNOLIA, TEXAS
EXISTING DRAINAGE AREA CALCULATIONS (5-year & 100-Year)
August 2023

| AREA NO. | ACRES | RUNOFF COEFF. | T _c (min.) | i ₅ (in/hr) | Q ₅ (cfs) | i ₁₀₀ (in/hr) | Q ₁₀₀ (cfs) | DRAINS TO... |
|----------|-------|---------------|-----------------------|------------------------|----------------------|--------------------------|------------------------|--|
| AI | 1.05 | 0.80 | 25.1 | 0.25 | 0.21 | 11.70 | 9.83 | SHEET FLOW TO EXISTING GRATE INLET AI LOCATED ON THE NORTH SIDE OF MAGNOLIA VILLAGE DRIVE AND CAPTURED BY EXISTING STORM SYSTEM. |

- Runoff coefficients and 5-year intensities were determined using City of Magnolia Development Standards, Chapter 9.
- 100-year intensities were determined using Montgomery County IDF Curves, from NOAA Atlas 14 Volume 11, Version 2 (Dated Sep. 2018) due to the City of Magnolia not providing 100-year intensities.

CAUTION: OVERHEAD ELECTRIC
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Texas811 or 1-800-545-6005

App. _____

No. _____ Date _____

REVISIONS

QUIDDITY
A Division of Professional Engineers and Land Surveyors, Inc. License No. 228292
400 Westwood Plaza, Suite 200, Fort Worth, Texas 76104-2020

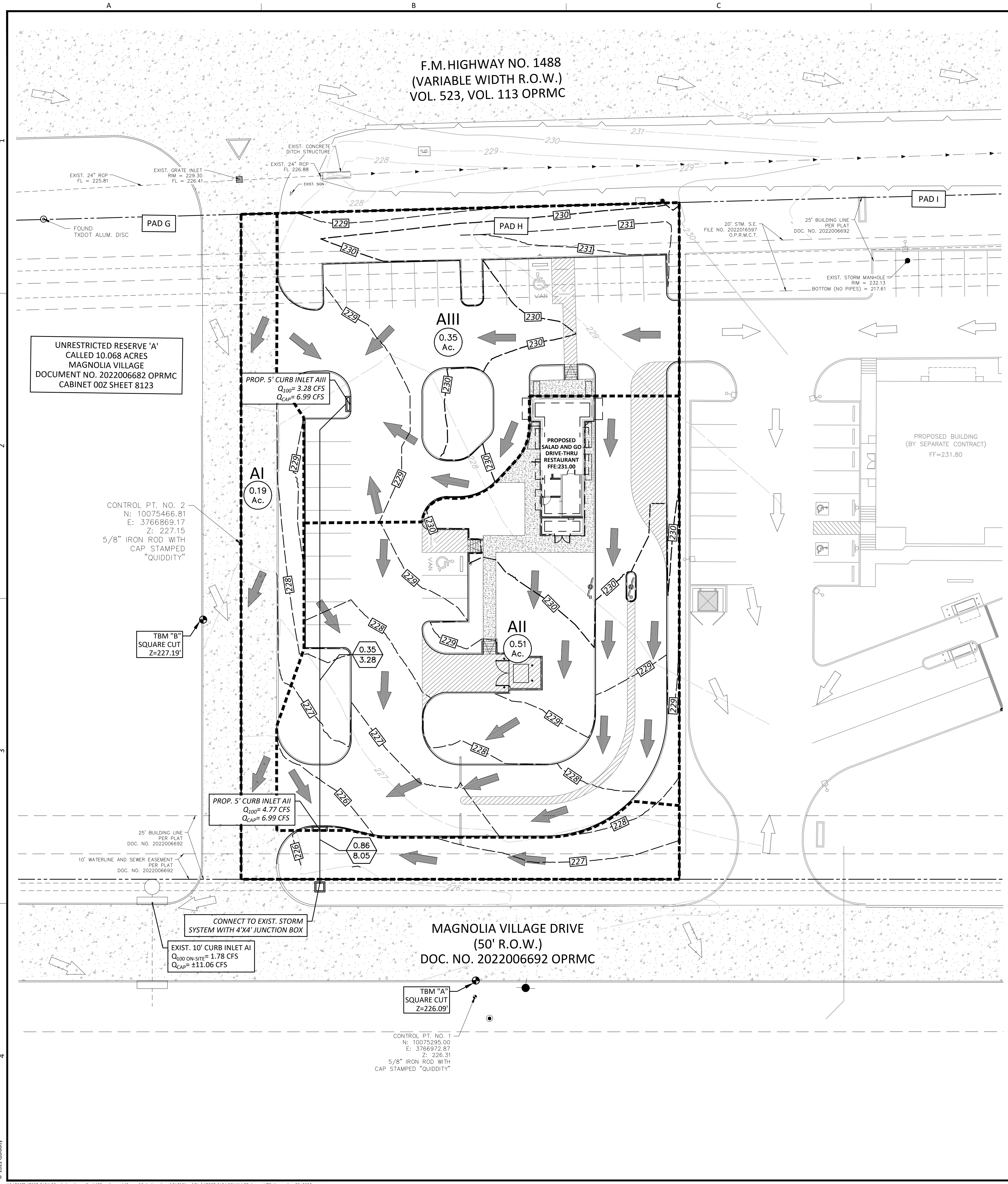
SCALE: AS SHOWN
DATE: NOVEMBER 2023
JOB NO.: 17007-0104-00

DESIGNED BY: HTF
CHECKED BY: RJA
DRAWN BY: CLC



SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13945 FM 1488, MAGNOLIA, TX 77354

EXISTING DRAINAGE AREA MAP

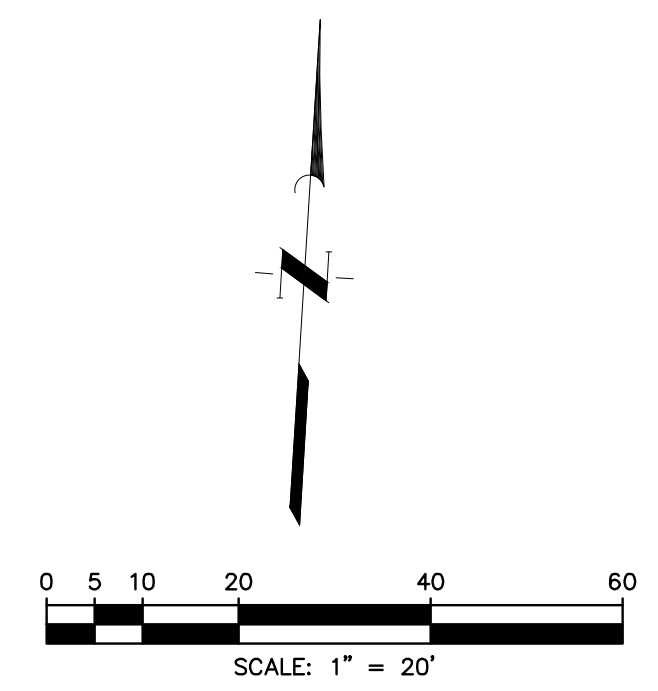


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- LEGEND**
- PROPERTY LINE
 - - - - - EXIST. MAJOR CONTOUR
 - - - - - EXIST. MINOR CONTOUR
 - - - - - PROP. MAJOR CONTOUR
 - - - - - PROP. MINOR CONTOUR
 - - - - - PROP. DRAINAGE AREA LINE
 - - - - - EXIST. STORM LINE
 - - - - - PROP. STORM LINE
- AII** DRAINAGE AREA NUMBER
- INLET 0.52 Ac.** DRAINAGE AREA IN ACRES
- STORM SEWER 1.48** 100-YEAR RUNOFF IN C.F.S.
- 2.03**
- ←** PROP. DRAINAGE DIRECTION
- ←** OFFSITE DRAINAGE DIRECTION

**SALAD AND GO - FM 1488 AND SPUR 149, MAGNOLIA, TEXAS
EXISTING DRAINAGE AREA CALCULATIONS (5-year & 100-year)
October 2023**

| AREA NO. | ACRES | RUNOFF COEFF. | T _c (min.) | I _s (in/hr) | Q _s (cfs) | I ₁₀₀ (in/hr) | Q ₁₀₀ (cfs) | DRAINS TO... |
|----------|-------|---------------|-----------------------|------------------------|----------------------|--------------------------|------------------------|--|
| AI | 1.05 | 0.80 | 10.0 | 0.29 | 0.24 | 11.70 | 9.83 | SHEET FLOW TO EXISTING GRATE INLET AI LOCATED ON THE NORTH SIDE OF MAGNOLIA VILLAGE DRIVE AND CAPTURED BY EXISTING STORM SYSTEM. |

1. Runoff coefficients and 5-year intensities were determined using City of Magnolia Development Standards, Chapter 9.
2. 100-year intensities were determined using Montgomery County IDF Curves, from NOAA Atlas 14 Volume 11, Version 2 (Dated Sep. 2018) due to the City of Magnolia not providing 100-year intensities.

**SALAD AND GO - FM 1488 AND SPUR 149, MAGNOLIA, TEXAS
PROPOSED DRAINAGE AREA CALCULATIONS (5-year & 100-year)
October 2023**

| AREA NO. | ACRES | RUNOFF COEFF. | T _c (min.) | I _s (in/hr) | Q _s (cfs) | I ₁₀₀ (in/hr) | Q ₁₀₀ (cfs) | DRAINS TO... |
|----------|-------|---------------|-----------------------|------------------------|----------------------|--------------------------|------------------------|--|
| AI | 0.19 | 0.80 | 10.0 | 0.29 | 0.04 | 11.70 | 1.78 | SHEET FLOW TO EXISTING GRATE INLET AI LOCATED ON THE NORTH SIDE OF MAGNOLIA VILLAGE DRIVE AND CAPTURED BY EXISTING STORM SYSTEM. |
| AII | 0.51 | 0.80 | 10.0 | 0.29 | 0.12 | 11.70 | 4.77 | SHEET FLOW TO PROPOSED 5' CURB INLET AII AND CAPTURED BY EXISTING STORM SYSTEM. |
| AIII | 0.35 | 0.80 | 10.0 | 0.29 | 0.08 | 11.70 | 3.28 | SHEET FLOW TO PROPOSED 5' CURB INLET AIII AND CAPTURED BY EXISTING STORM SYSTEM. |

1. Runoff coefficients and 5-year intensities were determined using City of Magnolia Development Standards, Chapter 9.
2. 100-year intensities were determined using Montgomery County IDF Curves, from NOAA Atlas 14 Volume 11, Version 2 (Dated Sep. 2018) due to the City of Magnolia not providing 100-year intensities.

| INLET DESCRIPTION | Weir Coefficient - C _w | Length - L (ft) | Depression Width W (ft) | Head - y (ft) | Capacity - Q (cfs) |
|---------------------------------------|-----------------------------------|-----------------|-------------------------|---------------|--------------------|
| EXISTING 10' CURB INLET - AI | 2.30 | 10.0 | 2.00 | 0.50 | 11.06 |
| PROPOSED 5' CURB INLET - AII AND AIII | 2.30 | 5.0 | 2.00 | 0.50 | 6.99 |



CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

App. _____

REVISIONS

No. _____ Date _____

SCALE: AS SHOWN

DESIGNED BY: HTF

CHECKED BY: RJA

DRAWN BY: CLC

DATE: NOVEMBER 2023

JOB NO.: 17007-0104-00

QUIDDITY

All Other Plans of Professional Engineers and Land Surveyors, Reg. No. 228292
400 Westwood Park Drive, Suite 100, Fort Worth, Texas 76104-228292

AARON C. HAWKINS
149709
LICENSED PROFESSIONAL ENGINEER

11/08/2023
Aaron Hawkins

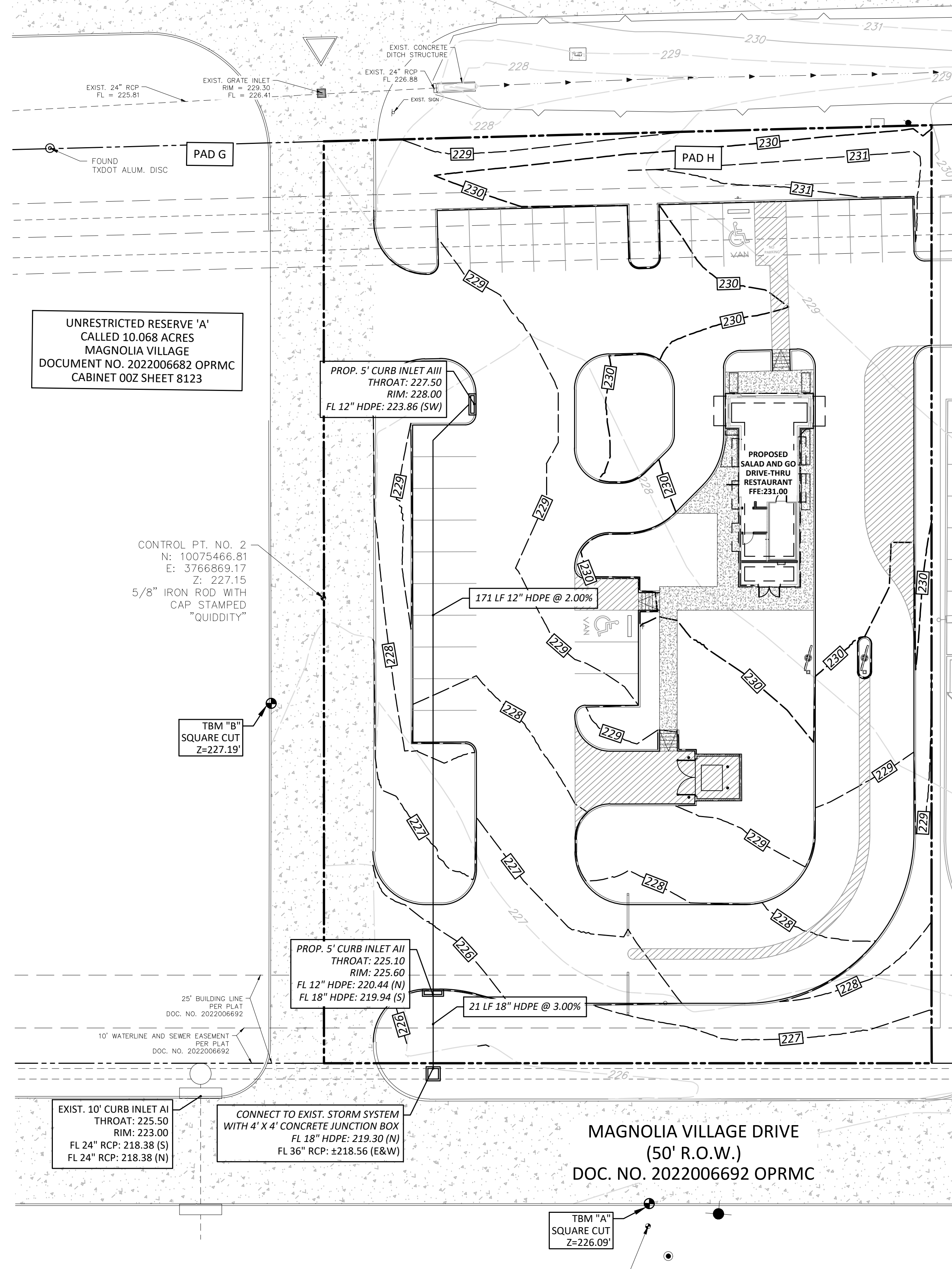
SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13345 FM 1488, MAGNOLIA, TX 77354

PROPOSED DRAINAGE AREA MAP

SHEET NO. **C-14**

OF C-19

F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC



UNRESTRICTED RESERVE 'A'
CALLED 10.068 ACRES
MAGNOLIA VILLAGE
DOCUMENT NO. 2022006682 OPRMC
CABINET 002 SHEET 8123

CONTROL PT. NO. 2
N: 10075466.81
E: 3766869.17
Z: 227.15
5/8" IRON ROD WITH
CAP STAMPED
"QUIDDITY"

TBM "B"
SQUARE CUT
Z=227.19'

25' BUILDING LINE
PER PLAT
DOC. NO. 2022006692

10' WATERLINE AND SEWER EASEMENT
PER PLAT
DOC. NO. 2022006692

EXIST. 10' CURB INLET AI
THROAT: 225.00
RIM: 223.00
FL 24" RCP: 218.38 (S)
FL 24" RCP: 218.38 (N)

CONNECT TO EXIST. STORM SYSTEM
WITH 4' X 4' CONCRETE JUNCTION BOX
FL 18" HDPE: 219.30 (N)
FL 36" RCP: ±218.56 (E&W)

MAGNOLIA VILLAGE DRIVE
(50' R.O.W.)
DOC. NO. 2022006692 OPRMC

TBM "A"
SQUARE CUT
Z=226.09'

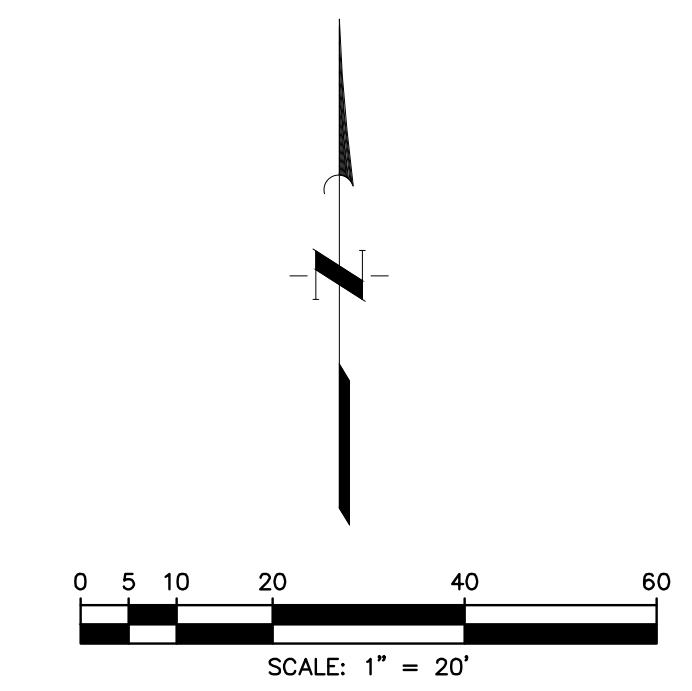
CONTROL PT. NO. 1
N: 10075295.00
E: 3766892.87
Z: 226.31
5/8" IRON ROD WITH
CAP STAMPED "QUIDDITY"

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88, DERIVED FROM GPS OBSERVATIONS PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL (WWW.NGS.NOAA.GOV/OPUS/)

TBM A
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE SOUTH SIDE OF THE DRIVEWAY ENTRANCE DRIVE FROM MAGNOLIA VILLAGE, APPROXIMATELY 80 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT TRACK ALONG THE PROPERTY LINE AND 40 FEET SOUTH OF THE SUBJECT TRACT. ELEVATION 226.09 FEET, NAVD 88 (2011 ADJUSTMENT).

TBM B
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE WEST SIDE OF THE ENTRANCE DRIVE FROM F.M. HIGHWAY 1488, APPROXIMATELY 160 FEET SOUTH OF NORTHWEST CORNER OF THE SUBJECT TRACK ALONG THE PROPERTY LINE AND 15 FEET WEST OF THE SUBJECT TRACT. ELEVATION 227.19 FEET, NAVD 88 (2011 ADJUSTMENT).

FEMA FLOOD STATEMENT
ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



LEGEND

- PROPERTY LINE
- - - - - EXIST. MAJOR CONTOUR
- - - - - EXIST. MINOR CONTOUR
- - - - - PROP. MAJOR CONTOUR
- - - - - PROP. MINOR CONTOUR
- EXIST. STORM LINE
- - - - - PROP. STORM LINE

SEWER 5 yr

| | |
|---------------------------------------|--------|
| 5-yr Intensity = b/(t+d) ^e | 0.7490 |
| e = | 7.7 |
| b = | 70.00 |
| d = | 70.00 |

| Drainage Area | | Inlet / MH From | Inlet / MH To | Area (acres) | Total Area (acres) | Time Conc. (min) | Runoff "C" (in/hr) | Intensity "I" (in/hr) | Q ₁₀₀ (cfs) | Mannings "n" | Length (ft) | Pipe Diam. or Box Rise (in.) | Grade (ft./ft.) | Full Flow Velocity (fps) | Full Flow Capacity (cfs) | Actual Velocity (out) | Hydraulic Gradient (ft/ft) | Junction/ MH Loss (feet) | Hydraulic Grade Elevation (ft) | Dwnstm Flowline (ft) | Upstrm Flowline (ft) | Rise in Pipe (ft) | Pipe Crown (ft) | Top of MH/Inlet (ft) | MH/Inlet Name | |
|----------------|--|-----------------|---------------|-------------------|--------------------|------------------|--------------------|-----------------------|------------------------|--------------|-------------|------------------------------|-----------------|--------------------------|--------------------------|-----------------------|----------------------------|--------------------------|--------------------------------|----------------------|----------------------|-------------------|-----------------|----------------------|---------------|-----|
| DRAIN A | | AIII | AIII | 0.35 | 0.35 | 10.00 | 0.80 | 0.29 | 0.08 | 0.012 | 171 | 12 | 0.0200 | 6.95 | 5.46 | 0.10 | 0.0000 | 0.0002 | 224.92 | 220.50 | 223.92 | 3.42 | 224.92 | 227.50 | AIII | |
| | | All | All | CONNECT TO EXIST. | 0.51 | 0.86 | 10.00 | 0.80 | 0.29 | 0.20 | 0.012 | 23 | 18 | 0.0300 | 11.15 | 19.71 | 0.11 | 0.0000 | 0.0002 | 222.00 | 219.30 | 220.00 | 0.69 | 221.50 | 225.10 | All |
| | | | | | | | | | | | | | | | | | | | STARTING HGL | 222.00 | | | | | | |

- Runoff coefficients and 5-year intensities were determined using City of Magnolia Development Standards, Chapter 9.
- Proposed site is fully accounted for in "Public Roads, Utilities and Storm Drainage to Serve Magnolia Village Retail Center" construction plans by LJA Engineering, Inc.
- Starting HGL taken from calculations in "Public Roads, Utilities and Storm Drainage to Serve Magnolia Village Retail Center" construction plans by LJA Engineering, Inc.

SEWER 100 yr

| Drainage Area | | Inlet / MH From | Inlet / MH To | Area (acres) | Total Area (acres) | Time Conc. (min) | Runoff "C" (in/hr) | Intensity "I" (in/hr) | Q ₁₀₀ (cfs) | Mannings "n" | Length (ft) | Pipe Diam. or Box Rise (in.) | Grade (ft./ft.) | Full Flow Velocity (fps) | Full Flow Capacity (cfs) | Actual Velocity (out) | Hydraulic Gradient (ft/ft) | Junction/ MH Loss (feet) | Hydraulic Grade Elevation (ft) | Dwnstm Flowline (ft) | Upstrm Flowline (ft) | Rise in Pipe (ft) | Pipe Crown (ft) | Top of MH/Inlet (ft) | MH/Inlet Name |
|----------------|--|-----------------|---------------|-------------------|--------------------|------------------|--------------------|-----------------------|------------------------|--------------|-------------|------------------------------|-----------------|--------------------------|--------------------------|-----------------------|----------------------------|--------------------------|--------------------------------|----------------------|----------------------|-------------------|-----------------|----------------------|---------------|
| DRAIN A | | AIII | AIII | 0.35 | 0.35 | 10.00 | 0.80 | 11.70 | 3.28 | 0.012 | 171 | 12 | 0.0200 | 6.95 | 5.46 | 4.17 | 0.0071 | 0.3277 | 224.86 | 220.44 | 223.86 | 3.42 | 224.86 | 227.50 | AIII |
| | | All | All | CONNECT TO EXIST. | 0.51 | 0.86 | 10.00 | 0.80 | 8.05 | 0.012 | 21 | 18 | 0.0300 | 11.15 | 19.71 | 4.56 | 0.0050 | 0.4027 | 222.51 | 219.30 | 219.94 | 0.63 | 221.44 | 225.10 | All |
| | | | | | | | | | | | | | | | | | | | STARTING HGL | 222.00 | | | | | |

- 100-year intensities were determined using Montgomery County IDF Curves, from NOAA Atlas 14 Volume 11, Version 2 (Dated Sep. 2016) due to the City of Magnolia not providing 100-year intensities.
- Proposed site is fully accounted for in "Public Roads, Utilities and Storm Drainage to Serve Magnolia Village Retail Center" construction plans by LJA Engineering, Inc.
- Starting HGL taken from calculations in "Public Roads, Utilities and Storm Drainage to Serve Magnolia Village Retail Center" construction plans by LJA Engineering, Inc.

| INLET DESCRIPTION | Weir Coefficient - Cw | Length - L (ft) | Depression Width - W (ft) | Head - y (ft) | Capacity - Q (cfs) |
|---------------------------------------|-----------------------|-----------------|---------------------------|---------------|--------------------|
| EXISTING 10' CURB INLET - AI | 2.30 | 10.0 | 2.00 | 0.50 | 11.06 |
| PROPOSED 5' CURB INLET - AII AND AIII | 2.30 | 5.0 | 2.00 | 0.50 | 6.99 |

CAUTION: EXISTING GAS FACILITIES IN AREA

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

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Texas811 or 1-800-545-6005

| | | |
|-----|------|-----------|
| No. | Date | Revisions |
| | | |
| | | |

QUIDDITY
A Division of Professional Engineers and Land Surveyors, Inc. No. 228292
400 Westwood Plaza, Suite 200, Fort Worth, Texas 76104-2000

SCALE: AS SHOWN
DESIGNED BY: HTF
DATE: NOVEMBER 2023
JOB NO.: 17007-0104-00

CHECKED BY: RJA
DRAWN BY: CLC

STATE OF TEXAS
149709
AARON C. HAWKINS
LICENSED PROFESSIONAL ENGINEER
Carson Hawkins 11/08/2023

SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13345 FM 1488, MAGNOLIA, TX 77354

STORM PLAN

SHEET NO. **C-15**

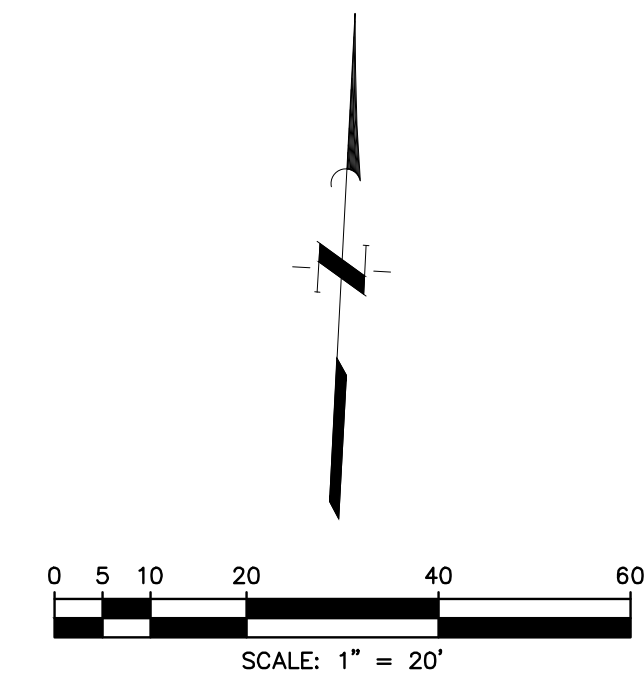
F.M. HIGHWAY NO. 1488
(VARIABLE WIDTH R.O.W.)
VOL. 523, VOL. 113 OPRMC

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88, DERIVED FROM GPS OBSERVATIONS PROCESSED USING OPUS (ONLINE POSITIONAL USER SERVICES) DATA PROCESSING TOOL (WWW.NGS.NOAA.GOV/OPUS/)

TBM A
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE SOUTH SIDE OF THE DRIVEWAY ENTRANCE DRIVE FROM MAGNOLIA VILLAGE, APPROXIMATELY 80 FEET WEST OF THE SOUTHEAST CORNER OF THE SUBJECT TRACT ALONG THE PROPERTY LINE AND 40 FEET SOUTH OF THE SUBJECT TRACT. ELEVATION 226.09 FEET, NAVD 88 (2011 ADJUSTMENT).

TBM B
BEING AN SQUARE CUT ON TOP OF CURB LOCATED ON THE WEST SIDE OF THE ENTRANCE DRIVE FROM F.M. HIGHWAY 1488, APPROXIMATELY 160 FEET SOUTH OF NORTHWEST CORNER OF THE SUBJECT TRACT ALONG THE PROPERTY LINE AND 15 FEET WEST OF THE SUBJECT TRACT. ELEVATION 227.19 FEET, NAVD 88 (2011 ADJUSTMENT).

FEMA FLOOD STATEMENT
ACCORDING TO MAP NO. 48339C0485G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR MONTGOMERY COUNTY DATED AUGUST 18, 2014, THE SUBJECT TRACT IS SITUATED WITHIN UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

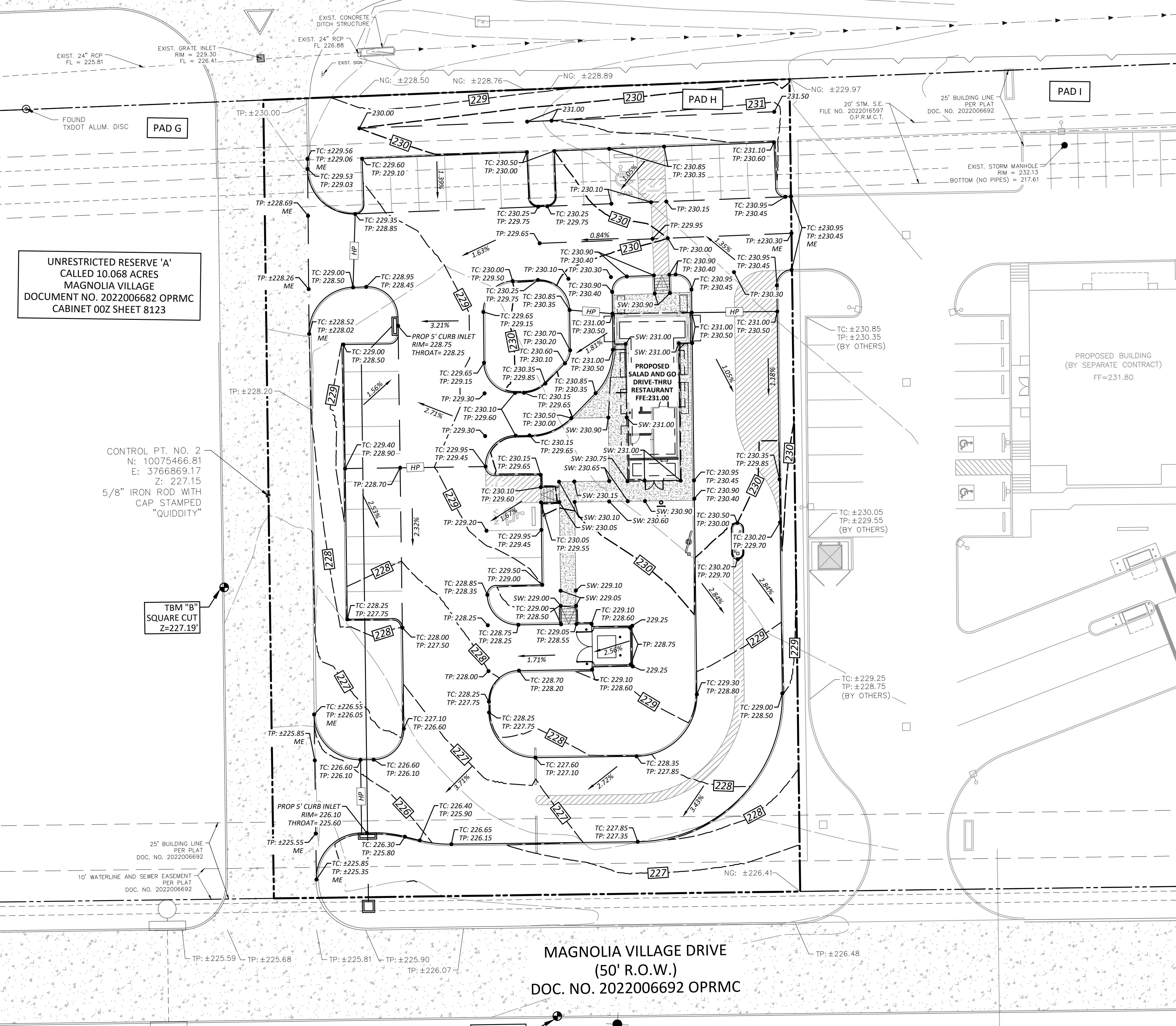


LEGEND

| | |
|----------|---------------------------------|
| --- | PROPERTY LINE |
| FF 97.90 | FINISHED FLOOR ELEVATION |
| ● 95.50 | PROP. SPOT ELEVATION |
| TC 76.00 | PROP. TOP OF CURB ELEVATION |
| TP 75.50 | PROP. TOP OF PAVEMENT ELEVATION |
| SW 75.50 | PROP. TOP OF SIDEWALK ELEVATION |
| NG 76.50 | PROP. NATURAL GROUND |
| 1.00% | PROP. GRADE SLOPE |
| TC 76.00 | EXIST. SPOT GRADE |
| HP | GRADE BREAKS |
| 130 | PROP. MAJOR CONTOUR |
| 129 | PROP. MINOR CONTOUR |
| 130 | EXIST. MAJOR CONTOUR |
| 129 | EXIST. MINOR CONTOUR |

NOTES

- SLOPE WITHIN RIGHT OF WAY SHALL NOT EXCEED 2.0%.
- MAXIMUM SIDE SLOPE SHALL BE 3:1.
- GRADE SITE FOR POSITIVE DRAINAGE.
- FINISHED GRADES SHALL NOT IMPACT OFFSITE DRAINAGE.
- SIDEWALKS SHALL HAVE A MAX. SIDE SLOPE OF 2% AND A MAX. RUNNING SLOPE OF 5%. ADA RAMPS SHALL HAVE A MAX. RUNNING SLOPE OF 1:12.
- NO LANDSCAPE BERMS ADJACENT TO BUILDINGS.
- LANDSCAPING SHALL NOT RESTRICT STORM WATER RUN-OFF.
- IF YARD DRAINS ARE NOT SPECIFIED IN ANY OF THE ENCAPSULATED AREAS, FOR EXAMPLE THE AREAS BETWEEN THE BUILDING AND SIDEWALKS, THE SURFACE IS TO BE GRADED TO DRAIN AWAY FROM THE BUILDING.



UNRESTRICTED RESERVE 'A'
CALLED 10.068 ACRES
MAGNOLIA VILLAGE
DOCUMENT NO. 2022006682 OPRMC
CABINET 00Z SHEET 8123

CONTROL PT. NO. 2
N: 10075466.81
E: 3766869.17
Z: 227.15
5/8" IRON ROD WITH
CAP STAMPED "QUIDDITY"

TBM "B"
SQUARE CUT
Z=227.19

TBM "A"
SQUARE CUT
Z=226.09

CONTROL PT. NO. 1
N: 10075295.00
E: 3766872.87
Z: 226.31
5/8" IRON ROD WITH
CAP STAMPED "QUIDDITY"

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION
TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

| No. | Date | REVISIONS |
|-----|------|-----------|
| | | |
| | | |
| | | |

QUIDDITY
A Division of Professional Engineers and Land Surveyors, Inc. No. 228292
400 Westwood Plaza, Suite 100, Houston, Texas 77060-2292

SCALE: AS SHOWN
DESIGNED BY: HTF
DATE: NOVEMBER 2023
CHECKED BY: RJA
JOB NO.: 17007-0104-00
DRAWN BY: CLC



SALAD AND GO - MAGNOLIA - FM 1488 AND SPUR 149
13945 FM 1488, MAGNOLIA, TX 77354

GRADING PLAN

SHEET NO.
C-19



November 2, 2023

Bowman Project 070693-01-001

Timothy W. Robertson, P.E.
City of Magnolia Engineer
M: 979-551-6868
E: trobertson@cityofmagnolia.com

Re.: **Swig Restaurant
Magnolia Village – Pad L
Plan Review Comments**

To Whom it may Concern:

Bowman has received the below referenced comments from The City of Magnolia Engineering Department on the proposed site development construction plans. Please see our response below to the comments made by the City and identifying how each item has been addressed:

ENGINEERING DEPARTMENT:

1. SHEET C1 – COVER SHEET

A. PLEASE ADD THE FOLLOWING CONTACT FOR WATER AND SEWER UTILITIES:

BURT SMITH

M: 832-797-2124

E: BSMITH@CITYOFMAGNOLIA.COM

Response: Noted and addressed under “WATER AND UTILITIES NOTE”

B. INCLUDE A PHYSICAL ADDRESS FOR THE LOCATION.

Response: Added to Cover Sheet within the Title and “ADDRESS” block.

2. UTILITY DETAILS ARE NOT CITY OF MAGNOLIA STANDARD DETAILS. WHERE APPROPRIATE/APPLICABLE, USE CITY OF MAGNOLIA STANDARD DETAILS. LABEL WATER METER EASEMENTS RECORDING INFORMATION IN THE PLANS.

Response: City of Magnolia Details were added to sheets C16 STORM WATER POLLUTION PREVENTION DETAILS, C17 UTILITY DETAILS, and C18 PAVING DETAILS.

3. RE: SHEET C2. GENERAL CONSTRUCTION NOTE #25 REFERENCES “HARRIS COUNTY” ON PERMITTING. THERE ARE ALSO SEVERAL OTHER NOTES THAT REFERENCE “CITY OF HOUSTON” OR “HARRIS COUNTY” FOR OTHER ITEMS. PLEASE REVIEW NOTES AND, WHEN APPLICABLE, REFERENCE AND UTILIZE MONTGOMERY COUNTY AND/OR CITY OF MAGNOLIA.

Response: Changes were made accordingly to Sheet C2 GENERAL CONSTRUCTION NOTES and elsewhere applicable.

4. RE: C7 – DRAINAGE PLAN. THE TIME OF CONCENTRATION USED IN THE DRAINAGE CALCULATIONS IS LONG FOR THE SIZE OF THIS SITE (I.E. 20 MINUTES AND HIGHER). PLEASE CONFIRM AND PROVIDE DETAILED CALCULATIONS ON HOW THE TIME OF CONCENTRATION WAS DETERMINED.

See attached time of concentration calculations on sheet C9 DRAINAGE CALCULATIONS using Montgomery County Drainage Criteria Manual equations 2.3, 2.4, 2.5, and 2.6.

5. RE: SHEET L1.01 – PLANTING PLAN. PLANTING PLAN AND DETAILS DO NOT APPEAR TO BE COMPLETE AND SHOULD BE FINALIZED PRIOR TO NEXT SUBMITTAL. PLEASE USE PLANNED DEVELOPMENT (PD) DOCUMENT TO DEVELOP PLANTING PLAN. INCLUDE LANDSCAPING CALCULATIONS AND CONFIRM THE LANDSCAPING MEETS REQUIREMENTS IN PD DOCUMENT.

Eric Maurer has provided calculations per PD Document on October 23, 2023.

6. CONFIRM LANDSCAPE BUFFER YARDS MEET REQUIREMENTS IN PLANNED DEVELOPMENT (PD) DOCUMENT. CLEARLY SHOW BUFFER YARDS ON PLANS (FRONT AND INTERIOR).

Eric Maurer has provided requirements per PD Document on October 23, 2023.

7. RE: SHEET C11. PER PLANNED DEVELOPMENT (PD) DOCUMENT, FIRE LANE IS REQUIRED TO BE 24-FT WIDE AND SHEET C11 SHOWS A 20-FT WIDE FIRE LANE.

Noted and addressed. Please see attached sheet C11 within updated set.

8. PROVIDE DETAILS FOR DUMPSTER ENCLOSURE. ALSO, THERE'S A TURN/RADIUS IN THE APPROACH TO THE DUMPSTER ENCLOSURE – PLEASE CONFIRM THAT A SOLID WASTE TRUCK CAN APPROACH WITH THE TURN/RADIUS AND RETRIEVE THE DUMPSTER FROM THE ENCLOSURE.

Architectural plans commonly provide details for enclosure. See Sheet C19 TRASH ENCLOSURE DETAIL (FOR REFERENCE ONLY).

9. PER THE PLANNED DEVELOPMENT (PD) DOCUMENT, PARKING RATIOS SHALL COMPLY WITH UNIFIED DEVELOPMENT CODE (UDC). PLEASE CONFIRM PARKING RATIOS CONFORM AND SHOW CALCULATIONS/SUMMARY.

See attached parking ratio computation on sheet C5 DIMENSIONAL CONTROL PLAN using City of Magnolia UDC tables 7-1-2.02.3, and 7-2-1.01.

10. PER THE PLANNED DEVELOPMENT (PD) DOCUMENT, DRIVEWAYS SHALL HAVE A TURNING RADIUS OF 20-FT. PLEASE CONFIRM/REVISED TO CONFORM TO DRIVEWAY REQUIREMENTS IN PD DOCUMENT.

There are no driveways leading to the public R.O.W. for this project.

11. PLEASE NOTE THAT ANY DEVIATION FROM THE PLANNED DEVELOPMENT (PD) DOCUMENT REQUIRES THE DOCUMENT TO BE AMENDED TO ALLOW THE DEVIATION TO BE MADE.

No deviations were noted.

12. ENGINEERING PLANS SHALL BE SIGNED AND SEALED BY TEXAS LICENSED PROFESSIONAL ENGINEER.

After Lyle's review and approval, his signature and seal will be included.

13. CITY PERSONNEL DO NOT PERFORM A PLAN REVIEW TO CONFIRM COMPLIANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). IT IS THE RESPONSIBILITY OF THE OWNER AND/OR DESIGN PROFESSIONAL TO FOLLOW THE PROCEDURES OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION - ARCHITECTURAL BARRIERS PROGRAM AND COMPLY WITH TAS. PLEASE CONFIRM AND ACKNOWLEDGE.

Noted and acknowledged.

Feel free to reach out to me if there are any additional comments of concerns.

Sincerely,



Roberto Galindo E.I.T.

PLANS FOR CONSTRUCTION OF SITE WORK TO SERVE SWIG RESTAURANT 13325 FARM TO MARKET ROAD 1488 MONTGOMERY COUNTY MUD NO 108 CITY OF MAGNOLIA MONTGOMERY COUNTY, TEXAS 77354

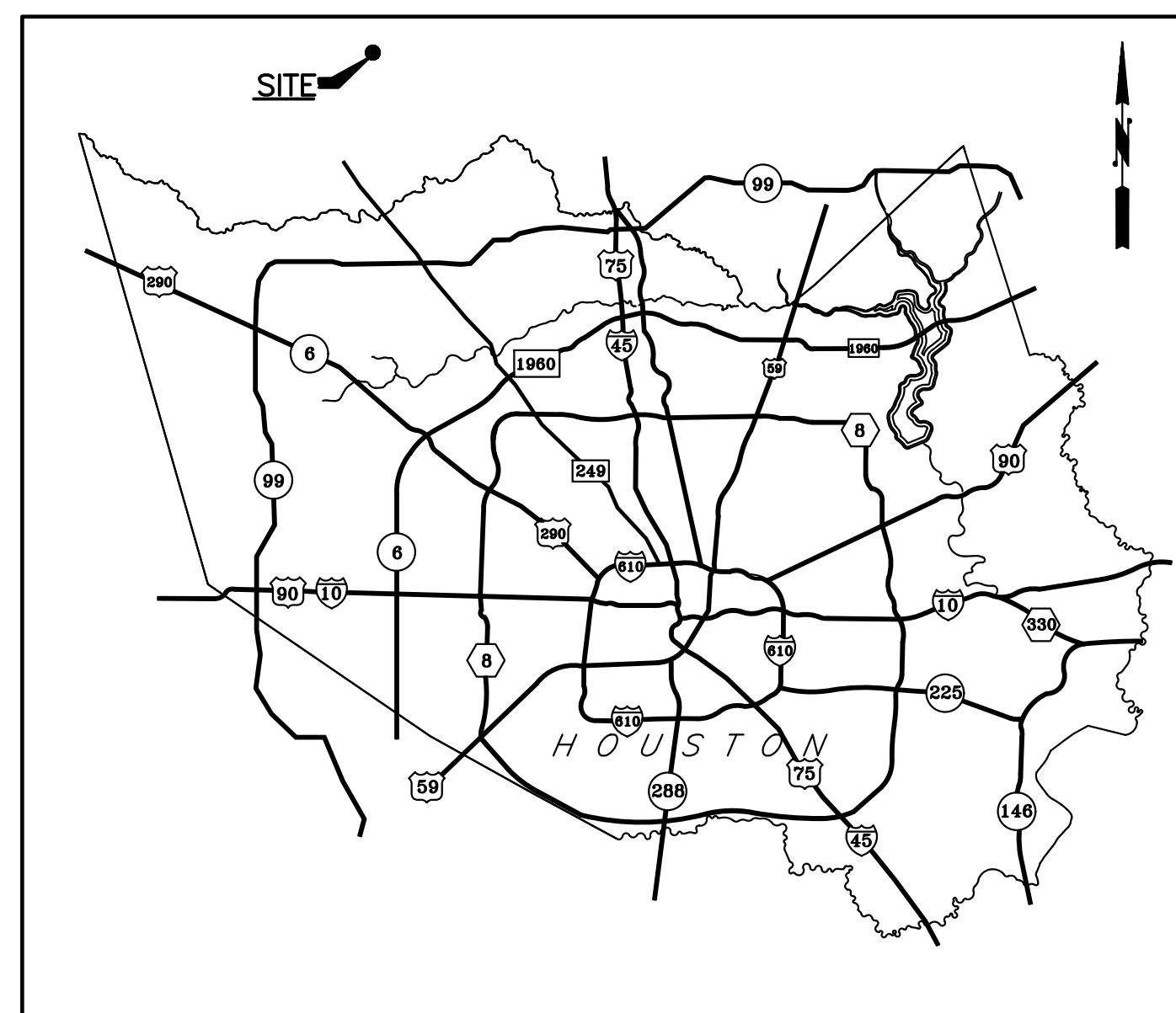
ARCHITECT: MR. MICAH SCHNEIDER
1755 WITTINGTON PLACE, STE 190
FARMERS BRANCH, TEXAS 75234
PHONE: (214) 272-4434

DEVELOPER: SAVORY RESTAURANT FUND
1445 HIGHWAY 6, SUITE B
SUGAR LAND, TX 77478
PHONE: (281) 561-5135

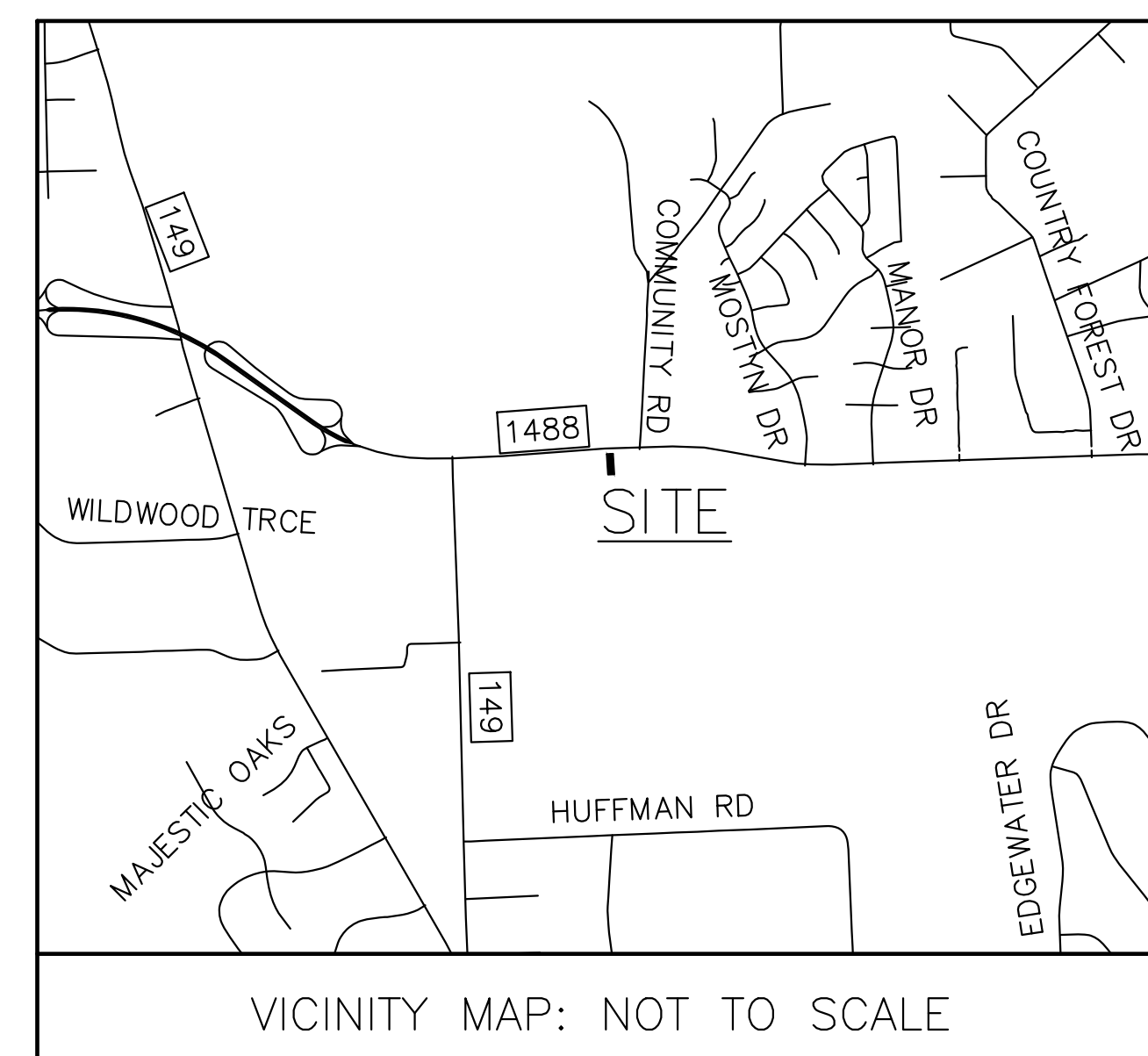
ADDRESS: 13325 FM 1488
MAGNOLIA, TX 77354

ENGINEER: BOWMAN: LYLE HENKEL
1445 N Loop W SUITE 450
Houston, TX 77008

SURVEYOR: BOWMAN: MARK PIRIANO
1445 N Loop W SUITE 450
Houston, TX 77008



HOUSTON, TEXAS
VICINITY MAP
NOT-TO-SCALE



MAGNOLIA, TEXAS
LOCATION MAP
NOT-TO-SCALE
KEY MAP No. 213G

BENCHMARK NOTE:

BOX WITH "X" CUT ON A "C" INLET, THE NORTH SIDE OF MAGNOLIA VILLAGE DRIVE, APPROXIMATELY 45' SOUTHWEST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT. ELEVATION=232.11

WATER AND SEWER UTILITIES NOTE:

CONTACT PUBLIC WORKS DIRECTOR BURT SMITH, 832-797-2124 M.bsmith@cityofmagnolia.com FOR ASSISTANCE IN THE INSTALLATION OF THE CITY'S WATER AND WASTEWATER SYSTEMS, INCLUDING WATER MAINS, WATER SERVICE LINES, LIFT STATIONS AND MANHOLES.

FLOODPLAIN INFORMATION:

THIS TRACT LIES IN ZONE "X" (UNSHADED), DESIGNATED AS "AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM FOR HARRIS COUNTY, TEXAS, COMMUNITY NO. 480483, MAP NUMBER 48339C04856. LATEST AVAILABLE PUBLISHED REVISION DATED AUGUST 18, 2014.

ALUMINUM DISK STAMPED "100145R2" ON THE SOUTHEAST CORNER OF A BRIDGE OVER SPRING CREEK ON THE NORTHEAST SIDE OF F.M. 2976, APPROXIMATELY 370' NORTHWEST OF BOGS ROAD. ELEVATION=155.54 NAVD88 (2001 ADJ.)

PROPOSED LEGAL DESCRIPTION

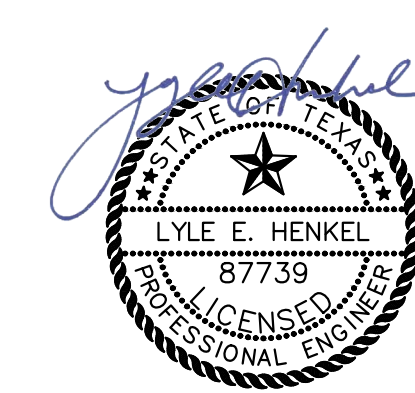
BEING A TRACT OR PARCEL CONTAINING 61.003 ACRES (2,657,290 SQUARE FEET) OF LAND SITUATED IN THE HAMPTON TILLONS SURVEY, ABSTRACT NUMBER A-556, MONTGOMERY COUNTY, TEXAS, AND BEING ALL OF UNRESTRICTED RESERVES "A", "B", "C" & "D" OF MAGNOLIA VILLAGE PLAT, RECORDED UNDER FILM CODE NO. 202206682, MONTGOMERY COUNTY MAP RECORDS.

Sheet List Table

| Sheet Number | Sheet Title |
|--------------|---|
| C1 | COVER SHEET |
| C2 | GENERAL NOTES |
| C3 | EXISTING & DEMOLITION PLAN |
| C4 | PLAT (FOR REFERENCE ONLY) |
| C5 | DIMENSIONAL CONTROL PLAN |
| C6 | GRADING PLAN |
| C7 | DRAINAGE PLAN |
| C8 | DRAINAGE AREA MAP |
| C9 | DRAINAGE CALCULATIONS |
| C10 | UTILITY PLAN |
| C11 | PAVING PLAN |
| C12 | FIRE LANE PLAN |
| C13 | STORM WATER POLLUTION PREVENTION PLAN |
| C14 | MAGNOLIA VILLAGE RETAIL CNTR DRAINAGE PLAN (FOR REFERENCE ONLY) |
| C15.1 | STORMWATER DETENTION FACILITIES - 1 OF 4 (FOR REFERENCE ONLY) |
| C15.2 | STORMWATER DETENTION FACILITIES - 2 OF 4 (FOR REFERENCE ONLY) |
| C15.3 | STORMWATER DETENTION FACILITIES - 3 OF 4 (FOR REFERENCE ONLY) |
| C15.4 | STORMWATER DETENTION FACILITIES - 4 OF 4 (FOR REFERENCE ONLY) |
| C16 | STORM WATER POLLUTION PREVENTION DETAILS |
| C17 | UTILITY DETAILS |
| C18 | PAVING DETAILS |
| C19 | TRASH ENCLOSURE DETAIL (FOR REFERENCE ONLY) |
| L1.01 | PLANTING PLAN |
| L1.02 | PLANTING DETAILS |
| L2.01 | IRRIGATION PLAN |
| L2.02 | IRRIGATION DETAILS |

Bowman 1445 N. LOOP WEST - SUITE 450
HOUSTON, TEXAS 77008
713-993-0333
TBPE Registration No.: F-14309

PROJECT NO. 070693
CONTRACT NO. 1
OCTOBER, 2023



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY
LYLE HENKEL, P.E. 87739
ON NOV. 2023

GENERAL CONSTRUCTION NOTES

- 1. WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE AND STREET PAVING ARE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE DOCUMENTS PUBLISHED BY MONTGOMERY COUNTY.
2. ALL UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD THE EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING WATER, WASTEWATER, STORM WATER LINES AND TRAFFIC CONTROL DEVICES.
4. CONTRACTOR SHALL NOTIFY THE OFFICE OF COUNTY ENGINEER, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING AT 936-539-7833 AND FAX AT 936-539-7802 FOR INSPECTION AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.

OR

CONTRACTOR SHALL NOTIFY MONTGOMERY COUNTY PRIOR TO COMMENCING CONSTRUCTION AND/OR BACK-FILLING AND UTILITIES. CONTRACTOR(S) TO CONTACT DAN WILDS WITH ENGINEERING DEPARTMENT @ (936-539-7833) OR dan.wilds@montco.com. CONTRACTOR TO ALSO CONTACT DISTRICT OPERATOR DAVID PATTERSON @ (281-482-0216).

- 5. EXISTING UTILITY INFORMATION SHOWN IS NOT GUARANTEED TO BE ACCURATE AND ALL INCLUSIVE. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF CONSTRUCTION. ANY CONFLICT OR DISCREPANCY DISCOVERED MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.

- 6. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THE DRAINAGE INCLUDES SURFACE AND GROUND WATER. ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE FINAL DRAFT OF STORM WATER MANAGEMENT HANDBOOK FOR CONSTRUCTION ACTIVITIES AS PREPARED BY MONTGOMERY COUNTY, ALL IN COMPLIANCE WITH THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) REQUIREMENTS.

- 7. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ROOT SYSTEMS OF SHRUBS, PLANTS AND TREES ALONG THE AREA OF EXCAVATION. SEE LANDSCAPE PLANS FOR PROTECTION OF EXISTING TREES DURING CONSTRUCTION.

- 8. THE CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF OSHA REGULATIONS AND THE STATE OF TEXAS LAWS CONCERNING EXCAVATION.

- 9. IF THE CONSTRUCTION DOES NOT BEGIN WITHIN A YEAR AFTER THE PLANS HAVE BEEN SIGNED, NEW SIGNATURES MUST BE OBTAINED AND LETTERS OF AVAILABILITY MUST BE UPDATED.

- 10. CONTRACTOR SHALL PREPARE A SET OF "AS-BUILT" DRAWINGS SHOWING ANY FIELD CHANGES MADE TO THE APPROVED ENGINEERING PLANS AND SUBMIT TO THE DESIGN CONSULTANT FOR SUBMISSION TO COUNTY ENGINEER.

- 11. CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE FACILITIES TO DIRECT SURFACE DRAINAGE AWAY FROM TRENCHES AND TOWARDS OFF SITE DRAINAGE FACILITIES. PREVENT WATER FROM PONDING ON SITE AND DO NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE ON TO ADJACENT PROPERTY.

- 12. EXISTING PAVEMENTS, CURBS, SIDEWALKS, AND DRIVEWAYS WITHIN PUBLIC RIGHTS-OF-WAY WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO THE STANDARDS OF THE APPROPRIATE REGULATORY AGENCY.

- 13. CONTRACTOR SHALL CONSTRUCT ALL GRAVITY SEWER LINES COMMENCING AT THE LOWEST ELEVATION AND PROCEED IN THE UPSTREAM DIRECTION. CONTRACTOR SHALL VERIFY CLEARANCES WITH ALL UNDERGROUND OBSTRUCTIONS BEFORE LAYING PIPE.

- 14. EXCAVATE ALL TRENCHES EVENLY TO LINE AND GRADE SHOWN.

- 15. CONTRACTOR SHALL KEEP TRENCH DRY AT ALL TIMES AND SHALL PROVIDE AUTOMATIC OR CONTINUOUS TRENCH PUMPS, AND WELL POINTS, IF NECESSARY TO OBTAIN DRY BEDDING CONDITIONS.

- 16. CONTRACTOR SHALL KEEP TRENCHES, PIPE BEDDING AND BACKFILL FREE OF DEBRIS.

- 17. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND STATE OF TEXAS LAW CONCERNING TRENCHING AND SHORING AS SPECIFIED IN CITY OF MAGNOLIA STANDARD SPECIFICATIONS, AND CITY OF MAGNOLIA ORDINANCE NO. 0-2022-028.

- 18. INCLUDE COST OF BEDDING AND BACKFILL OF TYPE REQUIRED FOR WATERLINES, SANITARY SEWERS, AND STORM SEWERS IN UNIT PRICE BID FOR PIPE, UNLESS OTHERWISE NOTED.

- 19. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS DIRECT FROM THE FACTORY AND FREE FROM DEFECTS.

- 20. CONTRACTOR SHALL PROVIDE ALL TESTS, PLUGS, RISERS, GAUGES, GAUGE CALIBRATION DEVICES, TEST PUMPS AND COMPRESSORS AS NECESSARY TO MAKE TESTS. (NO SEPARATE PAY).

- 21. WASTE MATERIALS INCLUDING PAVEMENT REMOVED DURING CONSTRUCTION, WASTE PIPING AND SUPPLIES, CONSTRUCTION DEBRIS AND EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR.

- 22. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.

- 23. CONTRACTOR SHALL HAVE A COPY OF ALL DRIVING PERMITS ON SITE AT ALL TIMES DURING CONSTRUCTION OF DRIVES AND DRIVEWAY CULVERTS.

- 24. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, AND PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO STARTING WORK, INCLUDING BUT NOT LIMITED TO PIPELINE COMPANIES, MUD ENGINEER, MUD OPERATOR, DRY UTILITY COMPANIES, MONTGOMERY COUNTY OR COUNTY ENGINEER.

- 25. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY THE "REGULATIONS OF MONTGOMERY COUNTY, TEXAS FOR FLOODPLAIN MANAGEMENT" PRIOR TO STARTING CONSTRUCTION, IF APPLICABLE.

- 26. OWNER TO OBTAIN ALL PERMITS REQUIRED BY MONTGOMERY COUNTY, TEXAS PRIOR TO STARTING CONSTRUCTION OF UTILITIES AND/OR CULVERTS WITHIN MONTGOMERY COUNTY ROAD RIGHTS-OF-WAY, IF APPLICABLE.

- 27. ACCESS TO ALL EXISTING STREETS AND DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.

- 28. SURFACE RESTORATION: AT THE END OF ALL CONSTRUCTION PROJECTS, THE CONTRACTOR SHALL RESTORE THE EXISTING FACILITIES AND ALL SOIL MATERIAL, VEGETATION & DEBRIS SHALL BE HAULED AND DISPOSED OF OFF SITE, I.E., THE PROPERTY SHALL BE MADE EQUAL TO OR BETTER THAN EXISTING SITE CONDITION PRIOR TO CONSTRUCTION.

- 29. CONTRACTOR SHALL HYDROMULCH SEED ALL DISTURBED AREA UNLESS OTHERWISE SHOWN ON ARCHITECTS/LANDSCAPE ARCHITECTS PLANS.

- 30. GRADING AROUND BUILDINGS INCLUDING SIDEWALKS SHALL BE COORDINATED WITH ARCHITECT AND FINAL APPROVAL OF GRADES IN GRASS AREAS AND SWALES SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION OF LANDSCAPING MATERIALS TO ENSURE POSITIVE DRAINAGE.

- 31. IN ORDER TO COMPLY WITH TEXAS ACCESSIBILITY STANDARDS, THE CONTRACTOR SHALL ENSURE THAT THE SLOPE OF SIDEWALK AND/OR PAVING IN THE FIRST FIVE FEET OUTSIDE ANY DOOR DOES NOT EXCEED 2% IN ANY DIRECTION.

- 32. GUIDELINES SET FORTH IN THE TEXAS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AS CURRENTLY AMENDED, SHALL BE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAG MEN, SIGNING, STRIPING AND WARNING DEVICES, ETC. DURING CONSTRUCTION - BOTH DAY AND NIGHT, IF EXISTING TRAFFIC SIGNALS OR ANY OTHER TRAFFIC DEVICES ARE AFFECTED BY CONSTRUCTION, CONTRACTOR IS TO PROVIDE ALTERNATE TRAFFIC CONTROL DEVICES IMMEDIATELY SO THAT TRAFFIC IS NOT INTERRUPTED.

- 33. THE WORK AREA SHALL BE BARRICADED AND ILLUMINATED DURING DARKNESS AND PERIODS OF INACTIVITY, WHEN IN AN AREA OF DIRECT PUBLIC ACCESS.

- 34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF MATERIAL AND EQUIPMENT IN A SAFE AND WORKMANLIKE MANNER TO PREVENT INJURIES, DURING AND AFTER WORKING HOURS UNTIL PROJECT COMPLETION. THERE SHALL BE NO PAYMENT MADE TO CONTRACTOR FOR STORED MATERIAL.

- 35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHIPPING OF ALL MATERIALS, THE LOADING AND UNLOADING OF ALL PIPE, VALVES, HYDRANTS, MANHOLES AND OTHER ACCESSORIES SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED PRACTICES AND SHALL BE AT ALL TIMES PERFORMED WITH CARE TO AVOID ANY DAMAGE TO THE MATERIAL. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO EXAMINE SUCH MATERIAL AT THE POINT OF DELIVERY AND TO REJECT ALL DEFECTIVE MATERIAL. THE DEFECTIVE MATERIAL MUST BE REPLACED WITH SOUND MATERIAL.

- 36. CONTRACTOR SHALL NOT PERFORM ANY WORK WITHIN AREA DELINEATED AS WETLANDS UNTIL ALL NECESSARY PERMITS ARE APPROVED.

- 37. TREE AND PLANT PROTECTION - CONTRACTOR IS TO PRESERVE AND PROTECT EXISTING TREES AND PLANTS FROM FOLIAGE, BRANCH, TRUNK AND/OR ROOT DAMAGE THAT COULD RESULT FROM CONSTRUCTION OPERATIONS AS PER THE CITY OF MAGNOLIA STREET TREE ORDINANCE AND CITY OF MAGNOLIA SPECIFICATIONS, INSIDE OF THE CITY'S EXISTING PAVED PUBLIC ROAD R-O-W'S AND ANY AFFECTED COMMERCIAL B.L. SETBACK AREAS.

- 38. ALIGNMENT, CURVE DATA, BASELINE STATIONING AND RIGHT-OF-WAY (ROW) AND EASEMENT WIDTHS SHALL BE VERIFIED FROM AN APPROVED SUBDIVISION PLAT.

- 39. CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLES, VALVE, METER BOXES, INLETS, ETC. TO PROPOSED TOP OF PAVEMENT OR FINISHED GRADE. IF MANHOLE IS IN ROW FG, ADJUST TO NG. IF OUTSIDE ROW, ADJUST MH TO FG + 3". NO SEPARATE PAY FOR ADJUSTING EXISTING FACILITIES.

- 40. CONSULTANT SHALL NOT BE RESPONSIBLE FOR DESIGN CHANGES OR MODIFICATIONS EXCEPT AS SET FORTH BY CONSULTANT IN WRITING.

- 41. CONTRACTOR SHALL FOLLOW THE PLANS AND SPECIFICATIONS EXCEPT AS DIRECTED IN WRITING OR AS REQUIRED BY CODE OR MANUFACTURER'S INSTRUCTIONS.

- 42. CONSULTANT SHALL NOT BE RESPONSIBLE TO ANY PARTY, INCLUDING OWNER, CONTRACTOR, USERS AND OTHER THIRD PARTIES, FOR CONTRACTOR'S FAILURE TO FOLLOW OR COMPLY WITH THE PLANS, SPECIFICATIONS, BUILDING OFFICIAL DIRECTION, OR MANUFACTURER'S INSTRUCTIONS.

- 43. CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, SCHEDULING, OR JOBSITE SAFETY. ALL OF THE FOREGOING SHALL BE THE SOLE RESPONSIBILITY OF CLIENT AND/OR CONTRACTOR.

PRIVATE UTILITY NOTES

NOTICE: THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT TOLL FREE 1-800-545-6005 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE UNDERGROUND LINES FIELD LOCATED.

CAUTION: AT&T TEXAS/SWB/T FACILITIES

THE LOCATIONS OF AT&T TEXAS/SWB/T FACILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL CALL 1-800-344-8377 (TEXAS 811) A MINIMUM OF 48-HOURS PRIOR TO CONSTRUCTION TO HAVE UNDERGROUND LINES FIELD LOCATED.

WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF AT&T TEXAS/SWB/T FACILITIES, ALL EXCAVATIONS MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES. WHEN BORING, THE CONTRACTOR SHALL EXPOSE THE AT&T TEXAS/SWB/T FACILITIES.

WHEN AT&T TEXAS/SWB/T FACILITIES ARE EXPOSED, THE CONTRACTOR WILL PROVIDE SUPPORT TO PREVENT DAMAGE TO THE CONDUIT DUCTS OR CABLES. WHEN EXCAVATING NEAR TELEPHONE POLES THE CONTRACTOR SHALL BRACE THE POLE FOR SUPPORT.

THE PRESENCE OR ABSENCE OF AT&T TEXAS/SWB/T UNDERGROUND CONDUIT FACILITIES OR BURIED CABLE FACILITIES SHOWN ON THESE PLANS DOES NOT MEAN THAT THERE ARE NO DIRECT BURIED CABLES OR OTHER CABLES IN CONDUIT IN THE AREA.

PLEASE CONTACT THE AT&T TEXAS DAMAGE PREVENTION MANAGER ROOSEVELT LEE JR. AT (713) 412-3990 OR EMAIL HIM AT RL7259@ATT.COM IF CABLE LOCATE REQUESTS ARE NOT COMPLETED FOR OUR AT&T TEXAS/SWB/T FACILITIES.

DIRECT BURIED CABLE PROCEDURE

DIRECT BURIED CABLE RECORDS ARE NOT AVAILABLE. TO DETERMINE THE LOCATION OF AT&T DIRECT BURIED CABLE PLANT DURING THE DESIGN PHASE OF YOUR PROJECT, FOLLOW THE PROCEDURE OUTLINED BELOW:

- CALL 1-800-344-8377 (TEXAS 811) AND ADVISE YOU NEED THE EXISTING AT&T TEXAS/SWB/T FACILITIES LOCATED FOR THE DESIGN PHASE OF YOUR PROJECT. PLEASE ALLOW AT LEAST 72 HOURS FOR THE CABLES TO GET MARKED BEFORE SENDING YOUR FIELD CREW FOR BASE LINE SURVEY FOR LOCATES OF BE SPECIFIC ON THE PROJECT LOCATION. THE LOCATOR WILL FIELD LOCATE THE EXISTING AT&T TEXAS/SWB/T FACILITIES WITH ORANGE PAINT AND/OR FLATS.
YOUR FIELD PARTY CAN SURVEY THE BURIED CABLE LOCATION USING THE ORANGE MARKS ON THE GROUND. IF THE CABLES ARE NOT MARKED, PLEASE CONTACT THE AT&T TEXAS DAMAGE PREVENTION MANAGER ROOSEVELT LEE JR. (713) 412-3990 OR EMAIL AT RL7259@ATT.COM.
DEPCT THE EXACT LOCATION OF THE AT&T TEXAS/SWB/T DIRECT BURIED CABLE FACILITIES ON THE PLAN AND PROFILE SHEET.

CAUTION: UNDERGROUND GAS FACILITIES

- THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT 1-800-545-6005 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.
WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (713) 207-5463 OR (713) 945-8037 (7:00AM TO 4:30 PM) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.
WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.
FOR EMERGENCIES REGARDING GAS LINES CALL (713) 659-3552 OR (713) 207-4200.
THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

WARNING: OVERHEAD ELECTRICAL FACILITIES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. THE LOCATION OF OVERHEAD LINES HAS NOT BEEN SHOWN ON THESE DRAWINGS AS THE LINES ARE CLEARLY VISIBLE. BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE FORBIDS ACTIVITIES THAT OCCUR IN CLOSE PROXIMITY TO HIGH VOLTAGE LINES, SPECIFICALLY:

- ANY ACTIVITY WHERE PERSON OR THINGS MAY COME WITHIN SIX(6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES; AND
OPERATING A CRANE, DERRICK, POWER SHOVEL, DRILLING RIG, PILE DRIVER, HOISTING EQUIPMENT, OR SIMILAR APPARATUS WITHIN 10 FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES.

PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW APPLIES TO ALL TYPES OF UTILITIES AND TO ALL TYPES OF LINES. THIS LAW IS TURNED OFF OR REMOVED CALL CENTERPOINT ENERGY AT (713) 207-2222.
ACTIVITIES ON/OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY: NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713)207-6348 OR (713)207-5769.

CONTRACTOR TO NOTIFY THE "UNDERGROUND UTILITY COORDINATING COMMITTEE" (TELEPHONE: 1-800-545-6005 OR 811) AND CITY OF HOUSTON DEPARTMENT OF PUBLIC WORKS (TELEPHONE: 713-863-1450) 48 HOURS BEFORE STARTING WORK IN STREET RIGHT-OF-WAY OR EASEMENTS.

SITE PLUMBING CONSTRUCTION NOTES

- GENERAL CONSTRUCTION NOTES APPLY TO SITE PLUMBING.
WATER LINES, WASTEWATER COLLECTION SYSTEMS, AND STORM DRAINAGE SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAGNOLIA DEPARTMENT OF PUBLIC WORKS AND ENGINEERING DESIGN MANUAL, LATEST EDITION.
TOP OF PROPOSED STORM SEWER MANHOLES, VALVE BOXES, ETC., SHALL BE SET TO MATCH FINISHED GRADE OR PROPOSED TOP OF PAVEMENT. TOP OF EXISTING MANHOLES, VALVE BOXES, ETC., SHALL BE ADJUSTED AS REQUIRED. SANITARY SEWER MANHOLES TO MATCH AND PROPOSED PAVEMENT GRADE OR 3 TO 6 INCHES ABOVE FINISHED GRADE IN LANDSCAPE AREAS, WITH SLOPED BACKFILL FOR STORM WATER DRAINAGE AWAY FROM RIM.
ALL TRENCHES, INLETS, MANHOLES, CLEANOUTS, ETC., UNDER, OR WITHIN FIVE FEET OF PAVEMENT, SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND PLACED IN LOOSE LIFTS NOT EXCEEDING 8-INCHES IN DEPTH AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. CONTRACTOR SHALL BACKFILL SEWER TRENCHES WITH TO A POINT ONE FOOT BELOW BOTTOM OF PAVEMENT.
ALL TRENCHES NOT UNDER, OR WITHIN FIVE FEET OF, PAVEMENT SHALL BE BACKFILLED WITH SELECT FILL MATERIAL (7 - 20 PSIG) PLACED IN LOOSE LIFTS NOT EXCEEDING 12-INCHES IN DEPTH AND COMPACTED TO THE DENSITY OF NATURAL SURROUNDING SOIL, BUT NOT LESS THAN 95% STANDARD PROCTOR DENSITY (ASTM D698).
MAINTAIN 6-INCH MINIMUM VERTICAL CLEARANCE AT PIPE CROSSINGS.
CONTRACTOR SHALL COORDINATE WITH ARCHITECTS DRAWINGS TO VERIFY LOCATION AND SIZE OF ALL ROOF DRAINS AND UTILITY CONNECTIONS. ALL ROOF DRAINS TO HAVE AIR GAP AT GRADE. LIMITS OF PROPOSED SITE PLUMBING FACILITIES SHALL BE 5- FEET FROM EDGE OF BUILDING, UNLESS OTHERWISE NOTED.
ALL PVC PIPE SHALL BE MADE FROM CLASS 12454-A OR 12454-B VIRGIN COMPOUNDS PER ASTM D 1784.

4. WATER SYSTEM

- ALL CONSTRUCTION AND MATERIALS, INCLUDING WATER METERS, SHALL BE IN ACCORDANCE WITH NOTE 2 ABOVE.
FIRE SPRINKLER LINES SHALL BE INSTALLED AND TESTED BY A CONTRACTOR LICENSED BY THE STATE TO PERFORM SUCH WORK UNDER SECTION 4(A) & (B) OF ARTICLE 5.43-3 OF THE TEXAS INSURANCE CODE. CONTRACTOR SHALL FURNISH OWN CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING AS REQUIRED BY THE TEXAS COMMISSION ON FIRE PROTECTION.
ALL PVC PIPE USED IN WATER SYSTEMS SHALL BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL.
WATER LINE PIPE AND FITTINGS MATERIALS SHALL BE AS FOLLOWS:

- 1) LESS THAN 4-INCH POTABLE WATERLINE - SCHEDULE 40, PVC1120, PER ASTM D 1785, EXCEPT THAT THREADED PIPE SHALL BE SCHEDULE 80.
2) 4-INCH AND LARGER POTABLE WATERLINE-AWWA C900, SDR 18, CL 150 PVC.
3) FIRE SPRINKLER LINE-DUCTILE IRON PIPE (DIP) PRESSURE CLASS 200, THICKNESS CLASS 51 OR ANWA C900, SDR 14, CL 200 PVC.
4) FITTINGS FOR LESS THAN 4-INCH POTABLE WATERLINE SHALL BE ASTM D2466 SCHEDULE 40 PVC. THREADED FITTINGS SHALL BE SCHEDULE 80 PER ASTM D 2467.
5) FITTINGS FOR 4-INCH & LARGER WATERLINE SHALL BE ALL-BELL, PUSH-ON, DUCTILE IRON COMPACT FITTINGS FOR WATER MAINS, ANSI A21.53, WITH CEMENT-MORTAR LINING AND POLYETHYLENE WRAP.

E. VALVES

- 1-1/2" INCHES AND SMALLER SHALL BE 125 PSI; BRONZE; RISING STEM; SINGLE-WEDGE; DISC TYPE; SCREWED ENDS; CRANE NO. 428.
2-INCH THRU 2-1/2 INCH VALVES SHALL BE IRON BODY; DOUBLE GATE; NON-RISING STEM 150-PSIG TEST; 2-INCH SQUARE NUT OPERATING CLOCKWISE TO OPEN.
3-INCH AND LARGER VALVES SHALL BE 200 PSIG GATE VALVES PER ANWA C500 OR CS09; PUSH-ON BELL ENDS WITH RUBBER JOINT RINGS; 2-INCH NUT OPERATING CLOCKWISE TO OPEN.
WATERLINE BEDDING SHALL BE BANK SAND, EXTENDED 12-INCHES ABOVE THE TOP OF PIPE AND AS PER DETAIL WTR-01. BACKFILL SHALL BE AS PER NOTES 4 AND/OR 5 ABOVE.
POLYETHYLENE WRAP ALL CAST AND DUCTILE IRON PIPE & FITTINGS PER SPECS.
POTABLE WATERLINES SHALL HAVE A MINIMUM COVER OF 3'-6" BELOW NATURAL GROUND, FINISH GRADE, OR MEAN ELEVATION OF NEARBY DITCH, WHICH EVER IS LOWER. FIRE SPRINKLER SHALL HAVE A MINIMUM COVER OF 4'-0" FROM NATURAL GROUND OR FINISH GRADE, WHICHEVER IS LOWER. CONTRACTOR SHALL PROVIDE THRUST BLOCKING TO WITHSTAND 125% OF TEST PRESSURES.

- I. WHERE A DOMESTIC WATERLINE CROSSES A SANITARY SEWER, INSTALL ONE JOINT (MINIMUM 18-FT LENGTH) OF WATERLINE PIPE CENTERED ON THE SEWER.

- J. DISINFECT & FLUSH 6-INCH & LARGER WATER SUPPLY LINES IN ACCORDANCE WITH ANWA C651.

- K. HYDROSTATIC TEST 4-INCH & LARGER WATER LINES IN CONFORMANCE WITH CITY OF HOUSTON STD. SPEC. 02515. (8 HOUR TEST) TEST PRESSURES AS FOLLOWS:

- 1) FIRE SPRINKLER LINES: 200 PSI
2) ALL OTHER WATER LINES: 125 PSI

- L. CENTER OF FIRE HYDRANT (FH) TO BE LOCATED 3' FEET FROM BACK OF CURB.

10. SANITARY SYSTEM

- A. UNLESS OTHER WISE NOTED, ALL SANITARY SEWER PIPE IN THIS PROJECT SHALL BE ASTM D 3034 SDR 26 PVC PIPE WITH ELASTOMERIC JOINTS, IN ACCORDANCE WITH ASTM D 3212 AND GASKETS PER ASTM F 477. PROVIDE ELASTOMERIC WATERSTOP GASKET AND QUICK-SET, NONSHRINK GROUT AT CONNECTIONS TO MANHOLES.

- B. ALL SANITARY SEWER FITTINGS SHALL BE SDR 26. THE FITTINGS SHALL HAVE ELASTOMERIC JOINTS PER ASTM D3212 AND GASKETS PER ASTM F477.
C. SANITARY SEWER BEDDING SHALL BE CEMENT STABILIZED SAND AND IN ACCORDANCE WITH DETAIL SAN-010. BACKFILL SHALL BE AS PER NOTES 4 AND/OR 5 ABOVE.
D. SANITARY SEWER MANHOLES SHALL BE 4-FT. DIA. PRECAST CONCRETE MANHOLES IN ACCORDANCE WITH DETAIL NO. 190, UNLESS OTHERWISE NOTED.
E. WHERE A SANITARY SEWER CROSSES A WATERLINE, CENTER ONE JOINT (MINIMUM 18-FT LENGTH) OF SANITARY SEWER PIPE ON THE WATERLINE.

11. STORM SEWER SYSTEM

- A. STORM DRAIN PIPING SHALL BE AS FOLLOWS:
1) 15-INCH AND SMALLER, SDR 35 PVC, ASTM 3034, WITH ELASTOMERIC JOINTS PER ASTM D 3212, EXCEPT SOLVENT-CEMENT JOINTS AT FITTINGS. GASKETS SHALL BE PER ASTM F477.
2) 18-INCH AND LARGER, RCP, ASTM C-76, CLASS III, TONGUE & GROOVE, WITH RAM-NEK JOINT SEALANT UNLESS OTHERWISE NOTED. PIPES 36-INCH AND SMALLER SHALL BE SINGLE WRAPPED WITH RAM-NEK. PIPES 42-INCH AND LARGER SHALL BE DOUBLE WRAPPED OR RUBBER GASKETED.
3) ALL STORM DRAIN PIPING IN PUBLIC RIGHTS-OF-WAY SHALL BE RCP, CLASS III, C76, WITH RUBBER GASKETED JOINTS, UNLESS OTHERWISE NOTED.
4) PROVIDE ELASTOMERIC WATERSTOP GASKET AND QUICK-SET NONSHRINK MORTAR GROUT AT CONNECTIONS TO MANHOLES, JUNCTION BOXES AND INLETS.
B. STORM SEWER GREAT TOP INLETS SHALL BE AS PER DETAILS ON SITE UTILITY DETAIL SHEET. UNLESS OTHERWISE NOTED, ALL CURB TYPE INLETS SHALL BE TYPE "C" INLETS. MANHOLES TO MATCH AND PROPOSED PAVEMENT GRADE OR 3 TO 6 INCHES ABOVE FINISHED GRADE IN LANDSCAPE AREAS, WITH SLOPED BACKFILL FOR STORM WATER DRAINAGE AWAY FROM RIM.
C. STORM SEWER BEDDING SHALL BE CEMENT STABILIZED SAND AND IN ACCORDANCE WITH COM DRAWINGS SHOWN BELOW. BACKFILL SHALL BE AS PER NOTES 4 AND/OR 5 ABOVE.
1) DETAIL WTR-01: PIPES LESS THAN 24-INCHES IN DIAMETER
2) DETAIL WTR-01: PIPES 24-INCHES THRU 36-INCHES IN DIAMETER
3) COM DWG. 02317-03: PIPES 42-INCHES AND LARGER IN DIAMETER

- D. UNDERGROUND ROOF DRAIN PIPING SHALL BE ASTM D3034, SDR 35, PVC, WITH ELASTOMERIC JOINTS, EXCEPT SOLVENT-CEMENT JOINTS AT FITTINGS. PROVIDE ELASTOMERIC WATERSTOP GASKET AND QUICK-SET, NONSHRINK GROUT AT CONNECTIONS TO MANHOLES AND INLETS.

- F. POLYETHYLENE PIPE MAY BE SUBSTITUTED FOR REINFORCED CONCRETE PIPE SUBJECT TO THE FOLLOWING:

- 1) FOR PIPES 36" AND SMALLER-CEMENT STABILIZED SAND PLACED BEFORE PIPE IS LAID, TO 6" MIN. DEPTH. FOR SEWERS 42"-60" CEMENT STABILIZED SAND PLACED BEFORE PIPE IS LAID, TO 10" MIN. DEPTH.
2) CEMENT STABILIZED SAND, THOROUGHLY RODDED, PLACED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY 1'-0" ABOVE THE TOP OF PIPE, AFTER PIPE IS LAID.

- 3) PIPE AND FITTINGS: THE TYPES OF PIPE WILL BE INDICATED ON THE DRAWINGS BY THE FOLLOWING DESCRIPTION CONFORMING TO AASHTO M 252, AASHTO M 294, AND/OR AASHTO MPE-95, LATEST EDITION. PIPE DESCRIPTION: HDPE (HIGH DENSITY POLYETHYLENE PIPE).

- 4) TYPE S (THIS PIPE SHALL HAVE A FULL CIRCULAR CROSS-SECTION, WITH AN OUTER CORRUGATED PIPE WALL AND A SMOOTH INNER LINE.)

- 5) EXCEPT AS OTHERWISE REQUIRED HEREIN OR BY THE ENGINEER, JOINTS FOR CORRUGATED POLYETHYLENE PIPE SHALL BE RUBBER GASKETED BELL & SPIGOT AND MEET THE REQUIREMENTS OF ASTM F477.

- 6) FITTINGS: FURNISH FITTINGS AND SPECIALS REQUIRED FOR BENDS, END SECTIONS, BRANCHES, ACCESS MANHOLES, AND CONNECTIONS TO OTHER FITTINGS. DESIGN FITTINGS AND SPECIALS IN ACCORDANCE WITH DRAWING AND AASHTO M 252 OR AASHTO M 292 OF AASHTO MPE-95. FITTINGS AND SPECIALS ARE SUBJECT SAME INTERNAL AND EXTERNAL LOADS AS STRAIGHT PIPE.

- 7) PIPE FABRICATION: CORRUGATED POLYETHYLENE PIPE SHALL BE MANUFACTURED WITH EITHER AN ANNEAL OR CORRUGATION. OR HELICAL CORRUGATIONS OF CLOSED PROFILE CORRUIGATION MEETING THE PERFORMANCE REQUIREMENTS OF AASHTO M 252 OF AASHTO M 294 OR AASHTO MPE-95. REFER TO PLANS FOR SPECIFIC PIPE SIZES.

- 8) NO POLYETHYLENE PIPE MAY BE PLACED WITHIN PUBLIC STREET R.O.W.

- 12. CONTRACTOR SHALL INSTALL PVC SLEEVES WHERE SHOWN IN PLANS. SLEEVES SHALL BE ASTM D 3034, SDR 26, PVC PIPE WITH ELASTOMERIC JOINTS PER ASTM F477.

- 13. REINFORCED CONCRETE (C76 CLASS II) STORM SEWER BOXES SHALL BE INSTALLED, BEDDING AND BACKFILL IN ACCORDANCE WITH THE CITY OF MAGNOLIA'S DRAWINGS AS APPLICABLE.

- 14. ALL STORM SEWER CONSTRUCTED IN SIDE LOT EASEMENTS SHALL BE R.C.P., MINIMUM TWENTY (20) FOOT WIDE EASEMENTS SHALL BE PROVIDED.

- 15. ALTERNATE TO CEMENT STABILIZED SAND BACKFILL FOR PIPES FIFTY-FOUR (54) INCH AND LARGER, FROM 1-FOOT ABOVE THE TOP OF THE BOTTOM OF THE SUBGRADE, CONTRACTOR MAY BACKFILL WITH SUITABLE MATERIAL, PROVIDED THE BACKFILL MATERIAL IS PLACED IN (8) INCH LIFTS AND MECHANICALLY COMPACTED TO NINETY-FIVE (95)% STANDARD PROCTOR DENSITY. TESTS SHALL BE TAKEN AT ONE HUNDRED (100) FOOT INTERVALS ON EACH BEDDING AND BACKFILL TO ONE (1) FOOT ABOVE THE TOP OF THE PIPE SHALL BE CEMENT-STABILIZED SAND.

- 16. ALL PROPOSED PIPE SUB-TOPS FROM MANHOLES OR INLETS ARE TO BE PLUGGED WITH EIGHT (8) INCH BRICK WALLS UNLESS OTHERWISE NOTED.

- 17. CONTRACTOR TO PROVIDE 12" MINIMUM CLEARANCE AT STORM SEWER AND WATER LINE CROSSINGS.

SITE CLEARING AND GRADING CONSTRUCTION NOTES

- 1. ALL EARTHWORK TO BE DONE IN CONFORMANCE WITH REQUIREMENTS OF GEOTECHNICAL ENGINEERING REPORTS PREPARED BY GTS INC, PROJECT NO. 23-25014, MAY 23, 2023, AND ANY AMENDUMS THEREAFTER.

- 2. PROJECT AREA TO BE STRIPPED OF TOP SOIL TO DEPTH AS INDICATED BY SOILS ENGINEER (APPROXIMATELY 4-6 INCHES). TOP SOIL, RUBBISH, DEBRIS, AND OTHER OBJECTIONABLE MATERIAL TO BE DISPOSED OF OFF PROJECT SITE.

- 3. CONTRACTOR TO REMOVE ALL TREES & SHRUBS INDICATED TO BE REMOVED. REMOVE STUMPS, LAND ROOT BALLS AND ROOT SYSTEMS TO 24-INCHES (MIN.) BELOW EXISTING GRADE. APPLY HERBICIDE TO REMAINING STUMPS TO INHIBIT GROWTH.

- 4. CONTRACTOR TO CLEAR UNDERGROWTH & DEAD WOOD WITHOUT DISTURBING SUBSOIL.

- 5. PAVING SUBGRADE PREPARATIONS TO BE IN CONFORMANCE WITH THE SOILS REPORT, PROJECT SPECIFICATIONS, AND DETAILS IN PLANS. MOST STRINGENT GOVERNS.

- 6. CONTRACTOR SHALL CUT AND FILL SITE AS REQUIRED TO OBTAIN FINISHED ELEVATIONS SHOWN ON PLANS. COMPACT SELECT BACKFILL MATERIAL TO 95% STANDARD PROCTOR DENSITY AS PER ASTM D-698 AND IN CONFORMANCE WITH SOILS REPORT REQUIREMENTS. MAXIMUM SIDE SLOPES TO BE 3:1. ALL REQUIREMENTS OF PROJECT SPECIFICATIONS FOR EARTHWORK SHALL BE MET.

- 7. CONTRACTOR TO PROVIDE TEMPORARY MEASURES TO CONTROL STORM WATER RUN-OFF DURING CONSTRUCTION AS REQUIRED TO MINIMIZE EROSION AND TO MEET TPDES REQUIREMENTS.

- 8. EXCESS EXCAVATION SHALL BE HAULED OFF SITE AT CONTRACTORS EXPENSE. PRIOR TO FILL, THE SURFACE AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL. FILL SURFACE SHALL BE PROOF-ROLLED AND THE TOP 6-INCHES

SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D 698.

- 9. THE FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8-INCHES AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698. THE MOISTURE CONTENT FOR COMPACTION OF SITE FILL SHALL BE AS DETERMINED BY THE SOILS ENGINEER.

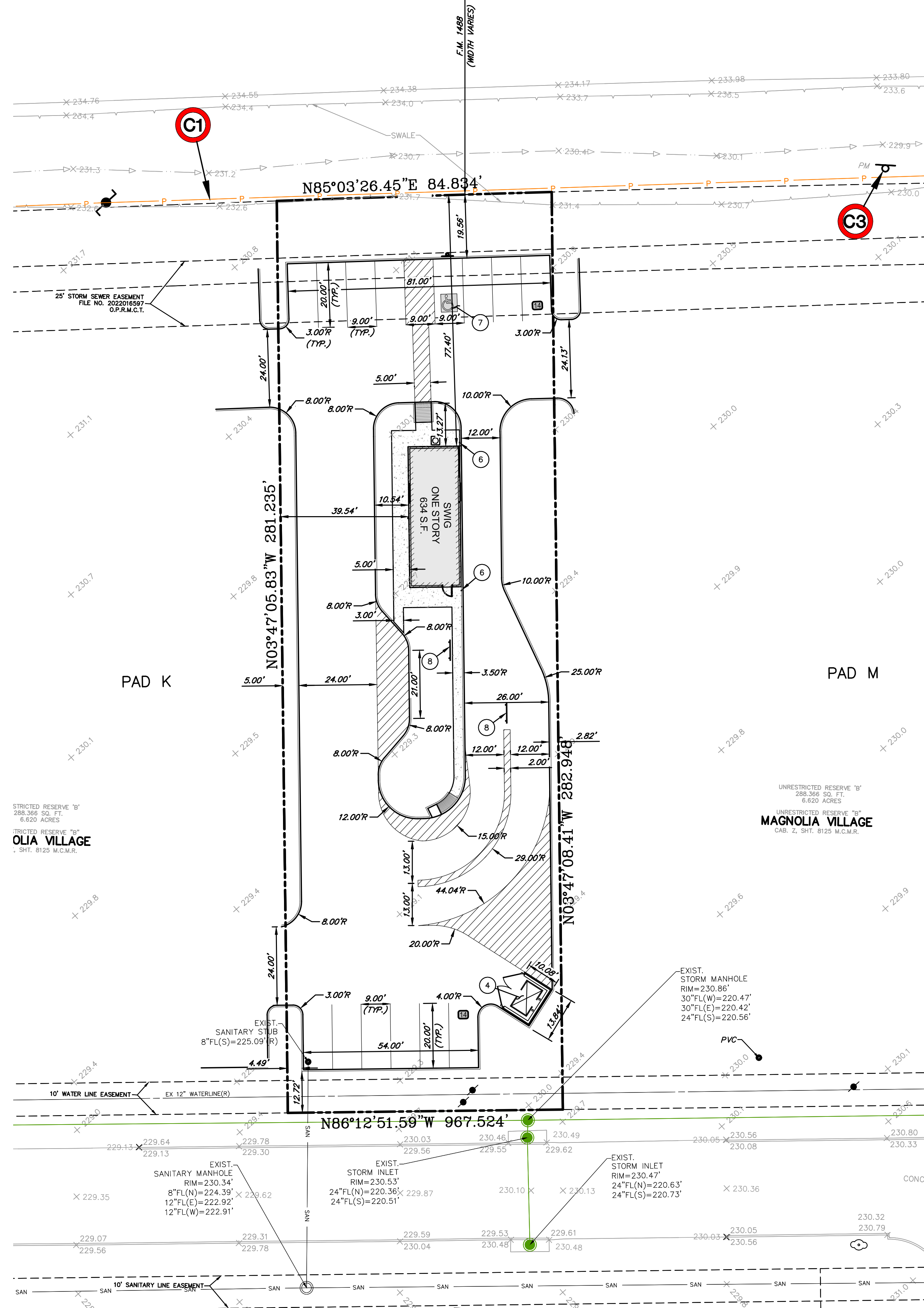
- 10. THE ON-SITE GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE WILL MONITOR THE FILL OPERATION, IDENTIFY SOIL TYPES, AND MAKE RECOMMENDATIONS CONCERNING SELECTION AND PLACEMENT OF SOILS.

- 11. MAXIMUM CROSS SLOPES FOR SIDEWALKS AND A.D.A. ACCESS ROUTES SHALL NOT EXCEED 2.0%. RAMP SLOPES SHALL NOT EXCEED 1-INCH PER FOOT (8.33%). MAXIMUM SLOPES FOR HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION.

- 12. ALL UTILITIES UNDER PROPOSED BUILDING TO BE REMOVED AND BACK-FILLED PER THE GEOTECH REPORT.

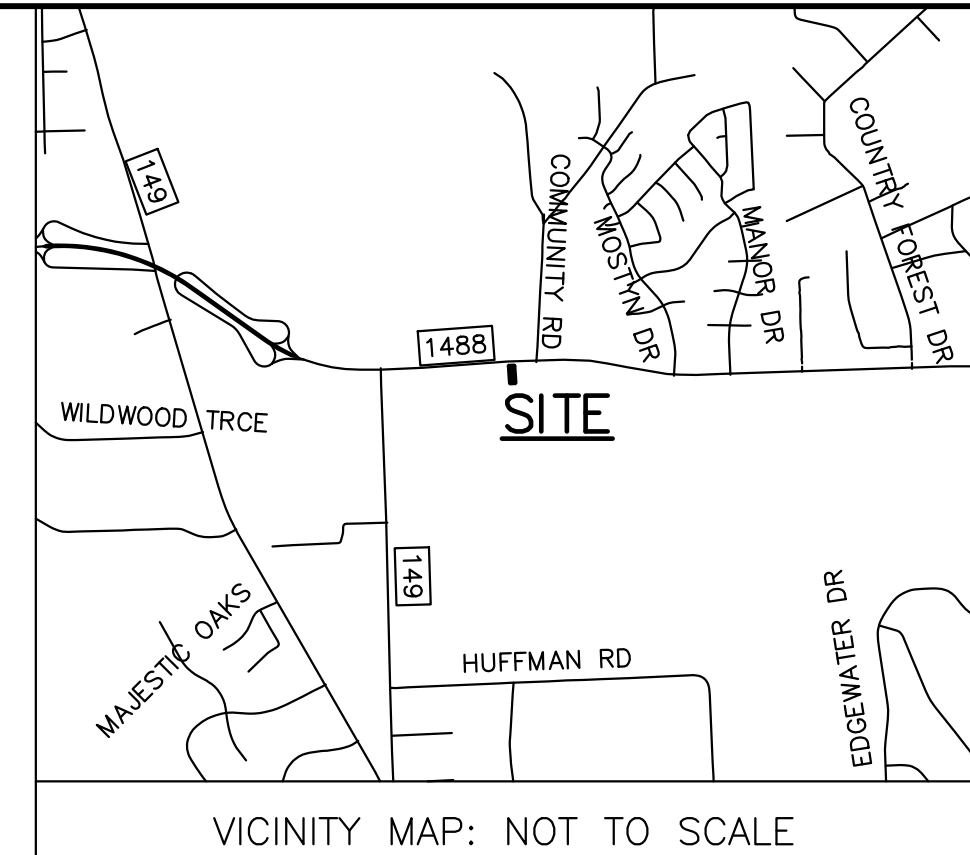
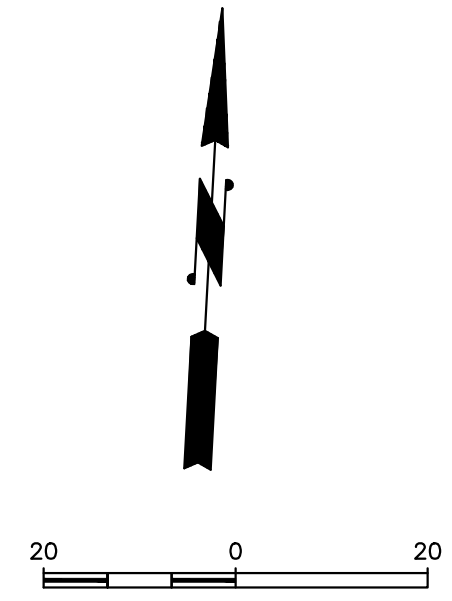
- 13. CONTRACTOR TO COORDINATE WITH LAND

V:\070893 - SWIG Restaurant\070893-01-001 (ENG) - RETAIL - Restaurant\Engineering\Drawings\CS DIMENSIONAL CONTROL PLAN.dwg, Layout1, November 02, 2023, 10:20 AM, jplence



CAUTION NOTES:

- C1** CAUTION OVERHEAD POWER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
- C2** CAUTION UNDERGROUND TELECOMMUNICATIONS/FIBER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
- C3** CAUTION UNDERGROUND GAS LINE. USE EXTREME CAUTION DURING CONSTRUCTION.



BENCHMARKS
T.B.M. 99
 Box with "X" cut on a "C" inlet, the north side of Magnolia Village Drive, approximately 45' southwest of the southwest corner of the subject tract. ELEVATION=232.11

FLOODPLAIN INFORMATION
FLOODPLAIN R.M. NO. 100145R2
 Aluminum disk stamped "100145R2" on the southeast corner of a bridge over spring creek on the northeast side of F.M. 2978, approximately 370' northwest of Bogs road. ELEVATION=155.54 NAVD88 (2001 ADJ.)

- NOTES**
- 1 ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 2 ALL CURB RADII ARE 2.0-FT UNLESS OTHERWISE NOTED.
 - 3 CONTRACTOR TO COORDINATE EXACT BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS AND STRUCTURAL FOUNDATION PLANS.
 - 4 PROP. DUMPSTER ENCLOSURE, REFERENCE ARCHITECTURAL PLANS FOR EXACT DETAILS ON SHEET C19.
 - 5 ALL DIMENSIONS TO PROPERTY LINES AND STREET CENTERLINES ARE PERPENDICULAR.
 - 6 PROP BOLLARDS.
 - 7 PAINT AN INTERNATIONAL HANDICAP SYMBOL.
 - 8 PROP MENU BOARD (RE: ARCHITECTURAL PLANS FOR DETAILS).
 - 9 MINIMUM PARKING SPACES REQUIREMENT PER UNIFIED DEVELOPMENT CODE (UDC) TABLE 7-1-2.02.3 IS MET. PARKING RATIO FOR THIS DEVELOPMENT IS: 14 PS = 23 PS / 1000 SQFT.

Table 7-1-2.02.3
Parking for Commercial Uses

| Land Use | Required Off-Street Parking Spaces |
|--|---|
| Automobile Sales, Rental and Service Establishments | (see below) |
| • Sales | 1 space per 1,000 sf. PFA of showroom + 1 space per 20,000 sf. of inventory storage |
| • Rental | 5 spaces, plus spaces for rental car inventory |
| Automotive Repairs, Heavy | 4 spaces per service bay |
| Automotive Repairs, Light | 3 spaces per service bay |
| Automobile Washes | 3 spaces per bay or stall, plus 1 space per 2 stalls if attended |
| Commercial Retail | 1 space per 200 sf. PFA |
| Day Care Center | 1 space per employee, plus 1 space per 5 students, plus 5 spaces for short-term loading and unloading |
| Event Facility (banquet hall, dance hall; lodge) | 1 space per 75 sf. PFA |
| Farmer's Market, Permanent | 1 space per 300 sf. PFA |
| Fueling/Charging Stations ¹ | See below. |
| • With Convenience Store ¹ | 1 space per 4 pump stations or Level 3 charging stations, plus 3 spaces per service bay, plus 1 space per 200 sf. PFA for the convenience store |
| • Without Convenience Store ¹ | 1 space per 4 pump stations or Level 3 charging stations, plus 3 spaces per service bay |
| General Professional / Medical Office | 1 space per 300 sf. PFA |
| Heavy Retail/Home Center | 1 space per 250 sf. PFA, plus 1 space per 1,000 sf. of outdoor sales or display area |
| Mixed-Use | 1 space per 200 sf. PFA |
| Nursery, Retail | 1 space per 250 sf. PFA of office or sales floor area, plus 1 space per 3,000 sf. of outdoor nursery area |
| Office | 1 space per 300 sf. PFA |
| Overnight Accommodations (hotels, motels, commercial inns) | 1 space per guest room + 1 space per 300 sf. of meeting rooms, ballrooms, administrative offices, and areas used for self-service breakfast for guests only, plus 75 percent of parking requirements for integrated restaurants and bars that are open to the public. |
| Pet Stores (with and without on-site animals) | 1 per 200 sf. PFA |
| Restaurant (no drive-through) | 1 space per 75 sf. PFA |
| Restaurant (with drive-through or drive-in) | 1 space per 200 sf. |
| Shopping Center | 1 space per 200 sf. PFA |
| Truck Stop / Truck Wash | 1 space per 4 pump stations, plus 3 spaces per service bay, plus 1 space per 200 sf. PFA for the convenience store |
| Vending Kiosks / ATMs | (see below) |
| • Generally (not listed below) | 1 space per kiosk |
| • Ice, Water, or Food | 3 spaces per vending kiosk |
| • Media (e.g., DVDs) | 2 spaces per vending kiosk |
| • ATMs | 2 spaces per ATM |
| Wholesale | 1 space per 500 sf. PFA |

TABLE NOTE:
¹ Level 3 charging stations include all charging stations that provide comparable or faster charging services. Level 1 and level 2 charging stations are accessories to parking lots.

Table 7-2-1.01
Parking Module Dimensions

| Measurement | Parking Space Angle (Degrees) | | | |
|--------------------------------------|-------------------------------|---------------|---------------|--------|
| | 0 / Parallel Parking | 45 | 60 | 90 |
| One Stall Row, One-Way Aisle | | | | |
| Stall Row Depth | 8 ft. | 20 ft. 7 in. | 21 ft. 11 in. | 20 ft. |
| Drive Aisle Width | 13 ft. 2 in. | 13 ft. 10 in. | 15 ft. 6 in. | 24 ft. |
| Minimum Module Width (row & aisle) | 21 ft. 2 in. | 34 ft. 5 in. | 34 ft. 5 in. | 44 ft. |
| Two Stall Rows, One-Way Aisle | | | | |
| Stall Row Depth | 16 ft. | 41 ft. 1 in. | 43 ft. 8 in. | 40 ft. |
| Drive Aisle Width | 13 ft. 2 in. | 13 ft. 10 in. | 15 ft. 6 in. | 24 ft. |
| Minimum Module Width (row & aisle) | 29 ft. 2 in. | 54 ft. 11 in. | 59 ft. 2 in. | 64 ft. |
| One Stall Row, Two-Way Aisle | | | | |
| Stall Row Depth | 8 ft. | 20 ft. 7 in. | 21 ft. 11 in. | 20 ft. |
| Drive Aisle Width | 23 ft. 3 in. | 20 ft. | 22 ft. | 24 ft. |
| Minimum Module Width (row & aisle) | 31 ft. 3 in. | 40 ft. 7 in. | 43 ft. 11 in. | 44 ft. |
| Two Stall Rows, Two-Way Aisle | | | | |
| Stall Row Depth | 16 ft. | 41 ft. 1 in. | 43 ft. 8 in. | 40 ft. |
| Drive Aisle Width | 23 ft. 3 in. | 20 ft. | 22 ft. | 24 ft. |
| Minimum Module Width (row & aisle) | 39 ft. 3 in. | 61 ft. 1 in. | 65 ft. 8 in. | 64 ft. |

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DATE: 11/01/2023

DESCRIPTION:

ISSUE FOR PERMIT:

REVISION:

DIMENSIONAL CONTROL PLAN

SWIG RESTAURANT
 MAGNOLIA, TX 77354

DESIGN: MAJ

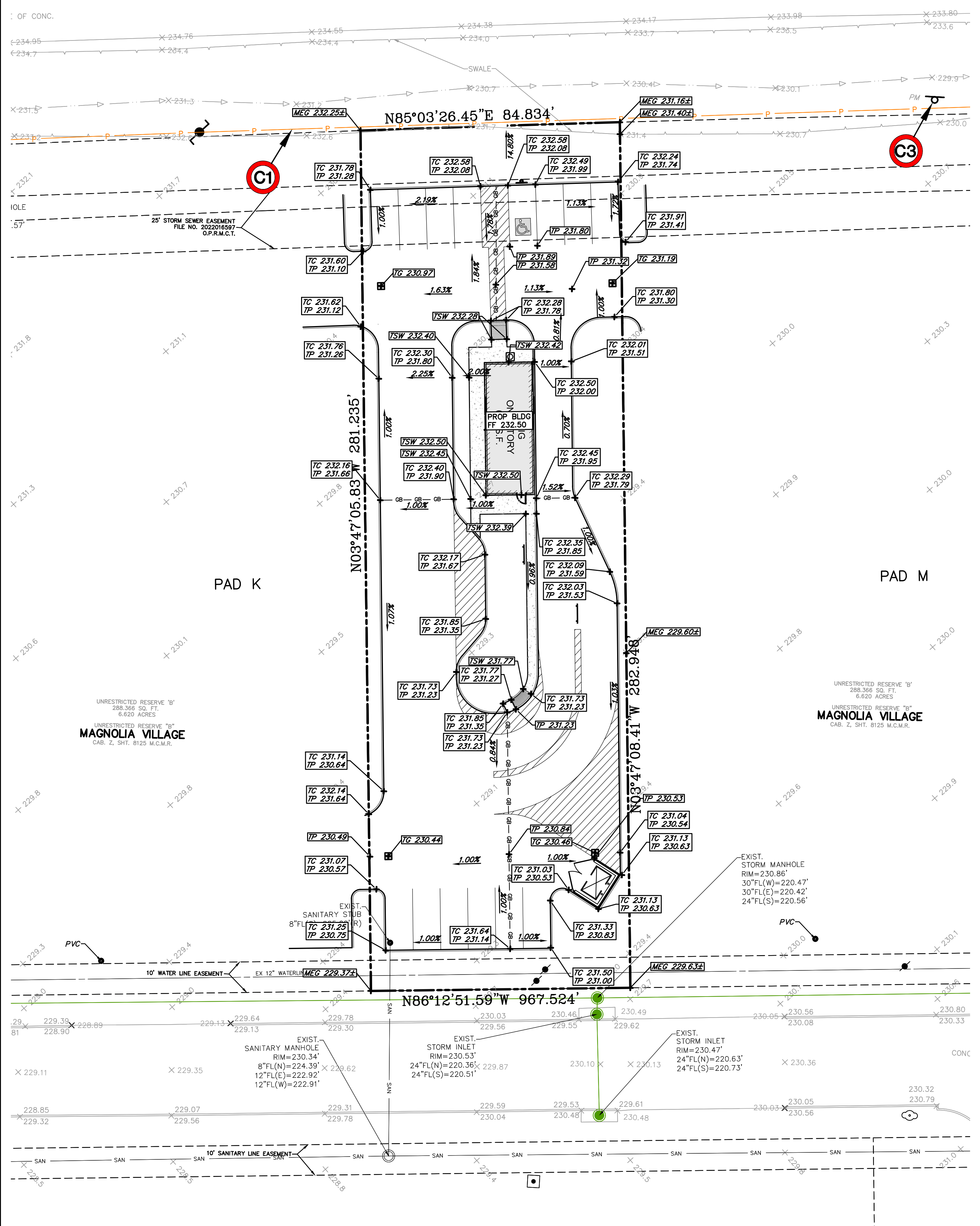
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CHKD: RCL

JOB No. 070693-01-001

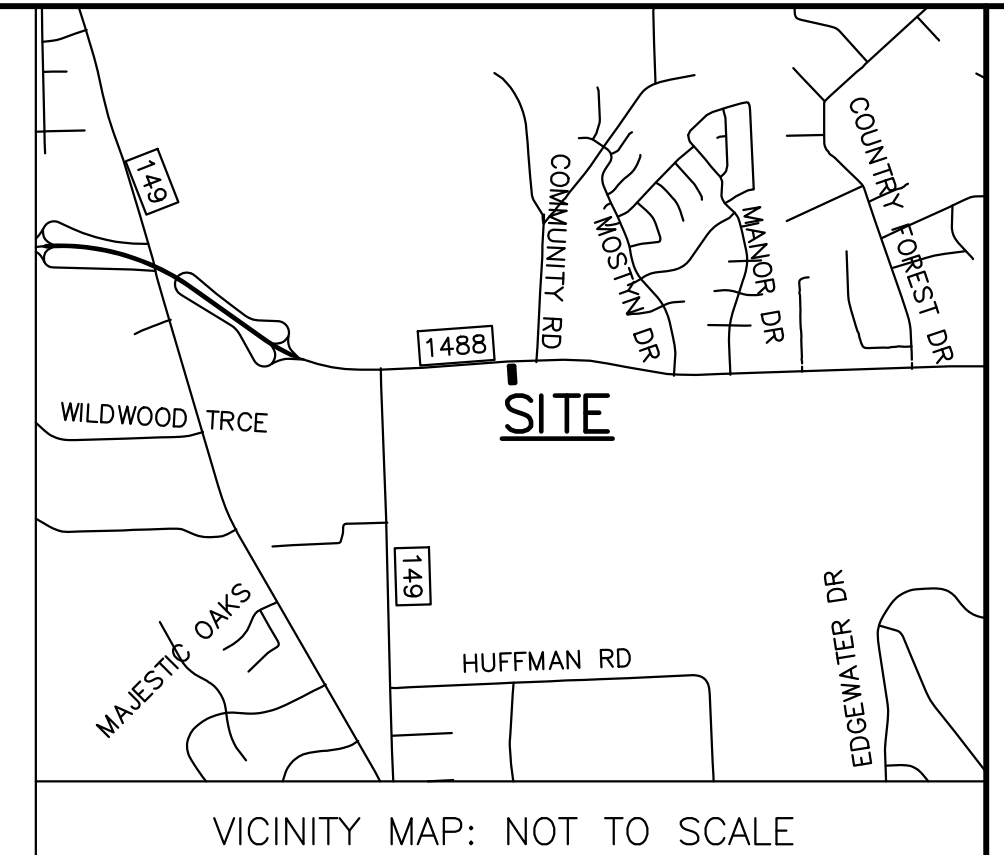
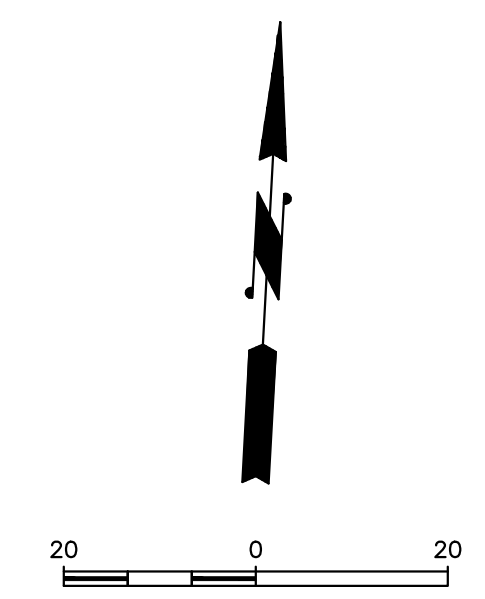
SHEET: C5 OF C19

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CAUTION NOTES:

- C1** CAUTION OVERHEAD POWER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
- C2** CAUTION UNDERGROUND TELECOMMUNICATIONS/FIBER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
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BENCHMARKS
T.B.M. 99
 Box with "X" cut on a "C" inlet, the north side of Magnolia Village Drive, approximately 45' southwest of the southwest corner of the subject tract. ELEVATION=232.11

FLOODPLAIN INFORMATION
FLOODPLAIN R.M. NO. 100145R2
 Aluminum disk stamped "100145R2" on the southeast corner of a bridge over spring creek on the northeast side of F.M. 2978, approximately 370' northwest of Bogs road. ELEVATION=155.54 NAVD88 (2001 ADJ.)

- GRADING NOTES:**
- 1 CONTRACTOR TO REMOVE EXISTING CURB & GUTTER AND FULL DEPTH SAWCUT PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TIE IN PROPOSED DRIVE PER CITY OF HOUSTON DRIVEWAY DETAIL 02754-03 AND 02754-04. CONTRACTOR TO SEE SITE PLAN FOR DRIVEWAY DIMENSIONS.
 - 2 CONTRACTOR TO CONSTRUCT CURB RAMP PER DETAIL NO. 128, SEE SHEET C16 FOR DETAIL.
 - 3 CONTRACTOR TO MATCH EXISTING NATURAL GROUND ELEVATION AT PROPERTY LINE (TYP.).
 - 4 CONSTRUCT 4.5" THICK SIDEWALK, SEE DETAIL SHEET C18.
 - 5 CONTRACTOR TO ADJUST EXISTING MANHOLE RIM TO BE FLUSH WITH FINISHED GRADE.
 - 6 FOR AREAS DESIGNATED AS HANDICAP ACCESSIBLE PARKING AND VEHICLE ACCESS AISLES, SLOPE MAY NOT EXCEED 2% IN ANY DIRECTION.
 - 7 CROSS SLOPES ON ALL SIDEWALKS AND ADA HANDICAP ACCESSIBLE ROUTES AND RAMP NOT TO EXCEED 2%.
 - 8 MAX SLOPE ALONG ADA HANDICAP RAMP SHALL NOT EXCEED 1:12 (8.33%).
 - 9 CONTRACTOR SHALL ASSURE THAT SLOPES FOR ALL ADA ACCESS ROUTES, AISLES, LANDINGS, RAMP, PARKING SPACES MEET MAXIMUM GRADE CRITERIA PRIOR TO PAVING. IF FIELD CONDITIONS CAUSE SLOPES TO EXCEED MAXIMUM ALLOWABLE GRADES CONTRACTOR IS TO NOTIFY ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION.

LEGEND

| | |
|------------------------|---|
| FF 233.25 | FINISHED FLOOR |
| TC 231.94 | TOP OF GRATE |
| TC 232.57 TP 232.07 | TOP OF CURB/TOP OF PVMT |
| TP 232.09 | TOP OF PAVEMENT |
| TSW 233.04 | TOP OF SIDEWALK |
| MEC | MATCH EXIST CONCRETE |
| MEC | MATCH EXIST GROUND |
| 1.5% | SLOPE ARROW |
| + TC | EXISTING TOP OF CURB |
| G | EXISTING TOP OF PAVEMENT (NOT FIELD VERIFIED) |
| □ | EXISTING INLET |
| ○ | EXISTING MANHOLE |
| ◻ | PROPOSED INLET |
| ○ | PROPOSED MANHOLE |
| — GB — GB — | GRADE BREAK |
| ← | PROPOSED SWALE |
| ■ | BUILDING AREA |

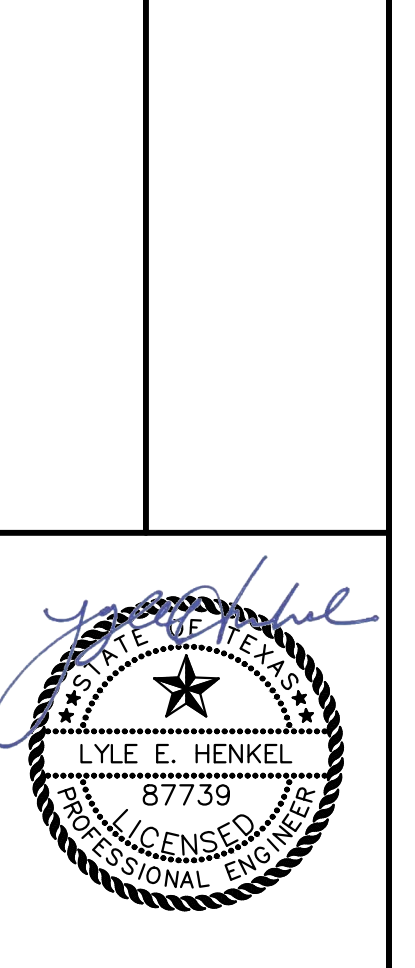


THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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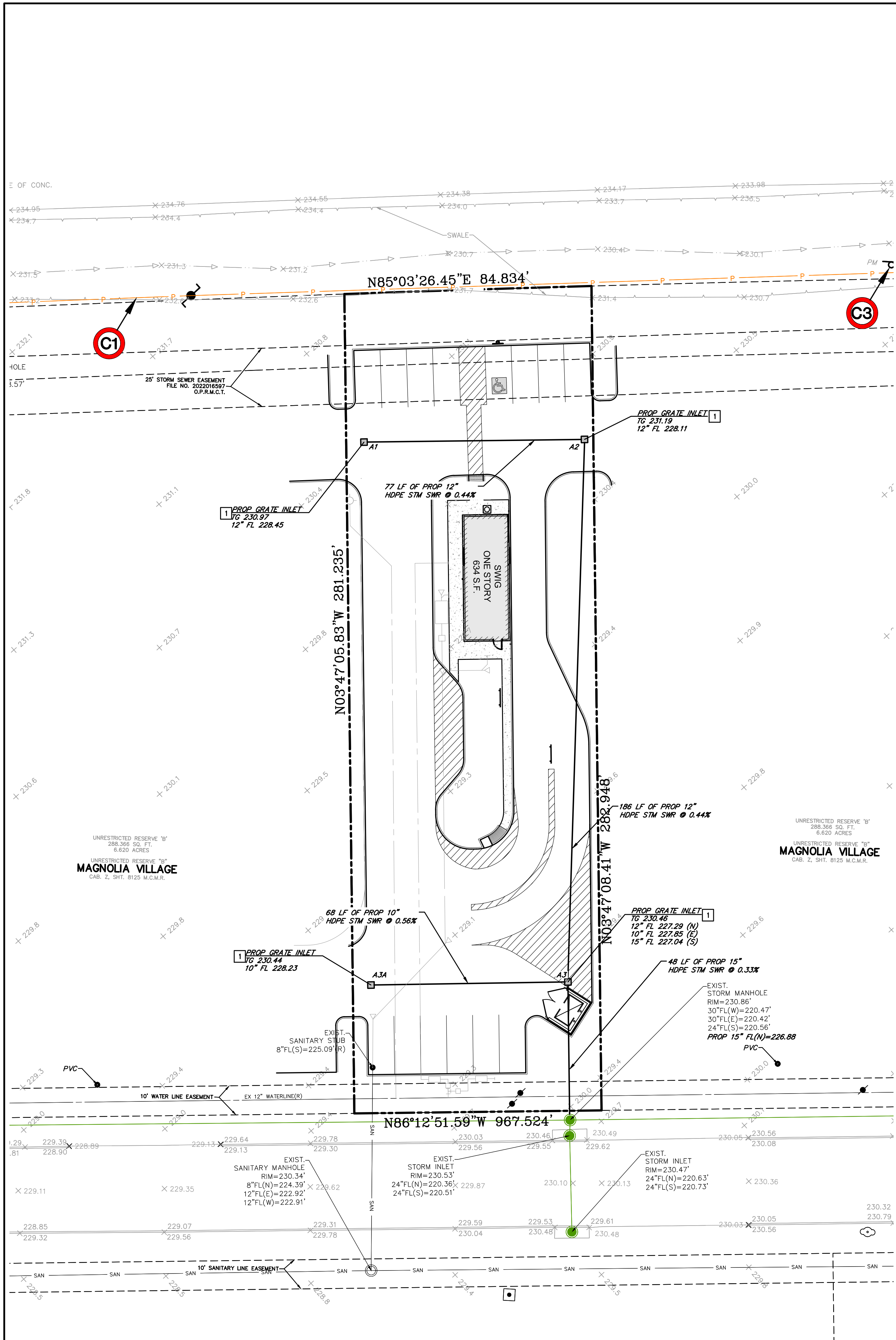
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GRADING PLAN
 SWIG RESTAURANT
 MAGNOLIA, TX 77354



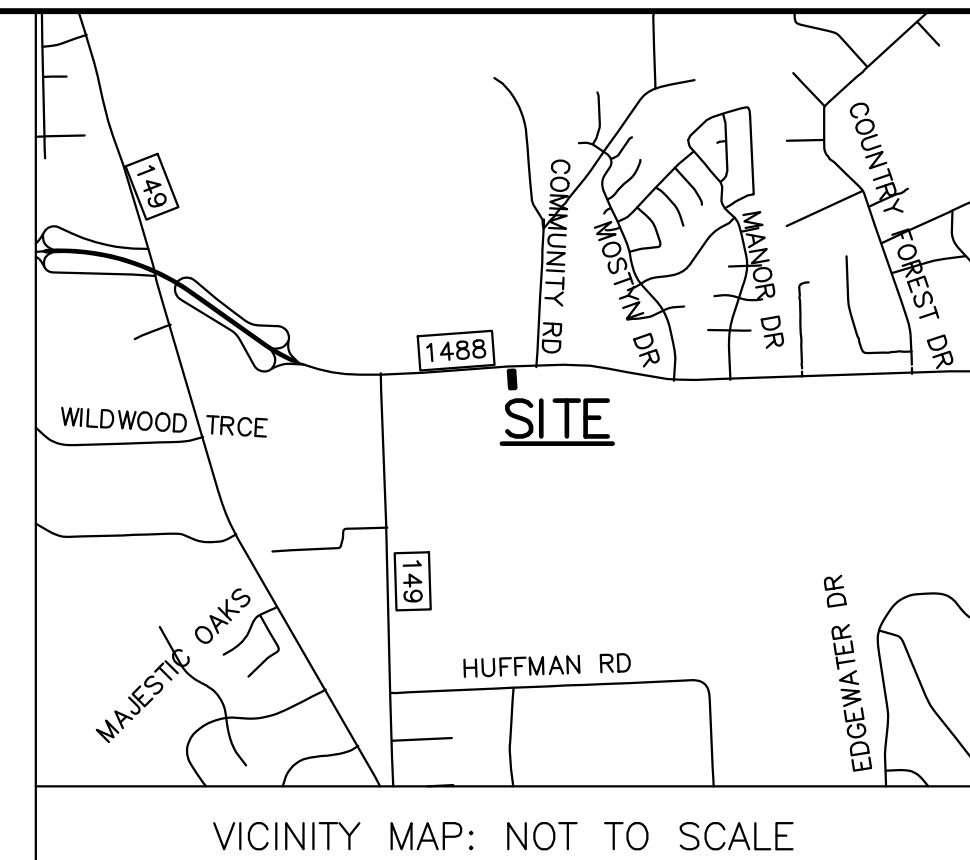
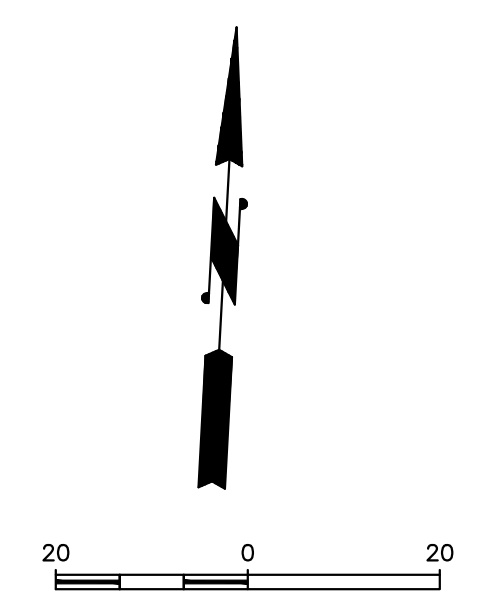
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|-----------------------|-------|------|
| DESIGN | DRAWN | CHKD |
| MAJ | JIP | RCL |
| JOB No. 070693-01-001 | | |
| SHEET | | |
| C6 OF C19 | | |

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CAUTION NOTES:

- C1** CAUTION OVERHEAD POWER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
- C2** CAUTION UNDERGROUND TELECOMMUNICATIONS/FIBER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
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 Box with "X" cut on a "C" inlet, the north side of Magnolia Village Drive, approximately 45' southwest of the southwest corner of the subject tract. ELEVATION=232.11

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 Aluminum disk stamped "100145R2" on the southeast corner of a bridge over spring creek on the northeast side of F.M. 2978, approximately 370' northwest of Bogs road. ELEVATION=155.54 NAVD88 (2001 ADJ.)

LEGEND

- EXISTING INLET
- EXISTING MANHOLE
- PROPOSED INLET
- PROPOSED MANHOLE
- PROPOSED PRIVATE STORM SEWER
- PROPOSED PUBLIC STORM SEWER

STORM SEWER NOTES:

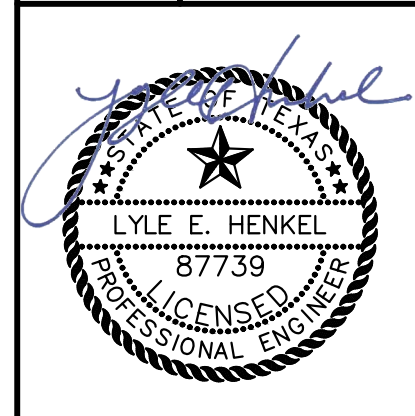
1 SEE GRATE INLET DETAIL #CBTA-3684 ON SHEET C17.

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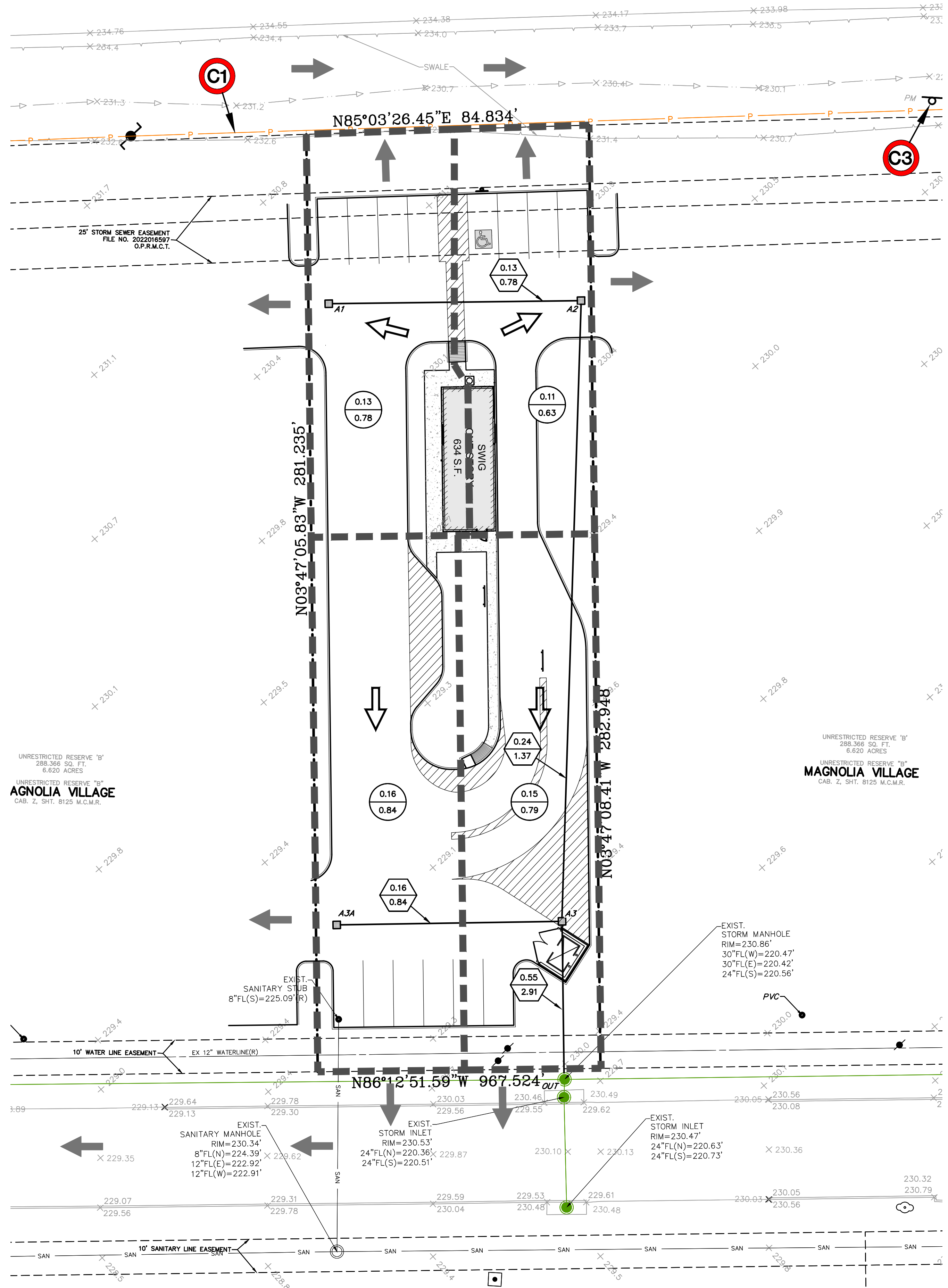
DRAINAGE PLAN

SWIG RESTAURANT
MAGNOLIA, TX 77354



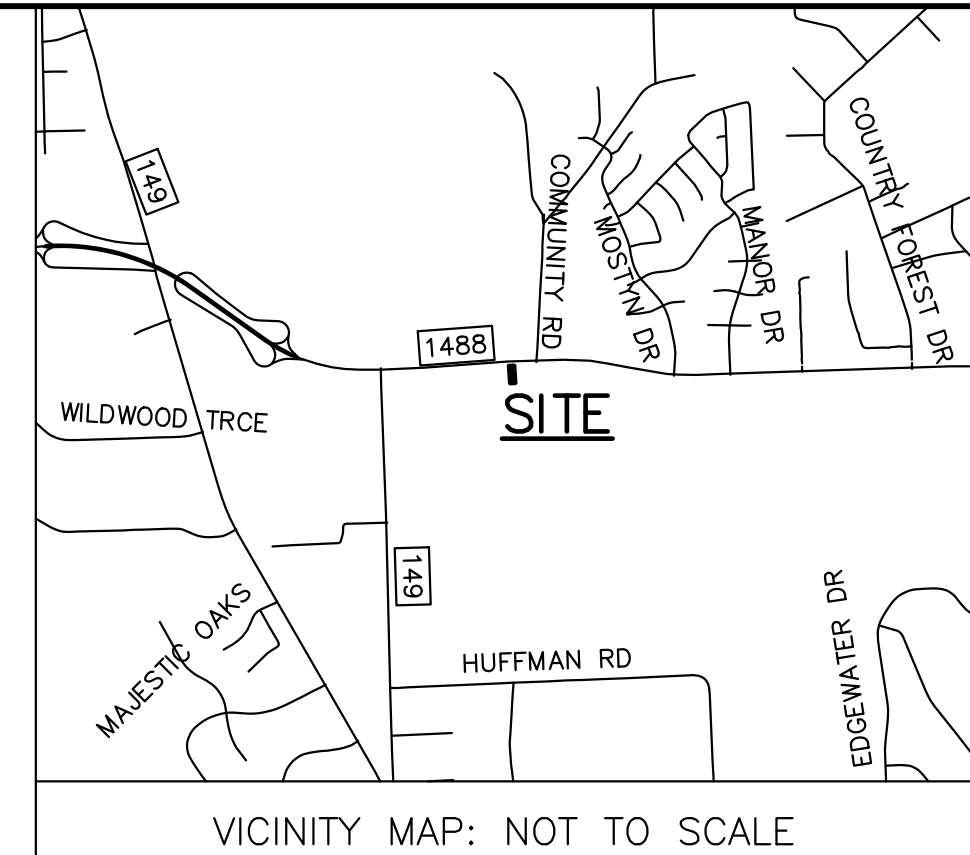
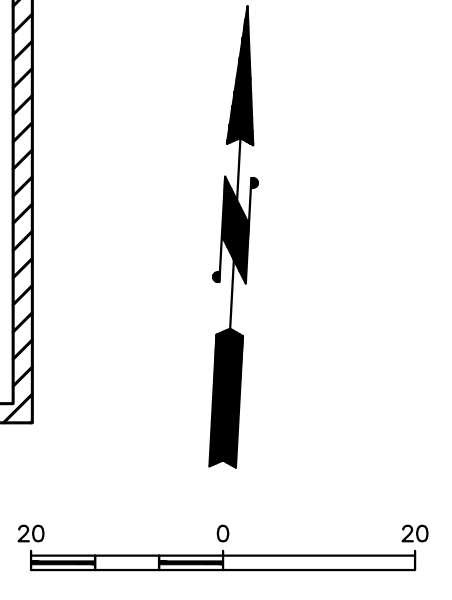
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| SHEET C7 OF C19 | | |

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CAUTION NOTES:

- C1** CAUTION OVERHEAD POWER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
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LEGEND

- PROPOSED DRAINAGE AREA DIVIDE
- EXISTING SHEET FLOW ROUTE
- EXISTING INLET
- EXISTING MANHOLE
- PROPOSED INLET
- PROPOSED MANHOLE
- PROPOSED SHEET FLOW ROUTE
- (0.13 / 0.99) INCREMENTAL DRAINAGE AREA ACRES
5-YR. INCREMENTAL FLOW, CFS
- (0.55 / 2.91) CUMULATIVE AREA, ACRES
5-YR CUMULATIVE FLOW, CFS

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DRAINAGE AREA MAP

SWIG RESTAURANT
MAGNOLIA, TX 77354



| | | |
|-----------------------|--------------|-------------|
| DESIGN MAJ | DRAWN JIP | CHKD RCL |
| JOB No. 070693-01-001 | | |
| SHEET C8 OF C19 | | |

MONTGOMERY COUNTY STORM SEWER TIME OF CONCENTRATION CALCS (100 YR)

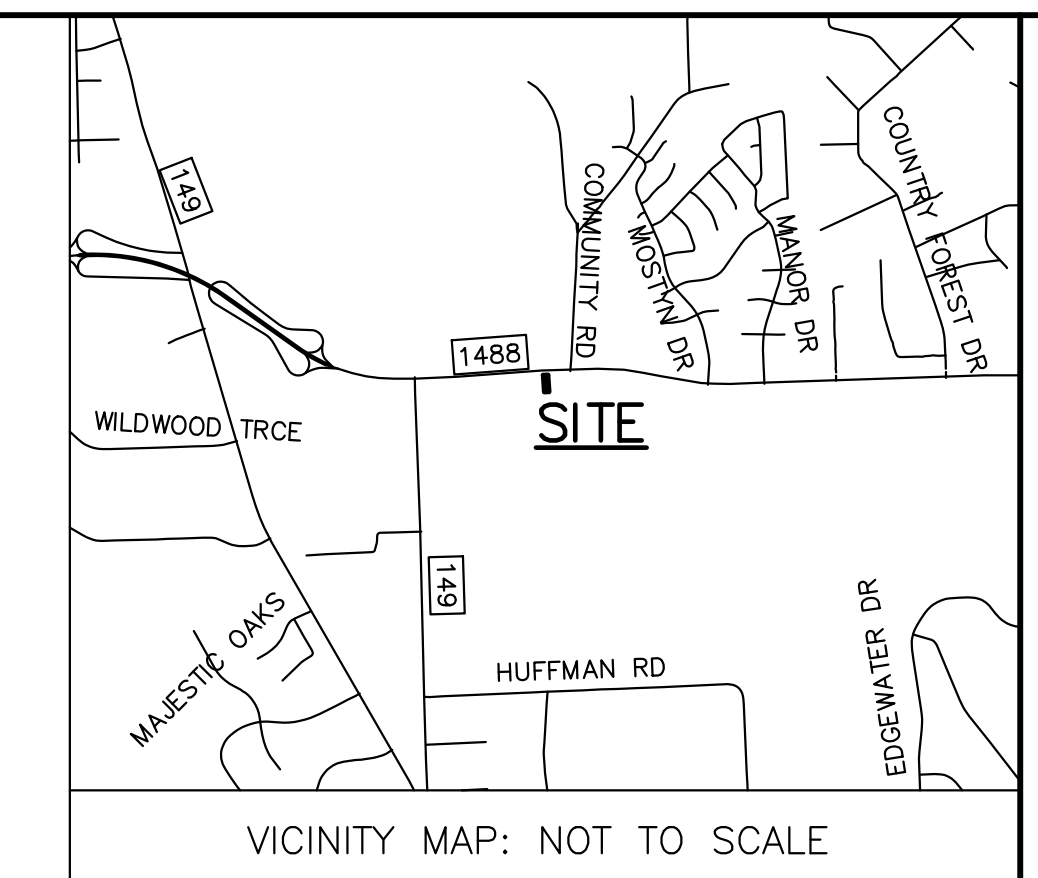
Table with columns: SUB-AREAS, INCR. AREA (AC), n, FLOW DISTANCE Df (FT), REMOTE POINT ELEVATION (FT), INLET ELEVATION (FT), LAND SLOPE (AVG) S (FT/FT), OVERLAND SHEET FLOW TIME Tt (min), CONCENTRATED SHALLOW FLOW VELOCITY V (FT/S), SHALLOW CONCENTRATED FLOW T (min), INLET TIME Ti (min). Rows A1, A2, A3A, A3.

Table with columns: LINE, MH OR INLET (FROM, TO), LENGTH L (FT), LINE (SIZE (IN), SLOPE %), "N" VALUE, DESIGN (Q (CFS), V (FPS)), TRAVEL TIME IN CONDUIT OR CHANNEL TCH (min). Rows A, A, A, A.

MONTGOMERY COUNTY STORM SEWER TIME OF CONCENTRATION CALCS (5 YR)

Table with columns: SUB-AREAS, INCR. AREA (AC), n, FLOW DISTANCE Df (FT), REMOTE POINT ELEVATION (FT), INLET ELEVATION (FT), LAND SLOPE (AVG) S (FT/FT), OVERLAND SHEET FLOW TIME Tt (min), CONCENTRATED SHALLOW FLOW VELOCITY V (FT/S), SHALLOW CONCENTRATED FLOW T (min), INLET TIME Ti (min). Rows A1, A2, A3A, A3.

Table with columns: LINE, MH OR INLET (FROM, TO), LENGTH L (FT), LINE (SIZE (IN), SLOPE %), "N" VALUE, DESIGN (Q (CFS), V (FPS)), TRAVEL TIME IN CONDUIT OR CHANNEL TCH (min). Rows A, A, A, A.



BENCHMARKS: T.B.M. 99 Box with "X" cut on a "C" inlet, the north side of Magnolia Village Drive, approximately 45' southwest of the southwest corner of the subject tract. ELEVATION=232.11

FLOODPLAIN INFORMATION: FLOODPLAIN R.M. NO. 100145R2 Aluminum disk stamped "100145R2" on the southeast corner of a bridge over spring creek on the northeast side of F.M. 2978, approximately 370' northwest of Bogs road. ELEVATION=155.54 NAVD88 (2001 ADJ.)

TIME OF CONCENTRATION EQUATIONS

THE FOLLOWING EQUATIONS FROM THE DRAINAGE CRITERIA MANUAL FOR MONTGOMERY COUNTY, TEXAS (07/11/2019), WERE USED TO DETERMINE THE TIME OF CONCENTRATION:

Equation 2.3: Tt = (0.007(n x L)^1.4) / (S^0.44)
Equation 2.4: Tt = (0.007(n x L)^1.4) / (S^0.44)
Equation 2.5: V = 16.1345 * S^0.58 (unpaved areas)
Equation 2.6: T = Df / 60V

MONTGOMERY STORM SEWER CALCULATION FORM

PROJECT: Magnolia SWIG DESIGN STORM: 5 YR
PROJ. NO.: 070693-01-001
PREPARED BY: RCL DATE: 10/11/23
CHECKED BY: JOM DATE: 10/11/23
FILENAME: Montgomery County Drainage Calcs

Main calculation table with columns: LINE, MH or Inlet (FROM, TO), AREA (INCR, TOTAL), "C", "CA", "TC", "I", Q (Incremental, cfs), L (FT), LINE (SIZE, SLOPE, "N"), DESIGN (Q, V), OTHER (FALL, LOSS), FLOWLINE (UPSTM, DNSTM), ACT (V), HYD (GRAD, %), ELEV. HYD. GRAD. (H, UPSTM, DNSTM), TOP OF PIPE (DNSTM), T.P. ELEV. (UPSTM, DNSTM), TP (LESS, HG).

MONTGOMERY COUNTY STORM SEWER CALCULATION FORM

PROJECT: Magnolia SWIG 100 YR-Atlas 14
PROJ. NO.: 070693-01-001
PREPARED BY: RCL DATE: 10/19/2023
CHECKED BY: JOM DATE: 10/19/2023
FILENAME: Montgomery County Drainage Calcs

Main calculation table with columns: LINE, MH or Inlet (FROM, TO), AREA (INCR, TOTAL), "C", "CA", "TC", "I", Q (Incremental, cfs), L (FT), LINE (SIZE, SLOPE, "N"), DESIGN (Q, V), OTHER (FALL, LOSS), FLOWLINE (UPSTM, DNSTM), ACT (V), HYD (GRAD, %), ELEV. HYD. GRAD. (H, UPSTM, DNSTM), TOP OF PIPE (DNSTM), T.P. ELEV. (UPSTM, DNSTM), TP (LESS, HG).

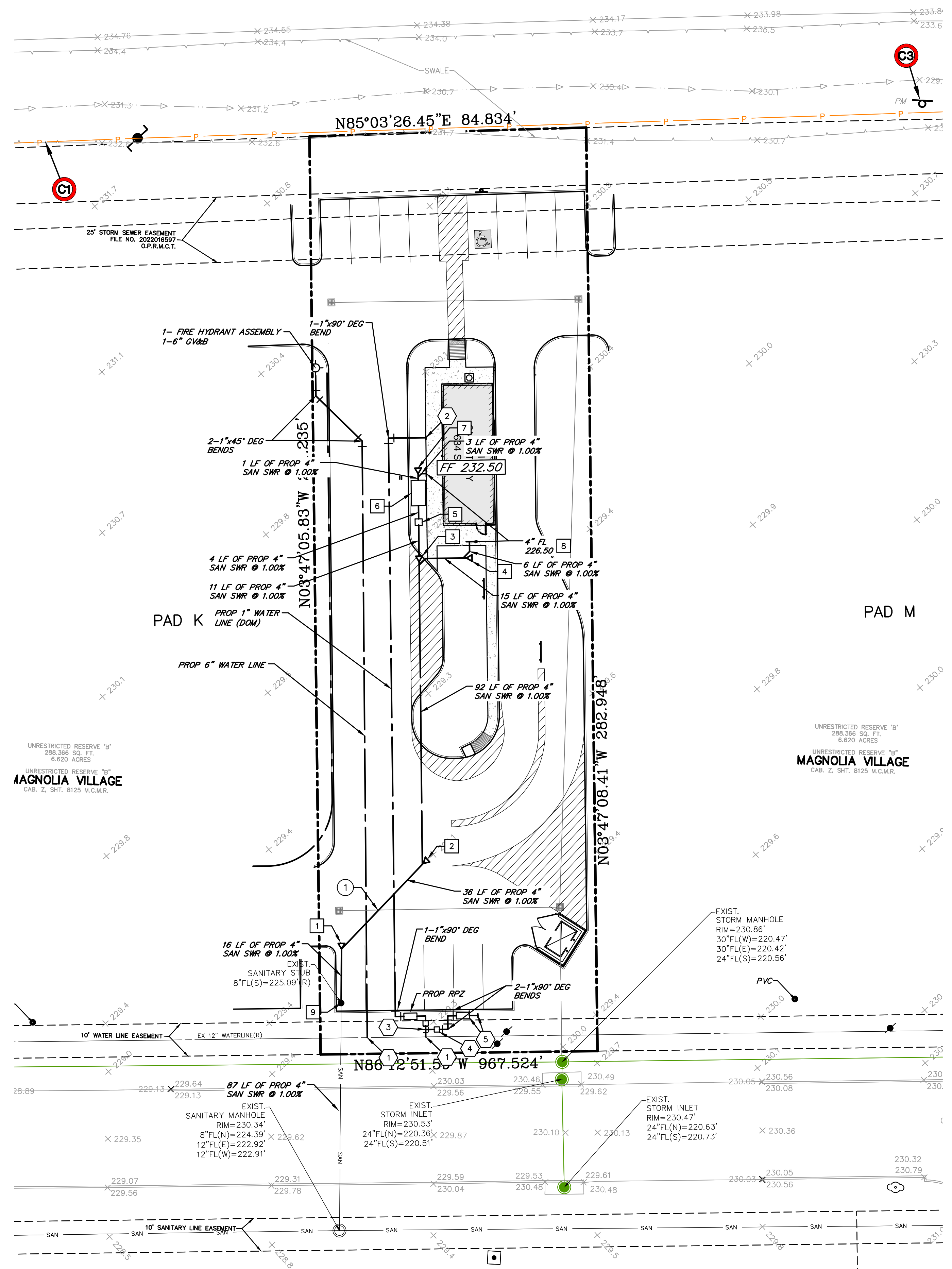
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Table with columns: DESIGN (MAJ), DRAWN (JIP), CHKD (RCL), JOB No. (070693-01-001), SHEET (C9 OF C19).

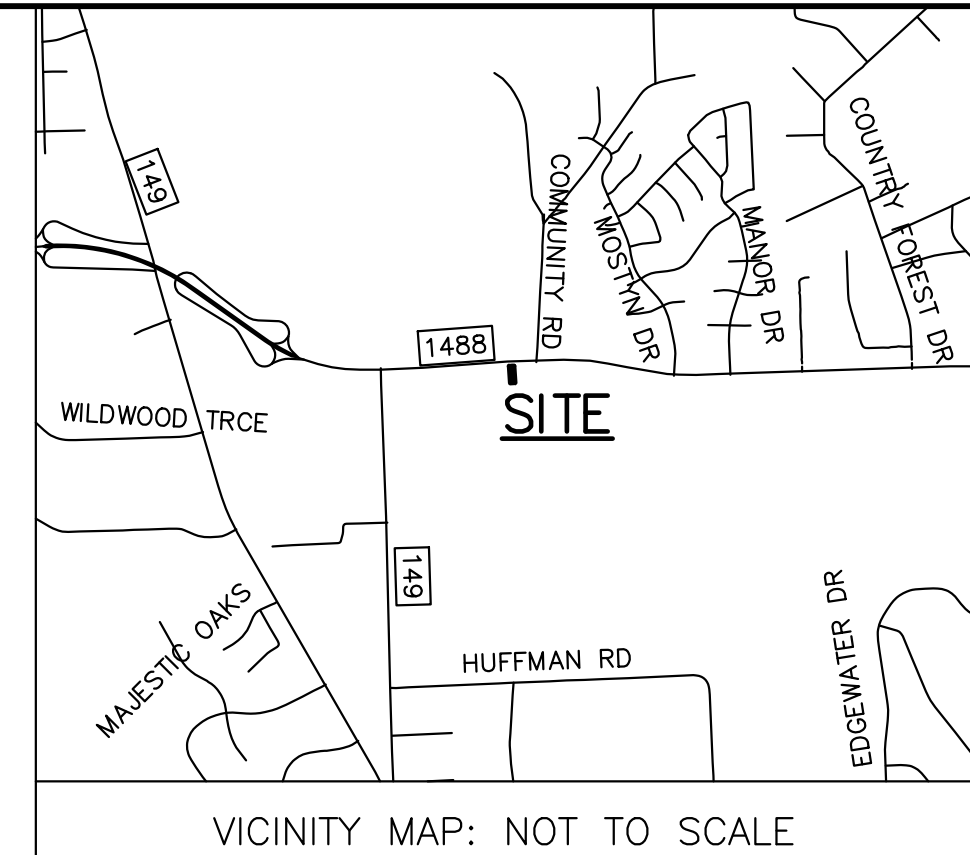
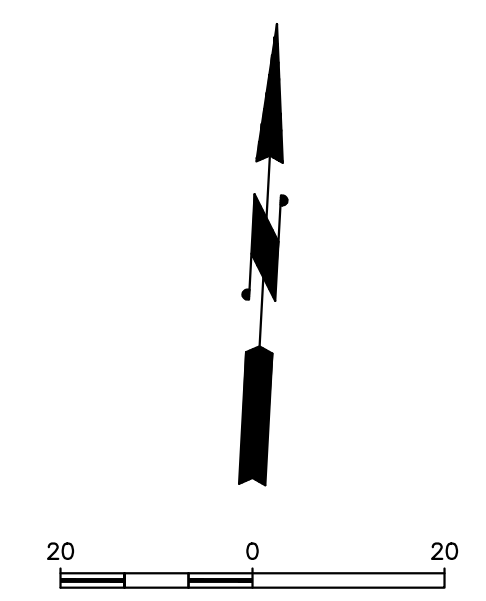
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V:\070693- SWIG Restaurant\Engineering\Drawings\C10 UTILITY PLAN.dwg, UTILITY PLAN, November 02, 2023, 10:21 AM, jplece



CAUTION NOTES:

- C1** CAUTION OVERHEAD POWER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
- C2** CAUTION UNDERGROUND TELECOMMUNICATIONS/FIBER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.
- C3** CAUTION UNDERGROUND GAS LINE. USE EXTREME CAUTION DURING CONSTRUCTION.



BENCHMARKS
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LEGEND

| | |
|--|-------------------------------|
| | EXISTING INLET |
| | EXISTING MANHOLE |
| | PROPOSED INLET |
| | PROPOSED MANHOLE |
| | PROPOSED MANHOLE w/ GRATE TOP |
| | PROPOSED CLEANOUT |
| | PROPOSED GATE VALVE |
| | PROPOSED WATER METER |
| | PROPOSED SANITARY SEWER |
| | PROPOSED STORM SEWER |
| | PROPOSED WATER LINE |

- WATERLINE NOTES**
- CONTRACTOR TO CONNECT TO EXISTING WATERLINE (R) WITH A 1" STANDARD SERVICE CONNECTION AND INSTALL A 1" DOMESTIC METER.
 - CONTRACTOR TO COORDINATE STUB LOCATION WITH BUILDING PLANS AND INSTALL A 1" TEMPORARY PLUG AND CLAMP. SEE PLUMBING PLANS FOR CONTINUATION.
 - CONTRACTOR TO INSTALL 1- 1"x1" TEE.
 - CONTRACTOR TO 1" IRRIGATION METER.
 - REFERENCE IRRIGATION PLANS FOR CONTINUATION AND BACKFLOW DETAILS, L2.01 & L2.02.

- SANITARY SEWER NOTES**
- PROPOSED CLEANOUT
4" FL 224.35 (NE,S)
 - PROPOSED CLEANOUT
4" FL 224.71 (N,S,W)
 - PROPOSED CLEANOUT
4" FL 226.29 (E)
4" FL 225.64 (S)
 - PROPOSED CLEANOUT
4" FL 226.44 (N,W)
 - PROPOSED SAMPLE WELL
4" FL 226.42 (N)
4" FL 225.75 (S)
 - PROPOSED GREASE TRAP (GB-50)
4" FL 226.46 (N,S)
 - PROPOSED CLEANOUT
4" FL 226.47 (S)
 - CONTRACTOR COORDINATE STUB LOCATION WITH BUILDING PLANS AND INSTALL A 4" TEMPORARY PLUG AND CLAMP. SEE PLUMBING FOR CONTINUATION.
 - CONTRACTOR TO FIELD VERIFY FLOWLINE. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCY.

UTILITY CROSSING TABLE

| SAN_FL | STM_FL |
|--------------------|----------------------------|
| ① 4" SAN FL 224.51 | 10" FL 228.04 (3.19' CLR.) |

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 T.B.P.E. Firm Registration No. 1-14-2019
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 Fax: (713) 862-5464
 Houston, Texas 77008
 www.bowmanconsulting.com

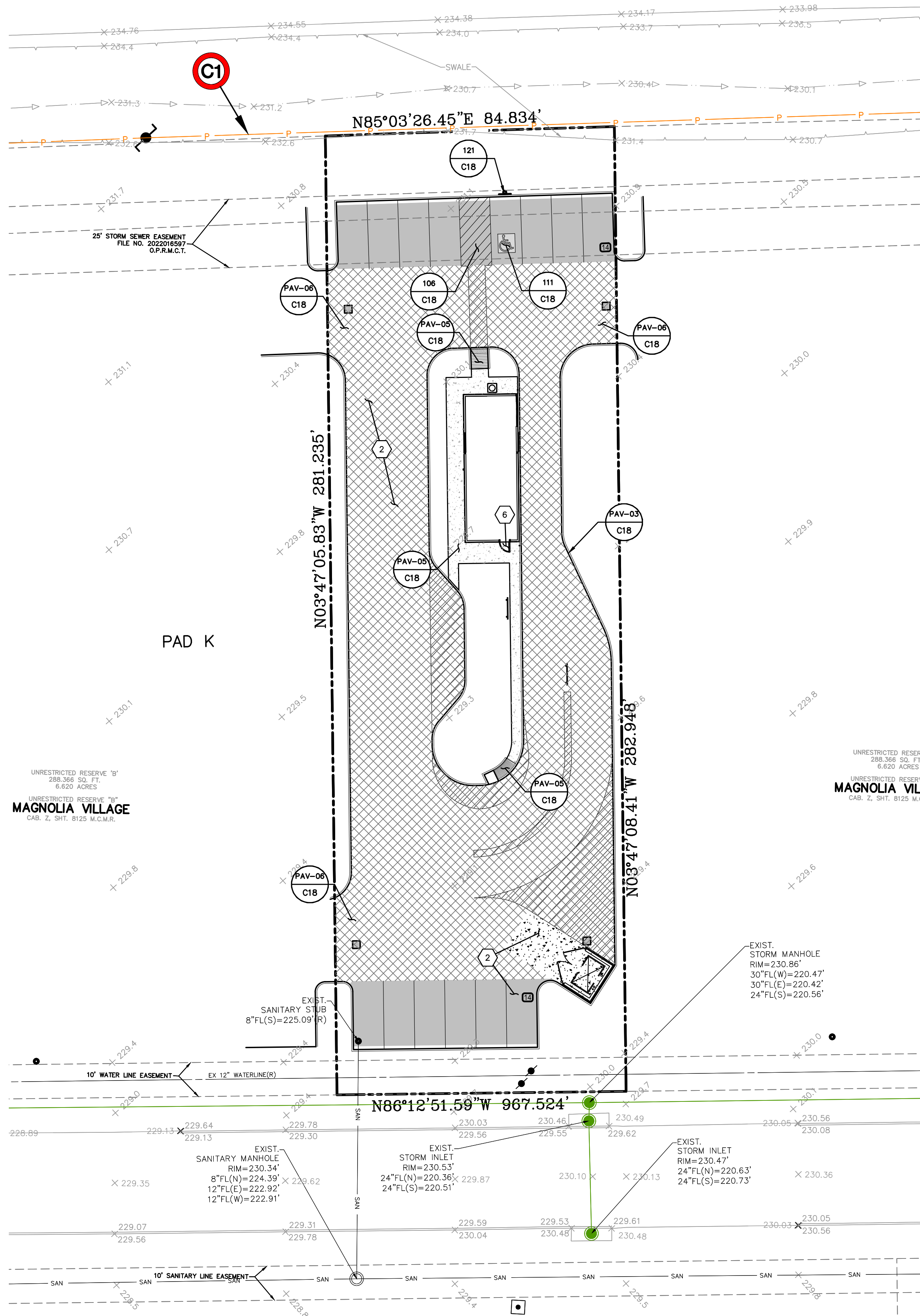
| REVISION | DATE | DESCRIPTION |
|----------|------------|------------------|
| 1 | 11/01/2023 | ISSUE FOR PERMIT |

UTILITY PLAN

SWIG RESTAURANT
MAGNOLIA, TX 77354

| | | |
|-----------------------|--------------|-------------|
| DESIGN MAJ | DRAWN JWP | CHKD RCL |
| JOB No. 070693-01-001 | | |
| SHEET C10 OF C19 | | |

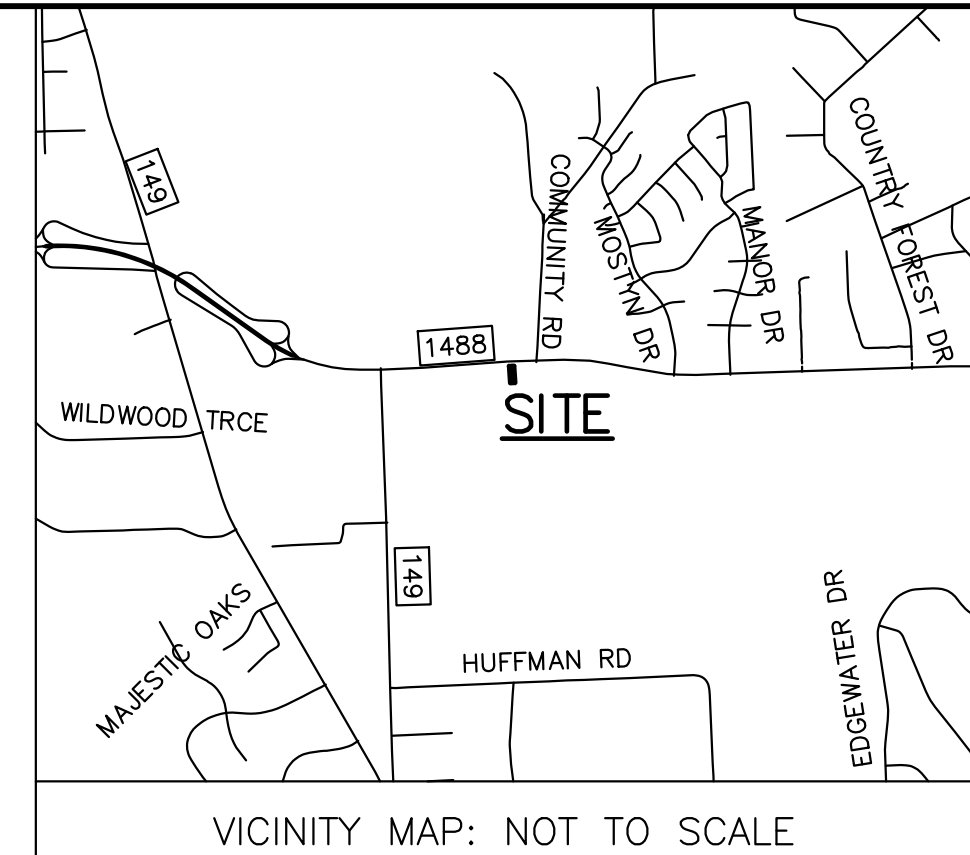
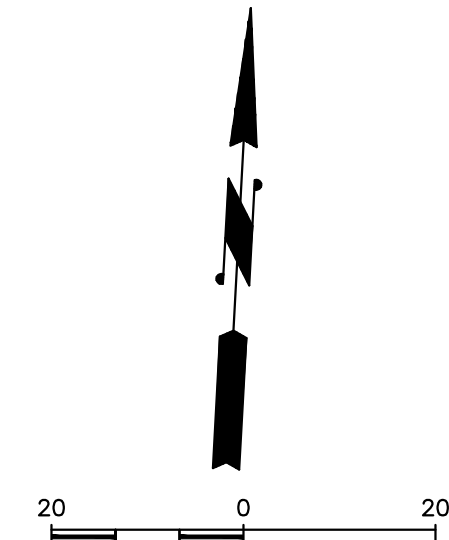
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CAUTION NOTES:

C1 CAUTION OVERHEAD POWER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.

C2 CAUTION UNDERGROUND TELECOMMUNICATIONS/FIBER LINES. USE EXTREME CAUTION DURING CONSTRUCTION.



BENCHMARKS
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 Aluminum disk stamped "100145R2" on the southeast corner of a bridge over spring creek on the northeast side of F.M. 2978, approximately 370' northwest of Bogs road. ELEVATION=155.54 NAVD88 (2001 ADJ.)

PAVING LEGEND

| | |
|--|---|
| | MATCH EXIST PUBLIC PAVING & THICKNESS |
| | 5-INCH (3,600 PSI) CONC. PAVEMENT OVER 6-INCH LIME COMPACTED SUBGRADE |
| | 6-INCH (3,600 PSI) CONC. PAVEMENT OVER 6-INCH LIME COMPACTED SUBGRADE |
| | 7-INCH (3,600 PSI) CONC. PAVEMENT OVER 6-INCH LIME COMPACTED SUBGRADE |
| | PROPOSED SAWCUT |
| | PROPOSED CURB |
| | EXPANSION JOINTS |
| | DETAIL NO. SHEET NO. |

- PAVING NOTES:**
- CONSTRUCT 5", 6" OR 7" REINFORCED CONCRETE OVER 9" OF SACRIFICED, COMPACTED NATIVE SOILS, COMPACTED LIME TREATED SUBGRADE WITH JOINT CONTROL PER SOILS REPORT TITLED, PLANNED NEW SWG RESTAURANT", PREPARED BY GTS, INC., PROJECT NO. 23-25014, DATED MAY 23, 2023, AND ANY ADDENDUMS THEREAFTER.
 - SEE PAVEMENT SECTION DETAIL PAV-03 ON SHEET C18 (TYP) AND SITE PREPARATION NOTES ON SHEET C2.
 - PROPOSED 5' SIDEWALK PER DETAIL NO. PAV-05.
 - CONTRACTOR TO PROVIDE 5' X 5' LANDING WITH LESS THAN 2% CROSS SLOPE AT ALL DOORS.
 - CONTRACTOR TO SEE LANDSCAPE PLANS FOR STAIR/HANDRAIL DETAILS.
 - CONTRACTOR TO SEE LANDSCAPE PLANS FOR AMENITY DETAILS.
 - EXPANSION JOINTS IN SIDEWALK TO LINE UP WITH EXPANSION JOINTS IN PAVEMENT (TYPICAL).

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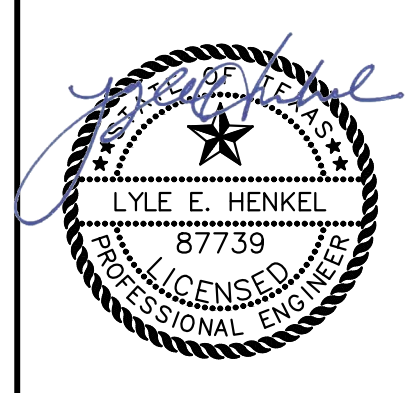
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PAVING PLAN

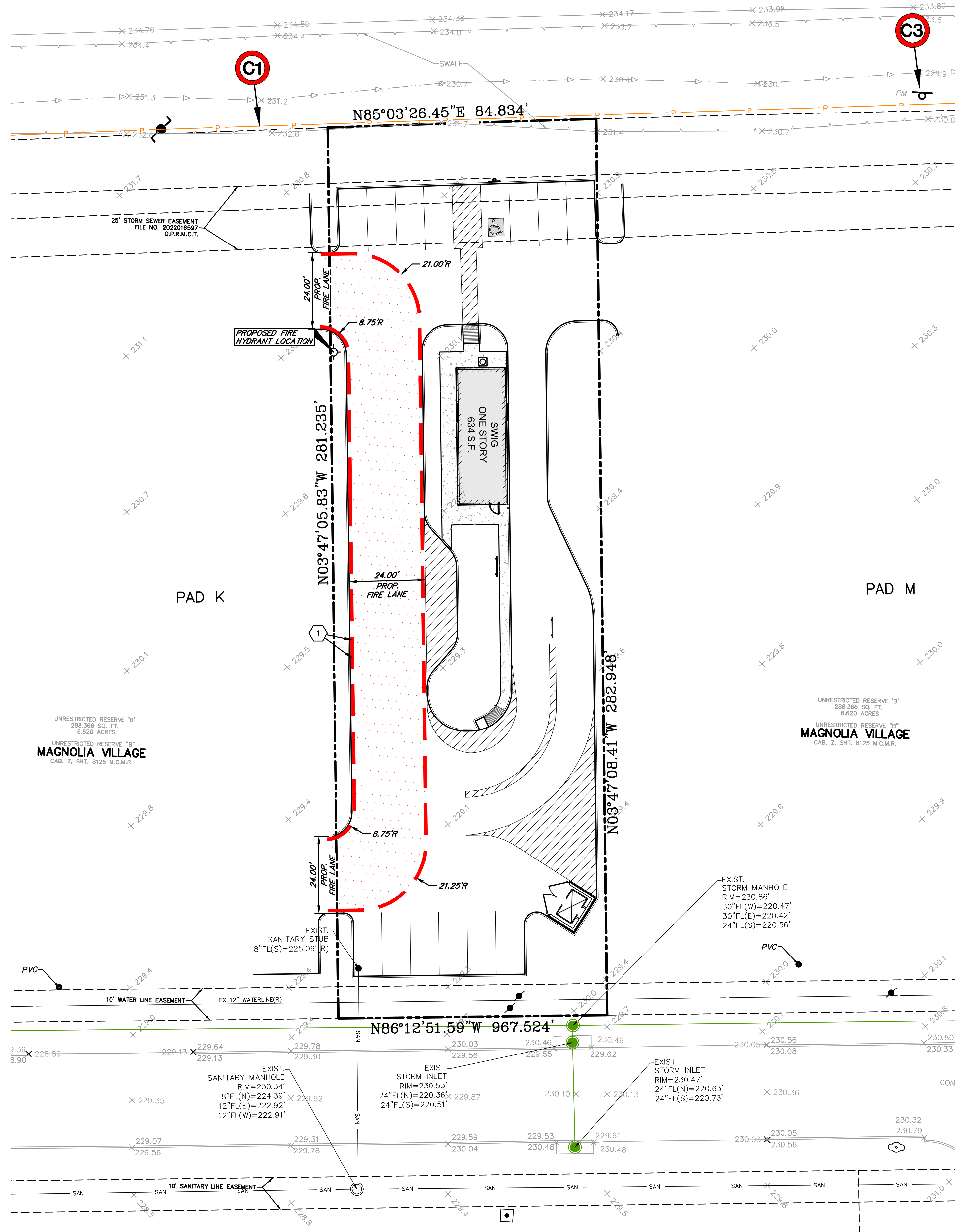
SWIG RESTAURANT

MAGNOLIA, TX 77354



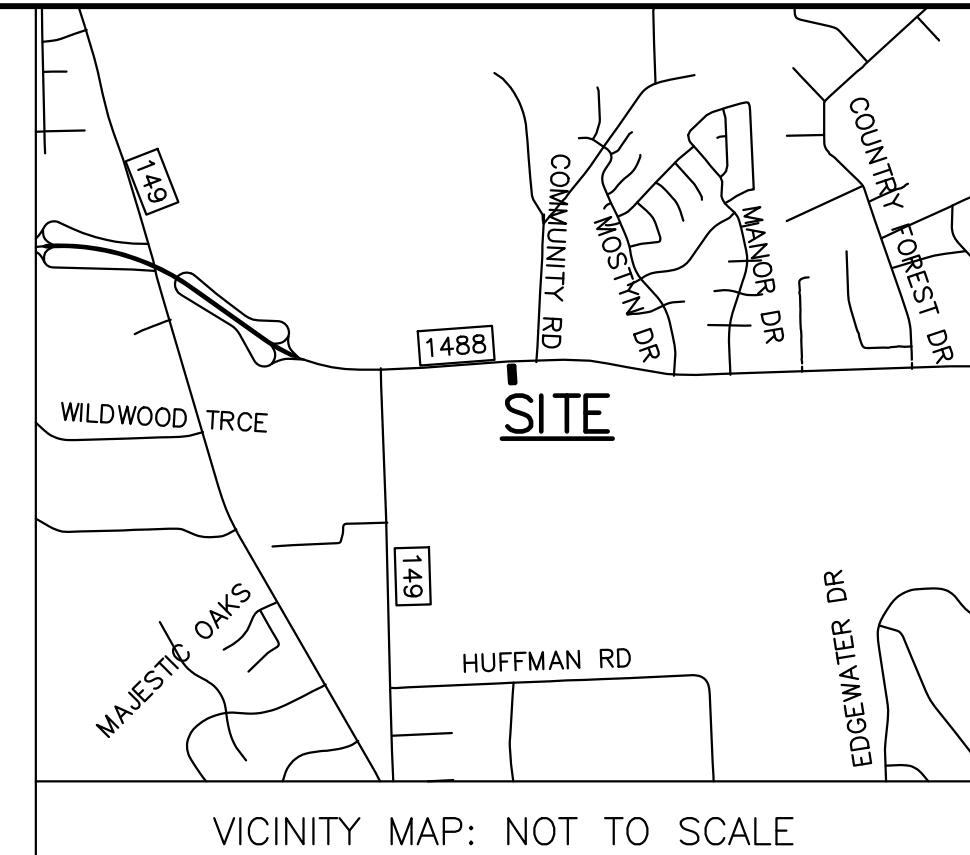
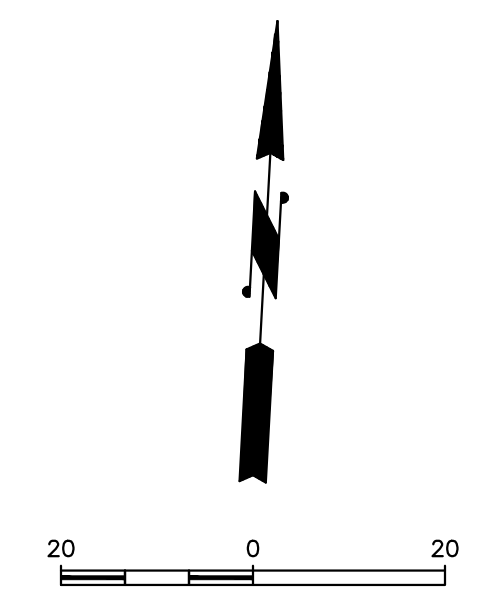
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| DESIGN | DRAWN | CHKD |
| MAJ | JIP | RCL |
| JOB No. 070693-01-001 | | |
| SHEET | | |
| C11 OF C19 | | |

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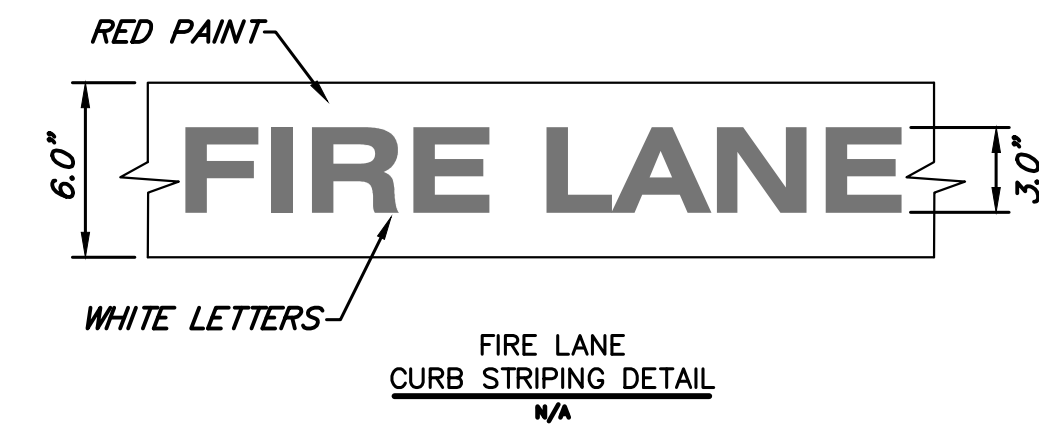
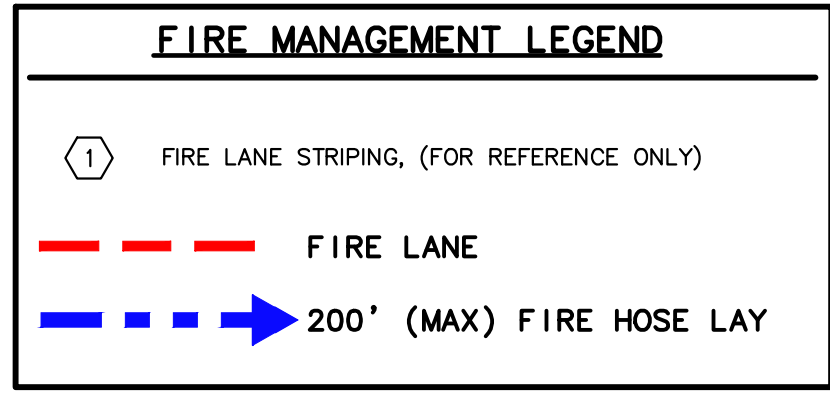
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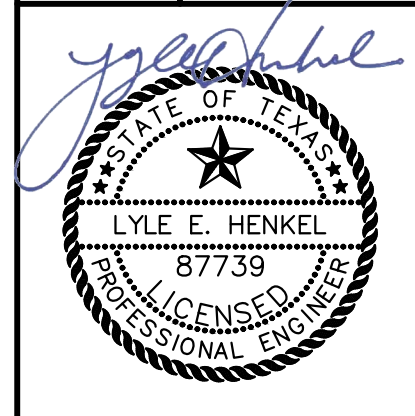
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 Suite 450
 Houston, Texas 77008

Phone: (713) 865-0332
 Fax: (713) 865-5464
 www.bowmanconsulting.com

| REVISION | DATE | DESCRIPTION |
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| 1 | 11/01/2023 | ISSUE FOR PERMIT |

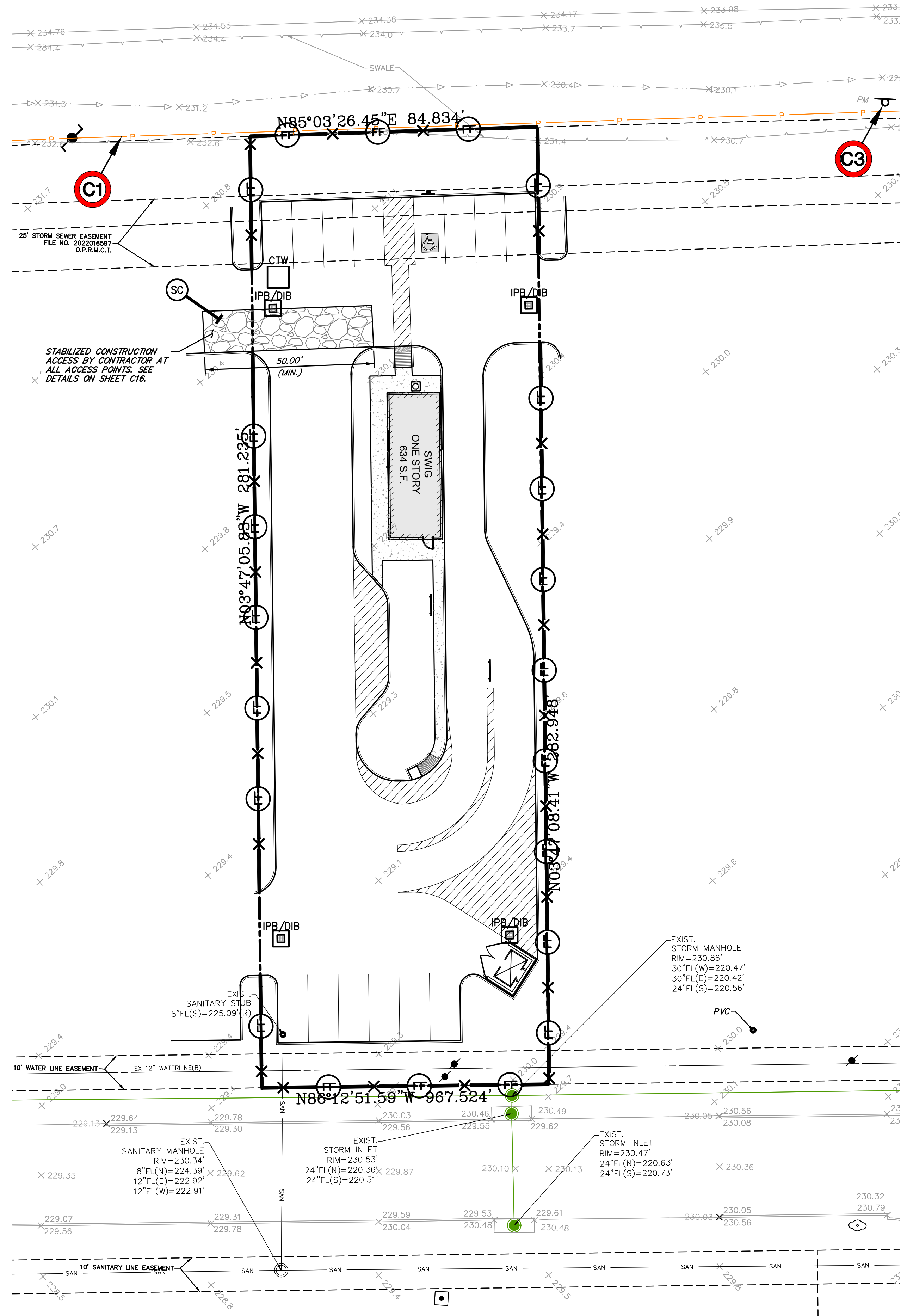
FIRE LANE PLAN

SWIG RESTAURANT
MAGNOLIA, TX 77354



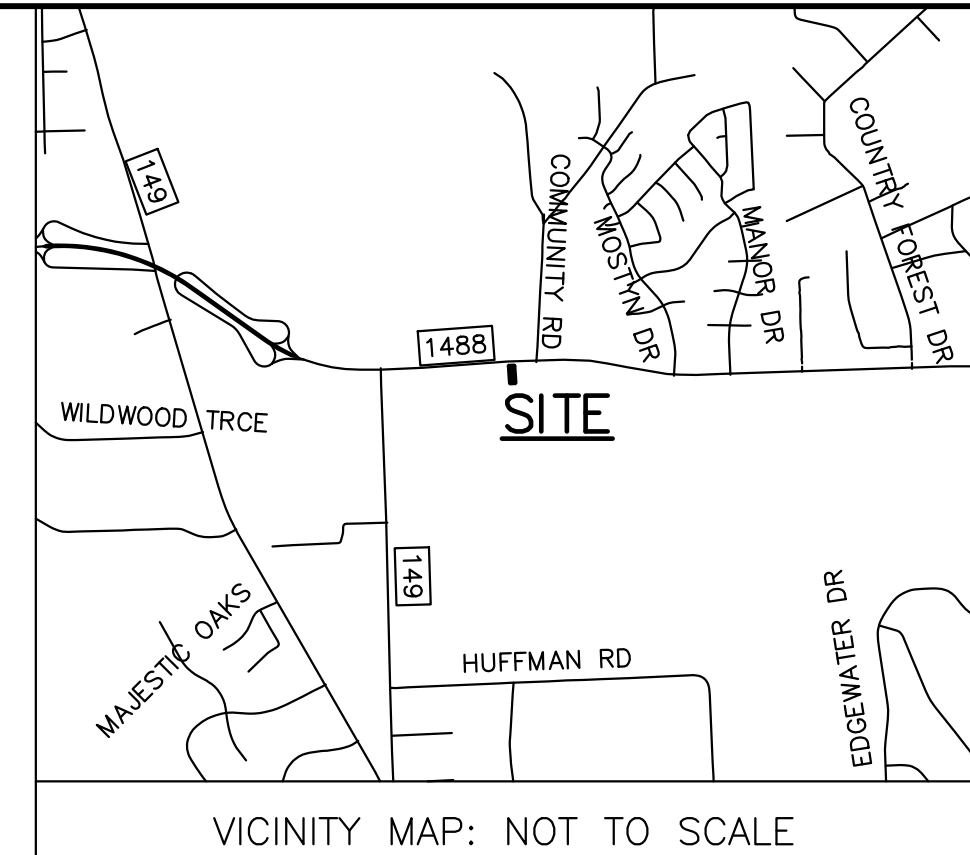
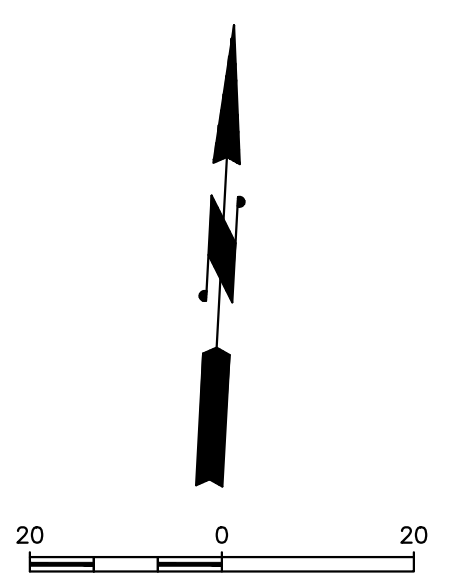
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| JOB No. 070693-01-001 | | |
| SHEET C12 OF C19 | | |

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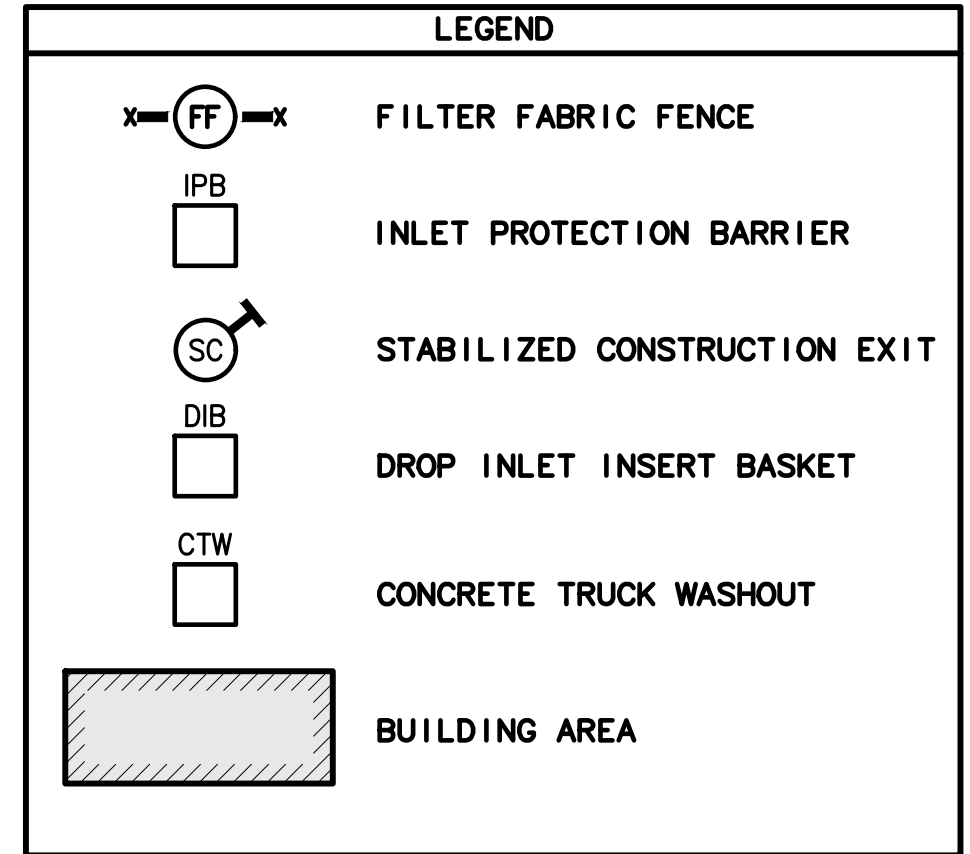
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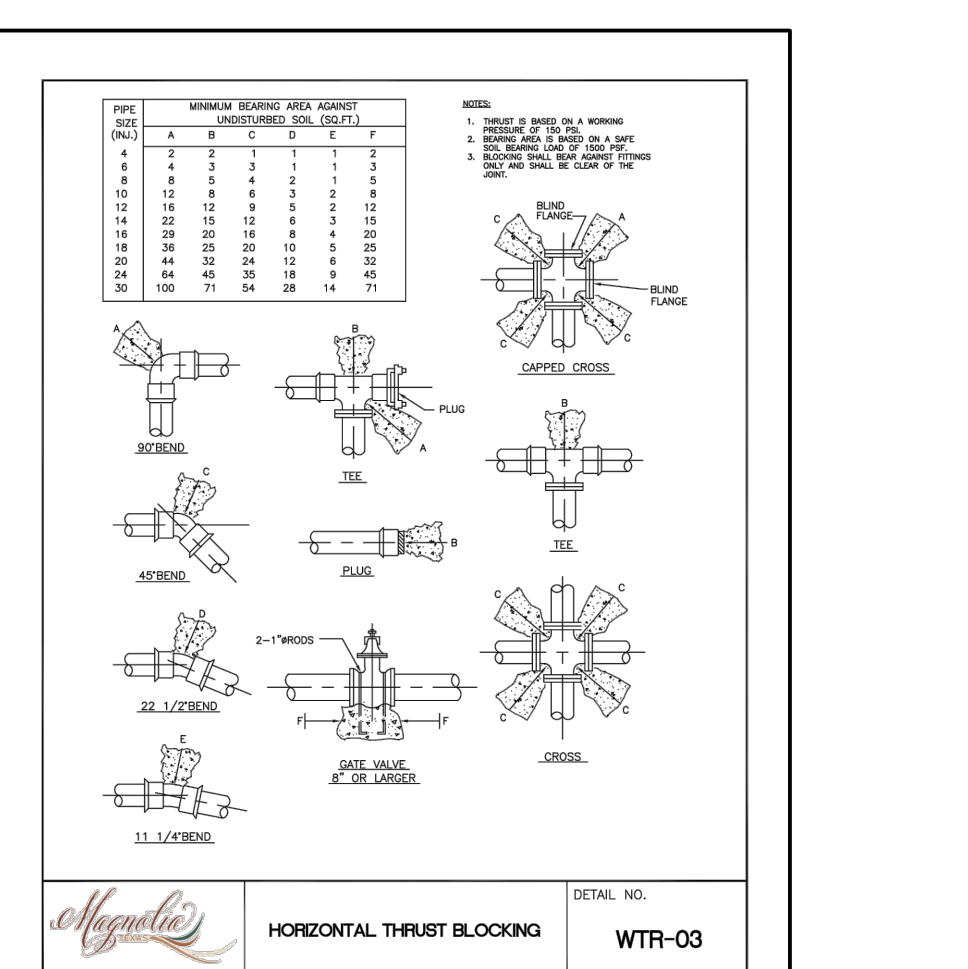
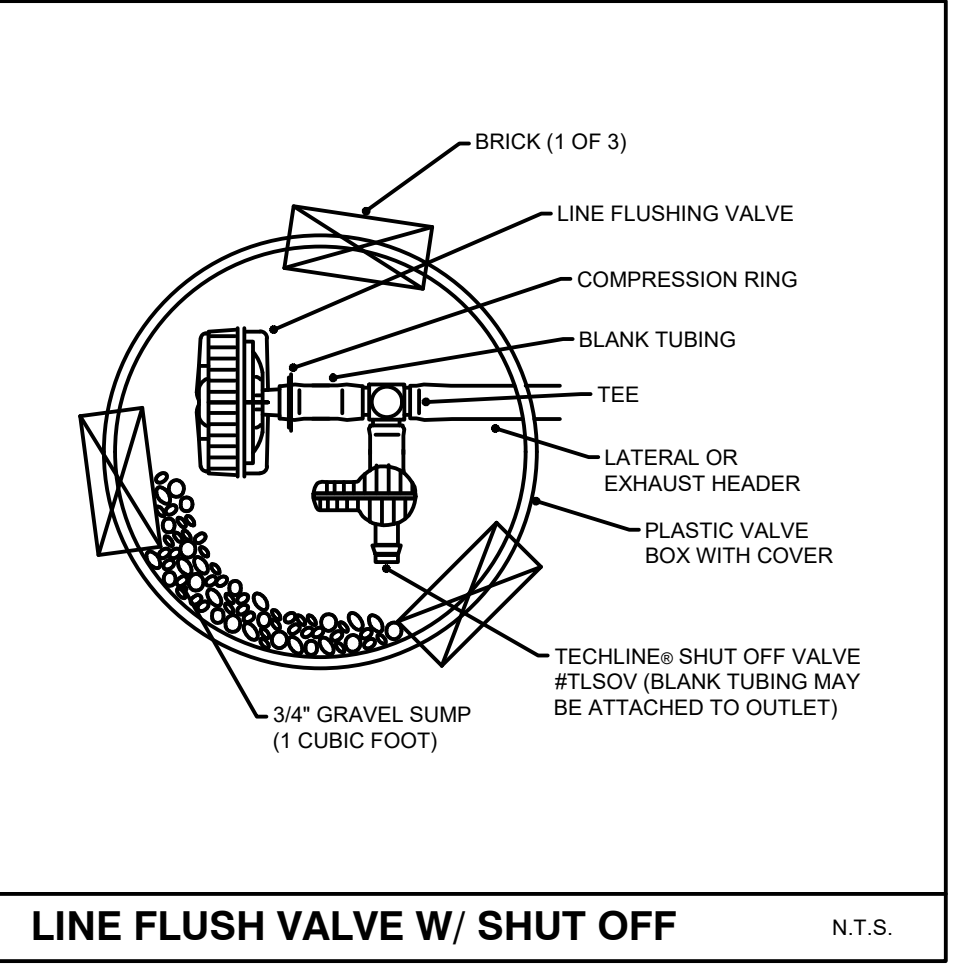
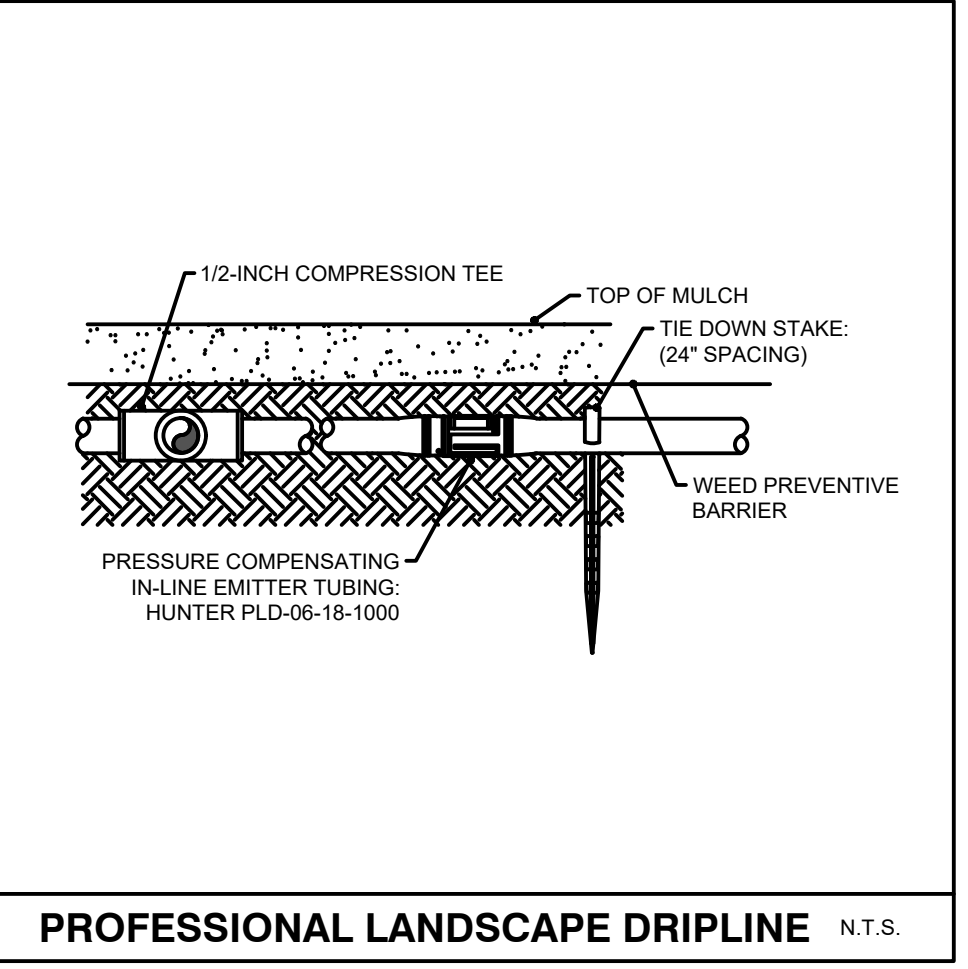
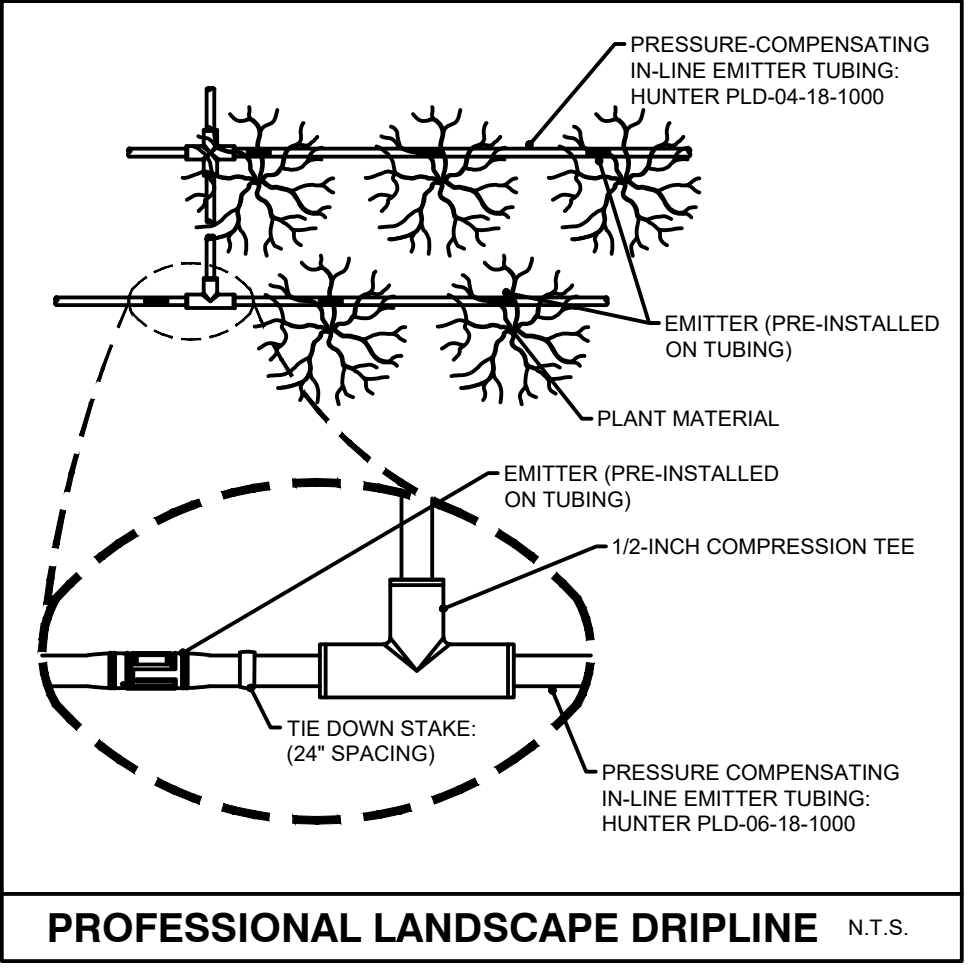
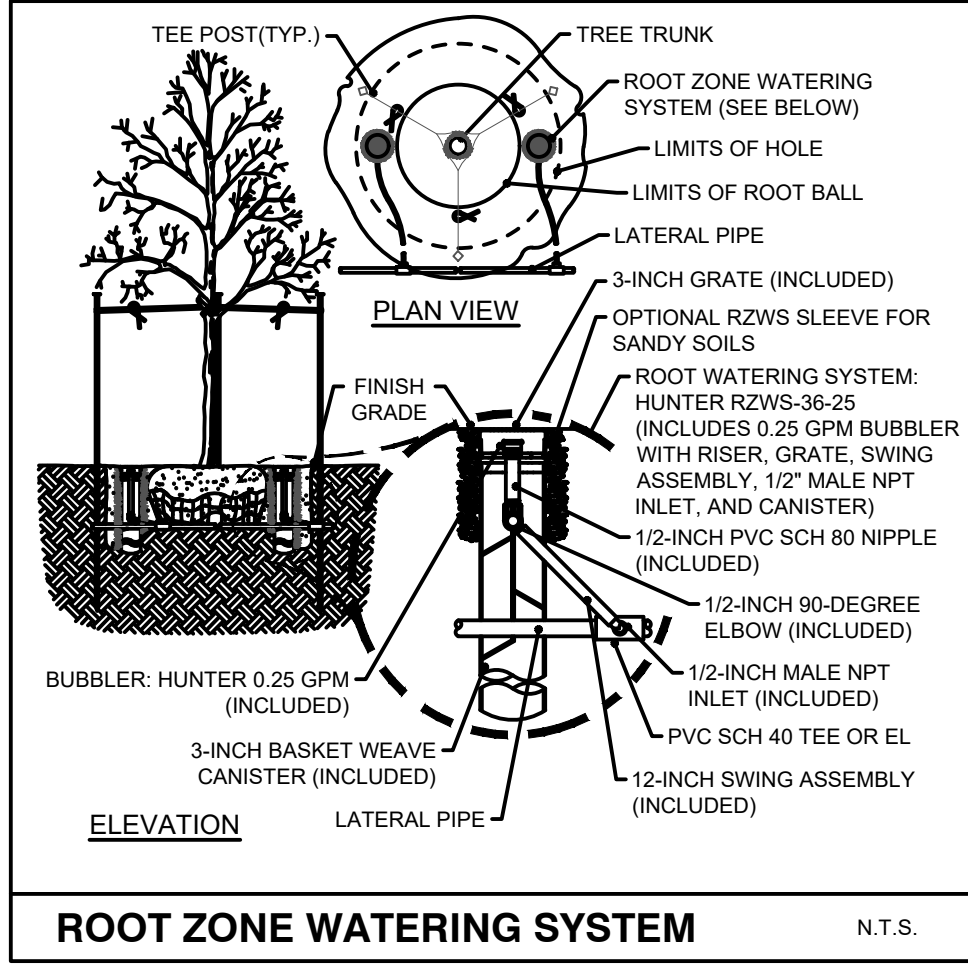
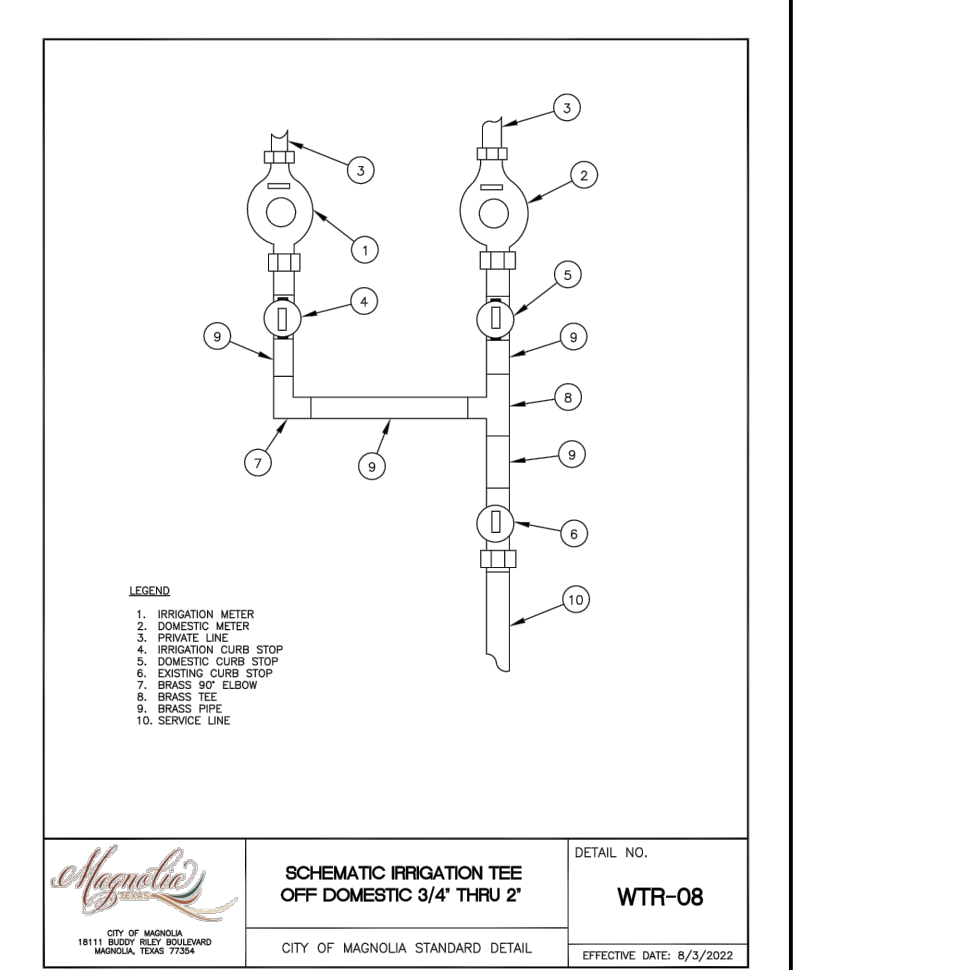
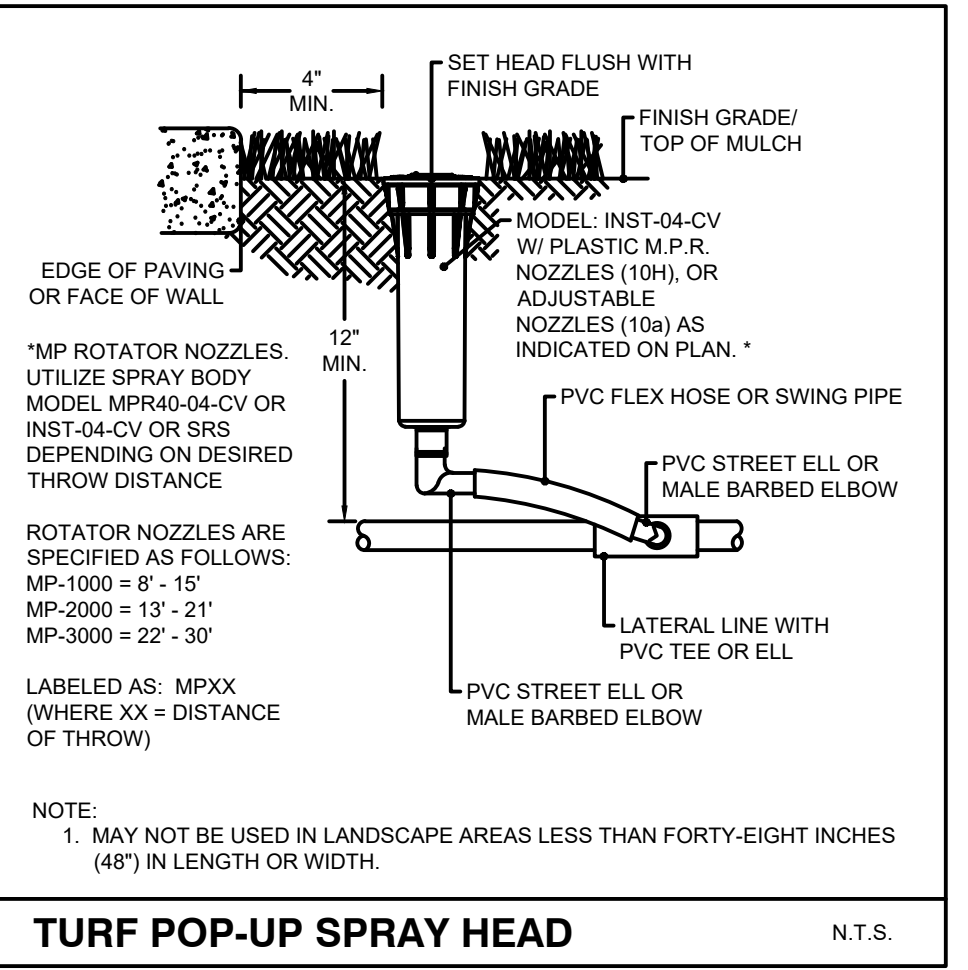
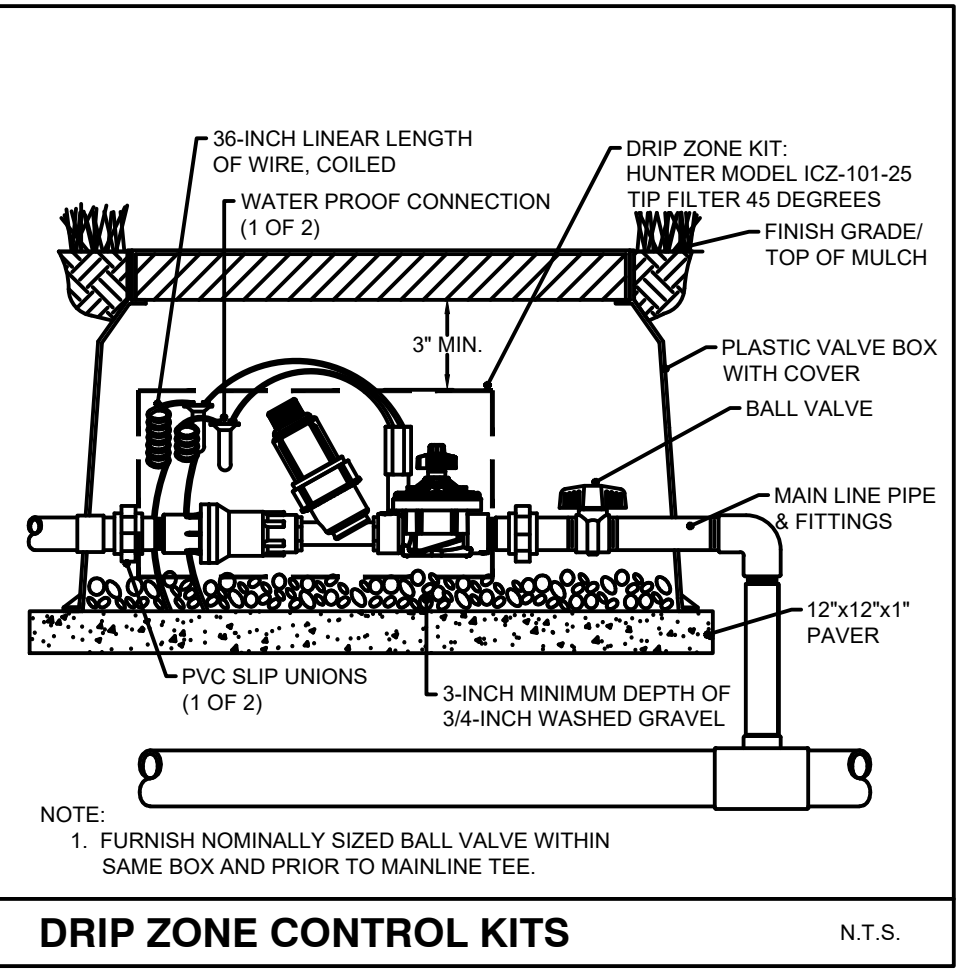
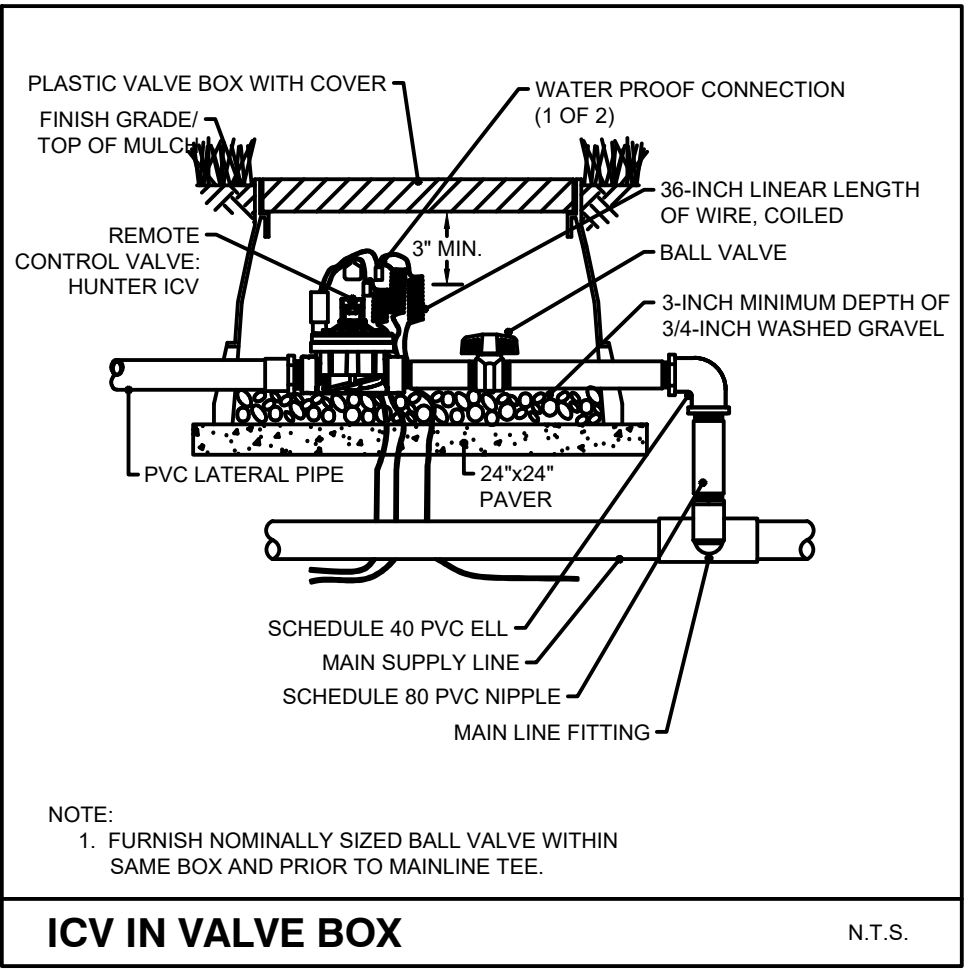
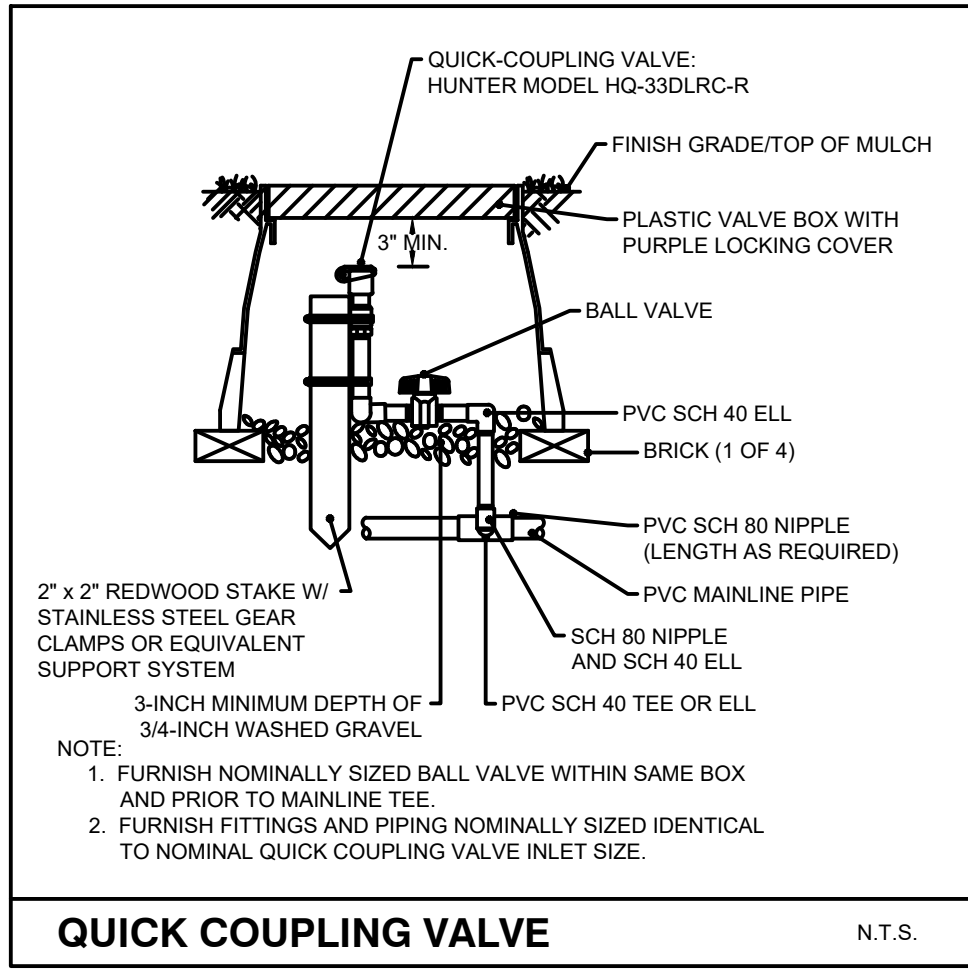
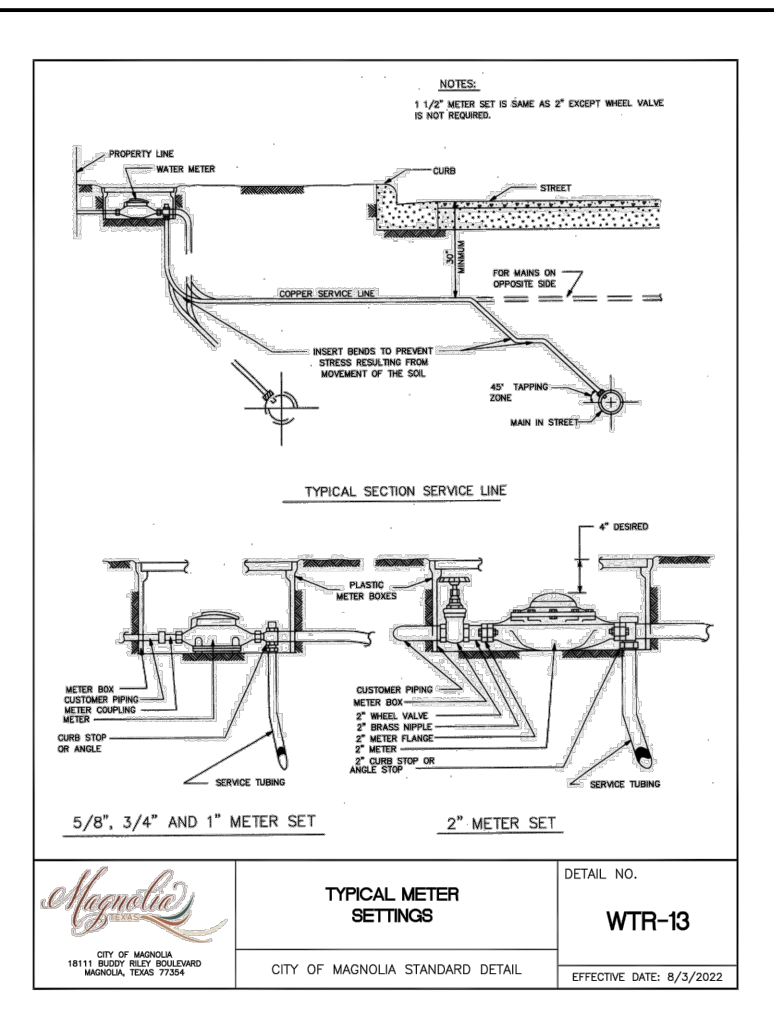
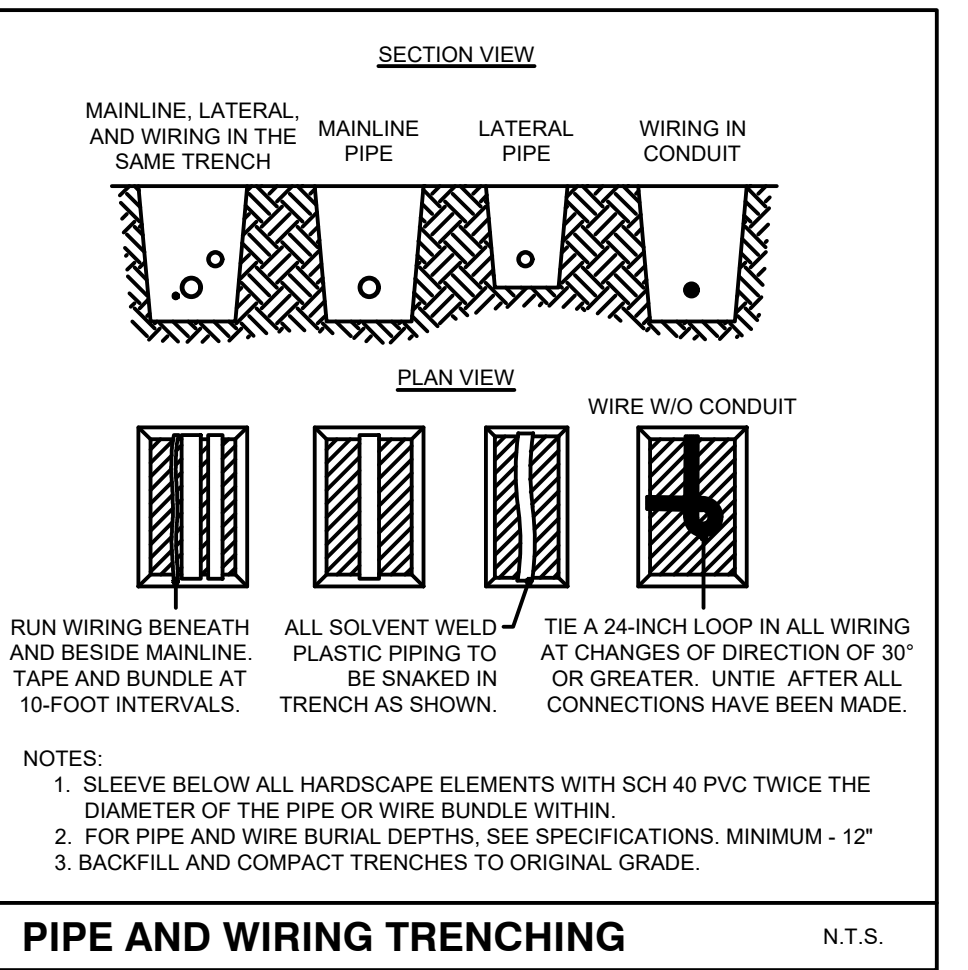
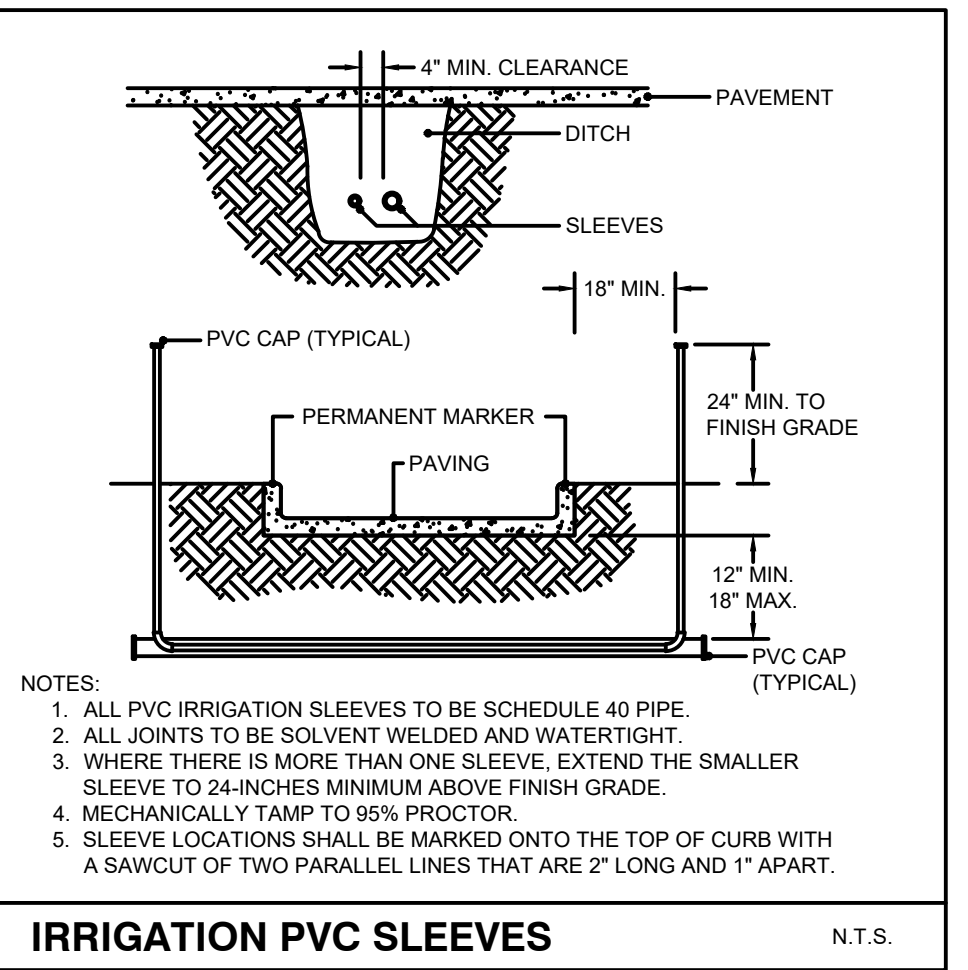
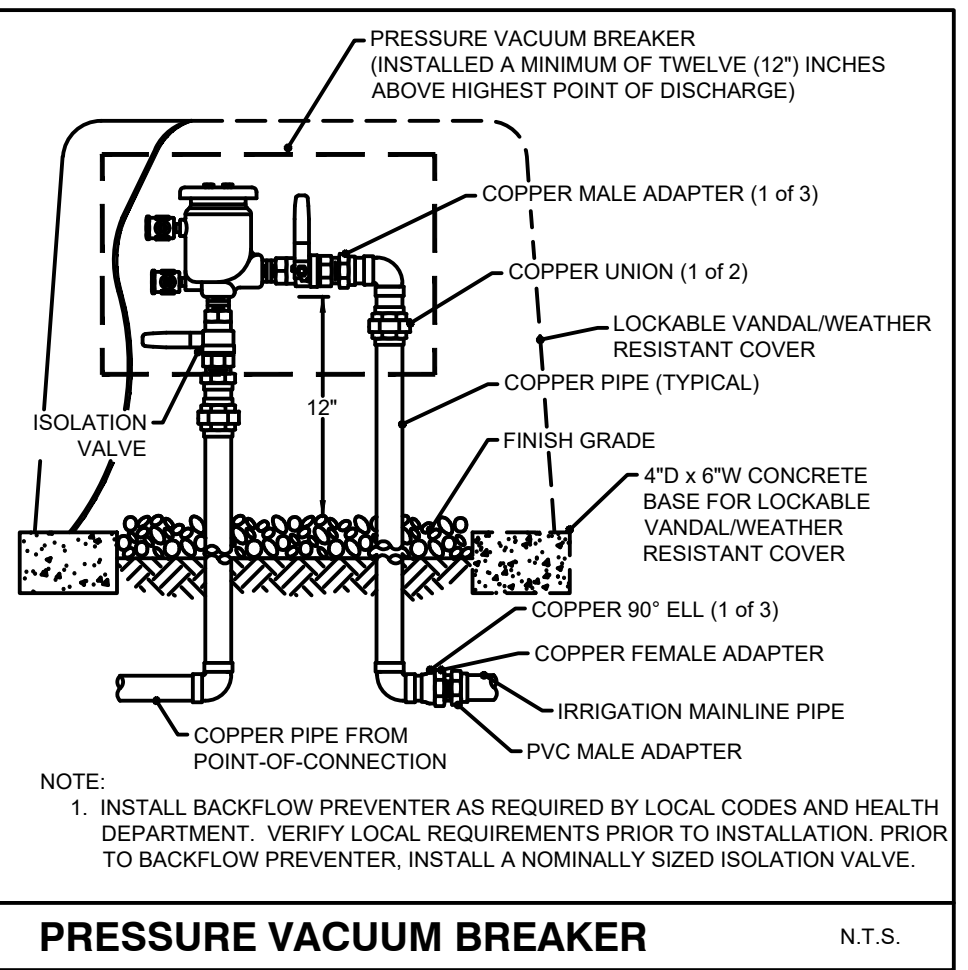
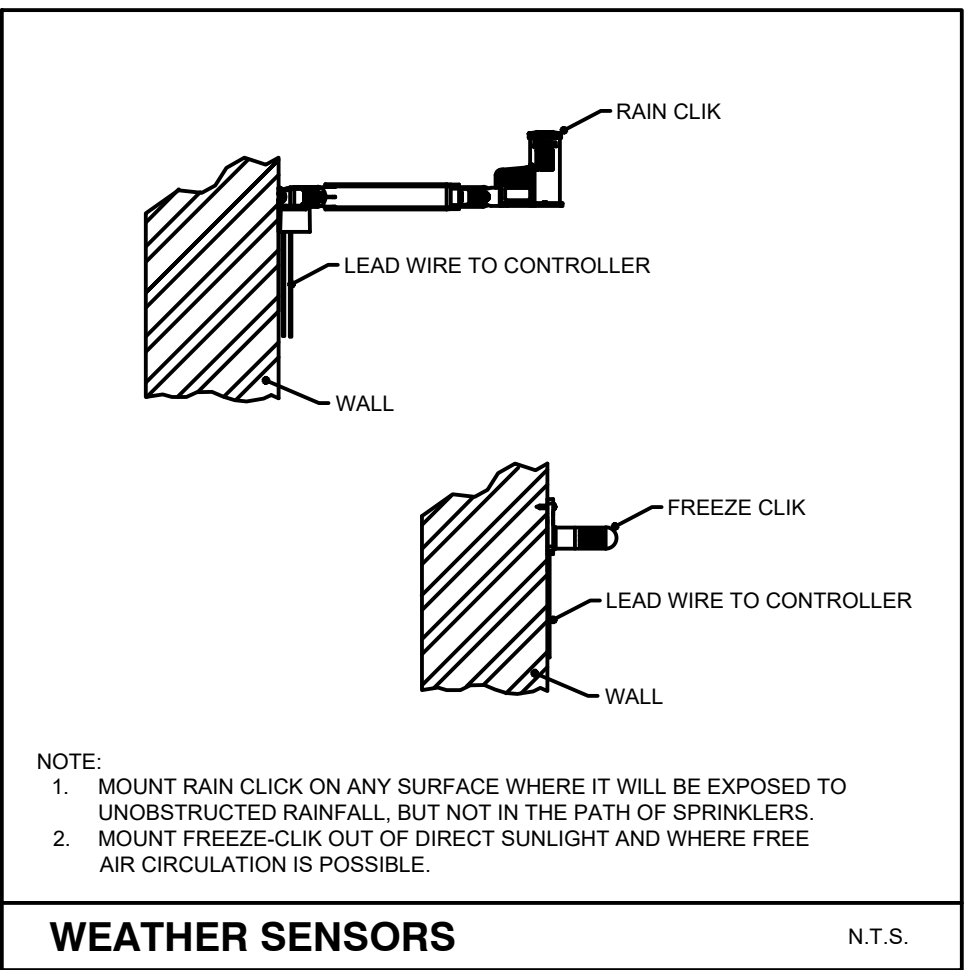
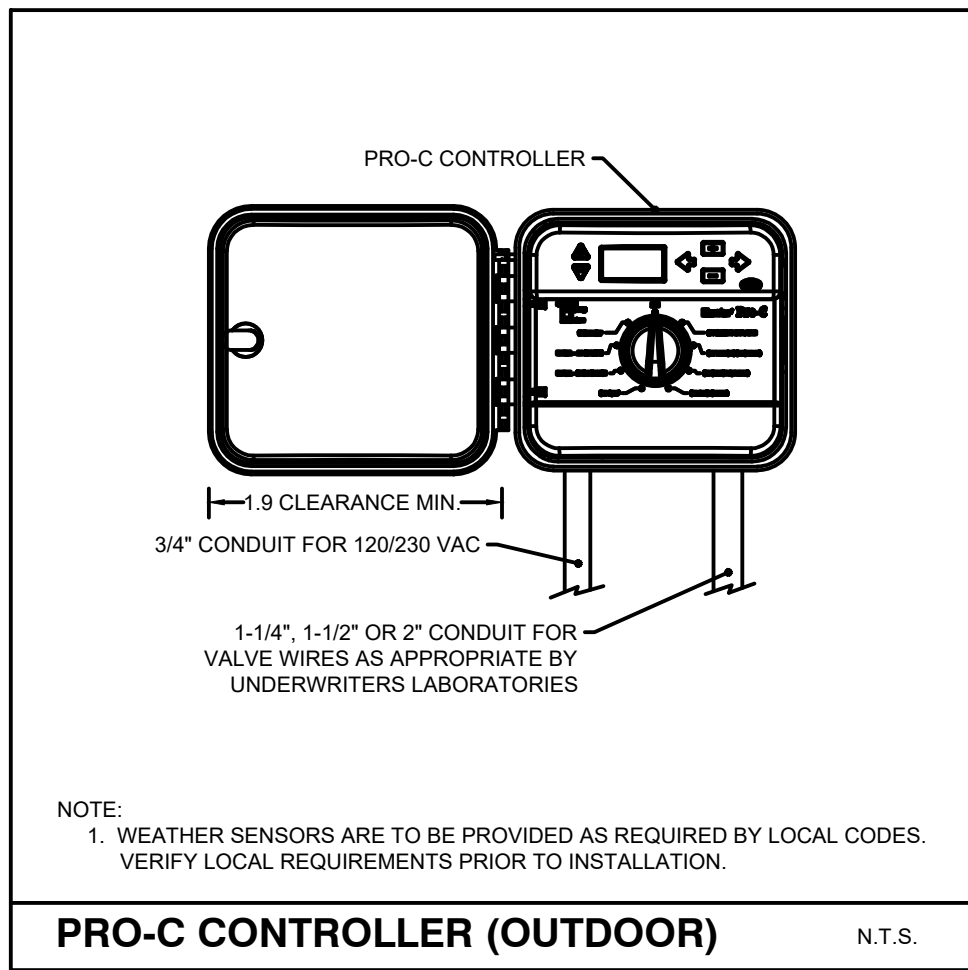
STORM WATER POLLUTION PREVENTION PLAN

SWIG RESTAURANT
MAGNOLIA, TX 77354



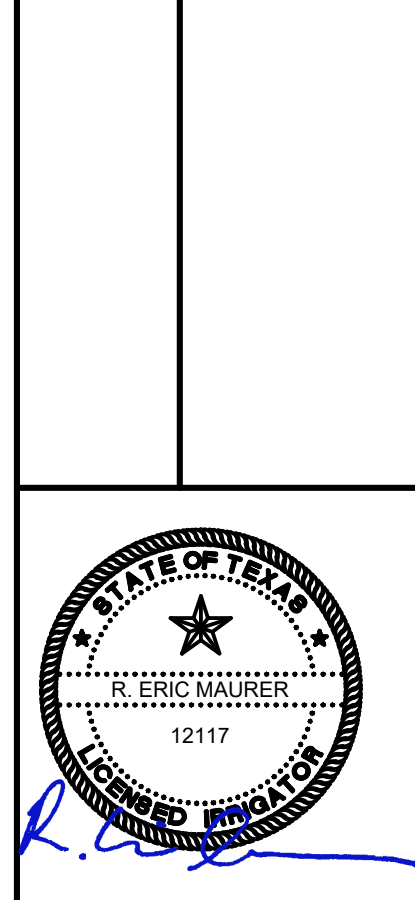
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| DESIGN MAJ | DRAWN JIP | CHKD RCL |
| JOB No. 070693-01-001 | | |
| SHEET C13 OF C19 | | |

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| REVISION | DATE | DESCRIPTION |
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| | | |
| | | |

IRRIGATION DETAILS
SWIG RESTAURANT
MAGNOLIA, TX 77354



| | | |
|-----------------------|-------|------|
| DESIGN | DRAWN | CHKD |
| MAJ | JIP | RGR |
| JOB No. 070693-01-001 | | |
| SHEET | | |
| L2.02 OF C19 | | |

17220 Katy Freeway, Suite 125 Houston, TX 77094 T: 281.675.7900 F: 281.675.7901

To: Mr. Tim Robertson
City Engineer
City of Magnolia

From: Gerardo Benavides, P.E.
Langan Engineering and Environmental

Date: 11/09/2023

Re: TX1112 Magnolia Mister Car Wash Response Letter
13321 FM 1488, Magnolia, Texas 77354
Magnolia, Texas
Langan Project No.: 510057201

Please see the following responses to City of Magnolia regarding subject project mentioned above. Also, please find Comments:

1. Re: Drawing No. CG104. The headings at the top of the tables with the drainage calculations do not include identifying information or units at the top of the table columns. Cannot review drainage calculation without this information clearly identified. **UPDATED – HEADINGS ON DRAINAGE TABLES ARE SHOWN.**
2. Re: Drawing No. CS003. City of Houston design manuals, specifications, and construction details are referenced in several notes. While some City of Houston standards can be utilized and are applicable, City of Magnolia standards take precedence over City of Houston standards and should be used where appropriate. **UPDATED – SHEETS ARE REFLECTED TO OMIT “HOUSTON” and CITY OF MAGNOLIA STANDARDS WILL TAKE PRECEDENCE OVER HOUSTON STANDARDS WHERE REQUIRED.**
3. On resubmittal, submit full plan set in single PDF. **UPDATED AND NOTED.**
4. Confirm that plans comply with all items on the site plan checklist city staff uses during plan reviews. Items on the checklist that are not applicable should be noted as such. Submit checklist with next resubmittal. **UPDATED – CHECKLIST SUBMITTED WITH RESUBMITTAL.**
5. Submit a photometric plan and lighting notes/details for site lighting. **UPDATED – PHOTOMETRIC PLAN SUBMITTED**
6. Confirm quantity and location of vehicular egress/ingress drives are acceptable to Fire Marshal for access by first responders. **UPDATE – SEE EMAIL FROM FIRE MARESHALL FOR ACCEPTABLE EGRESS/INGRESS DRIVES.**
7. Re: Drawing No. CU101. All 2” water meters are to be provided and installed by City of Magnolia. All other portions of water services (i.e. taps, service line, meter settings, etc.) to be provided and installed by owner’s contractor. **UPDATED – NOTED SHOWN ON CU101 SHEET.**
8. City personnel do not perform a plan review to confirm compliance with Texas Accessibility Standards (TAS). It is the responsibility of the owner and/or design professional to follow the procedures of the Texas Department of Licensing and Regulation - Architectural Barriers Program and comply with TAS. Please confirm and acknowledge. **UPDATE – CONFIRM AND ACKNOWLEDGED.**

Gerardo Benavides

From: Cross, Brian <brian.cross@mctx.org>
Sent: Friday, December 9, 2022 2:54 PM
To: Christopher Simmons
Cc: Gerardo Benavides
Subject: [External] RE: 28' Fire Access Drive

24 feet wide is acceptable for this project.



From: Christopher Simmons <csimmons@langan.com>
Sent: Friday, December 09, 2022 2:52 PM
To: Cross, Brian <brian.cross@mctx.org>
Cc: Gerardo Benavides <Gbenavides@langan.com>
Subject: [External] RE: 28' Fire Access Drive

CAUTION: This email originated from outside of Montgomery County, Texas! Do not click links, open attachments or reply, unless you recognize the sender's email address and know the content is safe!

We would prefer a 24' fire lane.

Chris Simmons
Staff Engineer

LANGAN

Direct: 281.675.7955
[File Sharing Link](#)
www.langan.com

TEXAS NEW JERSEY NEW YORK CONNECTICUT MASSACHUSETTS PENNSYLVANIA WASHINGTON, DC
VIRGINIA OHIO ILLINOIS FLORIDA ARIZONA COLORADO WASHINGTON CALIFORNIA
ATHENS CALGARY DUBAI LONDON PANAMA

A Carbon-Neutral Firm | Langan's goal is to be **SAFE (Stay Accident Free Everyday)**

Build your career with a premier firm. [Join Langan.](#)

From: Cross, Brian <brian.cross@mctx.org>
Sent: Friday, December 9, 2022 2:45 PM
To: Christopher Simmons <csimmons@langan.com>
Cc: Gerardo Benavides <Gbenavides@langan.com>
Subject: [External] RE: 28' Fire Access Drive

What size fire lane do yall want to have?



From: Christopher Simmons <csimmons@langan.com>
Sent: Friday, December 09, 2022 2:33 PM
To: Cross, Brian <brian.cross@mctx.org>
Cc: Gerardo Benavides <Gbenavides@langan.com>
Subject: [External] RE: 28' Fire Access Drive

CAUTION: This email originated from outside of Montgomery County, Texas! Do not click links, open attachments or reply, unless you recognize the sender's email address and know the content is safe!

Brian,

I apologize for the late response as I have been waiting to hear back from the architect. The towers are 35' high, and the tunnel at 25'-8". The average roof height would be below 35'. Please see attached documents for further clarification, hope this helps.

Thanks,

Chris Simmons
Staff Engineer

LANGAN

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TEXAS NEW JERSEY NEW YORK CONNECTICUT MASSACHUSETTS PENNSYLVANIA WASHINGTON, DC
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Site Plan Application Form

This form shall be submitted with each application for a site plan.

CONTACT INFORMATION

Applicant

Property Owner (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Architect (if different)

Engineer/Land Surveyor (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Project Name: _____ Lot#: _____ Reviewer: _____

PROPERTY PROFILE

Site Address _____

Legal Description _____
and being a portion of Unrestricted Reserve "B" in MAGNOLIA VILLAGE, the plat thereof recorded in Cabinet Z, Sheet 8125 of the Montgomery County Map Records
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

Proposed Use of the Property

Total Area of Site _____

Project Name: _____ Lot#: _____ Reviewer: _____

Required Information

- One (1) completed application
- Five (5) copies of a complete submittal package, minimum 24 in. by 36 in. sheet size Submitted electronically
- All fees Previously Paid
- Proposed generalized land uses
- Areas counted towards open space ratio or landscape surface ratio (as appropriate), including annotation of the land area and general function (e.g., buffer, drainage, passive recreation, etc.) of each open space tract or designated landscape area See sheet CS101
- Areas intended for dedication to City or other public entity
- Areas intended for common ownership by property owners' association
- Proposed site improvements, showing:
 - Location and dimensions (length and width of segments; curb radii) of proposed streets, sidewalks, and trails, including connections to existing streets, sidewalks, and trails
 - Access spacing and corner clearance measurements
 - Proposed building footprints and required and actual setback distances (not required for site plans that support single-family and duplex subdivision plats)
 - Proposed utility easements, including type and size of utility lines or facilities, and spacing of fire hydrants
 - Proposed drainage facilities and easements
 - Proposed motor vehicle parking spaces, including typical dimensions, spaces angles, and drive aisle widths, and location and dimensions of disabled parking spaces, and accessible routes
 - Proposed bicycle parking areas, number of spaces, and dimensions of maneuvering area around bicycle racks
- N/A Proposed loading areas, including loading space dimensions
 - Proposed garbage collection locations, including distances from dumpster enclosures to property lines
 - Proposed fire and emergency access lanes
 - Proposed location of street lighting
- N/A Location, materials, and height of proposed fences and walls
 - Required and proposed bufferyard widths
- Building elevation drawings, showing:
 - Building materials for all sides of nonresidential, mixed-use, and multi-family buildings
 - Materials and height of all structural screening
 - Canopies and awnings
 - Building heights
- Tables and calculations, showing:
 - Area of parcel proposed for development
 - Required and provided open space ratio or landscaped surface ratio
 - Base site area and net buildable area
 - Maximum and actual gross and net density
 - Total floor area for each proposed use
 - Lot, parcel, and tract areas (if a subdivision is proposed)

Project Name: _____ Lot#: _____ Reviewer: _____

- Parking spaces required and provided, including disabled parking spaces and bicycle parking spaces; any credits or shared parking calculations; and whether spaces are on-street or off-street
- Park dedication
- Providers of sanitary sewer, potable water, telephone, and gas utilities
- N/A Elementary, middle, and high school (if residential development is proposed)
- N/A Narrative sheets or documents:
 - N/A Required justifications for cul-de-sacs, if cul-de-sacs are proposed
 - N/A Parking study, if used to reduce parking requirements
 - N/A Traffic study, or calculation of vehicle trips that shows that a complete traffic study is not necessary to demonstrate that the proposal will not significantly impact the transportation system
- Grading, drainage, and erosion control plans and drainage study
- Copy of recorded plat
- Copy of concept plan (if site is part of a larger development)

I, _____ (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.

Gerardo Benavides

Signature of Applicant

Date

Project Name: _____ Lot#: _____ Reviewer: _____

SITE DEVELOPMENT DRAWINGS FOR TX1112 MAGNOLIA MISTER CAR WASH MAGNOLIA, TX 77354

Owner/Prepared for:



222 East 5th Street
Tucson, AZ 85705
(520) 615-4000

Prepared by:

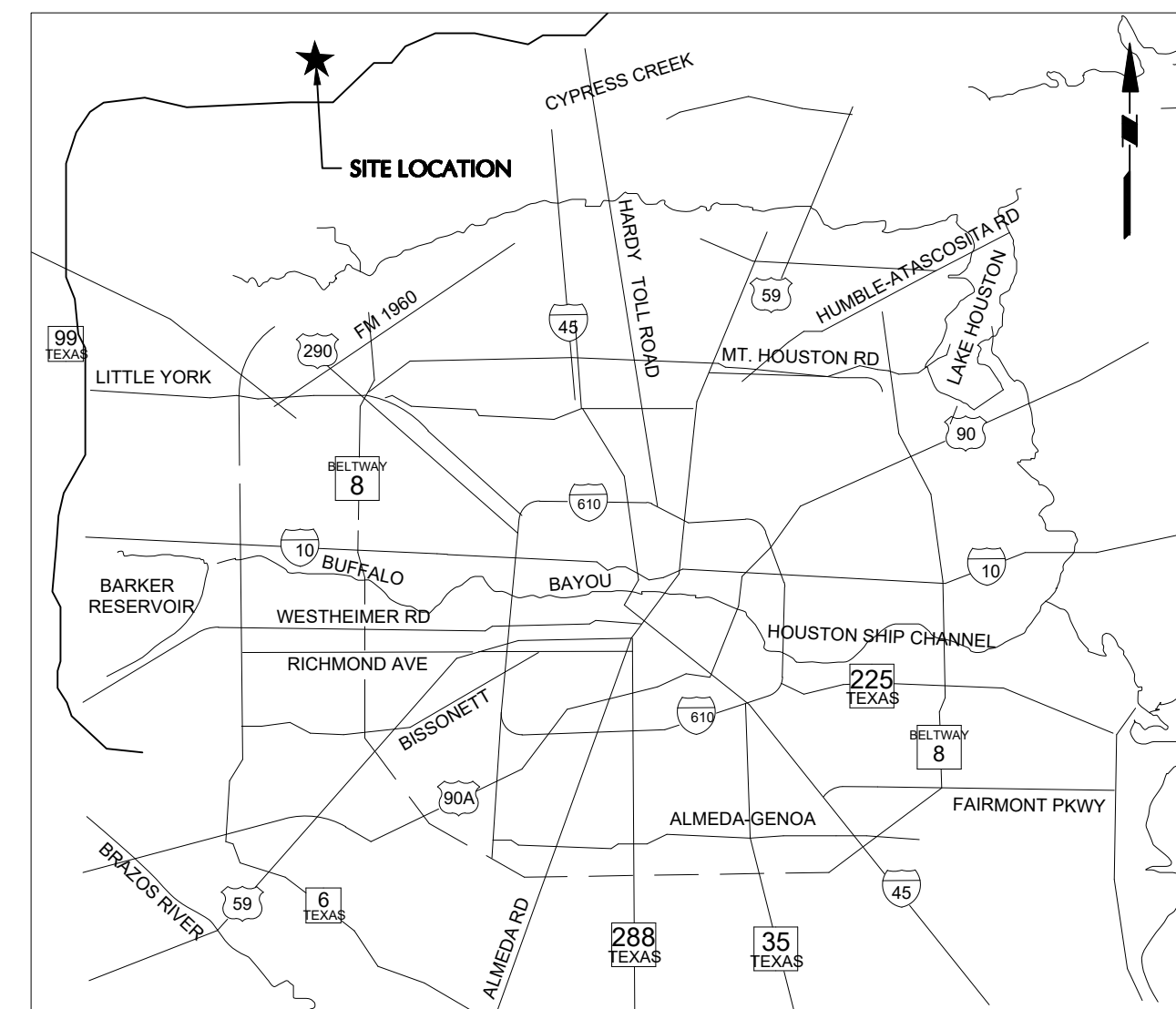
LANGAN

c/o: Gerardo Benavides, PE
17220 Katy Freeway, Suite 125
Houston, TX 77094
(281) 675-7920

Surveyor:



1505 S TEXAS 6 #180
Houston, TX 77077
(281) 760-1656



MONTGOMERY COUNTY, TEXAS
VICINITY MAP - NTS
KEYMAP: 290L



MONTGOMERY COUNTY, TEXAS
LOCATION MAP - NTS

ON-SITE DRAWING INDEX

| NUMBER | TITLE | ORIGINAL DATE | DRAWING REVISED |
|--------|---|---------------|-----------------|
| CS001 | COVER SHEET | 09/01/2023 | ----- |
| ---- | PLAT MAP | 02/28/2021 | ----- |
| ---- | PLAT NOTES | 02/28/2021 | ----- |
| ---- | ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY | 11/17/2021 | ----- |
| CS003 | GENERAL NOTES AND LEGEND | 09/01/2023 | ----- |
| CS102 | SITE PLAN | 09/01/2023 | ----- |
| CG101 | GRADING PLAN | 09/01/2023 | ----- |
| CG103 | EXISTING DRAINAGE AREA MAP | 09/01/2023 | ----- |
| CG104 | PROPOSED DRAINAGE AREA MAP | 09/01/2023 | ----- |
| CU101 | UTILITY PLAN | 09/01/2023 | ----- |
| CE101 | SOIL EROSION & SEDIMENT CONTROL PLAN | 09/01/2023 | ----- |
| LL101 | LIGHTING PLAN | 09/01/2023 | ----- |
| LP101 | LANDSCAPE PLANTING PLAN | 09/01/2023 | ----- |
| CE501 | SOIL EROSION & SEDIMENT CONTROL DETAILS | 09/01/2023 | ----- |
| CS501 | SITE DETAILS I | 09/01/2023 | ----- |
| CS502 | SITE DETAILS II | 09/01/2023 | ----- |
| CS503 | SITE DETAILS III | 09/01/2023 | ----- |
| CS504 | SITE DETAILS IV | 09/01/2023 | ----- |
| LL501 | LIGHTING NOTES & DETAILS | 09/01/2023 | ----- |
| LP501 | LANDSCAPE NOTES AND DETAILS | 09/01/2023 | ----- |

TEXAS UTILITIES CODE TITLE 5 CHAPTER 251

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER THE STATE OF TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION.

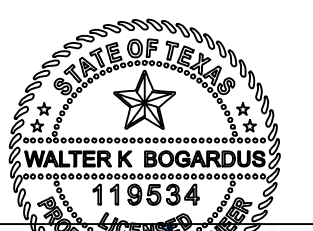
TO OBTAIN ADDITIONAL UTILITY INFORMATION OR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION, CALL TEXAS 8-1-1 BY DIALING 8-1-1 FROM ANYWHERE IN THE STATE, OR BY DIALING 1-800-344-8377. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITY LINES IN THE AREA.

CALL BEFORE YOU DIG !!
TEXAS LAW REQUIRES A MINIMUM
(2) WORKING DAYS NOTICE
BEFORE EXCAVATION
(EXCLUDING WEEKENDS AND STATE HOLIDAYS)
- STOP & CALL -
TEXAS 8-1-1
1-800-344-8377

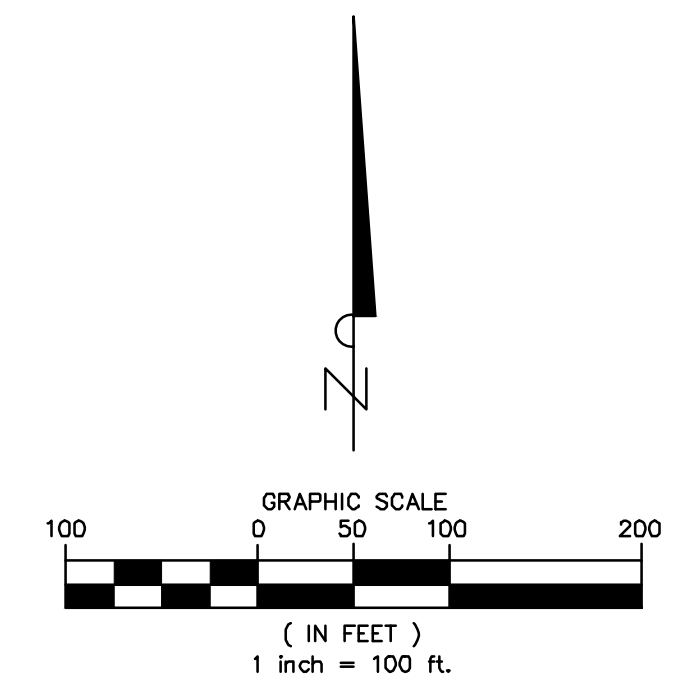
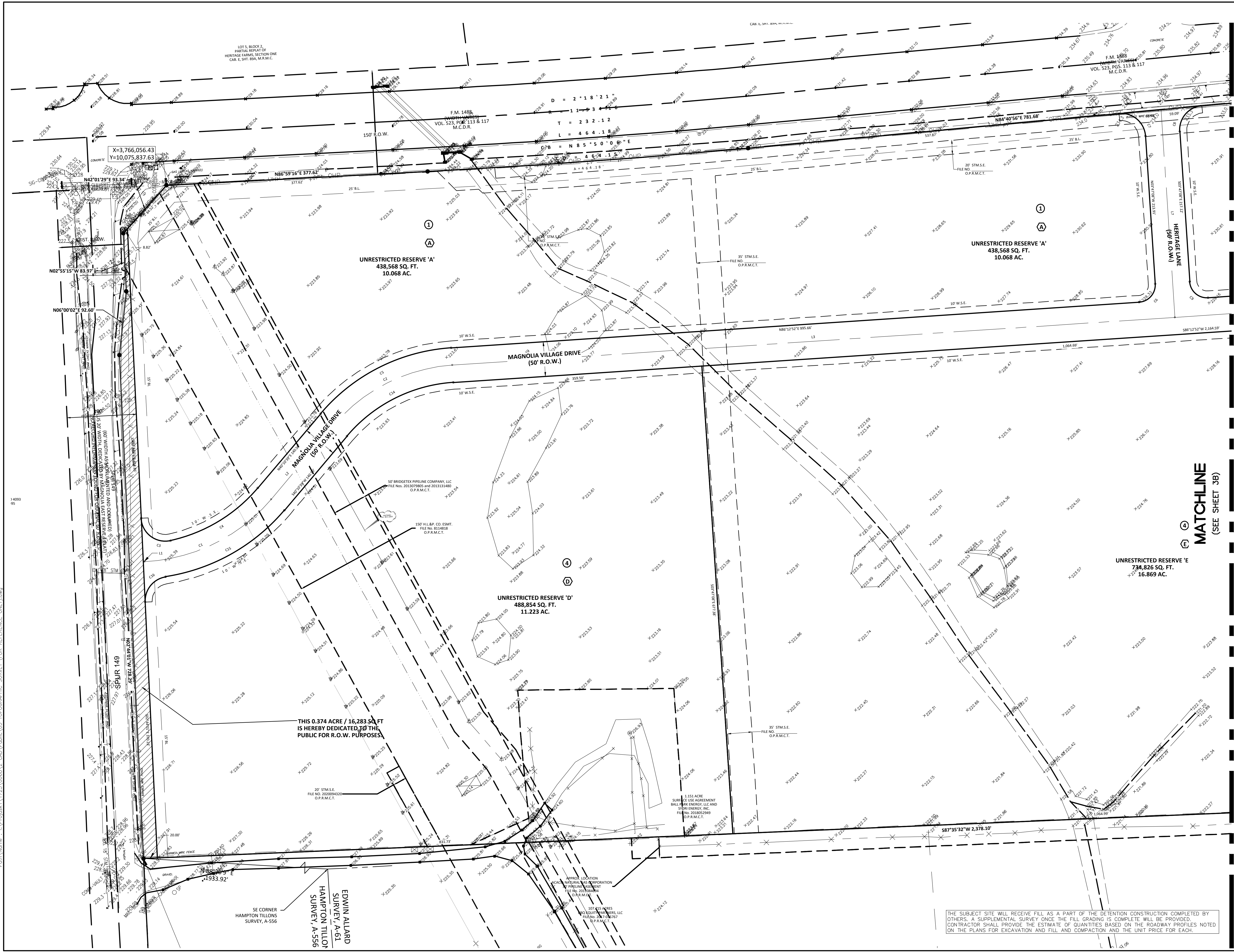


RELEASE DATES

| DATE | ISSUED FOR |
|------------|-----------------------------|
| 09/01/2023 | City of Magnolia Submission |
| 11/09/2023 | City of Magnolia Submission |
| | |
| | |
| | |



W. KYLE BOGARDUS P.E.
LANGAN ENGINEERING AND
ENVIRONMENTAL SERVICES, INC.
TBP# FIRM REG. #F-13709

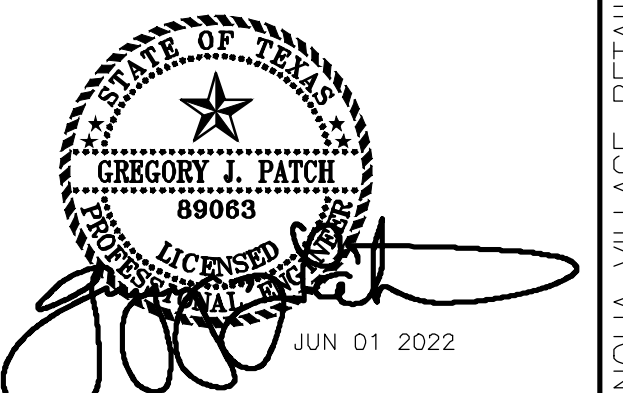


FLOODPLAIN INFORMATION:
 NO PORTION OF THE SUBJECT SITE IS LOCATED WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE MOST RECENT OFFICIAL INSURANCE RATE MAP, DATED AUGUST 18, 2014 MAP NUMBER 48339C0485G, ZONE(S) "X".

PRIMARY BENCHMARK: ELEV.=231.72'
 FLOODPLAIN REFERENCE MARK NO. 100195 IS A BRASS DISK LOCATED FROM THE INTERSECTION OF FM 1488 AND FM 1774, SOUTHEAST ALONG FM 1774 0.4 MILES TO NICHOLS SAWMILL RD., SOUTH ALONG NICHOLS SAWMILL RD. 0.8 MILES TO THE BENCHMARK ON THE RIGHT.
 ELEVATION: 231.72 (NAVD88)(2001 ADJUSTMENT)

TEMPORARY BENCHMARK: ELEV.=229.00'
 CUT "X" ON THE SOUTHWEST CORNER OF A CONCRETE BASE OF A TSCB PEDESTAL LOCATED AT SOUTHEAST CORNER OF THE INTERSECTION OF FM 1488 AND SPUR 149.
 ELEVATION: 229.00

MATCHLINE
 (SEE SHEET 3B)



NOTE:
 IN CASE OF CONFLICT BETWEEN DETAILS SHOWN ON THIS SHEET AND THE CITY MAGNOLIA DESIGN STANDARDS, THE MORE STRINGENT SHALL APPLY.

| DATE | REVISION |
|------|----------|
| | |
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| | |

MAGNOLIA VILLAGE DRIVE, HERITAGE LANE, COMMUNITY ROAD
 MAGNOLIA, TX 77354

PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER

TOPO SURVEY (FOR REFERENCE ONLY) SHEET 1 OF 2

LJA Engineering Inc.
 1904 W. Grand Parkway N. Phone 713.953.5200
 Suite 100 Fax 713.953.5026
 Katy, Texas 77449 FRN-F-1386

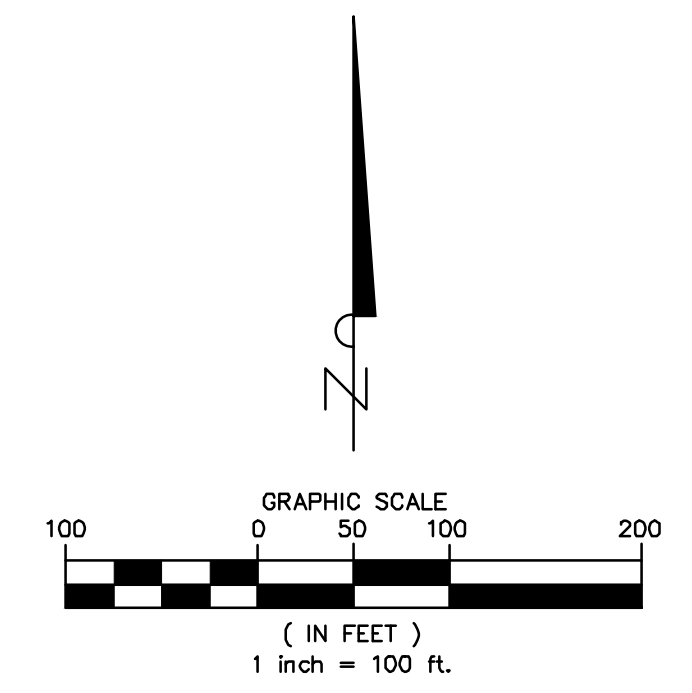
LJA PROJECT NO.: 1725-0068

| | |
|---------------------|--------------------|
| SUBMITTED: | DESIGNED BY: JA |
| SCALE: 1"=40' | DRAWN BY: JA/AC |
| DATE: MONTH, YEAR | SHEET NO. 3A OF 27 |
| SURVEYED BY: xxxxxx | CITY DWG NO: |
| F B NO: | |

THE SUBJECT SITE WILL RECEIVE FILL AS A PART OF THE DETENTION CONSTRUCTION COMPLETED BY OTHERS. A SUPPLEMENTAL SURVEY ONCE THE FILL GRADING IS COMPLETE WILL BE PROVIDED. CONTRACTOR SHALL PROVIDE THE ESTIMATE OF QUANTITIES BASED ON THE ROADWAY PROFILES NOTED ON THE PLANS FOR EXCAVATION AND FILL AND COMPACTION AND THE UNIT PRICE FOR EACH.

Date: Time: User: Path: Wk4_01 Jun 2022 1:37:10pm User Name: jertz CA:\Public\1725_0068\2 Topographic Survey (FOR REFERENCE ONLY).dwg

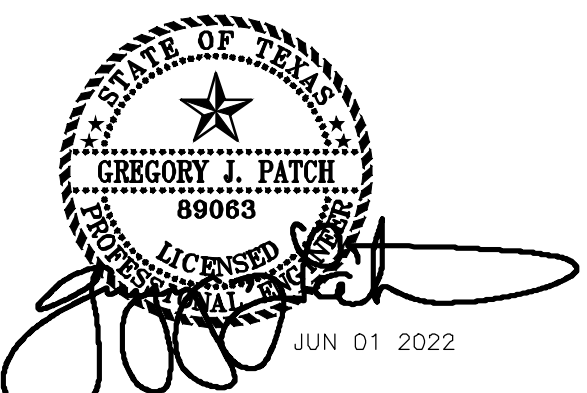
PUBLIC PLANS - PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER: CITY



FLOODPLAIN INFORMATION:
 NO PORTION OF THE SUBJECT SITE IS LOCATED WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE MOST RECENT OFFICIAL INSURANCE RATE MAP, DATED AUGUST 18, 2014 MAP NUMBER 48339C0485G, ZONE(S) "X".

PRIMARY BENCHMARK: ELEV.=231.72'
 FLOODPLAIN REFERENCE MARK NO. 100195 IS A BRASS DISK LOCATED FROM THE INTERSECTION OF FM 1488 AND FM 1774, SOUTHEAST ALONG FM 1774 0.4 MILES TO NICHOLS SAWMILL RD., SOUTH ALONG NICHOLS SAWMILL RD. 0.8 MILES TO THE BENCHMARK ON THE RIGHT.
 ELEVATION: 231.72 (NAVD88)(2001 ADJUSTMENT)

TEMPORARY BENCHMARK: ELEV.=229.00'
 CUT "X" ON THE SOUTHWEST CORNER OF A CONCRETE BASE OF A TSCB PEDESTAL LOCATED AT SOUTHEAST CORNER OF THE INTERSECTION OF FM 1488 AND SPUR 149.
 ELEVATION: 229.00



NOTE:
 IN CASE OF CONFLICT BETWEEN DETAILS SHOWN ON THIS SHEET AND THE CITY MAGNOLIA DESIGN STANDARDS, THE MORE STRINGENT SHALL APPLY.

| DATE | REVISION |
|------|----------|
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| | |

MAGNOLIA VILLAGE DRIVE, HERITAGE LANE, COMMUNITY ROAD
 MAGNOLIA, TX 77354

PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER

TOPO SURVEY (FOR REFERENCE ONLY) SHEET 2 OF 2

LJA Engineering Inc.
 1904 W. Grand Parkway N. Phone 713.953.5200
 Suite 100 Fax 713.953.5026
 Katy, Texas 77449 FRN-F-1386

LJA PROJECT NO.: 1725-0068

| | |
|---------------------|--------------------|
| SUBMITTED: | DESIGNED BY: JA |
| SCALE: 1"=40' | DRAWN BY: JA/AC |
| DATE: MONTH, YEAR | SHEET NO. 3B OF 27 |
| SURVEYED BY: xxxxxx | CITY DWG NO: |
| F B NO: | |

THE SUBJECT SITE WILL RECEIVE FILL AS A PART OF THE DETENTION CONSTRUCTION COMPLETED BY OTHERS. A SUPPLEMENTAL SURVEY ONCE THE FILL GRADING IS COMPLETE WILL BE PROVIDED. CONTRACTOR SHALL PROVIDE THE ESTIMATE OF QUANTITIES BASED ON THE ROADWAY PROFILES NOTED ON THE PLANS FOR EXCAVATION AND FILL AND COMPACTION AND THE UNIT PRICE FOR EACH.

Date: Time: User: Proj: Path: 04 Jun 2022 8:01 AM jlp User: jlp Proj: 1725-0068 Path: C:\Users\jlp\Public\1725-0068\2 TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY).DWG

PUBLIC PLANS - PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER: CITY

SCHEDULE B-10 ITEMS:

Fidelity National Title Insurance Company, GF No. SAT-41-4000412201337-CV,
effective date of May 4, 2022, issue date of May 12, 2022

10. The following matters and all terms of the documents creating or offering evidence of the matters (We must insert matters or delete this exception):

a. All leases, grants, exceptions or reservations of coal, lignite, oil, gas and other minerals, together with all rights, privileges, and immunities relating thereto, appearing in the Public Records whether listed in Schedule B or not. There may be leases, grants, exceptions or reservations of mineral interest that are not listed.

b. Standard Exceptions:

(i) Those liens created at closing, if any, pursuant to lender instructions. (Owner's Policy only)

(ii) Rights of parties in possession. (Owner's Policy only)

(Note: This exception may be deleted, at the request of the proposed insured, upon Company's receipt of an "Owner's Affidavit" acceptable to the Company, from the vested owner of the Land, at or prior to closing of the transaction contemplated hereby)

(iii) Rights of tenants in possession, as tenants only, under prior unrecorded leases, as amended.

(Note: This exception may be deleted or amended, at the request of the proposed insured, upon Company's receipt of an affidavit acceptable to the Company, disclosing all outstanding leases or rental agreements, receipt of a certified rent roll (if applicable), and verification that outstanding leases or rental documents do not include private rights in the Land, such as purchase options or rights of first refusal)

(iv) Visible or apparent easement(s) and/or rights of way on, over, under or across the Land.

(Note: This exception to be deleted upon Company's receipt, review and approval of a current survey of Land)

(v) The following exception will appear in any policy issued (other than the T-1R Residential Owner Policy of Title Insurance and the T-2R Short-Form Residential Mortgage Policy) if the Company is not provided a survey of the Land, acceptable to the Company, for review at or prior to closing:

Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.

c. If any portion of the proposed loan and/or the Owner's Title Policy coverage amount includes funds for immediately contemplated improvements, the following exceptions will appear in Schedule B of any policy issued as indicated:

Owner and Loan Policy(ies): Any and all liens arising by reason of unpaid bills or claims for work performed or materials furnished in connection with improvements placed, or to be placed, upon the subject land. However, the Company does insure the insured against loss, if any, sustained by the Insured under this policy if such liens have been filed with the County Clerk of County, Texas, prior to the date hereof.

Owner Policy(ies) Only: Liability hereunder at the date hereof is limited to \$ 0.00. Liability shall increase as contemplated improvements are made, so that any loss payable hereunder shall be limited to said sum plus the amount actually expended by the insured in improvements at the time the loss occurs. Any expenditures made for improvements, subsequent to the date of this policy, will be deemed made as of the date of this policy. In no event shall the liability of the Company hereunder exceed the face amount of this policy. Nothing contained in this paragraph shall be construed as limiting any exception or any printed provision of this policy.

Loan Policy(ies) Only: Pending disbursement of the full proceeds of the loan secured by the lien instrument set forth under Schedule A hereof, this policy insures only to the extent of the amount actually disbursed, but increase as each disbursement is made in good faith and without knowledge of any defect in, or objections to, the title up to the face amount of the policy. Nothing contained in this paragraph shall be construed as limiting any exception under Schedule B, or any printed provision of this policy.

d. Matters set forth on the plat recorded in Cabinet Z, Sheet 8123, Map Records of Montgomery County, Texas, as follows:

- 1. 25 foot Building Line along the north and south property lines; (SHOWN)
- 2. 10 foot Water and Sewer Easements along the south property line. (SHOWN)

e. Pipe line right-of-way granted to Sinclair Pipe Line Company by instrument recorded in Volume 106, Page 405 of the Deed Records of Montgomery County, Texas; as modified by that certain Partial Release of Easement and Pipeline Bill of Sale recorded under Montgomery County Clerk's File No. 2019010568. (NOT PLOTTABLE)

f. Easement for electric transmission and distribution lines, granted to Houston Lighting & Power Company by instrument recorded under Montgomery County Clerk's File No. 8114818. (NOT LOCATED ON SUBJECT)

g. Right-of-way agreement in favor of Winnie Pipeline Company, as set forth in instrument recorded under Montgomery County Clerk's File No. 9411414. (NOT PLOTTABLE)

h. Right-of-way agreements in favor of Acacia Natural Gas Company, as set forth in instruments recorded under Montgomery County Clerk's File Nos. 9732502, 9732503, 9732504 and 9732505. (NOT PLOTTABLE)

i. Easement and Right of Way Agreement granted to BridgeTex Pipeline Company, LLC, by instrument recorded under Montgomery County Clerk's File No. 2013079805. (NOT LOCATED ON SUBJECT)

j. Pipeline Easement and Consent granted to BridgeTex Pipeline Company, LLC, by instrument recorded under Montgomery County Clerk's File No. 2013131480 (NOT LOCATED ON SUBJECT)

k. Short Form Blanket Easement for electric distribution facilities and related communication facilities, granted to CenterPoint Energy Houston Electric, LLC, recorded under Montgomery County Clerk's File No. 2021169596. (LOCATED ON SUBJECT - BLANKET)

l. Terms, conditions, stipulations, easements and provisions of those certain non-exclusive access easement(s) for the purposes of ingress and egress, pursuant to Declaration of Access, Utilities and Drainage Easements, Covenants and Conditions recorded under Montgomery County Clerk's File No. 2021118370.

m. Terms, conditions and provisions of that certain Waiver of Special Appraisal For The Benefit of Montgomery County Municipal Utility District No. 108, recorded on October 29, 2021 in Clerk's File No. 2021150589, Official Public Records of Montgomery County, Texas.

n. Interest in and to all the oil, gas and other minerals on, in, under or that may be produced from the Property as the same are reserved by R. L. Damuth by instruments recorded in Volume 130, Page 359 and in Volume 217, Page 178 of the Deed Records of Montgomery County, Texas. Said mineral interest not traced subsequent to the date of the above-cited instrument.

o. Interest in and to all the oil, gas and other minerals on, in, under or that may be produced from the Property as the same are reserved by Eddie E. Jones, et al, by instrument recorded in Volume 326, Page 238 of the Deed Records, and subsequently corrected by instruments recorded under Montgomery County Clerk's File Nos. 2000-039041, 2000-039042 and 2000-039043. Said mineral interest not traced subsequent to the date of the above-cited instrument.

p. Interest in and to all the oil, gas and other minerals on, in, under or that may be produced from the Property as the same are reserved by Edna Damuth Madeley, Guardian of the Estate of Joyce Faye Damuth, by instrument recorded in Volume 331, Page 257 of the Deed Records of Montgomery County, Texas. Said mineral interest not traced subsequent to the date of the above-cited instrument.

q. Interest in and to all the oil, gas and other minerals on, in, under or that may be produced from the Property as the same are conveyed to Mrs. Tanie Mae Damuth by instrument recorded in Volume 724, Page 347 of the Deed Records of Montgomery County, Texas. Subject to 3/4ths of said interest having been subsequently conveyed to Bobby D. Damuth (1/4th), Vivian Lucille Laughlin (1/4th), and Barbara Jo Dickson (1/4th) by instrument recorded under Montgomery County Clerk's File No. 9462612. The remaining 1/4th of 1/12th was subsequently conveyed to Barbara Jo Dickson by instrument recorded under Montgomery County Clerk's File No. 9539591. Said mineral interest not traced subsequent to the date of the above-cited instrument.

r. Oil, gas and mineral lease(s) recorded under Clerk's File Nos. 9052475, 9052476 and 9139611 of the Real Property Records of Montgomery County, Texas, in favor of Mitchell Energy Corporation. Subject to Designation of Gas Unit establishing the Wendell J. Doggett Gas Unit, recorded under Montgomery County Clerk's File No. 9300578. Said mineral interest not traced subsequent to the date of the above-cited instrument.

s. Interest in and to all the oil, gas and other minerals on, in, under or that may be produced from the Property as the same are conveyed to Steven Craig Damuth by instrument recorded under Montgomery County Clerk's File No. 9301403. Said mineral interest not traced subsequent to the date of the above-cited instrument.

t. Interest in and to all the oil, gas and other minerals on, in, under or that may be produced from the Property as the same are conveyed to M. C. Damuth by instrument recorded under Montgomery County Clerk's File No. 9733112. Said interest having been subsequently conveyed to Steven Craig Damuth by instrument recorded under Montgomery County Clerk's File No. 2002-006787. Said mineral interest not traced subsequent to the date of the above-cited instrument.

u. Mineral and/or royalty deed from Barbara Jo Dickson conveying a 1/6th of 1/4th of 1/12th of 1/6th mineral and/or royalty interest to each Donald Lee Damuth, Vivian Audine Earley, Lonnie Banks Damuth, Patricia Ann Moore, Robert Joseph Damuth and Rosena Lee Damuth, recorded under Montgomery County Clerk's File No. 9809847. Said mineral interest not traced subsequent to the date of the above-cited instrument.

v. Royalty Deed from Marilyn S. Damuth Wilson conveying all interest in the Wendell J. Doggett Lease Unit to JD Minerals, recorded under Montgomery County Clerk's File No. 9818109. Said mineral interest not traced subsequent to the date of the above-cited instrument.

w. Interest in the oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same as set forth in instruments recorded under Montgomery County Clerk's File Nos. 2015034597, 2015034598 and 2015034599. Said mineral interest not traced subsequent to the date of the above-cited instruments.

x. Affidavit of Non-Production dated May 18, 2018, filed and recorded June 6, 2018 under Montgomery County Clerk's File No. 2018052947.

y. All oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same are excepted herefrom as set forth in Deed recorded under Montgomery County Clerk's File No. 2018052948. No further search of title has been made as to the interest(s) evidenced by this instrument, and the Company makes no representation as to the ownership or holder of such interest(s).

z. Terms, conditions and stipulations contained in Surface Use Agreement recorded June 6, 2018, under Montgomery County Clerk's File No. 2018052950.

aa. The Land lies within the boundaries of Montgomery County Municipal Utility District No. 108 and may be subject to taxes or special assessments by reason thereof.

**METES AND BOUNDS DESCRIPTION
OF 1.231 ACRES (53,616 SQUARE FEET) LAND
IN THE HAMPTON TILLONS SURVEY, A-556
MONTGOMERY COUNTY, TEXAS**

Being 1.231 acres (53,616 square feet) of land in the Hampton Tillons Survey, Abstract 556, Montgomery County, Texas, and being a portion of Unrestricted Reserve "B" in MAGNOLIA VILLAGE, the plat thereof recorded in Cabinet Z, Sheet 8125 of the Montgomery County Map Records, and more particularly described by metes and bounds as follows with bearings based on the Texas Coordinate System of 1983, Central Zone:

COMMENCING at a 5/8-inch iron rod with cap stamped "IDS" found for the northeast corner of said Unrestricted Reserve "B", being the northwest corner of the 33.66 acre tract of land described in the deed to COBALT 201 REALTY, LLC recorded in File Number 2021011747 of the Official Public Records of Montgomery County, Texas, and being on the south right-of-way line of F.M. 1488 (Volume 523, Pages 113 & 117, Montgomery County Deed Records)(width varies);

THENCE South 86° 59' 16" West - 502.44 feet, with the north line of said Unrestricted Reserve "B" and south right-of-way line of said F.M. 1488, to a 5/8-inch iron rod with TxDOT aluminum cap found for the beginning of a curve to the left;

THENCE, in a southwesterly direction, with said curve to the left, having a radius of 11384.16 feet, a central angle of 00° 46' 05", a chord bearing and distance of South 86° 36' 19" West - 152.63 feet, and an arc distance of 152.63 feet to a 5/8-inch iron rod with cap stamped "IDS" set for the northeast corner and **POINT OF BEGINNING** of the herein described tract;

THENCE South 03° 47' 08" East - 284.49 feet, across said Unrestricted Reserve "B", to the southeast corner of the herein described tract and being on the north right-of-way line of Magnolia Village Drive (50-foot wide);

THENCE South 86° 12' 52" West - 188.80 feet, with the north right-of-way line of said Magnolia Village Drive, to the southwest corner of the herein described tract;

THENCE North 03° 47' 08" West - 282.95 feet, across said Unrestricted Reserve "B", to a 5/8-inch iron rod with cap stamped "IDS" set for the northwest corner of the herein described tract and being on the south right-of-way line of said F.M. 1488 and on the arc of a non-tangent curve to the right;

THENCE, in a northeasterly direction, with said curve to the right and the south right-of-way line of said F.M. 1488, having a radius of 11384.16 feet, a central angle of 00° 57' 01", a chord bearing and distance of North 85° 44' 45" East - 188.81 feet, and an arc distance of 188.81 feet to the **POINT OF BEGINNING** and containing 1.231 acres (53,616 square feet) of land.

SURVEYOR'S CERTIFICATE

TO: CWP Asset CORP, and First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 6, 7(a), 8, 9, 13, and 19 of Table A thereof. The fieldwork was completed on April 30, 2022.

Date of Plat or Map: June 14, 2022

Michael L. Swan

Michael L. Swan
Registered Professional Land Surveyor
Texas Registration Number 5551

| DATE | REVISION |
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 13430 Northwest Fwy., Ste. 700
Houston, Texas 77040
713.462.3178
TBP# F-002726 | TBP#S 10110700



ALTA/NSPS LAND TITLE SURVEY

**1.231 ACRES
(53,616 SQUARE FEET)
IN THE HAMPTON TILLONS SURVEY, A-556
MONTGOMERY COUNTY, TEXAS**

| | | |
|-------------------------|------------------------------------|--------------------------|
| DRAWN: MLS | ORIGINAL ISSUE DATE: June 14, 2022 | ORIGINAL SCALE: 1" = 30' |
| APPROVED FOR ISSUE: WLS | JOB NO.: 2410-001-00-530 | |

V:\0852400\2410-001-00 Magnolia Village Plat Michael Swan.dwg (Plat) M.L. SWAN 11/14/2022 10:57:00 AM (Last Saved by: mswan)

LEGEND

| | EXISTING | PROPOSED |
|--------------------------------|----------|------------|
| PROPERTY LINE | --- | --- |
| R.O.W LINE | --- | --- |
| CURB LINE | --- | --- |
| TRAFFIC SIGN | | ▲ |
| SIGN DESIGNATION | | ◆ |
| CONCRETE PAVEMENT FOR WALKS | | ▨ |
| LIGHT DUTY CONCRETE PAVEMENT | | ▩ |
| REGULAR DUTY CONCRETE PAVEMENT | | ▪ |
| HEAVY DUTY CONCRETE PAVEMENT | | ▫ |
| DOOR LOCATION | | ▼ |
| OVERHEAD DOOR LOCATION | | ▽ |
| DOWNSPOUT LOCATION | | ⊥ |
| BOLLARD | | ● |
| POWER POLE | ● | ● |
| DITCH | | --- |
| DETENTION POND LIMITS | | ----- |
| MODULAR BLOCK RETAINING WALL | | ▨▨▨▨▨▨▨▨▨▨ |
| WATER LINE | | — UW — |
| FIRE HYDRANT | ⊕ | ⊕ |
| FIRE DEPARTMENT CONNECTION | ⊕ | ⊕ |
| GATE VALVE | ⊕ | ⊕ |
| BACKFLOW PREVENTER | | ▭ |
| WATER METER | ⊕ | ⊕ |
| TEE CONNECTION | — UC — | — UC — |
| GAS LINE | | — UE — |
| UNDERGROUND ELECTRIC | | — UE — |
| GAS METER | ⊕ | ⊕ |
| TRANSFORMER | | ⊕ |
| OVERHEAD ELECTRIC | | — UT — |
| UNDERGROUND TELECOMMUNICATIONS | | — UT — |
| SANITARY MANHOLE | ⊕ | ⊕ |
| SANITARY CLEANOUT | ⊕ | ⊕ |
| CONTOUR | | 902 |
| SPOT ELEVATION | | 88.7 |
| CATCH BASIN | | 802-81 |
| STORM MANHOLE | ⊕ | ⊕ |
| STORM PIPE | --- | --- |
| SANITARY PIPE | --- | --- |
| FILTER FABRIC BARRIER | | |
| INLET PROTECTION | | ▨▨▨▨ |
| STABILIZED CONSTRUCTION ACCESS | | ▨▨▨▨▨▨▨▨▨▨ |
| TEMPORARY STOCKPILE | | ●●●●●● |
| CONCRETE TRUCK WASHOUT | | CTW |
| HAYBALES | | ▨▨▨▨▨▨▨▨▨▨ |

ABBREVIATIONS

| | |
|---------------------------------------|--|
| ACR = ACCESSIBLE CURB RAMP | MCC = MONOLITHIC CONCRETE CURB |
| AHJ = AUTHORITY HAVING JURISDICTION | MH = MANHOLE |
| ARCH = ARCHITECTURAL | NIC = NOT IN CONTRACT |
| BC = BOTTOM OF CURB | PCC = PRECAST CONCRETE CURB |
| BW = BOTTOM OF WALL | PVC = POLYVINYL CHLORIDE PIPE (SDR-35) |
| CB = CATCH BASIN | PR = PROPOSED |
| CCB = CURB CATCHBASIN | R&D = REMOVE & DISPOSE |
| CG = CURB & GUTTER | R&R = REMOVE & REPLACE |
| CMP = CORRIGATED METAL PIPE | RCF = REINFORCED CONCRETE PIPE |
| CO = CLEAN OUT | RET = RETAINING |
| COH = CITY OF HOUSTON | RL = ROOF LEADER |
| CONC = CONCRETE | ROW = RIGHT OF WAY |
| CWS = CONCRETE WASHOUT SYSTEM | SET = SAFETY END TREATMENT |
| DIP = DUCTILE IRON PIPE | TEB = TEMPORARY BENCH MARK |
| EX = EXISTING | TP = TOP OF CURB |
| GC = GRANITE CURB | TP = TOP OF FRAME |
| HP = HIGH POINT | TP = TOP OF PAVING |
| HDPE = HIGH DENSITY POLYETHYLENE PIPE | TW = TOP OF WALL |
| INV = INVERT | TY = TYPICAL |
| LA = LANDSCAPED AREA | WL = WHITE LINE |
| LF = LINEAR FEET | WSE = WATER SURFACE ELEVATION |
| | YL = YELLOW LINE |

GENERAL NOTES

1. ALL TOPOGRAPHIC, PROPERTY LINE, AND UTILITY INFORMATION TAKEN FROM PLAN ENTITLED "LAND TITLE & TOPOGRAPHIC SURVEY OF 1.231 AC./53,616 SQ. FT. SITUATED IN THE HAMPTON TILKINS SURVEY ABSTRACT NO. 556 MONTGOMERY COUNTY, TEXAS," PREPARED BY IDS ENGINEERING GROUP, JUNE 14, 2022.
2. PROPOSED SITE WORK IMPROVEMENTS SHALL CONFORM TO THE STANDARD DETAILS AND SPECIFICATIONS OF THE CITY OF MAGNOLIA. IN THE ABSENCE OF LOCAL STANDARDS, SITE WORK SHALL CONFORM TO THE REQUIREMENTS OF TEXAS DEPARTMENT OF TRANSPORTATION STANDARD DETAILS.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING TEXAS 811 (1-800-545-6005, WWW.TEXAS811.COM) OR LONE STAR 811 (41-800-89-8344, WWW.LONESTAR811.COM), FOR EXCAVATION TEST HOLES, PERFORMING TEST BORINGS, AND PERFORMING WHATEVER ADDITIONAL INVESTIGATION NECESSARY TO PROTECT AND MAINTAIN ALL EXISTING UTILITIES TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD. ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
4. ALL IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH TxDOT AND MONTGOMERY COUNTY DETAILS AND STANDARD SPECIFICATIONS.
5. FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
6. CONTRACTOR TO REPAIR/REPLACE ANY EXISTING SIDEWALK THAT IS DAMAGED PRIOR TO OR DURING CONSTRUCTION.
7. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
8. ALL RADI ARE 2.0' EXCEPT WHERE NOTED. ALL DIMENSIONS SHOWN ARE FACE OF CURB TO FACE OF CURB.
9. CONTRACTOR SHALL PREVENT DUST, SEDIMENT AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIR AND CORRECTIVE ACTION IF SUCH OCCURS. ADJOINING STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS AND SHALL BE CLEANED ON A DAILY BASIS AS NECESSARY. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON IS TAKEN FROM DESIGN PLANS, AS-BUILT SPECIFICATIONS, EXISTING UTILITY COMPANY RECORDS, AND OTHER SOURCES OF INFORMATION AND IS NOT TO BE CONSIDERED AS AN ACCURATE "AS-BUILT" SURVEY AND IS SUBJECT TO SUCH CORRECTIONS THAT A MORE ACCURATE SURVEY MAY DISCLOSE.
11. THE EXISTING UTILITIES INDICATED HEREON MAY NOT BE LOCATED AS SHOWN. IN ADDITION, OTHER UTILITIES NOT SHOWN HEREON MAY BE PRESENT. ANY DISCREPANCIES DISCOVERED DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
12. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS/DETAILS OF THE UTILITY COMPANY HAVING AUTHORITY OVER THE PROPOSED WORK. ALL PROPOSED UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ORDINANCES/REQUIREMENTS GOVERNING THE PROPOSED WORK.
13. ANY UTILITY EASEMENTS REQUIRED BY ANY OF THE VARIOUS UTILITY COMPANIES SHALL BE OBTAINED, EXECUTED, AND RECORDED PRIOR TO ANY OF THE AFFECTED UTILITY WORK BEING PERFORMED.
14. ALL PROPOSED UTILITIES WILL BE LOCATED UNDERGROUND UNLESS STATED OTHERWISE.
15. CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH APPROPRIATE UTILITY COMPANIES.
16. THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING WATER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
17. RESET ALL EXISTING SANITARY AND DRAINAGE STRUCTURES TO TEXAS STATE STANDARDS AND AS REQUIRED BY REPAIRING, MILLING OR OVERLAYING.
18. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES.
19. FOR SANITARY SEWER AND WATER LINE CROSSINGS REFER TO LOCAL ORDINANCE. IN ABSENCE OF SPECIFIC GUIDANCE WITHIN LOCAL ORDINANCE, REFER TO CITY OF HOUSTON TABLE 7-3 OF PUBLIC WORKS DESIGN MANUAL.
20. ALL RIMS AND STRUCTURES SHALL ACCOMMODATE H2O LOADING.
21. COORDINATE ALL SERVICE LATERAL LOCATIONS AND ELEVATIONS WITH MEP/ARCHITECTURAL DRAWINGS.
22. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. ANY DISCREPANCIES DISCOVERED DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
23. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS TO CONFIRM LOCATIONS OF ALL UTILITY ENTRANCES, INCLUDING SANITARY SEWER, WATER, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPERLY ACHIEVED WHILE COORDINATING WITH THE UTILITY COMPANIES TO LOCATE AND SCHEDULE CONNECTIONS TO THEIR FACILITIES.
24. LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
25. CLEANOUTS SHALL BE PROVIDED FLUSH TO GRADE AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SIZING ALL DRAINAGE STRUCTURES AND SUBMITTING SHOP DRAWINGS TO ENGINEER FOR REVIEW.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
28. ALL ABANDONED UTILITIES SHALL BE TERMINATED AT THE APPROPRIATE MAIN OR STRUCTURE.
29. ALL SIGNS WITHIN THE STATE RIGHT-OF-WAY SHALL BE INSTALLED PER TxDOT STANDARDS AND SPECIFICATIONS.
30. CONTRACTOR TO MATCH EXISTING CURB AT GUTTER AND NEXT CONSTRUCTION JOINT IN ORDER TO PROVIDE A CLEAN TRANSITION.
31. ALL WORK PERFORMED WITH-IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MAGNOLIA STANDARD CONSTRUCTION SPECIFICATIONS AND CITY OF HOUSTON PUBLIC WORKS DEPARTMENT AND ENGINEERING STANDARD CONSTRUCTION DETAILS. THE CONTRACTOR SHALL CALL THE ENGINEERING DEPARTMENT.
32. ALL SIGNS TO BE APPROVED BY THE MONTGOMERY COUNTY ENGINEERING DEPARTMENT.
33. REFER TO GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY PARADIGM CONSULTANTS, INC. PROVIDED MARCH 24, 2021

STORM SEWER NOTES

1. STORM SEWER PIPE TO BE HIGH DENSITY POLYETHYLENE (HDPE) OR POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D-3034, SDR 35, FOR 48" PIPE AND ASTM F-479 FOR 18" - 24" PIPE OR REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO ASTM C-76, CLASS III, OR DUCTILE IRON PIPE SHALL CONFORM TO ANS A21.51, THICKNESS CLASS 51, EXCEPT AS OTHERWISE NOTED ON THE PLANS.
2. ALL STORM SEWERS TO RECEIVE BEDDING AND BACKFILL IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS. STORM SEWERS WITHIN PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS TO RECEIVE BEDDING AND BACKFILL IN ACCORDANCE WITH MONTGOMERY COUNTY AND CITY OF HOUSTON PUBLIC WORKS DEPARTMENT AND ENGINEERING STANDARD CONSTRUCTION DETAILS, FORM E-14-02, LATEST PRINTING AND AMENDMENTS THERETO.
3. STORM SEWER CONSTRUCTION, INCLUDING INLETS AND MANHOLES, OUTSIDE OF PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS TO BE IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS. STORM SEWER CONSTRUCTION WITHIN PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS TO BE IN ACCORDANCE WITH CITY OF HOUSTON PUBLIC WORKS DEPARTMENT AND ENGINEERING STANDARD CONSTRUCTION DETAILS LATEST PRINTING AMENDMENTS THERETO.
4. ALL STORM SEWER TRENCHES UNDER PROPOSED AND FUTURE PAVEMENT OR WITHIN ONE (1) FOOT BACK OF ALL CURBS TO BE BACKFILLED WITH CEMENT-STABILIZED SAND (CLEAN BANK SAND AND 1 1/2 % SW/C.Y. MIN. PORTLAND CEMENT MIXTURE) TO A POINT ONE (1) FOOT BELOW PAVEMENT SURFACE AS SHOWN FOR CLASS "A" BEDDING AND BACKFILL IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS. THE REMAINING BACKFILL TO BE MADE WITH COMPACTED SELECT MATERIAL.
5. WHERE MANHOLES, GRATE INLETS, OR JUNCTION BOXES ARE LOCATED WITHIN PAVED AREAS CONTRACTOR SHALL SET RIM ELEVATIONS TO MATCH TOP OF PAVEMENT ELEVATIONS. OUTSIDE OF PAVED AREAS, SET MANHOLE RIMS AND TOP OF GRADE AT ELEVATION SHOWN ON THE PLANS.
6. CONTRACTOR TO PROVIDE A MINIMUM OF 6-INCH VERTICAL CLEARANCE BETWEEN STORM SEWER AND OTHER EXISTING OR PROPOSED UTILITIES.
7. IN EVERY CASE WHERE TRENCHES ON-SITE HAVE BEEN EXCAVATED BELOW THE SPECIFIED DEPTH FOR CLASS "B" BEDDING, THE PIPE SHALL BE LAID WITH CLASS "A" BEDDING.

PAVING NOTES

1. ALL ROAD WIDTHS, RADI AND ALIGNMENT SHOWN INDICATED FACE OF CURB OR EDGE OF PAVEMENT WHICHEVER IS APPLICABLE.
2. CONCRETE SHALL BE PORTLAND CEMENT CONCRETE AND HAVE A COMPRESSIVE STRENGTH OF 3,500 PSI MINIMUM AT 28 DAYS. REBARS SHALL BE GRADE 60 REINFORCING STEEL. REFER TO PRELIMINARY GEOTECHNICAL ENGINEERING STUDY PROVIDED BY MURILLO COMPANY IN APRIL 2021 FOR PAVEMENT RECOMMENDATIONS.
3. EXISTING PAVING, IN PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS, DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AS PER CITY OF HOUSTON DWS NO. 0202-01 AS APPLICABLE. ALL OTHER EXISTING PAVING, NOT SHOWN TO BE REMOVED, DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH DETAILS CONTAINED IN THE PLANS.
4. EXISTING CURBS, SIDEWALKS, AND DRIVEWAYS IN PUBLIC STREET RIGHTS-OF-WAY OR EASEMENTS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO CITY OF HOUSTON STANDARD. ALL OTHER CURBS, SIDEWALKS AND DRIVEWAYS, NOT SHOWN TO BE REMOVED, DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THE PLANS.
5. CONTROL JOINTS IN HEAVY DUTY CONCRETE PAVEMENT TO BE PLACED BETWEEN 15 AND 45 FEET FROM EDGE OF BUILDING AND/OR 65 FEET FROM EDGE OF BUILDING.
6. LONGITUDINAL CONTROL JOINTS IN HEAVY DUTY CONCRETE PAVEMENT TO ALIGN WITH STAIRS ALONG BUILDING WHEN POSSIBLE.

WATER LINE NOTES

1. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA INFRASTRUCTURE DESIGN MANUAL, STANDARD SPECIFICATION, AND CONSTRUCTION DETAILS.
2. ALL 4" THROUGH 12" WATER LINE TO BE AWMA C-900 PVC DR-18 BLUE PRESSURE RATED WATER MAIN WITH 2" AND SMALLER WATER SERVICE LINE TO BE CONTINUOUS TYPE COPPER TUBING PER ASH STANDARD SPECIFICATION SECTION 020303. ALL 4" THRU 54" DI PIPE WATER LINES SHALL BE AWMA C151 WITH INSIDE LINING WITH AWMA C104 AND DOUBLE WRAPPED WITH 8-MIL POLYETHYLENE SHEETS.
3. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. USE RESTRAINED JOINTS WHERE PREVENTING MOVEMENT OF 16" OR GREATER PIPE IS NECESSARY DUE TO THRUST.
4. ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE, AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
5. ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER CITY OF MAGNOLIA AND TCEC REGULATIONS.
6. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWMA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.
7. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWMA C-651 AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EVERY 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
8. ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.
9. 4" THRU 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANS A21.53, OR PUSH ON FITTINGS PER ANS A21.10 PRESSURE RATED AT 250 PSIG.
10. HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST CITY OF MAGNOLIA STANDARD CONSTRUCTION SPECIFICATIONS. TESTS ARE TO BE PERFORMED ON THE ENTIRE FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROPOSED PROJECT.
11. ALL WATER LINES TO HAVE 4" MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEARANCE TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE DESIGN OVER 8" DEEP SHALL USE RESTRAINED JOINT FITTINGS.
12. CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAPPED (OR OTHERWISE EFFECTIVELY COVERED) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
13. CONTRACTOR TO CONTACT DESIGN ENGINEER CONCERNING CONFLICT WITH EXISTING WATER MAIN DURING PROPOSED STORM SEWER CONSTRUCTION. IF WATER MAINS WERE TO BE RELOCATED, THE DRAWINGS SHALL BE REVISED AND APPROVED BY THE DISTRICT ENGINEER.
14. WHEREVER NEW WATER LINES CROSS SANITARY SEWER LINES WITH LESS THAN NINE (9) FEET OF VERTICAL CLEARANCE, THE SEWER LINE SHALL BE CONSTRUCTED OF CONTINUOUS DUCTILE IRON PIPE FOR A DISTANCE OF NINE (9) FEET EACH SIDE OF THE WATER LINE PER CITY OF HOUSTON DWS NO. 0253-01 MINIMUM HORIZONTAL LINE TO BE NINE (9) FEET. MINIMUM VERTICAL CLEAR DISTANCE TO BE TWO (2) FEET WITH SEWER LINE LOCATED AT LOWER ELEVATION THAN WATER LINE.
15. CONTRACTOR TO PROVIDE ALL NECESSARY WATER MAIN BENDS AND FITTINGS AS REQUIRED TO ACHIEVE THE LAYOUT AND AVOID EXISTING AND PROPOSED UTILITIES.

SANITARY SEWER NOTES

1. ALL SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAGNOLIA STANDARD CONSTRUCTION SPECIFICATIONS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, STREET PAVING, AND TRAFFIC AND ALL CURRENT AMENDMENTS THERETO AND BE SUBJECT TO A STANDARD EXFILTRATION TEST. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF SEWER LINE INCLUDED IN THE PROJECT. REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE, TITLE 30, CHAPTER 317, DESIGN CRITERIA FOR SEWERAGE SYSTEMS SHALL GOVERN WHERE CONFLICTS EXIST EXCEPT WHERE CITY REQUIREMENTS ARE MORE STRINGENT.
2. ALL MANHOLES ARE TO BE PER CITY OF HOUSTON STANDARD CONSTRUCTION DETAILS.
3. SANITARY SEWER MANHOLES WILL HAVE BEDDING AND BACKFILL PER CITY OF MAGNOLIA.
4. THE SANITARY SEWER PVC PIPE SHALL BE ASTM D-3034 TYPE PSM SDR 26 GRAVITY SEWER PIPE, ASTM D2241 SDR 26 PRESSURE RATED SEWER PIPE OR AWMA C-900 DR-18 GREEN PVC PRESSURE RATED SEWER PIPE BASED ON CONSTRUCTION CONDITION REQUIREMENT AND CONFORMING TO ASTM D1784 AND CITY OF MAGNOLIA STANDARD SPECIFICATION SECTION 02056 POLYVINYL CHLORIDE PIPE.
5. WHEN SS PRESSURE RATED PVC PIPE IS USED ON WATERLINE (WL) CROSSING UNDER CONDITION 1 OF CITY OF MAGNOLIA, THE SAME TYPE OF PIPE OR AWMA C-900 DR-18 GREEN PVC PRESSURE RATED SEWER PIPE SHALL BE USED BETWEEN TWO SS MANHOLES OR TO UTILIZE A DI TRANSITION ADAPTER FOR THE CONNECTING OF ASTM D-3034 PVC GRAVITY PIPE TO DI-OD AWMA C-900 PVC PIPE CENTERED AT WL WHEN CONNECTING TWO DIFFERENT TYPES OF PVC FITTINGS FOR SEWER CONSTRUCTION.
6. AWMA C-900 DR-18 PVC PIPE USES EITHER AWMA C900 DR-18 PVC FITTINGS OR DIP FITTINGS.
7. ALL SANITARY SEWER LINES UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL HAVE BEDDING PER CITY OF MAGNOLIA STANDARD DETAILS DRAWING NUMBERS 02317-01, 02317-02, OR 02317-03 AS APPLICABLE, WITH 1 1/2 % SW/C.Y. MIN. PORTLAND CEMENT MIXTURE TO A POINT ONE (1) FOOT BELOW PAVEMENT SURFACE. 100 PSI PERFORMANCE RESULTS ARE STILL REQUIRED.
8. ALL SANITARY SEWERS CROSSING WATER LINES WITH A CLEARANCE BETWEEN 12 INCHES AND 9 FEET SHALL HAVE A MINIMUM OF ONE (1) JOINT OF 150 PSI DUCTILE IRON OR (GREEN) C900 PVC PIPE MEETING ASTM SPECIFICATION D2241 CENTERED ON WATER LINE. WHEN WATER LINE IS BELOW SANITARY SEWER PROVIDE MINIMUM 2 FOOT SEPARATION.
9. CONTRACTOR SHALL PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 9' FEET BETWEEN WATER LINES AND SANITARY SEWER MANHOLES AND LINES.
10. SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3' - 6" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING WITH SLOPED BACKFILL ABOVE FOR STORM WATER TO DRAIN AWAY FROM MANHOLE RIM.
11. IN WET STABLE TRENCH AREAS USE BEDDING PER CITY OF HOUSTON STANDARD DETAILS DRAWING NUMBER 02317-02 (2002).
12. DEFLECTION TEST: DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE AND SEMI-RIGID SEWER PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID MANDREL IT SHALL HAVE A DIAMETER EQUAL TO THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED AS PER 30 TAC 317.2 LATEST AMENDMENT AND WITHOUT MECHANICAL PULLING DEVICES. NO BALL-TYPE MANDREL IS ALLOWED.
13. FOR SANITARY MANHOLE (MH) RIMS SET INSIDE OF OR @ CURB & GUTTER PAVEMENT AND/OR BELOW T.C., MH RIMS WILL BE SET FLUSH WITH AN ADJUTING PAVED SURFACE. THE (VALGUN, NEDMAN OR EQUAL) HEAVY DUTY BOLTED SOLID MH COVER SHALL BE PROPERLY (AND SECURELY) ATTACHED AND SEALED TO ITS COMPATIBLE GASKETED FRAME BY USING BOTH A NEOPRENE GASKET AND (AT LEAST) 4 COUNTER-SUNK HEX-HEAD COARSE THREADED 3/8"-13 UNC STAINLESS STEEL BOLTS. THE HEAVY DUTY FRAME MH COVER SHALL BE SOLID (NO AIR HOLES); SAID FRAME SHALL BE BOTH EMBEDDED INTO THE MH'S TOP ALSO SECURELY ANCHORED TO THE UNDERLYING MH STRUCTURE WITH EITHER SECURELY ATTACHED EMBEDDED ANCHOR BOLTS OR THE CONCRETE MH'S EXPOSED REBARS WELDED TO THE FRAME OR OTHER EQUALLY SECURED METHODS TO PREVENT MH COVER/FRAME BLOW-OFFS/ELECTIONS.

CENTERPOINT ENERGY NOTES

- CAUTION: UNDERGROUND GAS FACILITIES**
- LOCATIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY INTRASTATE PIPELINE, LLC, WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE USUALLY NOT SHOWN. OUR SIGNATURE ON THESE PLANS ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION. IT DOES NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE. THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT 1-800-545-6005 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.
- WHEN CENTERPOINT ENERGY PIPELINE MARKINGS ARE NOT VISIBLE, CALL (713) 207-5463 OR (713) 945-8037 (7:00 A.M. TO 4:00 P.M.) FOR STATUS OF LINE. LOCATIONS BEFORE EXCAVATION BEGINS.
 - WHEN EXCAVATING WITHIN EIGHTEEN (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
 - WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SURVEY MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.
 - FOR EMERGENCIES REGARDING GAS LINES CALL (713) 659-3552 OR (713) 207-6200.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
- WARNING: OVERHEAD ELECTRICAL LINES**
- OVERHEAD LINES MAY EXIST ON THE PROPERTY. THE LOCATION OF OVERHEAD LINES HAS NOT BEEN SHOWN ON THESE DRAWINGS AS THE LINES ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE FORBIDS ACTIVITIES THAT OCCUR IN CLOSE PROXIMITY TO HIGH VOLTAGE LINES, ESPECIALLY:
- ANY ACTIVITY WHERE PERSON OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES; AND
 - OPERATING A CRANE, DERRICK, POWER SHOVEL, DRILLING RIG, PILE DRIVER, HOISTING EQUIPMENT, OR SIMILAR APPARATUS WITHIN 10 FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES.
- PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CANNOT BE VIOLATED. THE CUSTOMER MUST BE NOTIFIED PRIOR TO ANY CONSTRUCTION OR REMOVED CALL CENTERPOINT ENERGY AT (713) 207-2222.
- ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY
1. NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713) 207-6348 OR (713) 207-5769.
- ELEVATION REQUIREMENTS**
- THE MINIMUM ELEVATION REQUIREMENT FOR THE TOP OF THE EQUIPMENT PADS SHALL BE FIFTEEN FEET (15') ABOVE MEAN SEA LEVEL, AND TWO FEET (2') ABOVE THE DOCUMENTED 500-YEAR FLOODPLAIN. THE CUSTOMER MUST PROVIDE CONSTRUCTION PADS THAT MEET THESE ELEVATION REQUIREMENTS. THE EASEMENT (MINIMUM WORKING CLEARANCE) AROUND THE EQUIPMENT PADS SHALL ALSO BE BROUGHT UP TO THE ABOVE MENTIONED MINIMUM ELEVATION, AS OUTLINED ON THE EQUIPMENT PAD DETAIL. SPECIFICATION OF THE CUSTOMER SHALL BE THE BASIS OF THE EASEMENT AREA. THE PERIMETER OF THE ELEVATED AREA AS REQUIRED BY OSHA AND THE GOVERNING CITY OF COUNTY BUILDING CODE. THE EASEMENT AREA SURROUNDING THE EQUIPMENT PADS SHALL NOT HAVE A SLOPE GREATER THAN 2% THE PAD AND MINIMUM EASEMENT ELEVATIONS (MINIMUM WORKING CLEARANCE) MUST BE VERIFIED AT THE TIME OF INSTALLATION.

CONTRACTOR NOTES

1. THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL IMPROVEMENTS DEPICED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUANTITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORKING DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNEES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR HIS OWN HORIZONTAL AND VERTICAL CONTROL, REFERENCE POINTS AND CONSTRUCTION STAKING AS INCIDENTAL TO THE PROJECT.
7. CONTRACTOR TO FIELD VERIFY ALL BOUNDARY AND TOPOGRAPHIC INFORMATION PRIOR TO BEGINNING WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFICATION OF ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF PRIVATE OR PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
9. CONTRACTOR SHALL NOTIFY UTILITY COORDINATING COMMITTEE BY TELEPHONE AT 713-233-4567 OR 1-800-669-8344 AND CITY OF MAGNOLIA
10. CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE "TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES"; (TEXAS M.U.T.C.D. MOST RECENT EDITION AS REVISED) DURING CONSTRUCTION.
11. IF CONTRACTOR OPTS TO USE OPEN CUT METHOD OF CONSTRUCTION, TRENCH BEDDING AND BACKFILL SHALL MEET CITY OF MAGNOLIA STANDARD SPECIFICATIONS REQUIREMENTS AND ALL OPEN EXCAVATIONS IN VEHICULAR TRAFFIC AREAS SHALL BE COVERED WITH ANCHORED STEEL PLATES CAPABLE OF SUPPORTING HIS 20 LOADING AT END OF EACH DAYS WORK OR WHEN NOT IN USE.
12. OFF DUTY UNIFORMED POLICE OFFICER IS REQUIRED TO DIRECT TRAFFIC WHERE TRAFFIC LANES ARE BLOCKED.
13. CONTRACTOR SHALL COMPLY WITH O.S.H.A. REGULATIONS AND STATE OF TEXAS LAW CONCERNING EXCAVATION, TRENCHING AND SHORING AS SPECIFIED IN CITY OF MAGNOLIA. EXCAVATIONS OVER 5 FEET DEEP TO BE SHEETED AND PROTECTED IN ACCORDANCE WITH THE "TRENCH SAFETY DETAILS" AS REQUIRED BY STATE LAW AND O.S.H.A. ANY DEVIATION FROM THE METHOD SHOWN IN THE PLANS MUST BE DESIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS AND IN GOOD STANDING. SAID DESIGN MUST BE FORWARDED TO THE ENGINEER AND IN HIS HANDS AT LEAST 48 HOURS BEFORE BEGINNING EXCAVATION OPERATIONS. FAILURE TO COMPLY WITH THE REQUIREMENTS HEREIN WILL CONSTITUTE AGREEMENT BY THE CONTRACTOR TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO COMPLY. ASSUME TYPE "C" SOIL.
14. CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO STORM STRUCTURES AND NO PONDING.
15. IN PEDESTRIAN ACCESSIBLE AREAS CROSS SLOPES SHALL NOT EXCEED 2% AND RUNNING SLOPE SHALL NOT EXCEED 5% WITHOUT ADDITIONAL ADA PROVISIONS.

AT&T TEXAS FACILITIES

1. THE LOCATIONS OF AT&T TEXAS/SWBT FACILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.
2. THE CONTRACTOR SHALL CALL 1-800-344-8377 (TEXAS 811) A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE UNDERGROUND LINES FIELD LOCATED.
3. WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF AT&T TEXAS/SWBT FACILITIES, ALL EXCAVATIONS MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES. WHEN BORING, THE CONTRACTOR SHALL EXPOSE THE AT&T TEXAS/SWBT FACILITIES.
4. WHEN AT&T TEXAS/SWBT FACILITIES ARE EXPOSED, THE CONTRACTOR WILL PROVIDE SUPPORT TO PREVENT DAMAGE TO THE CONDUIT DUCTS OR CABLES. WHEN EXCAVATING NEAR TELEPHONE CABLES, THE CONTRACTOR SHALL BRACE THE POLE FOR EXTRA STRENGTH.
5. THE PRESENCE OR ABSENCE OF AT&T TEXAS/SWBT UNDERGROUND CONDUIT FACILITIES OR BURIED CABLE FACILITIES SHOWN ON THESE PLANS DOES NOT MEAN THAT THERE ARE NO DIRECT BURIED CABLES OR CABLES IN THE AREA.
6. PLEASE CONTACT THE AT&T TEXAS DAMAGE PREVENTION, IF THERE ARE QUESTIONS ABOUT BORING OR EXCAVATING NEAR OUR AT&T TEXAS/SWBT FACILITIES.

GENERAL CONTRACTOR NOTE

AS PER MONTGOMERY COUNTY'S DIRECTIVE, ALL TYPICAL DETAILS AND SPECIFICATIONS SHOULD FOLLOW CITY OF HOUSTON STANDARDS

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 TBP# FIRM REG. #F-13709

Project
 13321 FM 1488
 MAGNOLIA, TX 77354
 MAGNOLIA
 TEXAS

Drawing Title
GENERAL NOTES & LEGEND

Project No.
510057201

Date
09/01/2023

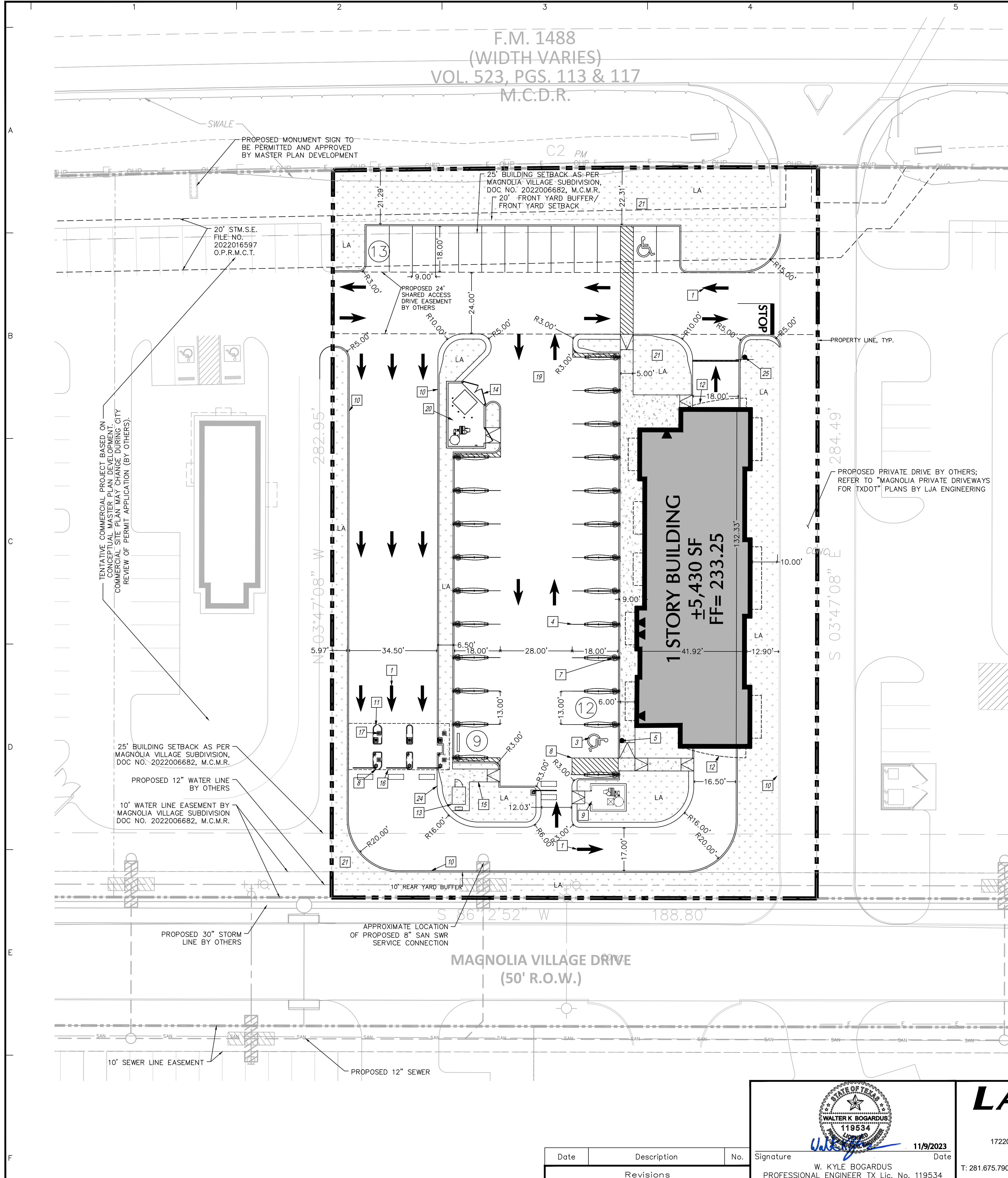
Drawn By
CS

Checked By
CB

Drawing No.
CS003

Professional Engineer Seal for Walter K. Bogardus, No. 119534, State of Texas, expires 11/9/2023.

| Date | Description | No. | Signature | Date |
|------|-------------|-----|--|------|
| | Revisions | | W. KYLE BOGARDUS PROFESSIONAL ENGINEER TX Lic. No. 119534 | |

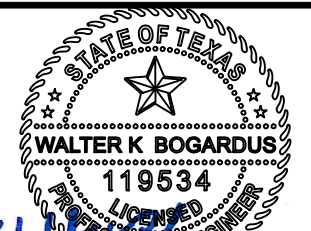
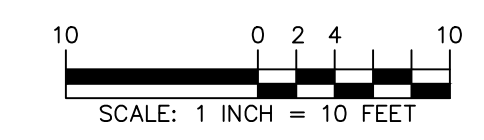
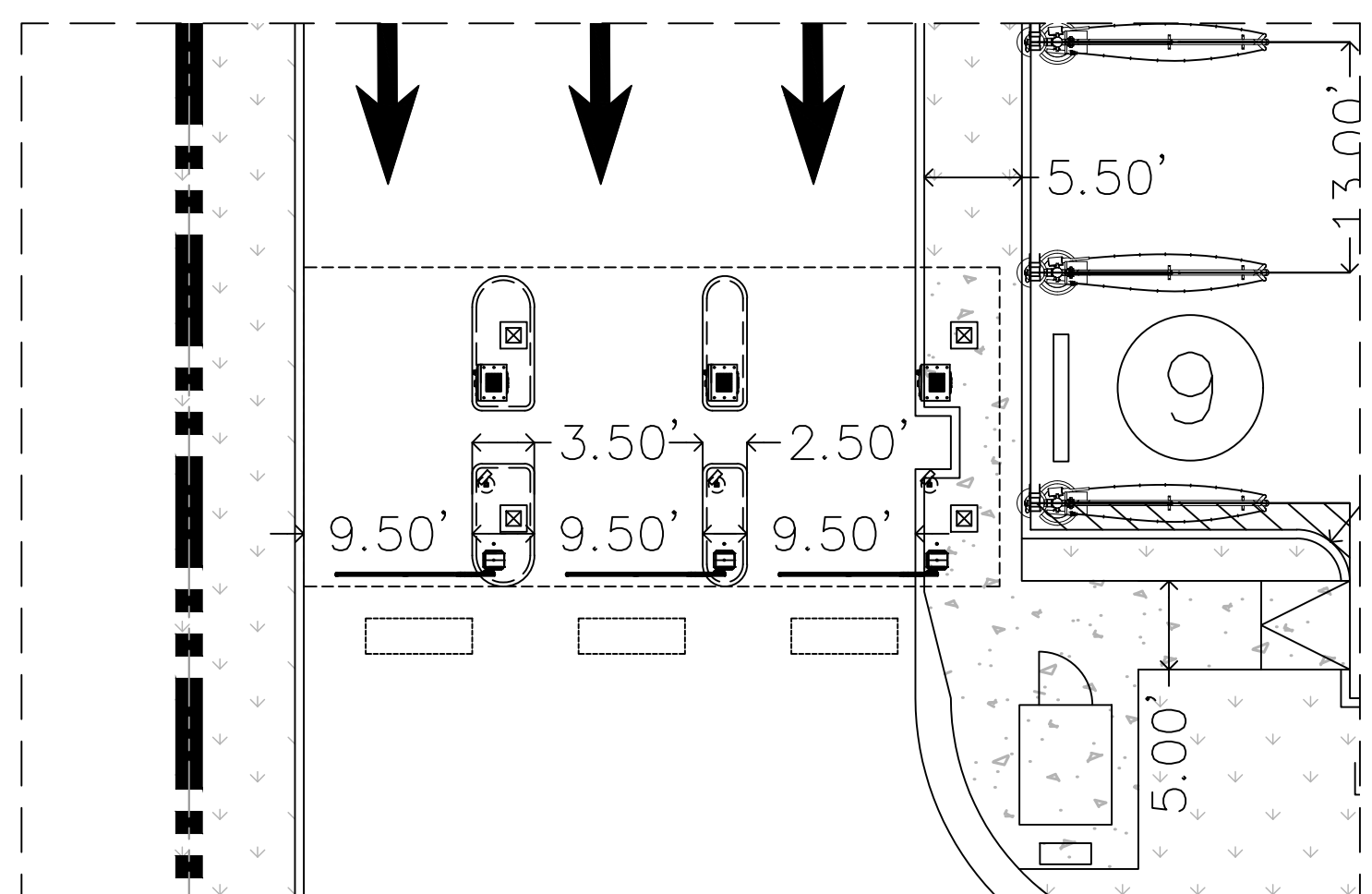


| SITE DATA | |
|------------------------------|---|
| ADDRESS: | 13321 FARM TO MARKET RD 1488 |
| PARCEL ID: | S710900 (7109-00-0200) |
| LOT AREA: | 52,707 SF (1.21 AC) |
| CURRENT ZONING: | CITY OF MAGNOLIA |
| EXISTING USE: | VACANT TRACT OF LAND |
| PROPOSED USE: | EXPRESS CAR WASH |
| BUILDING AREA: | 5,430 SF |
| BUILDING LOT COVERAGE: | 5,430 SF/52,707 SF = 10.3% |
| BUILDING HEIGHT: | 35' (1 STORY) |
| MINIMUM LOT WIDTH: | 60' |
| MINIMUM LOT DEPTH: | 100' |
| MINIMUM FRONT YARD SETBACK: | 25' |
| MINIMUM SIDE YARD SETBACK: | 5' |
| MINIMUM SIDE STREET SETBACK: | 10' |
| MINIMUM REAR YARD SETBACK: | 10' |
| PARKING REQUIRED: | 3 PARKING SPACES FOR EACH BAY OR STALL FOR STACKING SPACE PLUS 1 SPACE PER 2 STALLS IF ATTENDED |
| PARKING PROVIDED: | 34 |
| HANDICAP PARKING REQUIRED: | 2 |
| HANDICAP PARKING PROVIDED: | 2 |
| PARKING DIMENSION, TYP: | 13'X18' 9'X18' |

| SITE DATA | |
|---|-------------------------------------|
| AREA OF PARCEL PROPOSED FOR DEVELOPMENT | 100% |
| REQ. AND PROV. OPEN SPACE RATIO OR LANDSCAPE SURFACE RATIO: | REFER TO LANDSCAPE PLAN |
| NET BUILDABLE AREA: | 43,494 SF (1.00 AC) |
| MAXIMUM AND ACTUAL GROSS AND NET DENSITY: | N/A |
| PROVIDER FOR: | CITY OF MAGNOLIA |
| SANITARY SEWER: | CITY OF MAGNOLIA |
| POTABLE WATER: | CITY OF MAGNOLIA |
| TELEPHONE: | AT&T |
| GAS UTILITIES: | CENTERPOINT |
| OPEN SPACE RATIO: | 11,335 SF/43,494 SF = 0.261 (26.1%) |

- ### SITE NOTES
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MISTER CAR WASH SPECIFICATIONS AND/OR CITY OF MAGNOLIA SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
 - ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH CITY OF MAGNOLIA STANDARD SPECIFICATIONS.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL PERMITTING AUTHORITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 - IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/ APPLICABLE GOVERNING AUTHORITIES.
 - ALL FIRE LANES SHALL BE STRIPED ACCORDING TO CITY OF MAGNOLIA REQUIREMENTS.
 - REFER TO THE MCW SITE PLAN STANDARDS FOR CRITICAL DIMENSIONS AND WHERE TO PROPOSE VERTICAL AND ROLLED CURBS.
 - NO ASPHALT ON-SITE

- ### LAYOUT NOTES
- PAINTED TRAFFIC ARROW
 - DRIVE THROUGH STRIPING
 - PAINTED HANDICAP PARKING SYMBOL
 - PARKING STALLS WITH 4" STRIPE
 - HANDICAP SIGN ON BOLLARD (SEE DETAIL CS501)
 - NO PARKING AREA STRIPING
 - INSTALL VACUUM
 - INSTALL PEGASUS 30" W/ CONCRETE POS ISLAND, SEE DETAILS
 - INSTALL VACUUM ENCLOSURE, SEE DETAILS
 - 6" RAISED CURB
 - POINT OF SALE
 - OVERHEAD CANOPY
 - CSA HUT, SEE DETAILS
 - COMBINED DUMPSTER AND VACUUM ENCLOSURE (BY OTHERS)
 - SIDEWALK
 - DRIVE THROUGH CANOPY
 - CANOPY COLUMN
 - LIGHT DUTY CONCRETE PAVEMENT (SEE DETAIL 4, SHEET CS501)
 - MEDIUM DUTY CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - LANDSCAPE
 - 6" CURB TO FLUSHED
 - 24" ROLLOVER CURB
 - 6" CURB TO 24" ROLLOVER CURB TRANSITION
 - STOP SIGN, TYP.
 - MATCH TO EXISTING CURB
 - EXISTING CONCRETE DRIVE
 - MATCH TO EXISTING PAVEMENT
 - 12" SOLID WHITE STOP BAR



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TBPE FIRM REG. #F-13709

Project
13321 FM 1488
MAGNOLIA, TX 77354

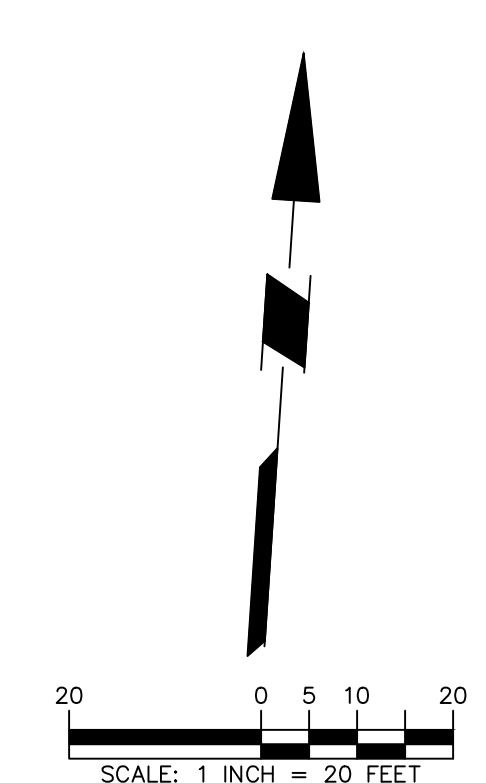
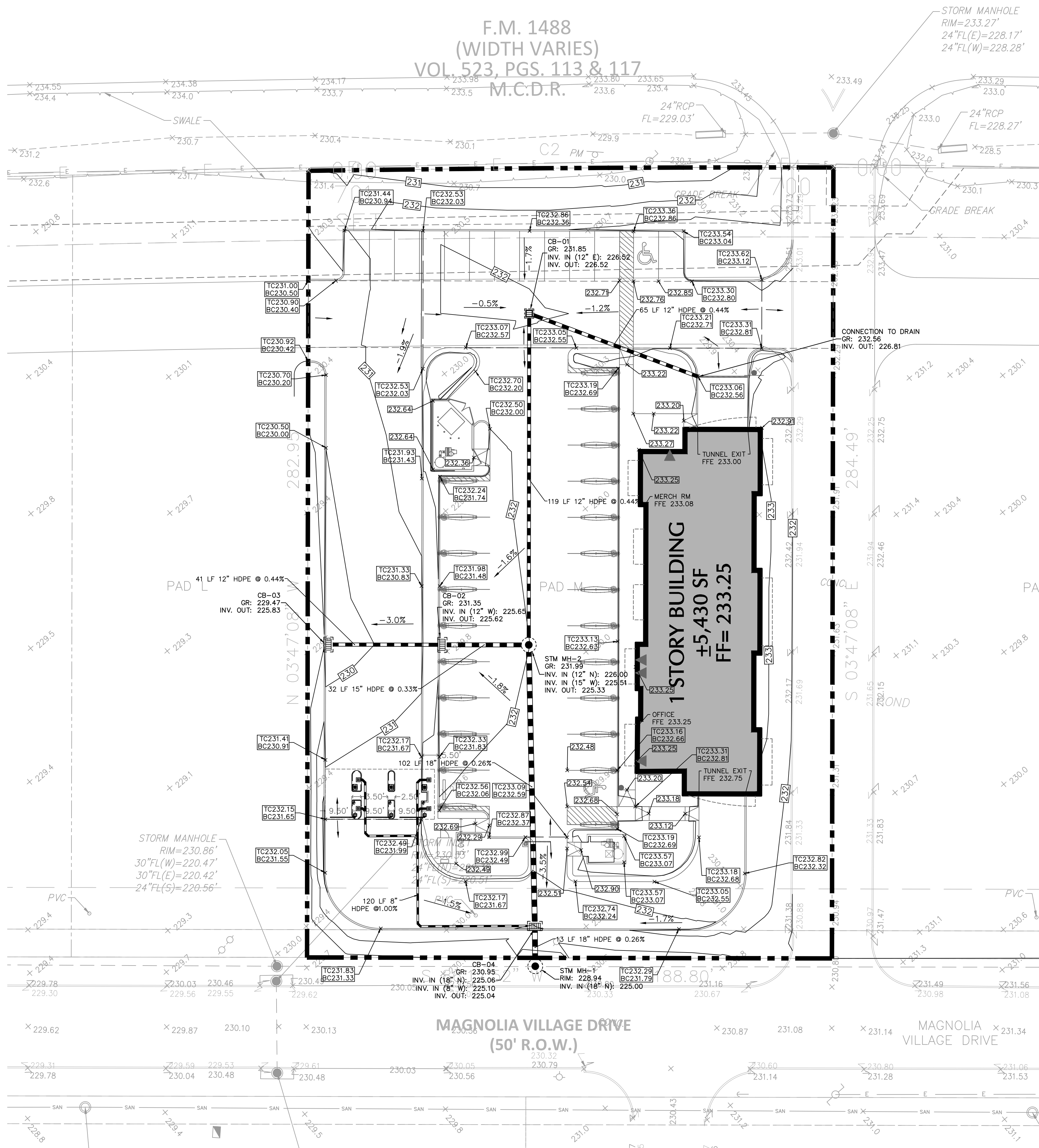
Drawing Title
SITE PLAN

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|-------------|------------|-------------|-------|
| Project No. | 510057201 | Drawing No. | CS101 |
| Date | 09/01/2023 | | |
| Drawn By | CS | | |
| Checked By | CB | | |

| Date | Description | No. |
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| | Revisions | |

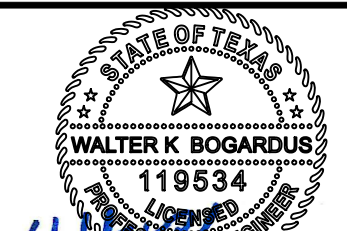
Signature
W. KYLE BOGARDUS
PROFESSIONAL ENGINEER TX Lic. No. 119534
Date
11/9/2023

F.M. 1488
(WIDTH VARIES)
VOL. 523, PGS. 113 & 117
M.C.D.R.



NOTES:

1. IN AREAS WHERE THE PROJECT DESIGN INCORPORATES FILL ADJACENT TO NEIGHBORING LANDOWNERS, THE CONTRACTOR SHALL IMPLEMENT GRADING AND/OR PERIMETER RUNOFF CATCHMENTS DEVICES (EG-PERIMETER DITCHES) DURING CONSTRUCTION TO ENSURE THAT ADJACENT PARCELS BORDERING THE PROJECT SITE DO NOT EXPERIENCE INTERIM DRAINAGE FLOWS THAT EXCEED PRE-DEVELOPMENT CONDITIONS FOR STORM EVENTS UP TO AND INCLUDING THE CURRENT STORM DRAINAGE DESIGN CRITERIA AT THE TIME OF THE PERMIT OR CARRY SEDIMENT GENERATED AS PART OF CONSTRUCTION ACTIVITIES. WHERE APPLICABLE, THESE PRACTICES ARE IN ADDITION TO THE STANDARD STORM WATER POLLUTION PREVENTION PLAN DESIGN AND SHALL INCLUDE ADDITIONAL DITCHES REDIRECTION SITE DRAINAGE OR TEMPORARY PIPING. THIS IS NOT INTENDED TO ADDRESS ANY LIABILITY OR RESPONSIBILITY UNDER TEXAS WATER CODE 11.086
2. THE CONTRACTOR SHALL PREPARE EARTHWORK CALCULATIONS PRIOR TO BIDDING TO QUANTIFY THE VOLUME OF ON-SITE CUT AND FILL AND ANY IMPORT/EXPORT REQUIRED TO COMPLETE THIS PROJECT, ALL OF WHICH WILL BE INCLUDED IN THE BASE BID. THE EARTHWORK CALCULATIONS SHALL CONSIDER THE DATA AND RECOMMENDATIONS OF THE GEOTECHNICAL AND ENVIRONMENTAL REPORTS WITH REGARD TO THE SUITABILITY OF ON-SITE SOIL/MATERIAL FOR USE ON THE SITE. THE CONTRACTOR MAY PROPOSE, AS PART OF THEIR BID, MODIFICATIONS TO THE FINISHED FLOOD ELEVATION AND/OR EXTERIOR GRADES TO MINIMIZE IMPORT OR EXPORT OF SOIL WHILE ACCOMPLISHING THE DESIGN INTENT. IF DEEMED ACCEPTABLE AND APPROPRIATE BY THE OWNER AND ENGINEER, THE ENGINEER WILL REVISE THE PROPOSED GRADING PLAN BASED ON THE CONTRACTOR'S RECOMMENDATIONS. ONCE THE GRADING PLAN HAS BEEN REVISED (AND IF NECESSARY RE-APPROVED BY LOCAL AUTHORITIES), THE REVISED PLANS SHALL BE CONSIDERED THE FINAL CONTRACT DRAWINGS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL EARTHWORK ACTIVITIES (INCLUDING MEANS AND METHODS AS WELL AS ANY REQUIRED IMPORT OR EXPORT OF MATERIAL
3. 48 HOUR NOTICE: CONTRACTOR SHALL NOTIFY HARRIS COUNTY PRIOR TO COMMENCING CONSTRUCTION AND/OR BACKFILLING ANY UTILITIES. CONTRACTOR(S) TO CONTACT PUBLIC REVIEW DEPARTMENT @ (713)-274-3931 OR PUBLIC.REVIEW@HCPID.ORG



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TBPE FIRM REG. #F-13709

Project
13321 FM 1488
MAGNOLIA, TX 77354

Drawing Title
**GRADING &
DRAINAGE PLAN**

| | |
|---------------------------------|-----------------------------|
| Project No. 510057201 | Drawing No. CG101 |
| Date 09/01/2023 | Sheet of 25 |
| Drawn By CS | |
| Checked By CB | |

| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |

Signature
W. KYLE BOGARDUS
PROFESSIONAL ENGINEER Tx Lic. No. 119534

11/9/2023

A

B

C

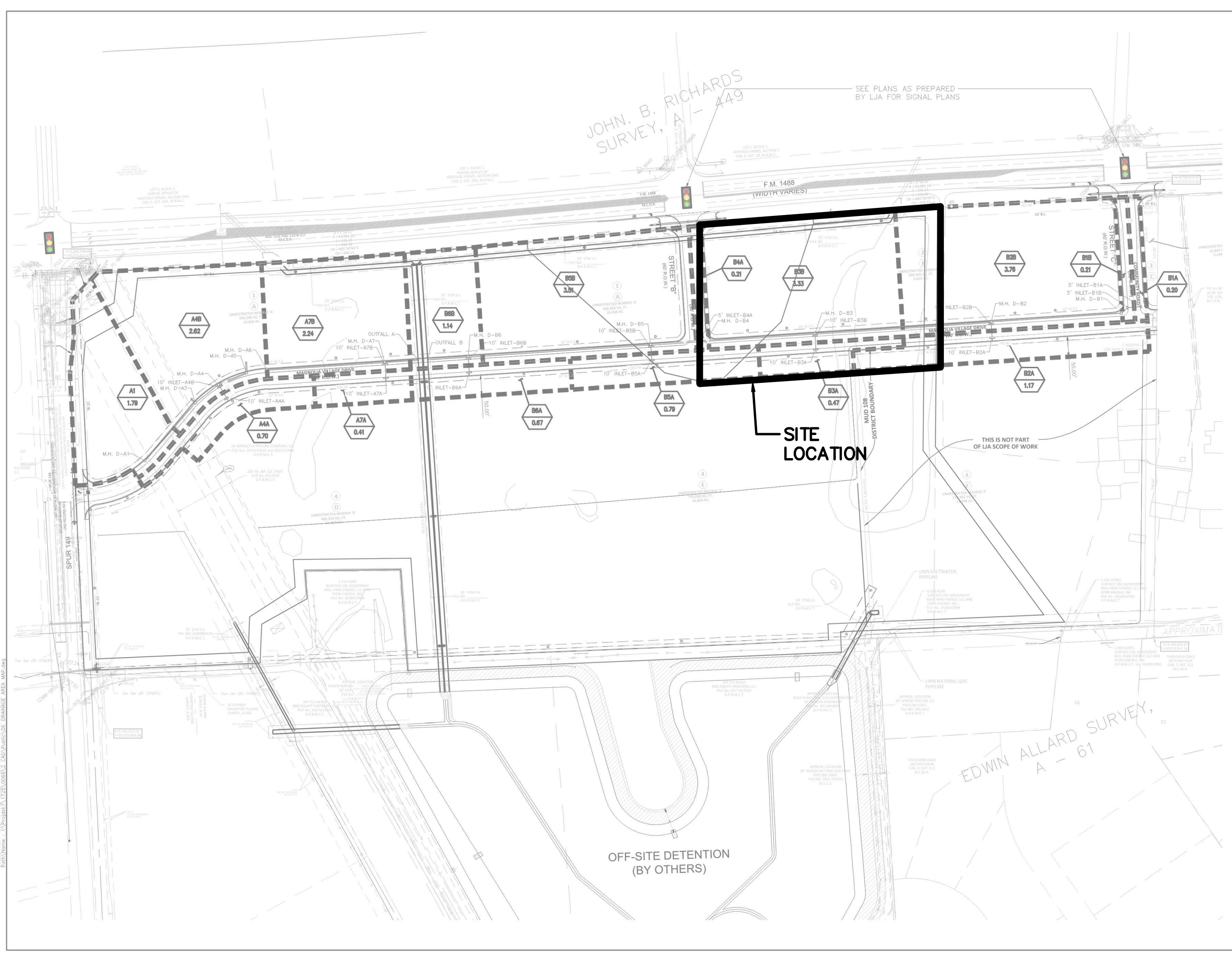
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F

LANGAN

Project No. 510054801



LOGO: STATE OF TEXAS ENGINEERING PROFESSIONAL SEAL

WALTER K. BOGARDUS 119534

PROFESSIONAL ENGINEER TX Lic. No. 119534

5 YEAR STORM SEWER ATLAS 14 CALCULATIONS Magnolia Village PREPARED ON: November, 2021

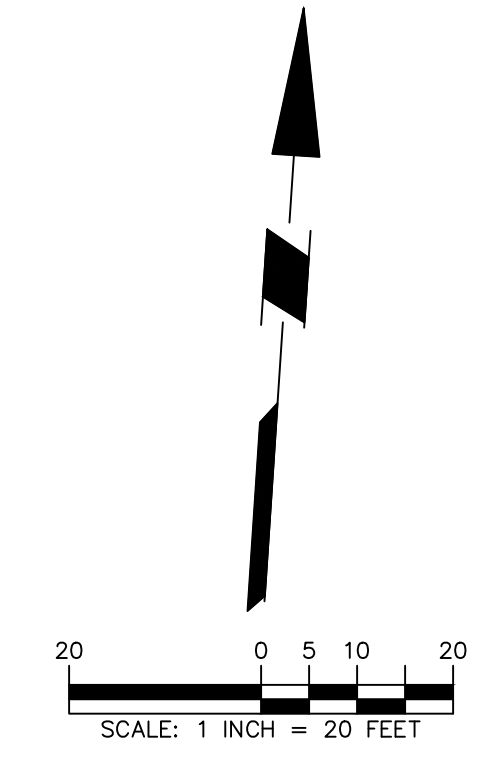
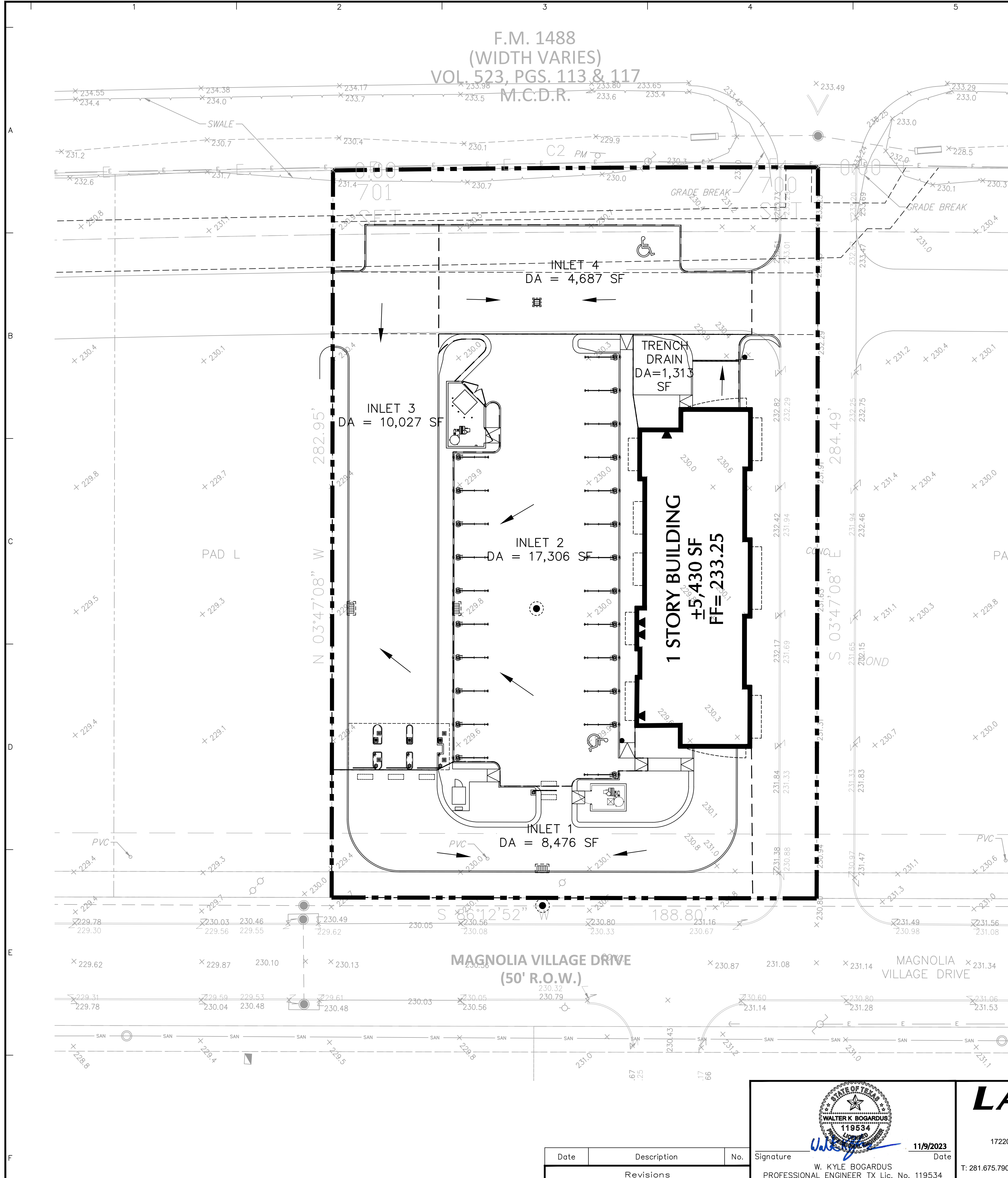
JOB NO: 1725-0068

| Manhole | Manhole | Date | Area | Condition | Sum of | Intensity | Sum of | Time of | Pipe | Reach | Diameter | Material | Design | Design | Manhole | Hydraulic | Change | Hyd. Grad. | Hyd. Grad. | Top of | Difference | | | | |
|--------------------------|---------|------|---------|-----------|--------|-----------|------------|---------------------|--------------|---------------|----------|----------|----------------|----------------|------------------|-------------|----------------|-----------------|------------------|--------------|-----------------|------|--------|--------|------|
| From | To | | (Acres) | | C.F.A. | (Units) | Flow (CFS) | Concentration (MGD) | Time (Hours) | Length (Feet) | (Inches) | (Feet) | Capacity (CFS) | Velocity (FPS) | Elevation (Feet) | Loss (Feet) | In Head (Feet) | at Inlet (Feet) | at Outlet (Feet) | Grade (Feet) | at Inlet (Feet) | | | | |
| SYSTEM "A" | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | 1 | 1.79 | 1.79 | 0.80 | 1.43 | 100 | 5.01 | 7.18 | 24.08 | 0.78 | 108 | 24 | 0.28 | 0.913 | 11.54 | 3.67 | 0.20 | 0.00 | 219.74 | 219.48 | 2.26 | 0.10 | 221.02 | 221.71 | 0.69 |
| 2 | 3 | 0.00 | 1.79 | 0.80 | 1.43 | 100 | 4.93 | 7.28 | 23.88 | 0.88 | 79 | 24 | 0.28 | 0.913 | 11.54 | 3.67 | 0.20 | 0.00 | 219.48 | 219.28 | 2.20 | 0.10 | 221.07 | 221.65 | 0.58 |
| 3 | 4 | 0.00 | 1.79 | 0.80 | 1.43 | 100 | 4.87 | 8.87 | 27.43 | 0.74 | 72 | 24 | 0.28 | 0.913 | 11.54 | 3.67 | 0.19 | 0.00 | 219.28 | 219.07 | 2.21 | 0.09 | 221.64 | 221.57 | 0.07 |
| 4 | 5 | 2.62 | 5.11 | 0.80 | 3.53 | 100 | 4.81 | 16.87 | 27.88 | 0.56 | 74 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.19 | 0.00 | 219.07 | 218.88 | 3.48 | 0.17 | 221.37 | 221.28 | 0.09 |
| 5 | 6 | 0.00 | 5.11 | 0.80 | 3.53 | 100 | 4.78 | 18.85 | 28.25 | 0.26 | 80 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.20 | 0.00 | 218.88 | 218.75 | 3.43 | 0.17 | 221.38 | 221.21 | 0.17 |
| 6 | 7 | 0.00 | 5.11 | 0.80 | 3.53 | 100 | 4.78 | 18.78 | 28.58 | 0.40 | 87 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.19 | 0.00 | 218.75 | 218.60 | 3.43 | 0.17 | 221.38 | 221.21 | 0.17 |
| 7 | OUTFALL | 2.24 | 7.79 | 0.80 | 5.52 | 100 | 4.62 | 24.87 | 29.99 | 0.24 | 71 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.19 | 0.00 | 218.60 | 217.92 | 5.01 | 0.28 | 220.57 | 220.32 | 0.25 |
| SYSTEM "A" INLETS | | | | | | | | | | | | | | | | | | | | | | | | | |
| A1A | A1B | 0.70 | 0.70 | 0.80 | 0.58 | 100 | 5.21 | 2.82 | 24.28 | 0.54 | 30 | 24 | 0.67 | 0.913 | 18.47 | 5.88 | 0.20 | 0.00 | 219.27 | 219.17 | 0.93 | 0.02 | 221.07 | 221.07 | 0.00 |
| A1B | A1 | 0.00 | 0.70 | 0.80 | 0.58 | 100 | 5.15 | 2.88 | 24.93 | 0.13 | 7 | 24 | 1.43 | 0.913 | 27.04 | 8.61 | 0.10 | 0.00 | 219.17 | 219.07 | 0.92 | 0.02 | 221.07 | 221.07 | 0.00 |
| A7A | A7B | 0.41 | 0.41 | 0.80 | 0.88 | 100 | 5.13 | 4.58 | 25.08 | 0.54 | 30 | 24 | 0.67 | 0.913 | 18.47 | 5.88 | 0.20 | 0.00 | 219.38 | 219.10 | 1.45 | 0.04 | 221.07 | 221.07 | 0.00 |
| A7B | A7 | 0.00 | 0.41 | 0.80 | 0.88 | 100 | 5.08 | 4.62 | 25.40 | 0.08 | 7 | 24 | 1.43 | 0.913 | 25.04 | 8.61 | 0.10 | 0.00 | 219.10 | 219.08 | 1.44 | 0.04 | 221.07 | 221.07 | 0.00 |
| SYSTEM "B" | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | 2 | 0.41 | 0.41 | 0.80 | 0.53 | 100 | 6.31 | 1.74 | 23.89 | 0.82 | 317 | 24 | 0.28 | 0.913 | 11.54 | 3.67 | 0.20 | 0.00 | 222.22 | 221.48 | 0.95 | 0.01 | 224.24 | 224.22 | 0.02 |
| 2 | 3 | 3.78 | 3.78 | 0.80 | 3.26 | 100 | 4.28 | 14.93 | 23.07 | 2.42 | 482 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.12 | 0.00 | 221.48 | 220.98 | 2.89 | 0.13 | 224.32 | 224.30 | 0.02 |
| 3 | 4 | 3.33 | 8.14 | 0.80 | 4.07 | 100 | 4.17 | 25.32 | 24.48 | 0.80 | 206 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.19 | 0.00 | 220.98 | 219.98 | 5.10 | 0.37 | 224.38 | 224.35 | 0.03 |
| 4 | 5 | 0.21 | 8.38 | 0.80 | 4.17 | 100 | 4.11 | 26.38 | 24.28 | 0.00 | 136 | 30 | 0.28 | 0.913 | 20.91 | 4.41 | 0.28 | 0.00 | 219.98 | 219.34 | 3.86 | 0.14 | 224.32 | 224.30 | 0.02 |
| 5 | 6 | 3.81 | 13.08 | 0.80 | 4.08 | 100 | 4.07 | 38.48 | 24.88 | 1.44 | 448 | 30 | 0.28 | 0.913 | 20.91 | 4.41 | 0.28 | 0.00 | 219.34 | 218.98 | 5.18 | 0.30 | 224.32 | 224.30 | 0.02 |
| 6 | 7 | 0.00 | 13.08 | 0.80 | 4.08 | 100 | 4.07 | 38.48 | 24.88 | 1.44 | 448 | 30 | 0.28 | 0.913 | 20.91 | 4.41 | 0.28 | 0.00 | 218.98 | 218.92 | 5.00 | 0.30 | 224.32 | 224.30 | 0.02 |
| 7 | OUTFALL | 1.14 | 14.48 | 0.80 | 4.08 | 100 | 3.97 | 38.28 | 24.82 | 0.30 | 101 | 30 | 0.28 | 0.913 | 20.91 | 4.41 | 0.28 | 0.00 | 218.92 | 218.92 | 5.00 | 0.30 | 224.32 | 224.30 | 0.02 |
| SYSTEM "B" INLETS | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1A | 1B | 0.20 | 0.20 | 0.80 | 0.18 | 100 | 5.45 | 0.81 | 22.93 | 1.80 | 30 | 24 | 0.18 | 0.913 | 9.60 | 3.08 | 0.05 | 0.00 | 222.52 | 222.32 | 0.28 | 0.00 | 224.52 | 224.50 | 0.02 |
| 1B | 1 | 0.21 | 0.41 | 0.80 | 0.33 | 100 | 5.22 | 1.71 | 24.33 | 0.21 | 7 | 24 | 1.18 | 0.913 | 9.60 | 3.08 | 0.01 | 0.00 | 222.32 | 222.22 | 0.30 | 0.01 | 224.52 | 224.50 | 0.02 |
| 2A | 2B | 1.17 | 1.17 | 0.80 | 1.28 | 100 | 5.18 | 0.88 | 24.58 | 0.24 | 30 | 24 | 0.18 | 0.913 | 9.60 | 3.08 | 0.05 | 0.00 | 221.70 | 221.50 | 0.24 | 0.00 | 224.22 | 224.20 | 0.02 |
| 2B | 2 | 0.00 | 1.17 | 0.80 | 1.28 | 100 | 5.14 | 0.82 | 24.78 | 0.05 | 7 | 24 | 1.18 | 0.913 | 9.60 | 3.08 | 0.01 | 0.00 | 221.50 | 221.48 | 2.88 | 0.08 | 224.22 | 224.20 | 0.02 |
| 3A | 3B | 0.47 | 0.47 | 0.80 | 0.38 | 100 | 5.28 | 1.88 | 23.78 | 0.78 | 30 | 24 | 0.18 | 0.913 | 9.60 | 3.08 | 0.05 | 0.00 | 220.88 | 220.68 | 0.63 | 0.01 | 224.08 | 224.08 | 0.00 |
| 3B | 3 | 0.00 | 0.47 | 0.80 | 0.38 | 100 | 5.19 | 1.88 | 24.54 | 0.18 | 7 | 24 | 1.18 | 0.913 | 9.60 | 3.08 | 0.01 | 0.00 | 220.68 | 220.58 | 0.62 | 0.01 | 224.08 | 224.08 | 0.00 |
| 4A | 4A | 0.21 | 0.21 | 0.80 | 0.24 | 100 | 5.17 | 2.81 | 24.73 | 0.21 | 18.4 | 24 | 0.18 | 0.913 | 9.60 | 3.08 | 0.03 | 0.00 | 219.78 | 219.58 | 0.89 | 0.02 | 223.78 | 223.78 | 0.00 |
| 4A | 4B | 0.79 | 0.79 | 0.80 | 1.18 | 100 | 5.13 | 0.84 | 25.04 | 0.30 | 30 | 24 | 0.18 | 0.913 | 9.60 | 3.08 | 0.05 | 0.00 | 219.58 | 219.34 | 1.02 | 0.07 | 223.78 | 223.74 | 0.04 |
| 4B | 4 | 0.00 | 0.79 | 0.80 | 1.18 | 100 | 5.10 | 0.80 | 25.30 | 0.08 | 7 | 24 | 1.18 | 0.913 | 9.60 | 3.08 | 0.01 | 0.00 | 219.34 | 219.34 | 1.01 | 0.07 | 223.78 | 223.74 | 0.04 |
| 5A | 5B | 0.67 | 0.67 | 0.80 | 0.54 | 100 | 5.32 | 2.80 | 24.22 | 0.58 | 30 | 24 | 0.18 | 0.913 | 9.60 | 3.08 | 0.05 | 0.00 | 219.38 | 219.18 | 0.99 | 0.02 | 223.17 | 223.17 | 0.00 |
| 5B | 5 | 0.00 | 0.67 | 0.80 | 0.54 | 100 | 5.18 | 2.78 | 24.88 | 0.10 | 7 | 24 | 1.18 | 0.913 | 9.60 | 3.08 | 0.01 | 0.00 | 219.18 | 219.08 | 0.88 | 0.01 | 223.17 | 223.17 | 0.00 |

100 YEAR STORM SEWER ATLAS 14 CALCULATIONS Magnolia Village PREPARED ON: November, 2021

JOB NO: 1725-0068

| Manhole | Manhole | Date | Area | Condition | Sum of | Intensity | Sum of | Time of | Pipe | Reach | Diameter | Material | Design | Design | Manhole | Hydraulic | Change | Hyd. Grad. | Hyd. Grad. | Top of | Difference | | | | |
|--------------------------|---------|------|---------|-----------|--------|-----------|------------|---------------------|--------------|---------------|----------|----------|----------------|----------------|------------------|-------------|----------------|-----------------|------------------|--------------|-----------------|------|--------|--------|------|
| From | To | | (Acres) | | C.F.A. | (Units) | Flow (CFS) | Concentration (MGD) | Time (Hours) | Length (Feet) | (Inches) | (Feet) | Capacity (CFS) | Velocity (FPS) | Elevation (Feet) | Loss (Feet) | In Head (Feet) | at Inlet (Feet) | at Outlet (Feet) | Grade (Feet) | at Inlet (Feet) | | | | |
| SYSTEM "A" | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | 1 | 1.79 | 1.79 | 0.80 | 1.43 | 100 | 7.64 | 10.50 | 26.08 | 0.51 | 108 | 24 | 0.28 | 0.913 | 11.54 | 3.67 | 0.20 | 0.00 | 219.74 | 219.48 | 2.26 | 0.10 | 221.02 | 221.71 | 0.69 |
| 2 | 3 | 0.00 | 1.79 | 0.80 | 1.43 | 100 | 7.57 | 10.54 | 25.88 | 0.38 | 79 | 24 | 0.28 | 0.913 | 11.54 | 3.67 | 0.20 | 0.00 | 219.48 | 219.28 | 2.20 | 0.10 | 221.07 | 221.65 | 0.58 |
| 3 | 4 | 0.00 | 1.79 | 0.80 | 1.43 | 100 | 7.52 | 10.70 | 26.47 | 0.59 | 72 | 24 | 0.28 | 0.913 | 11.54 | 3.67 | 0.19 | 0.00 | 219.28 | 219.07 | 2.21 | 0.09 | 221.64 | 221.57 | 0.07 |
| 4 | 5 | 2.62 | 5.11 | 0.80 | 3.53 | 100 | 7.47 | 20.35 | 27.32 | 0.33 | 74 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.19 | 0.00 | 219.07 | 218.88 | 3.48 | 0.17 | 221.37 | 221.28 | 0.09 |
| 5 | 6 | 0.00 | 5.11 | 0.80 | 3.53 | 100 | 7.44 | 20.24 | 27.91 | 0.16 | 80 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.20 | 0.00 | 218.88 | 218.75 | 3.43 | 0.17 | 221.38 | 221.21 | 0.17 |
| 6 | 7 | 0.00 | 5.11 | 0.80 | 3.53 | 100 | 7.42 | 20.17 | 27.71 | 0.49 | 87 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.19 | 0.00 | 218.75 | 218.60 | 3.43 | 0.17 | 221.38 | 221.21 | 0.17 |
| 7 | OUTFALL | 2.24 | 7.79 | 0.80 | 5.52 | 100 | 7.30 | 26.21 | 28.91 | 0.10 | 71 | 30 | 0.28 | 0.913 | 20.91 | 4.28 | 0.19 | 0.00 | 218.60 | 217.92 | 5.01 | 0.28 | 220.57 | 220.32 | 0.25 |
| SYSTEM "A" INLETS | | | | | | | | | | | | | | | | | | | | | | | | | |
| A1A | A1B | 0.70 | 0.70 | 0.80 | 0.58 | 100 | 7.90 | 4.42 | 24.38 | 0.36 | 30 | 24 | 0.67 | 0.913 | 18.47 | 5.88 | 0.20 | 0.00 | 219.27 | 219.17 | 1.41 | 0.04 | 221.07 | 221.07 | 0.00 |
| A1B | A1 | 0.00 | 0.70 | 0.80 | 0.58 | 100 | 7.84 | 4.38 | 24.75 | 0.08 | 7 | 24 | 1.43 | 0.913 | 27.04 | 8.61 | 0.10 | 0.00 | 219.17 | 219.07 | 1.40 | 0.04 | 221.07 | 221.07 | 0.00 |
| A7A | A7B | 0.41 | 0.41 | 0.80 | 0.88 | 100 | 7.85 | 6.05 | 24.83 | 0.23 | 30 | 24 | 0.67 | 0.913 | 18.47 | 5.88 | 0.20 | 0.00 | 219. | | | | | | |



DRAINAGE AREA NOTES

1. IN AREAS WHERE THE PROJECT DESIGN INCORPORATES FILL ADJACENT TO NEIGHBORING LANDOWNERS, THE CONTRACTOR SHALL IMPLEMENT GRADING AND/OR PERIMETER RUNOFF CATCHMENTS DEVICES (E.G. PERIMETER DITCHES) DURING CONSTRUCTION TO ENSURE THAT ADJACENT PARCELS BORDERING THE PROJECT SITE DO NOT EXPERIENCE INTERIM DRAINAGE FLOWS THAT EXCEED PRE-DEVELOPMENT CONDITIONS FOR STORM EVENTS UP TO AND INCLUDING THE CURRENT STORM DRAINAGE DESIGN CRITERIA AT THE TIME OF PERMIT OR CARRY SEDIMENT GENERATED AS PART OF CONSTRUCTION ACTIVITIES. WHERE APPLICABLE, THESE PRACTICES ARE IN ADDITION TO STANDARD STORM WATER POLLUTION PREVENTION DESIGN AND SHALL INCLUDE ADDITIONAL DITCHES REDIRECTING SITE DRAINAGE OR TEMPORARY PIPING. THIS NOTE IS NOT INTENDED TO ADDRESS ANY LIABILITY OR RESPONSIBILITY UNDER TEXAS WATER CODE 11.086.

Project Information
 Project: MCW MAGNOLIA
 Job No.: 510057201
 System: A
 Designed: JM
 Checked: WKB
 Date: 8/31/2023

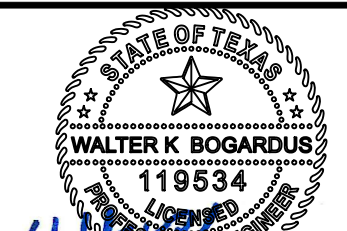
Design Criteria
 Starting HGL Elev. (ft): 226.50
 City of Magnolia Design Storm: 10 yr
 b = 81.00
 d = 7.70
 e = 0.2330
 Mn Cover (ft): 2
 Match C or F: C
 Mn. Tc (min): 0.013
 Junction K: 0.3
 Peaking Factor: 1.25

| Downstream MH/Inlet | Downstream Flowline | Upstream MH/Inlet | Upstream Flowline | Pipe Length (ft) | Round or Box | Pipe Rise (in or ft) | Pipe Span (ft) | No. of Pipes | Pipe Material | n | Mn Slope (%) | C | I (in/hr) | Area (Acres) | Roof Area (sf) | Branch Area (Acres) | Cum. Area (Acres) | Tc (min) | Flow (cfs) | Roof Flow (cfs) | Branch Flow (cfs) | Cum. Flow (cfs) | Design Cap. (cfs) | Flow Velocity (ft/s) | Upstream TG (ft) | HGL (ft) |
|---------------------|---------------------|-------------------|-------------------|------------------|--------------|----------------------|----------------|--------------|---------------|-------|--------------|-----|-----------|--------------|----------------|---------------------|-------------------|----------|------------|-----------------|-------------------|-----------------|-------------------|----------------------|------------------|----------|
| OUTFALL | 225.00 | CB-04 | 225.03 | 13 | Round | 18 | | 1 | RCP | 0.013 | 0.26% | 0.8 | 9.31 | 0.19 | | | 0.96 | 10.00 | 1.45 | 0.00 | | 7.15 | 5.37 | 4.04 | 230.95 | 226.64 |
| CB-04 | 225.03 | STM MH-2 | 225.50 | 102 | Round | 18 | | 1 | RCP | 0.013 | 0.26% | 0.8 | 9.31 | | 0.14 | | 0.77 | 10.00 | 0.00 | 0.00 | 1.03 | 5.70 | 5.37 | 3.22 | 231.99 | 226.98 |
| STM MH-2 | 225.55 | CB-02 | 225.65 | 32 | Round | 15 | | 1 | RCP | 0.013 | 0.33% | 0.8 | 9.31 | 0.40 | | | 0.63 | 10.00 | 2.96 | 0.00 | | 4.67 | 3.72 | 3.81 | 231.35 | 227.22 |
| CB-02 | 225.90 | CB-03 | 226.09 | 41 | Round | 12 | | 1 | RCP | 0.013 | 0.44% | 0.8 | 9.31 | 0.23 | | | 0.23 | 10.00 | 1.71 | 0.00 | | 1.71 | 2.37 | 2.18 | 229.47 | 227.33 |
| STM MH-2 | 226.00 | CB-01 | 226.52 | 119 | Round | 12 | | 1 | RCP | 0.013 | 0.44% | 0.8 | 9.31 | 0.11 | | | 0.14 | 10.00 | 0.80 | 0.00 | | 1.83 | 2.37 | 1.31 | 231.85 | 227.52 |
| CB-01 | 226.52 | TRENCH DRAIN | 226.81 | 65 | Round | 12 | | 1 | RCP | 0.013 | 0.44% | 0.8 | 9.31 | 0.03 | | | 0.03 | 10.00 | 0.22 | 0.00 | | 0.22 | 2.37 | 0.29 | 232.56 | 227.81 |

Project Information
 Project: MCW MAGNOLIA
 Job No.: 510057201
 System: A
 Designed: JM
 Checked: WKB
 Date: 8/31/2023

Design Criteria
 Starting HGL Elev. (ft): 226.50
 City of Magnolia Design Storm: 25 yr
 b = 81.00
 d = 7.70
 e = 0.2240
 Mn Cover (ft): 2
 Match C or F: C
 Mn. Tc (min): 0.013
 Junction K: 0.3
 Peaking Factor: 1.25

| Downstream MH/Inlet | Downstream Flowline | Upstream MH/Inlet | Upstream Flowline | Pipe Length (ft) | Round or Box | Pipe Rise (in or ft) | Pipe Span (ft) | No. of Pipes | Pipe Material | n | Mn Slope (%) | C | I (in/hr) | Area (Acres) | Roof Area (sf) | Branch Area (Acres) | Cum. Area (Acres) | Tc (min) | Flow (cfs) | Roof Flow (cfs) | Branch Flow (cfs) | Cum. Flow (cfs) | Design Cap. (cfs) | Flow Velocity (ft/s) | Upstream TG (ft) | HGL (ft) |
|---------------------|---------------------|-------------------|-------------------|------------------|--------------|----------------------|----------------|--------------|---------------|-------|--------------|-----|-----------|--------------|----------------|---------------------|-------------------|----------|------------|-----------------|-------------------|-----------------|-------------------|----------------------|------------------|----------|
| OUTFALL | 225.00 | CB-04 | 225.03 | 13 | Round | 18 | | 1 | RCP | 0.013 | 0.26% | 0.8 | 10.11 | 0.19 | | | 0.96 | 10.00 | 1.57 | 0.00 | | 7.77 | 5.37 | 4.38 | 230.95 | 226.66 |
| CB-04 | 225.03 | STM MH-2 | 225.50 | 102 | Round | 18 | | 1 | RCP | 0.013 | 0.26% | 0.8 | 10.11 | | 0.14 | | 0.77 | 10.00 | 0.00 | 0.00 | 1.11 | 6.19 | 5.37 | 3.26 | 231.99 | 227.07 |
| STM MH-2 | 225.55 | CB-02 | 225.65 | 32 | Round | 15 | | 1 | RCP | 0.013 | 0.33% | 0.8 | 10.11 | 0.40 | | | 0.63 | 10.00 | 3.21 | 0.00 | | 5.08 | 3.72 | 4.14 | 231.35 | 227.35 |
| CB-02 | 225.90 | CB-03 | 226.09 | 41 | Round | 12 | | 1 | RCP | 0.013 | 0.44% | 0.8 | 10.11 | 0.23 | | | 0.23 | 10.00 | 1.86 | 0.00 | | 1.86 | 2.37 | 2.37 | 229.47 | 227.48 |
| STM MH-2 | 226.00 | CB-01 | 226.52 | 119 | Round | 12 | | 1 | RCP | 0.013 | 0.44% | 0.8 | 10.11 | 0.11 | | | 0.14 | 10.00 | 0.87 | 0.00 | | 1.11 | 2.37 | 1.42 | 231.85 | 227.52 |
| CB-01 | 226.52 | TRENCH DRAIN | 226.81 | 65 | Round | 12 | | 1 | RCP | 0.013 | 0.44% | 0.8 | 10.11 | 0.03 | | | 0.03 | 10.00 | 0.24 | 0.00 | | 0.24 | 2.37 | 0.31 | 232.56 | 227.81 |



Signature: W. KYLE BOGARDUS
 Date: 11/9/2023
 PROFESSIONAL ENGINEER TX Lic. No. 119534

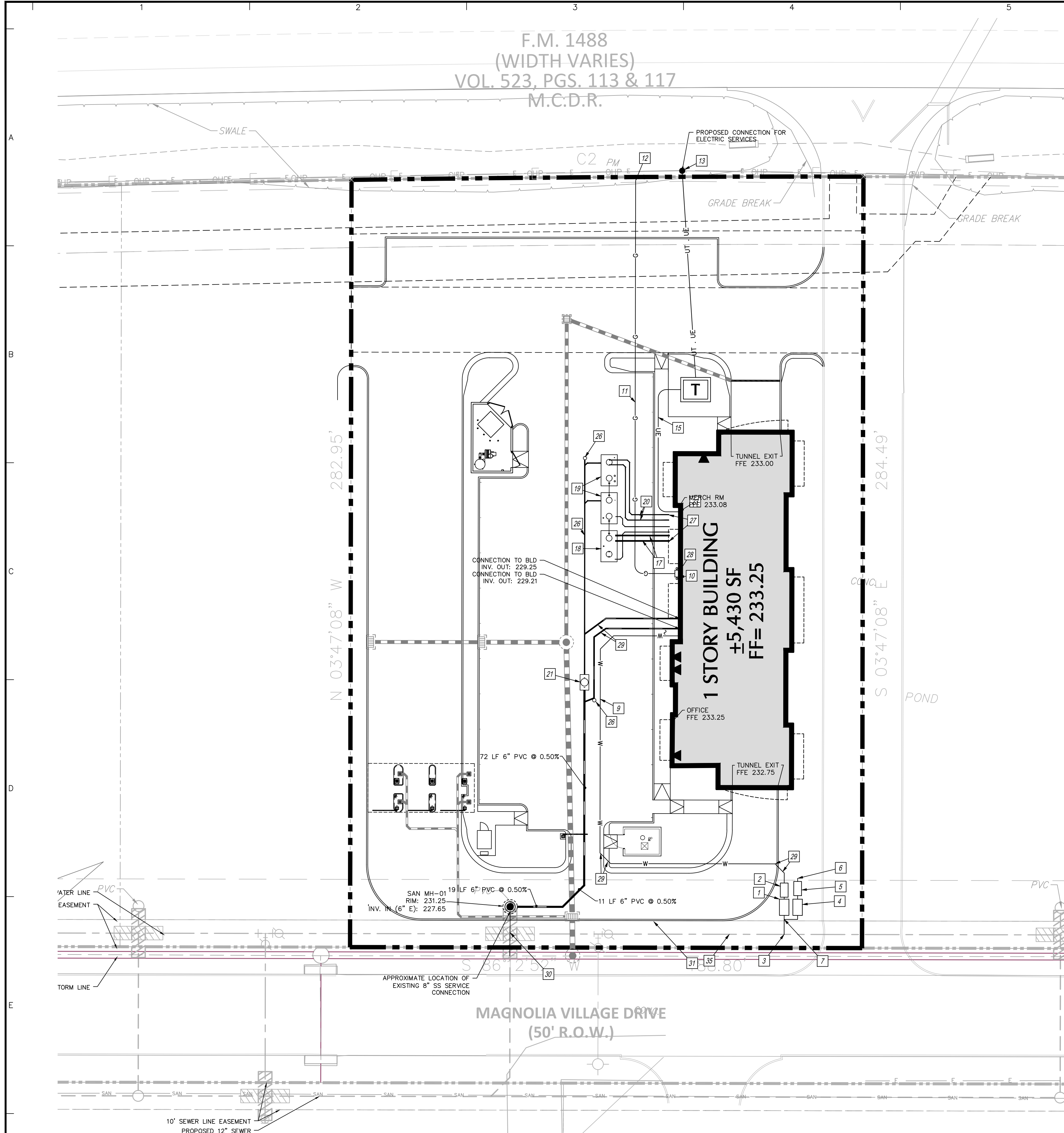
LANGAN
 Langan Engineering and Environmental Services, Inc.
 17220 Katy Freeway, First Floor, Suite 125
 Houston, TX 77094
 T: 281.675.7900 F: 281.675.7901 www.langan.com
 TBPE FIRM REG. #F-13709

Project: 13321 FM 1488
 MAGNOLIA, TX 77354
 MAGNOLIA TEXAS

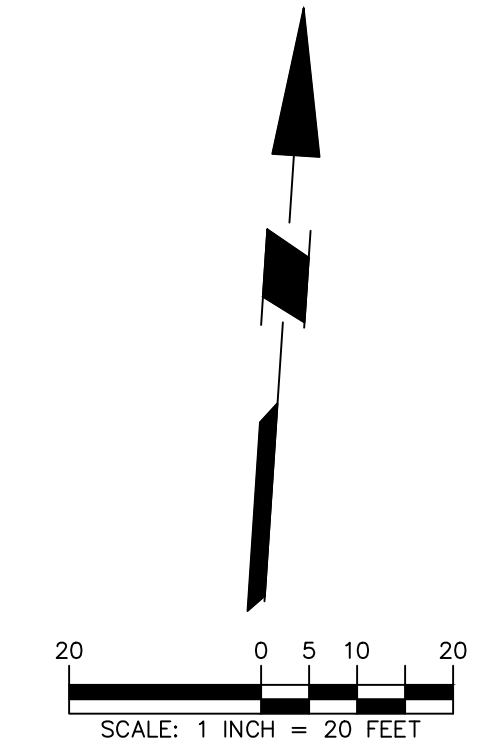
Drawing Title: PROPOSED DRAINAGE AREA MAP

Project No.: 510057201
 Date: 09/01/2023
 Drawn By: CS
 Checked By: CB
 Drawing No.: CG104
 Sheet of 25

| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |



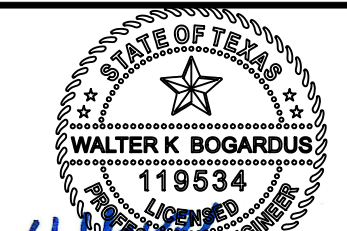
F.M. 1488
(WIDTH VARIES)
VOL. 523, PGS. 113 & 117
M.C.D.R.



UTILITY NOTES

1. ALL 2" WATER METERS ARE TO BE PROVIDED AND INSTALLED BY CITY OF MAGNOLIA. ALL OTHER PORTIONS OF WATER SERVICES (I.E. TAPS, SERVICE LINE, METER SETTING, ECT.) TO BE PROVIDED AND INSTALLED BY OWNERS CONTRACTOR.

- LAYOUT NOTES**
- 1 2" DOMESTIC WATER MASTER METER TO BE INSTALLED BY MAGNOLIA OPERATOR
 - 2 2" RPZ BACKFLOW PREVENTER
 - 3 12"x12"x2" TSBV
 - 4 1" IRRIGATION WATER METER TO BE INSTALLED BY THE DOWDELL OPERATOR
 - 5 1" PVB BACKFLOW PREVENTER
 - 6 1" STUB
 - 7 2"x2"x1" TEE
 - 8 NOT USED
 - 9 2" DOMESTIC WATER LINE
 - 10 GAS METER
 - 11 3" GAS LINE
 - 12 CONTRACTOR TO COORDINATE CONNECTION TO EXISTING GAS LINE WITH CENTERPOINT ENERGY
 - 13 EXISTING CENTERPOINT ENERGY AND TELEPHONE LINE, TYP.
 - 14 NOT USED
 - 15 UNDERGROUND ELECTRICAL LINE, TYP.
 - 16 NOT USED
 - 17 TRASH PIT CONNECTION TO RECLAIM TANK
 - 18 RECLAIM TANK 1, DEPTH IS DETERMINED BY DISTANCE FROM BUILDING STEM WALL
 - 19 RECLAIM TANK 2 & 3 OVERFLOW, FLOW THRU SAND/OIL
 - 20 SUCTION LINES TO RETURN RECLAIMED WATER TO MECHANICAL ROOM
 - 21 750 GALLON SAND/OIL INTERCEPTOR, UNDERGROUND
 - 22 NOT USED
 - 23 ELECTRICAL CONNECTION, REFER TO MEP PLANS
 - 24 NOT USED
 - 25 NOT USED
 - 26 CLEAN OUT
 - 27 REFER TO MEP FOR CONTINUATION
 - 28 PROPOSED GAS LINE CONNECTION TO BUILDING, REFER TO MEP PLANS
 - 29 45 DEGREE BEND, TYP.
 - 30 EXISTING SANITARY SEWER STUB OUT
 - 31 EXISTING WATER EASEMENT
 - 32 PROPOSED MANHOLE TO EXISTING STUB OUT CONNECTION
 - 33 NOT USED
 - 34 NOT USED
 - 35 EXISTING 12" WATER LINE


WALTER K. BOGARDUS
 119534
 PROFESSIONAL ENGINEER TX Lic. No. 119534
 Date: 11/9/2023

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 TBPE FIRM REG. #F-13709

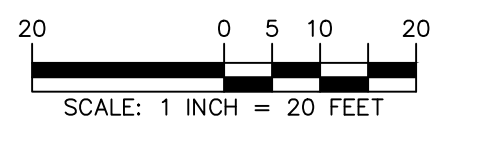
Project
13321 FM 1488
MAGNOLIA, TX 77354
 MAGNOLIA TEXAS

Drawing Title
UTILITY PLAN

| | | |
|-------------|------------|-----------------------------|
| Project No. | 510057201 | Drawing No. CU101 |
| Date | 09/01/2023 | |
| Drawn By | CS | |
| Checked By | CB | |

| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |

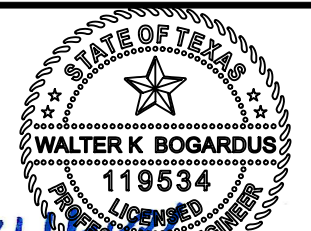
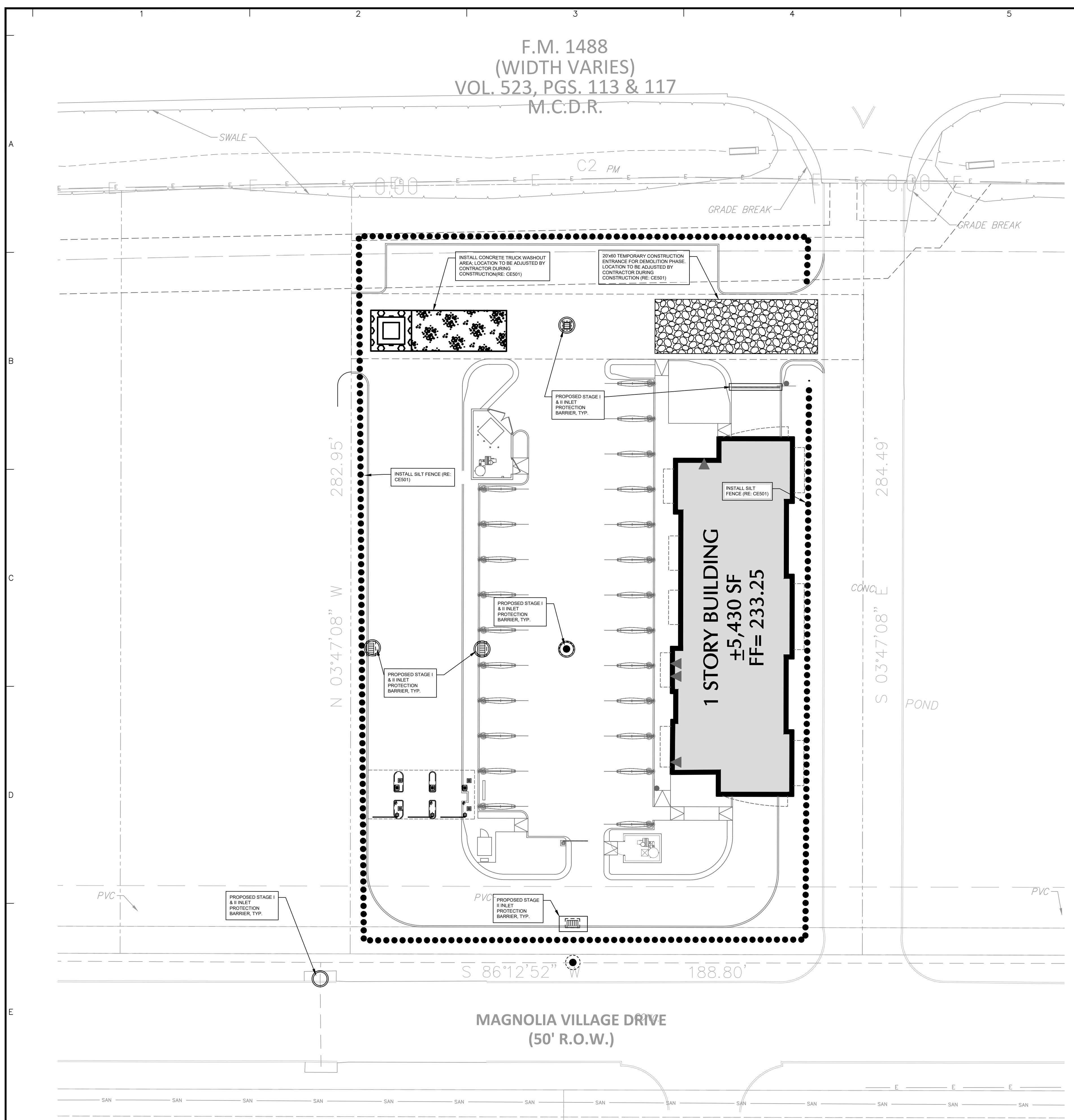
F.M. 1488
(WIDTH VARIES)
VOL. 523, PGS. 113 & 117
M.C.D.R.



| LEGEND | |
|------------------------------|--|
| INLET PROTECTION | |
| SILT FENCE | |
| CONSTRUCTION ENTRANCE / EXIT | |

| CONSTRUCTION SEQUENCE NOTES |
|--|
| 1. OBTAIN GRADING PERMIT. |
| 2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING. |
| 3. CLEAR SITE. |
| 4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING. |
| 5. GRADE SITE. |
| 6. INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS. |
| 7. INSTALL PAVEMENT. |
| 8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SODDED (IN ACCORDANCE WITH THE LANDSCAPE PLAN) AND A MOWABLE STAND OF GRASS IS ACHIEVED. |

| EROSION AND SEDIMENT CONTROL NOTES |
|--|
| 1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH CITY OF MAGNOLIA REQUIREMENTS. |
| 2. ALL SLOPES SHALL BE SODDED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURE OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED (IN ACCORDANCE WITH LANDSCAPE PLANS.) |
| 3. BRUSH BERMS, HAY BALES, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS, SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE IF THEY ARE WARRANTED. |
| 4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY CITY OF MAGNOLIA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY CITY OF MAGNOLIA. |
| 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. |



LANGAN
Langan Engineering and
Environmental Services, Inc.

17220 Katy Freeway, First Floor, Suite 125
Houston, TX 77094
T: 281.675.7900 F: 281.675.7901 www.langan.com
TBPE FIRM REG. #F-13709

Project
13321 FM 1488
MAGNOLIA, TX 77354

Drawing Title
**SOIL EROSION &
SEDIMENT
CONTROL PLAN**

| | |
|--------------------------|-----------------------------|
| Project No. 510057201 | Drawing No. CE101 |
| Date 09/01/2023 | |
| Drawn By CS | Sheet of 25 |
| Checked By CB | |

| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |

Signature
W. KYLE BOGARDUS
PROFESSIONAL ENGINEER TX Lic. No. 119534

11/9/2023
Date

I've provided responses in blue below to provide detail on how your comments were addressed:

1. Please make the correction on changing "Harris" to "Montgomery" county as you mentioned in your email below. There's more than one location on the plat where this revision needs to be made. [Instances of "Harris" have been changed to "Montgomery"](#).
2. Please remove all references to City of Conroe specifications in the General Construction Notes on Sheet 2. [All references to City of Conroe have been removed, with references added to City of Magnolia specifications.](#)
3. If HDPE storm sewer pipe is utilized, a pipe embedment and backfill detail (as recommended by pipe manufacturer) should be submitted for review and approval by City and shown on construction drawings. [The requested detail has been added for review and approval to Sheet 6 of the plan set.](#)
4. Use City of Magnolia standard details and specifications instead of City of Conroe. Standards are available via the City of Magnolia website. [City of Magnolia standard details are used in all cases except detention pond outfall shown on Sheet 6. I have seen the Conroe detail constructed well on several occasions and did not see an applicable replacement on the City of Magnolia website.](#)
5. Plats should be signed & sealed by RPLS. [The RPLS seal has been added and all hardcopies to be provided will be signed.](#)
6. Kandice Garrett is no longer City Secretary. Replace with the following for two (2) signature lines on plat. [The change to Christian has been made on two signature lines per comment.](#)
7. On sheet 5 of the plans, there's a Weir Cross Section. Show an enlarged plan view of the weir to accompany the cross section. The weir should have toe walls to prevent undermining. [Toe walls have been added to the detail and an enlarged plan view added on Sheet 5.](#)
8. Will there be fencing around the detention pond. [No fencing is proposed around the detention pond.](#)
9. Provide compressive strength of concrete to be used for overflow weir and any other concrete that will be placed for this project. [A minimum compressive strength of 4,000 psi callout has been added to the weir plan and cross section.](#)
10. There's a note on Sheet 2 that indicates the HOA will maintain the detention pond. This is acceptable and typical, but a legal document is required to do this at some point in the process and I think it's when the HOA is established. I'll contact our city attorney to confer and confirm on the appropriate timing for the document. [This is noted and appreciated. Please keep me informed of the requirements.](#)
11. Contour lines at 1-ft intervals are required on plats. [Contour lines at 1-ft intervals have been added to the plat.](#)
12. The developer should have water and sewer services installed to the property line of each lot in accordance with city standards. This includes providing all materials and labor to install taps,

service lines, meter settings, meter boxes, pavement repair, etc to the property. A note has been added to this affect on Sheet 4 and services have been added to the plans, as well as applicable details.

Thank you and please let me know if you need anything else prior to the P&Z meeting,

Louis Faust, PE
Chief Operating Officer
lfaust@engineeringtexas.com

STATE OF TEXAS

COUNTY OF MONTGOMERY

WE, RVISION HOMES, LTD, A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH ITS GENERAL PARTNER, R VISION REMODELS, LLC, A TEXAS LIMITED LIABILITY COMPANY, RYAN ROGERS, MANAGER, OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF THE OAKS ON 6TH STREET, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID RVISION HOMES, LTD, A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH ITS GENERAL PARTNER, R VISION REMODELS, LLC, A TEXAS LIMITED LIABILITY COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS THE OAKS ON 6TH STREET, LOCATED IN THE GAMBLE DAWSON SURVEY, ABSTRACT 177, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID RVISION HOMES, LTD, A TEXAS LIMITED PARTNERSHIP; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE ON THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11'-6") FOR TEN FEET (10'-0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7'-6") FOR FOURTEEN FEET (14'-0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5'-6") FOR SIXTEEN FEET (16'-0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16'-0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21'-6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10'-0") FOR TEN FEET (10'-0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8'-0") FOR FOURTEEN FEET (14'-0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7'-0") FOR SIXTEEN FEET (16'-0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16'-0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30'-0") IN WIDTH.

WE HAVE ALSO COMPILED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

IN TESTIMONY WHEREOF, THE RVISION HOMES, LTD, A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH ITS GENERAL PARTNER, R VISION REMODELS, LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY RYAN ROGERS, ITS MANAGER, THEREUNTO AUTHORIZED THIS _____ DAY OF _____, 2023.

RVISION HOMES, LTD, A TEXAS LIMITED PARTNERSHIP

BY: R VISION REMODELS, LLC, A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: _____
RYAN ROGERS, MANAGER

STATE OF TEXAS

COUNTY OF MONTGOMERY

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN ROGERS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

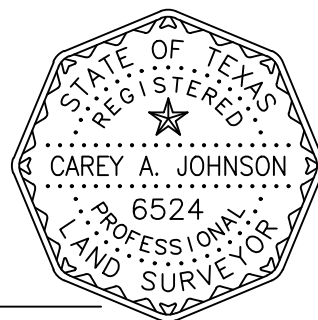
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PRINTED NAME: _____

MY COMMISSION EXPIRES: _____

I, CAREY A. JOHNSON, AM REGISTERED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT THE ELEVATION BENCHMARK REFLECTED ON THE FACE OF THE PLAT WAS ESTABLISHED AS REQUIRED BY REGULATION; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS WHICH HAVE A DIAMETER OF NOT LESS THAN FIVE-EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3') UNLESS OTHERWISE NOTED; AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.



Carey A. Johnson
Registered Professional Land Surveyor No. 6524

STATE OF TEXAS

COUNTY OF MONTGOMERY

WE, GUARANTY BANK & TRUST, N.A., OWNER AND HOLDER OF A LIEN AGAINST THE PROPERTY DESCRIBED IN THE PLAT KNOWN AS THE OAKS ON 6TH STREET, SAID LIEN BEING EVIDENCED BY INSTRUMENT OF RECORD IN DOCUMENT NO 2023072696, OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS, DO HEREBY IN ALL THINGS SUBORDINATE TO SAID PLAT SAID LIEN, AND WE HEREBY CONFIRM THAT WE ARE THE PRESENT OWNER OF SAID LIEN AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

SIGNED: _____

PRINTED: _____

STATE OF TEXAS

COUNTY OF MONTGOMERY

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____

_____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PRINTED NAME: _____

MY COMMISSION EXPIRES: _____

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF THE OAKS ON 6TH STREET AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES ON THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 20____, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

SCOTT SHELBURNE, CHAIRMAN

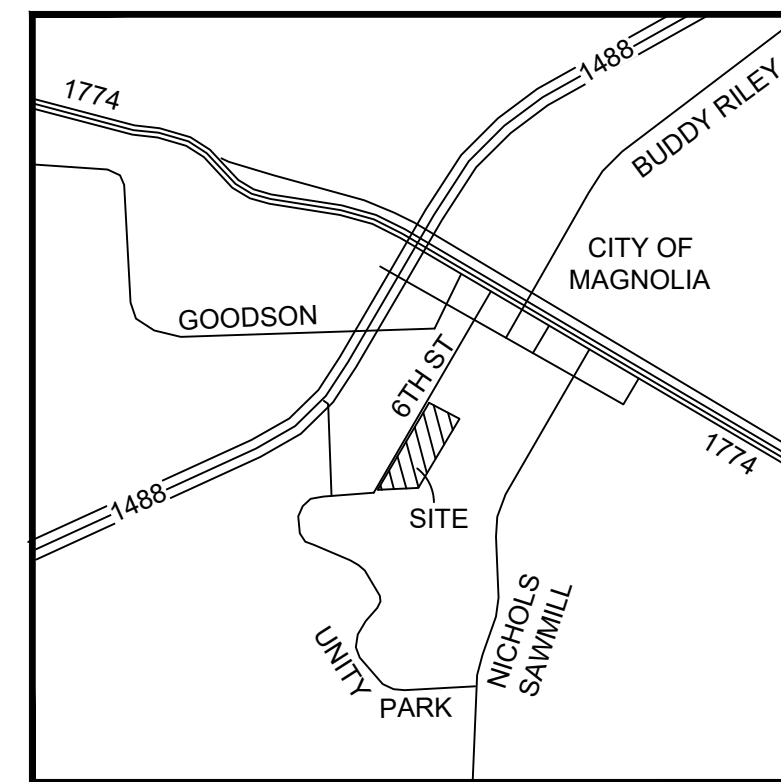
CHRISTIAN GABLE, INTERIM CITY SECRETARY
PERMIT TECH/PLANNING COORDINATOR

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF THE OAKS ON 6TH STREET AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES ON THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 20____, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

CHRISTIAN GABLE, INTERIM CITY SECRETARY
PERMIT TECH/PLANNING COORDINATOR



VICINITY MAP
SCALE - 1"=2000'

GENERAL NOTES:

- NO PORTION OF THIS PROPERTY APPEARS TO LIE WITHIN THE 100 YEAR FLOODPLAIN PER MONTGOMERY COUNTY COMMUNITY MAP NO. 48339C0475G, FEMA FIRM PANEL NO. 0475G, HAVING AN EFFECTIVE DATE OF AUGUST 18, 2014.
- ALL COORDINATES, BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83) (2011 ADJUSTMENT), CENTRAL ZONE (TXC-4203), U.S. SURVEY FEET, AND BASED ON GPS OBSERVATIONS, AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE FACTOR OF 1.000028228617.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY ALAMO TITLE INSURANCE COMAPNY, GF NO. ATCH-16-ATCH23128389TC, DAED MAY 10, 2023. THE SURVEYOR HAS NOT ABSTRACTED THE PROPERTY.
- PIPELINES OR PIPELINE EASEMENTS WITHIN THE LIMITS OF THE SUBDIVISION ARE AS SHOWN.

THE STATE OF TEXAS
COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 20____, AT__ O'CLOCK, _M., AND DULY RECORDED ON _____, 20____, AT__ O'CLOCK, _M, IN CABINET _____, SHEET _____, OF RECORD OF _____ FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

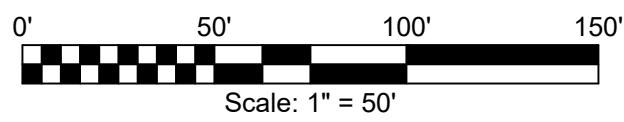
THE OAKS ON 6TH STREET

BEING A SUBDIVISION OF 7.534 ACRES SITUATED IN THE GAMBLE DAWSON SURVEY, ABSTRACT NO. 177, MONTGOMERY COUNTY, TEXAS.

12 LOTS 1 BLOCKS 0 RESERVES
SEPTEMBER 2023

OWNER
RVISION HOMES, LTD, A TEXAS LIMITED PARTNERSHIP
18640 FM 1488, SUITE # A-510
MAGNOLIA, TX 77354





LEGEND

- SET 5/8" IRON ROD W/CAP "TPS 100834-00"
- FOUND SURVEY MONUMENT (DESCRIBED)
- CALCULATED CORNER
- ⊕ 3-INCH BRASS DISK IN 6-INCH CONCRETE MONUMENT
- I.R. IRON ROD
- W/CAP WITH CAP
- CON MON CONCRETE MONUMENT
- VOL. / PG. CAB. VOLUME / PAGE
- O.P.R.M.C.T. OFFICIAL PUBLIC RECORDS OF MONTGOMERY COUNTY, TEXAS
- R.P.R.M.C.T. REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS
- D.R.M.C.T. DEED RECORDS OF MONTGOMERY COUNTY, TEXAS
- M.R.M.C.T. MAP RECORDS OF MONTGOMERY COUNTY, TEXAS
- M.C.A.D. MONTGOMERY COUNTY APPRAISAL DISTRICT
- C.F. NO. CLERK'S FILE NUMBER
- R.O.W. RIGHT-OF-WAY
- B.L. BUILDING LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- - - APPROXIMATE SURVEY LINE
- - - APPROXIMATE 100-YEAR FLOODPLAIN
- - - EASEMENT
- - - BUILDING LINE

PAD C SPRING CREEK LTD
CALLED 14.757 ACRES
C.F. NO. 2015012037, O.P.R.M.C.T.

REMAINDER OF INCINO ROYALE
CAB. A, SHEET 161, M.R.M.C.T.

MAGNOLIA UNITED METHODIST CHURCH
CALLED 2.811 ACRES
C.F. No. 2010997839, O.P.R.M.C.T.

MAGNOLIA UNITED METHODIST
CHURCH CALLED 6.921 ACRES
"TRACT 2"
C.F. NO. 2010097839, O.P.R.M.C.T.

MAGNOLIA, TEXAS MAGNOLIA
BIBLE CHURCH CALLED 10.239
ACRES
C.F. NO. 2009117981, O.P.R.M.C.T.

THE OAKS ON 6TH STREET

BEING A SUBDIVISION OF 7.534 ACRES SITUATED IN THE GAMBLE DAWSON
SURVEY, ABSTRACT NO. 177, MONTGOMERY COUNTY, TEXAS.

12 LOTS 1 BLOCKS 0 RESERVES
SEPTEMBER 2023

OWNER
RVISION HOMES, LTD, A TEXAS LIMITED PARTNERSHIP
18640 FM 1488, SUITE # A-510
MAGNOLIA, TX 77354

**TEXAS PROFESSIONAL
SURVEYING**
3032 N. Frazier, Conroe, Texas 77303
Ph: 936.756.7447 Fax: 936.756.7448
www.surveyingtexas.com
Firm No. 10083400

