

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Holly Knee
Tom Mayhew
Robert Barker III

City Administrator/Interim City Secretary, Don Doering
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Planning Coordinator, Christian Gable



NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, FEBRUARY 16, 2023 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held January 19, 2023.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. *Statements of specific factual information given in response to an inquiry;*
- b. *A recitation of existing policy in response to an inquiry;*
- c. *A proposal to place the subject on a future agenda.*

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE WINDMILL ESTATES PARTIAL REPLAT NO.1, FINAL PLAT, +/- 8.164 ACRES.

7. FUTURE AGENDA ITEMS

8. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Christian Gable, Asst. Interim City Secretary



Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Holly Knee
Tom Mayhew
Robert Barker III

City Administrator/Interim City Secretary, Don Doering
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Planning Coordinator, Christian Gable



MINUTES OF THE PLANNING AND ZONING COMMISSION REGULAR MEETING JANUARY 19, 2023

A meeting of the Planning & Zoning Commission was held on January 19, 2023, beginning at 4:30 pm in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Scott Shelburne called the meeting to order at 4:30 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Chairman Scott Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Scott Shelburne called roll and certified a quorum present with the following Planning & Zoning members in attendance: Scott Shelburne, Anne Sundquist, Josh Jakubik, Trevor Brown, Holly Knee, Tom Mayhew, and Robert Barker III.

Absent: 0

Staff Present: City Administrator Don Doering and Planning Coordinator Christian Gable.

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held December 15, 2022.

MOTION: Upon a motion to approve Consent Agenda made by Robert Barker III and seconded by Holly Knee, the Commission members voted and the motion carried unanimously, 7-0.

3. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

None

4. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

None

5. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)

Planning Coordinator Christian Gable provided a spreadsheet of new businesses within Magnolia city limits.

Chairman Scott Shelburne informed that the Grand Opening for Clearwater Express in Heritage Green is expected to be February 13th and Wendy's in Heritage Green is hoping to open in August 2023.

City Administrator Don Doering provided well updates:

- Well casings are in and they are now working on screens for Water Plant No. 3;
- City Council approved the contract to begin Well No. 8, which is the additional well at the existing Kelly Plant;
- Sam Yager with Audubon has proposed to build a well;
- The City is working on an agreement with Chessie Zimmerman to build a well on the East side of Magnolia;
- The temporary pressure system is expected to be operational within the next week.

6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ASCEND AT MAGNOLIA PLACE, PRELIMINARY PLAT, +/- 11.233 ACRES.

Chairman Scott Shelburne presented this item in reference to supporting documents included in the packet.

MOTION: Upon a motion to approve made by Anne Sundquist and seconded by Tom Mayhew, the Commission members voted and the motion carried unanimously, 7-0.

7. FUTURE AGENDA ITEMS

None

8. ADJOURN

MOTION: Upon a motion to adjourn made by Robert Barker III and seconded by Anne Sundquist, the Commission members voted, and the motion carried unanimously, 7-0 and Chairman Shelburne adjourned the meeting at 4:45 pm.

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on January 19, 2023.

ATTEST

Christian Gable, Asst. Interim City Secretary

1/26/2023

Date





February 9, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: Windmill Estates Partial Replat #1 - Final Plat Review
City of Magnolia
AEI Job No. 230346.80-001**

Dear Mr. Doering:

We received the final plat for the proposed Windmill Estates Partial Replat #1 on February 6, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to approving this project, subject to the following comments:

1. Before construction commencement, the City of Magnolia needs to review and execute this project's performance and maintenance bond.
2. The utility easement to provide water to the homes in this plat needs to be signed by the City of Magnolia.
3. The final plat shall be signed and sealed by a Professional Surveyor licensed in Texas.
4. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.
5. Provide an electronic copy of the final recorded plat to the City Engineer when it becomes available.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Tommy Cormier, Jr., PE – AEI Engineering, a Baxter & Woodman Company
Mr. Adam France, AICP – Brown and Gay Engineers



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Engineer/Land Surveyor (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

PROPERTY PROFILE

Property ID # _____ R184690-R184698, R184635-R184644, R184699

Legal Description _____

(Subdivision)

(Lot)

(Block)

Current Zoning _____

Lots 1-10 Block L, all of Block M, and all of Lot 1, Block N, of Windmill Estates, recorded under Cab. A, Sht. 188B, M.C.M.R.

Present Use of Property

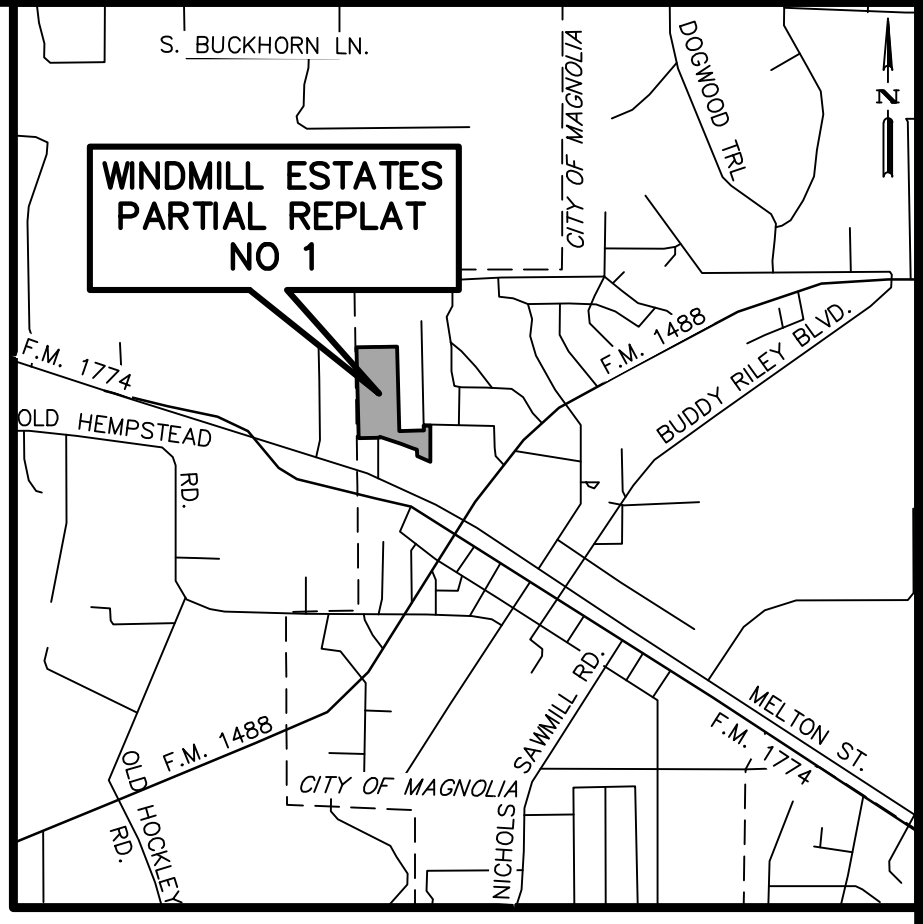
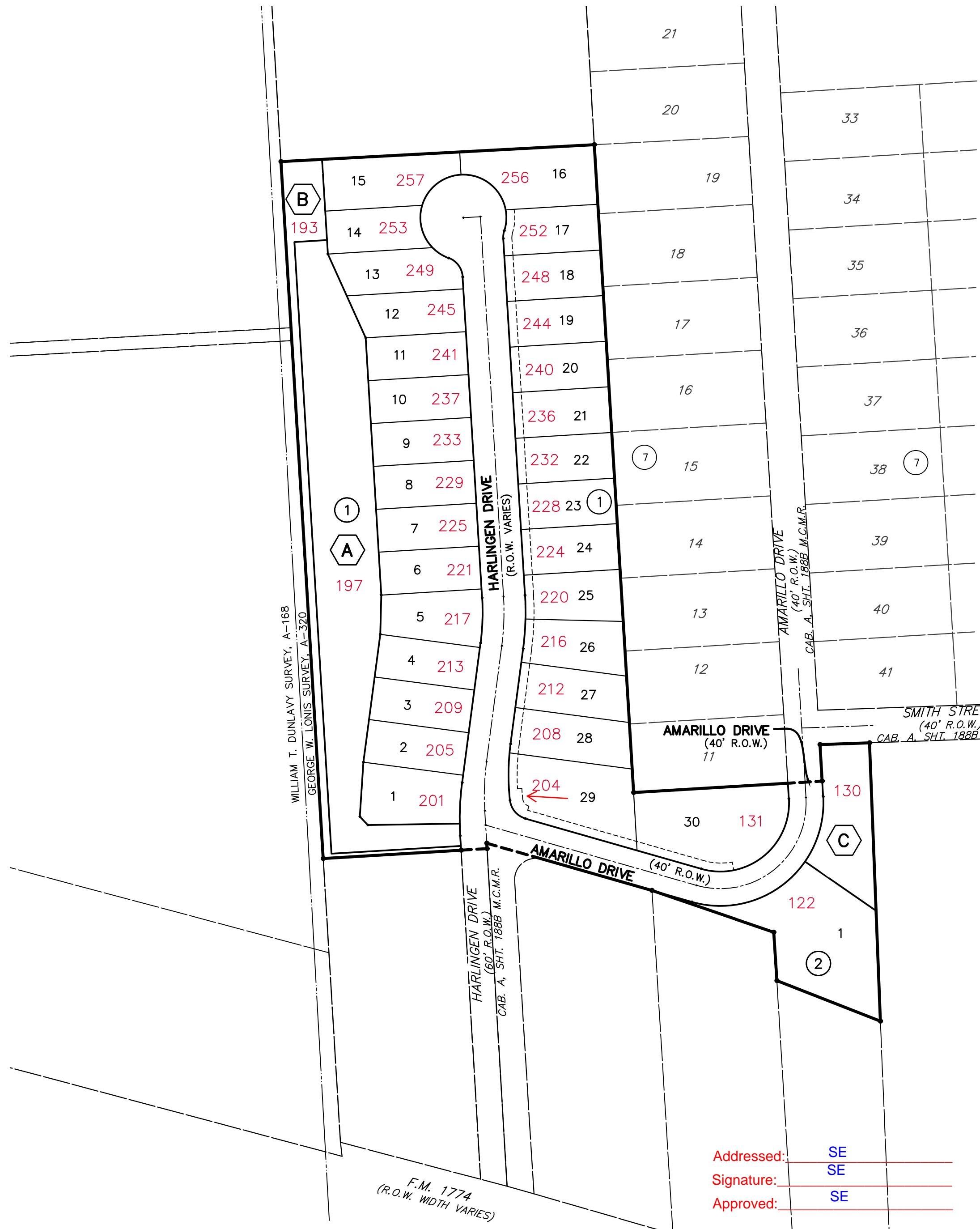
Proposed Use of the Property

Total Area of Site _____

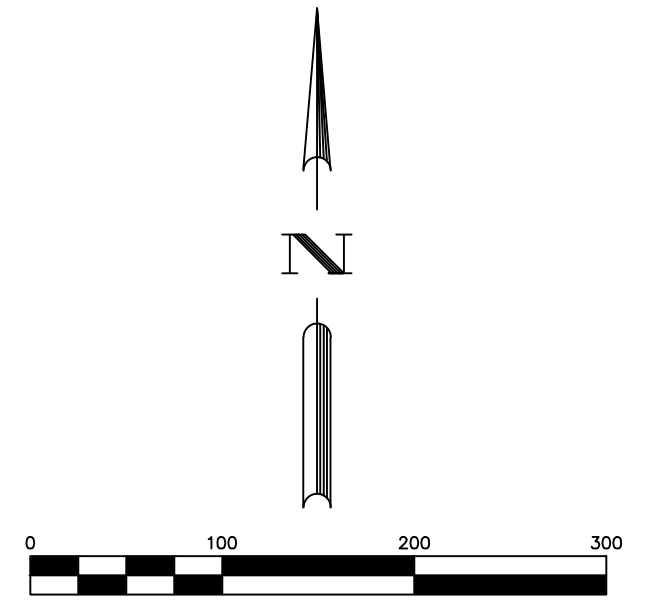
1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

2. Description of proposed property change, including lot numbers, name, etc.

\\browngov.net\pansura\Regions\TX\Projects\BuilL_Capitol\8576-00-Windmill_Estates\PL\01_CADD\01_Address\2022-12-14_Plot_Windmill_Estates_Address_Map.dwg, 12/14/2022 5:34 PM, gipetska, 1:100



VICINITY MAP
N.T.S.
KEY MAP: 211M & 212J



ADDRESS MAP
**WINDMILL ESTATES
PARTIAL REPLAT NO 1**

A SUBDIVISION OF 8.164 ACRES OF LAND
LOCATED IN THE G.W. LONIS SURVEY, A-320,
CITY OF MAGNOLIA, MONTGOMERY COUNTY,
TEXAS, ALSO BEING ALL OF LOTS 1-10 OF
BLOCK L, ALL OF BLOCK M, AND ALL OF LOT 1
OF BLOCK N, OF WINDMILL ESTATES RECORDED
UNDER CAB. A, SHT. 188B, M.C.M.R.

REASON FOR REPLAT:
TO CREATE 31 SINGLE FAMILY LOTS AND 3 RESERVES

LOTS: 31 RESERVES: 3 BLOCKS: 2
SCALE: 1"=100' DATE: DECEMBER, 2022

OWNER:
BC WINDMILL ESTATES, LLC,
a Texas limited liability company
210 RELE STREET
MOUNTAIN BROOK, ALABAMA 35223

LAND PLANNER:
BGE, INC.
10777 WESTHEIMER, STE. 400
HOUSTON, TEXAS 77042
281-558-8700

Addressed: _____ SE
Signature: _____ SE
Approved: _____ SE

12/15/2022 10:09
MCECD - 911
MAGNOLIA 77354



BGE, Inc.
10777 Westheimer, Suite 400, Houston, TX 77042
Tel: 281-558-8700 • www.bgeinc.com
TBPE Registration No. F-1046
TBPLS Licensed Surveying Firm No. 101065-00

Charter Title Company

845 Texas Avenue, Suite 3910, Houston, Texas 77002
(713) 222-6060

CITY PLANNING SEARCH REPORT

February 6, 2023

City of Houston Planning Commission
61 Walker Street, 6th Floor
Houston, Tx 77002

We, Charter Title Company duly incorporated and doing business under the laws of the State of Texas, hereby certify that we have made a careful search of the Real Property Records MONTGOMERY County, Texas, as of January 27, 2023, insofar as they pertain to:

WINDMILL ESTATES PARTIAL REPLAT NO 1

BEING a 8.164 acre (355,611 square foot) tract of land situated in the G.W. Lonis Survey, Abstract No. 320 of Montgomery County, Texas and being all of Lots 1-10 of Block L, all of Block M, and all of Lot 1 of Block N conveyed in an instrument to Northridge Homes Windmill, LLC (f/k/a MK Home Windmill, LLC) recorded under M.C.C.F. No. 2014015223 and shown on WINDMILL ESTATES, a subdivision per plat recorded under Cabinet A, Sheet 188B of Montgomery County Map Records (M.C.M.R.), and being a portion of Harlingen Drive (40 foot right-of-way) and Amarillo Drive (40 foot right-of-way) as shown on said WINDMILL ESTATES, said 8.164 acre tract of land described by metes and bounds in Exhibit "A" attached hereto, with all bearings based on the Texas Coordinate System of 1983 (NAD83), Central Zone 4204 and referenced to monuments found along the North line of said WINDMILL ESTATES as cited herein:

And find the following:

RECORD TITLE APPEARS TO BE VESTED IN:

BC WINDMILL ESTATES. LLC. a Texas limited liability company

EASEMENTS AND OTHER ENCUMBRANCES:

Easements as imposed by the Map and Dedication recorded in Cabinet A, Sheet 188 of the Map Records, and as set forth in instrument recorded in Volume 933, Page 179 of the Deed Records of Montgomery County, Texas.

Building line 30 feet wide along the front property line, 7 feet wide along the side property lines (10 feet for side street line), except that a detached garage or other permitted accessory building located 65 feet or more from the front lot line may be located within 3 feet of an interior lot line, (25 feet wide along the rear property line of lots abutting the lake) property line of the subject property as reserved by instrument recorded in Volume 884, Page 491 of the Deed Records and under Clerk's File No. 2010-116148 of the Real Property Records of Montgomery County, Texas.

An undivided one-half (1/2) of all the oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same are excepted herefrom as the same are conveyed to R. H. Hannon by instrument recorded in Volume 220, Page 122 of the Deed Records of Montgomery County, Texas. Title to above said interests have not been investigated subsequent to the execution date of cited instruments. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.

Oil, gas and mineral lease dated May 25, 1982, recorded under File No. 8235668 of the Real Property Records of Montgomery County, Texas, in favor of Southland Royalty Company. Title to said lease not checked subsequent to its date of execution. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.

Maintenance assessment and special assessment payable to Windmill Estates Community Improvement Association reserved by instrument recorded in Volume 884, Page 491 and in Volume 957, Page 36 of the Deed Records and under Clerk's File No. 2010-116148 of the Real Property Records of Montgomery County, Texas.

Said assessments shall be subordinate to:

- A) all liens for taxes or special assessments levied for the City, County, and State governments, or any political subdivision or special district thereof; and
- B) all liens securing amounts due or to become due under any term Contract of Sale dated, or any mortgage vendor's lien, or deed of trust filed for record, prior to the date payment of any such charges or assessments become due and payable; and
- C) all liens, including, but not limited to, vendor's liens, deeds of trust, and other security instruments which secure any loan made by a lender to an Owner for any part of the purchase price of any lot and improvements thereon when purchased from a builder or for any part of the cost of constructing, repairing, adding to, or remodeling the residence and appurtenances situated on any lot.

Transfer and refinance fees payable to Windmill Estates Community Improvement Association as set forth by instrument recorded under Clerk's File No. 2010-116148 of the Real Property Records of Montgomery County, Texas.

RESTRICTIONS:

Those set forth in instruments recorded in Volume 884, Page 491, Volume 957, Page 36 and Volume 976, Page 30 of the Deed Records, under Clerk's File Nos. 2008-115124 and 2010-116148 of the Real Property Records, and as imposed by the map and dedication recorded in Cabinet A, Sheet 188B (formerly Volume 12, Page 87) of the Map Records of Montgomery County, Texas and Montgomery County Clerk's File No. (s) 2021103672, 2021103673, 2021103674 and 2021173352

LIENS:

Deed of Trust and Security Agreement dated December 15, 2021, filed on December 17, 2021, recorded under Montgomery County Clerk's File No. 2021173349, executed by BC WINDMILL ESTATES. LLC. a Texas limited liability company to John M. Bonner Trustee, securing the payment of one note in the amount of \$1,260,000.00, payable to the order of FC-V Financial, L. P.

Deed of Trust, Assignment of Rents and Security Agreement dated December 15, 2021, filed on December 17, 2021, recorded under Montgomery County Clerk's File No. 2021173350, executed by BC WINDMILL ESTATES. LLC. a Texas limited liability company to Damon P. Denney, Esq., Trustee, securing the payment of one note in the amount of \$300,000.00, payable to the order of Built Capital Real Estate Fund I, LLC.

Subordination Agreement effective December 15, 2021, filed on December 17, 2021, recorded under Montgomery County Clerk's File No. 2021173351.

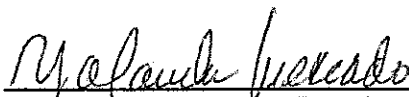
Subordination Agreement effective December 15, 2021, filed on December 17, 2021, recorded under Montgomery County Clerk's File No. 2022014746.

No examination has been made as to Abstract of Judgments, state or federal tax liens, the status of taxes, tax suits, or paving assessments.

This certificate is issued for the use of and shall inure to the benefit of City of Houston; and liability of Charter Title Company hereunder for mistakes and/or errors in this certificate is limited to the cost of said certificate.

This company does not undertake to give or express any opinion as to the validity of the title to the property above described, nor the validity or effect of the instruments listed, and this certificate is neither a guaranty nor warranty of title.

Prepared by:
Charter Title Company

BY: 
Yolanda Mercado, Examiner

February 6, 2023

UTILITY EASEMENT

(0.0413 Acre)

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE STRIKE ANY ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

THE STATE OF TEXAS COUNTY

OF MONTGOMERY

§
§
§

KNOW ALL BY THESE PRESENTS:

Grantor: JOHN BRAMLLETT, an individual

Grantor's Mailing Address: 223 Amarillo Drive
Magnolia, TX 77354

Grantee's Mailing Address: DAVIDSON HOMES, LLC
10522 Serenity Sound
Magnolia, Texas 77354

Easement Property: Being an Easement (defined below), across, along, under, over, upon and through that certain tract of land located in Montgomery County, Texas, containing 0.0413 acre, as more particularly described in and shown on Exhibit A attached hereto and incorporated herein for all purposes.

Easement Purpose: The right to construct, reconstruct, operate, maintain, inspect, test, repair, alter, replace, move, remove, change the size of, and abandon in place, potable water pipes and related appurtenances, the "Facilities".

Consideration: FIVE THOUSAND TWO HUNDRED SEVENTY-FOUR AND NO/DOLLARS (\$5,274.00) and other good and valuable consideration, the receipt and sufficiency of which are acknowledged by Grantor.

Grant of Easement: Grantor, for the Consideration and subject to the Permitted Encumbrances (defined below), has GRANTED, SOLD, AND CONVEYED and by these presents does GRANT, SELL, AND CONVEY unto Grantee, a permanent and perpetual non-exclusive easement and right-of-way (collectively, the "Easement") across, along, under, over, upon and through the Easement Property for the Easement Purpose, as well as the right to use the surface and subsurface thereof in any lawful manner that shall be deemed necessary and desirable by Grantee for the Easement Purpose. TO HAVE AND TO HOLD,

subject to the matters set forth herein and the Permitted Encumbrances, the Easement, together with, all and singular, the rights and appurtenances thereto in any wise belonging, including all necessary rights to ingress, egress, and regress, unto Grantee, its successors and assigns, forever. Grantor does hereby bind itself and its successors and assigns to WARRANT AND FOREVER DEFEND, all and singular, the Easement and other rights described herein unto Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under Grantor, but not otherwise.

Terms and Conditions: The following terms and conditions apply to the Easement granted by this document:

- 1 The Easement is nonexclusive and irrevocable. The Easement is for the benefit of Grantee and Grantee's successors and assigns.
- 2 The covenants and agreements contained herein shall run with the land and shall inure to the benefit of and shall be binding upon Grantor and Grantee and their respective successors and assigns.
- 3 The duration of the Easement is perpetual.
- 4 Grantee's right to use the Easement Property is nonexclusive, and Grantor reserves for Grantor and Grantor's successors and assigns the right to use all or part of the Easement Property in conjunction with Grantee, so long as such use by Grantor and Grantor's successors and assigns does not interfere with the use of the Easement Property by Grantee for the Easement Purpose.
- 5 This conveyance is further made subject to any and all restrictions, covenants, easements, rights-of-way, encumbrances, and mineral or royalty reservations or interests affecting the Easement Property and appearing of record in the Official Public Records of Montgomery County, Texas, to the extent in effect and validly enforceable against the Easement Property (the "Permitted Encumbrances").
- 6 Grantor shall not construct, nor permit to be constructed or erected, any house, building, or other structure, within the Easement Property without the express prior written consent of Grantee, and Grantee shall have the right to remove or prevent the construction of any structure without reimbursement to Grantor, Grantor's successors, tenants, assigns, or licensees.
- 7 Maintenance of the Easement Property and the Facilities will be at the sole expense of Grantee. Grantee has the right to eliminate any house, building, or other structure impacting the Facilities upon the Easement Property; provided however, all matters concerning the Facilities and their configuration, construction, installation, maintenance, replacement, and removal are at Grantee's sole discretion. Routine maintenance (e.g., mowing) will be the responsibility of the property owner(s).

8 Grantee shall restore the surface of the ground to the same or similar condition as reasonably feasible to that which it was in prior to initial installation of the Facilities, including removal of excess dirt, comparable groundcover, irrigation systems and landscaping (except that Grantee is not required to restore trees and deep-rooted plants that could interfere with the Facilities), and, in the event of future repair, replacement, inspection or maintenance work, shall restore the surface of the ground likewise; provided, however, that Grantee shall not be obligated to replace or restore any trees, other improvements (except as expressly stated otherwise herein) or obstructions removed from within the Easement Property in connection with the construction, installation, repair, maintenance, relocation, replacement, removal, upgrade, change in the size of, operation, placement, inspection, protection, or alteration of the Facilities or that interfere with Grantee's use of the Easement Property for the Easement Purpose.

9. Grantee shall not cut, nor in any way damage, any timber, regardless of age, on Grantor's lands located adjacent to said Easement Property, except that (subject to Grantee's restoration obligations in Paragraph 8 above) Grantee shall have the right to cut and/ or remove all trees, growth, undergrowth, and other obstructions that, in Grantee's reasonable judgment, may injure, endanger, or interfere with the exercise by Grantee of the rights and privileges granted under this Easement, and Grantee shall not be required to reimburse Grantor, its successors, assigns, tenants, or licensees for such action.

10. For erosion control purposes, the Easement rights granted herein to Grantee shall also include the right, at any time in the future, to add, construct, maintain, repair, or replace concrete, rock rip rap or other improvements to protect the Facilities within or adjacent to creeks, gullies, and other natural or man-made water drainage courses, whether located within the Easement Property or upon Grantor's adjacent lands.

11. This Easement may be executed in any number of counterparts with the same effect as if all signatory parties had signed the same document. All counterparts will be construed together and will constitute one and the same instrument.

12. This Easement binds and inures to the benefit of the parties and their respective successors and assigns.

13. This Easement will be construed under the laws of the state of Texas, without regard to choice-of-law rules of any jurisdiction. Venue is in the county or counties in which the Easement Property is located.

14. Each signatory party agrees to execute and deliver any additional documents and instruments and to perform any additional acts necessary or appropriate to perform the terms, provisions, and conditions of this Easement and all transactions contemplated by the same.

15. This document contains the complete Easement rights granted and cannot be varied, except by written agreement executed by both of the parties hereto. The parties agree that there are no oral agreements, representations, or warranties that are not expressly set forth in this Easement.

16. If any provision in this Easement is for any reason unenforceable, to the extent the enforceability does not destroy the basis of the bargain among the parties, the unenforceability will not affect any other provision hereof, and this Easement will be construed as if the unenforceable provision had never been a part of the Easement. Whenever context requires, the singular will include the plural and neuter include the masculine or feminine gender, and vice versa. Article and section headings in this document are for reference only and are not intended to restrict or define the text of any section. This Easement will not be construed more or less favorably between the parties by reason of authorship or origin of language.

17. Any notice required or permitted under this Easement must be in writing. Any notice required by this Easement will be deemed to be delivered (whether actually received or not) when deposited with the United States Postal Service, postage prepaid, certified mail, return receipt requested, and addressed to the intended recipient at the address shown in this document. Notice may also be given by regular mail, personal delivery, courier delivery, facsimile transmission, or other commercially reasonable means and will be effective when actually received. Any address for notice may be changed by written notice delivered as provided herein.

18. Any recitals in this document are represented by the parties to be accurate and constitute a part of the substantive Easement.

[SIGNATURE PAGES FOLLOW]

EXECUTED this 2 day of May, 2022.

GRANTOR:



JOHN BRAMLETT

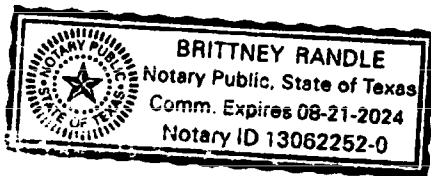
THE STATE OF TEXAS §
 §
COUNTY OF Montgomery §

This instrument was acknowledged before me on the 2 day of May, 2022, by JOHN BRAMLETT, an individual.

(NOTARY SEAL)



Notary Public, State of Texas



EXECUTED by Grantee on the date set forth in the acknowledgment below, but AGREED to, ACCEPTED, and EFFECTIVE as of the date executed by Grantor.

GRANTEE:

DAVIDSON HOMES, LLC

By: *Jim Rorison*

Name: Jim Rorison

Title: Division President

STATE OF TEXAS

§
§
§

COUNTY OF Montgomery

This instrument was acknowledged before me on the 2 day of May, 2022, by JIM RORISON, Division President of DAVIDSON HOMES, LLC, a limited liability company, on behalf of said company.

(NOTARY SEAL)

Brittney Randle

Notary Public, State of Texas



Attachments:

Consent of Lienholder, if any
Exhibit A - Easement Property

After recording, please return to:

Davidson Homes, LLC
10522 Serenity Sound
Magnolia, Texas 77354

WINDMILL ESTATES
0.0413 OF ONE ACRE
PROPOSED 10' WIDE WATER LINE EASEMENT

MARCH 16, 2022
JOB NO. 8576-00

DESCRIPTION OF A 0.0413 ACRE TRACT OF LAND SITUATED
IN THE GEORGE W. LONIS SURVEY, ABSTRACT NO. 320
MONTGOMERY COUNTY, TEXAS

BEING a 0.0413 acre (1,800 square foot) tract of land situated in the George W. Lonis Survey, Abstract No. 320 of Montgomery County, Texas and being a portion of Lot 19, Block L, of WINDMILL ESTATES, a subdivision per plat recorded under Cabinet A, Sheet 188B of the Montgomery County Map Records (M.C.M.R.), said 0.0413 acre tract of land described by metes and bounds as follows, with all bearings based on the Texas Coordinate System of 1983 (NAD83), Central Zone 4204 and referenced to monuments found along the North line of said Lot 19 as cited herein:

COMMENCING at the common Northeast corner of Lot 1 of said Block L and the common West corner of Lots 19 and 20 of said Block L, same being the Southeast corner of a called 6.8 acre tract of land as described in an instrument to Billy F. Reeves recorded under Volume 762, Page 371 of the Montgomery County Deed Records, from which a found bent 1/2-inch iron pipe bears N 88°43' W, 0.42 of one foot;

THENCE, S 03°28'23" E, along and with the line common to said Lot 19 and Lot 1, a distance of 10.00 feet to the **POINT OF BEGINNING** and the Northwest corner of the herein described tract;

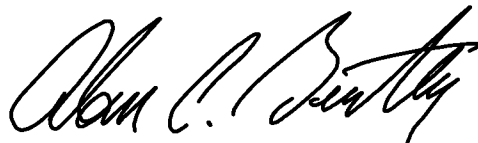
THENCE, N 86°55'18" E, over and across said Lot 19, a distance of 180.00 feet to a point for the Northeast corner of the herein described tract, lying on the West right-of-way line of Amarillo Drive (40 feet wide) as shown on said WINDMILL ESTATES, from which a 5/8-inch iron rod with cap stamped "EIC" found for the common East corner of said Lot 19 and said Lot 20 bears N 03°28'23" W, 10.00 feet;

THENCE, S 03°28'23" E, along and with the East line of said Lot 19 and the West right-of-way line of said Amarillo Drive, a distance of 10.00 feet to a point for the Southeast corner of the herein described tract;

THENCE, S 86°55'18" W, over and across said Lot 19, a distance of 180.00 feet to a point for the Southwest corner of the herein described tract, lying on the line common to said Lot 19 and said Lot 1;

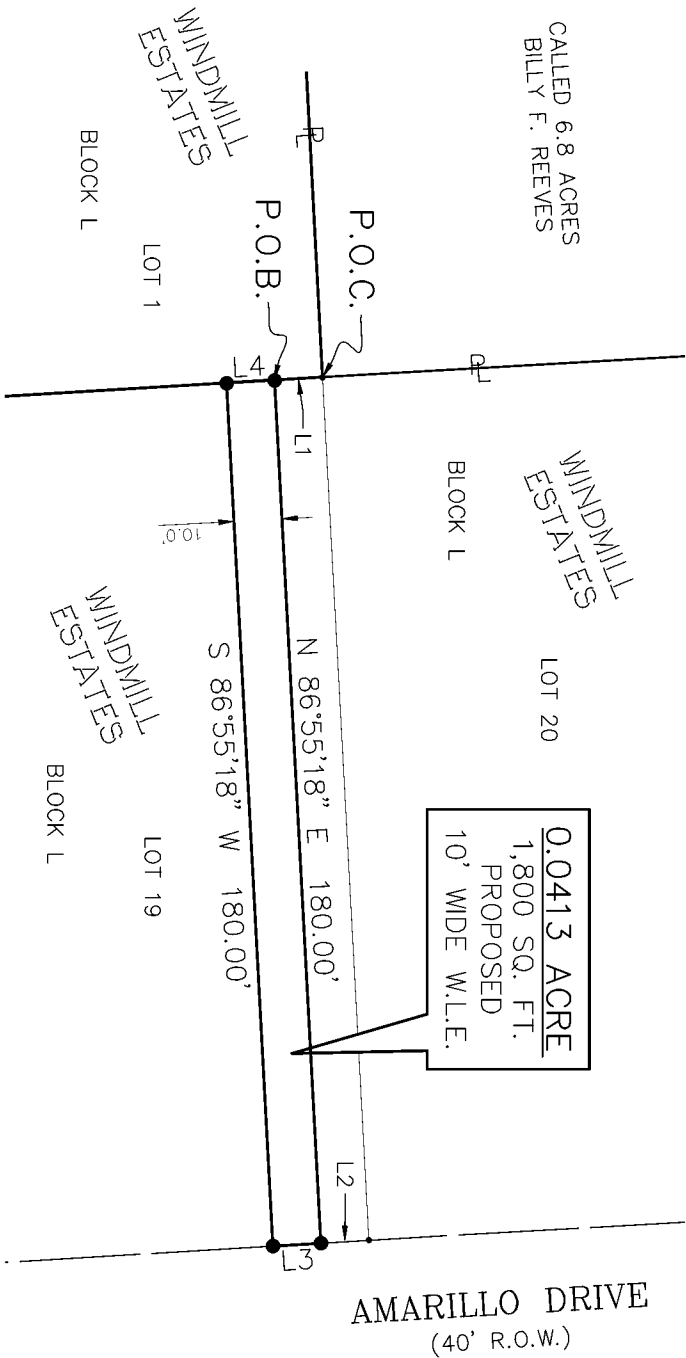
THENCE, N 03°28'23" W, along and with said common line, a distance of 10.00 feet to the **POINT OF BEGINNING** and containing 0.0413 of one acre (1,800 square feet) of land.

The above description is not to be used for fee conveyance.

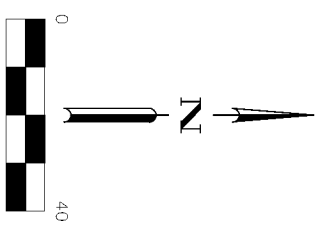


Alan C. Bentley RPLS No. 2055
BGE, Inc.
10777 Westheimer Road, Suite 400
Houston, Texas 77042
Telephone: (281) 558-8700
TBPLS Licensed Surveying Firm No. 10106500

GEORGE W. LONIS SURVEY, A-320



- LEGEND**
- P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCING
 - R PROPERTY LINE
 - R.O.W. RIGHT-OF-WAY
 - SQ. FT. SQUARE FEET
 - W.L.E. WATER LINE EASEMENT



LINE TABLE		
NUMBER	BEARING	DISTANCE
L1	S 03°28'23" E	10.00'
L2	N 03°28'23" W	10.00'
L3	S 03°28'23" E	10.00'
L4	N 03°28'23" W	10.00'

NOTE: THIS EXHIBIT IS FOR GRAPHICAL PURPOSES ONLY IN RELATION TO THE PROPOSED EASEMENT SHOWN HEREON AND IS NOT A BOUNDARY SURVEY NOR SHALL IT BE CONSTRUED IN ANY WAY AS A BOUNDARY SURVEY.

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EXHIBIT OF A

0.0413 ACRE/1,800 ACRE

PROPOSED 10' WIDE W.L.E.

SITUATED IN THE

GEORGE W. LONIS SURVEY, A-320

MONTGOMERY COUNTY, TEXAS

Scale: 1" = 40'

Job No.: 8576-00

Date: 3/2022

Drawing: 1 OF 1

E-FILED FOR RECORD

01/26/2023 12:55PM



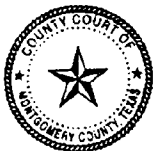
L. Brandon Steinmann

County Clerk,
Montgomery County, Texas

STATE OF TEXAS,
COUNTY OF MONTGOMERY

I hereby certify that this instrument was e-filed in the file number sequence on the date and time stamped herein by me and was duly e-RECORDED in the Official Public Records of Montgomery County, Texas.

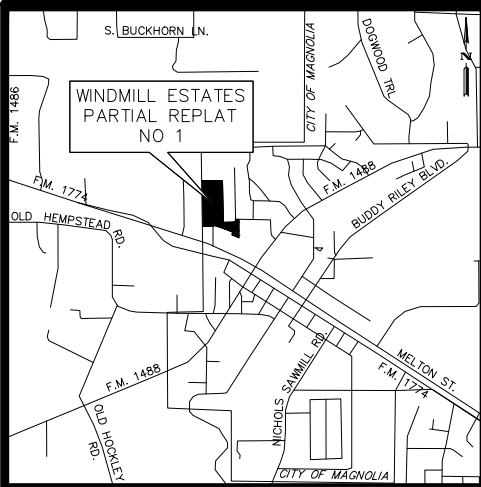
01/26/2023



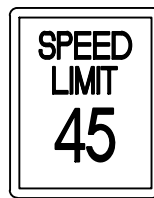
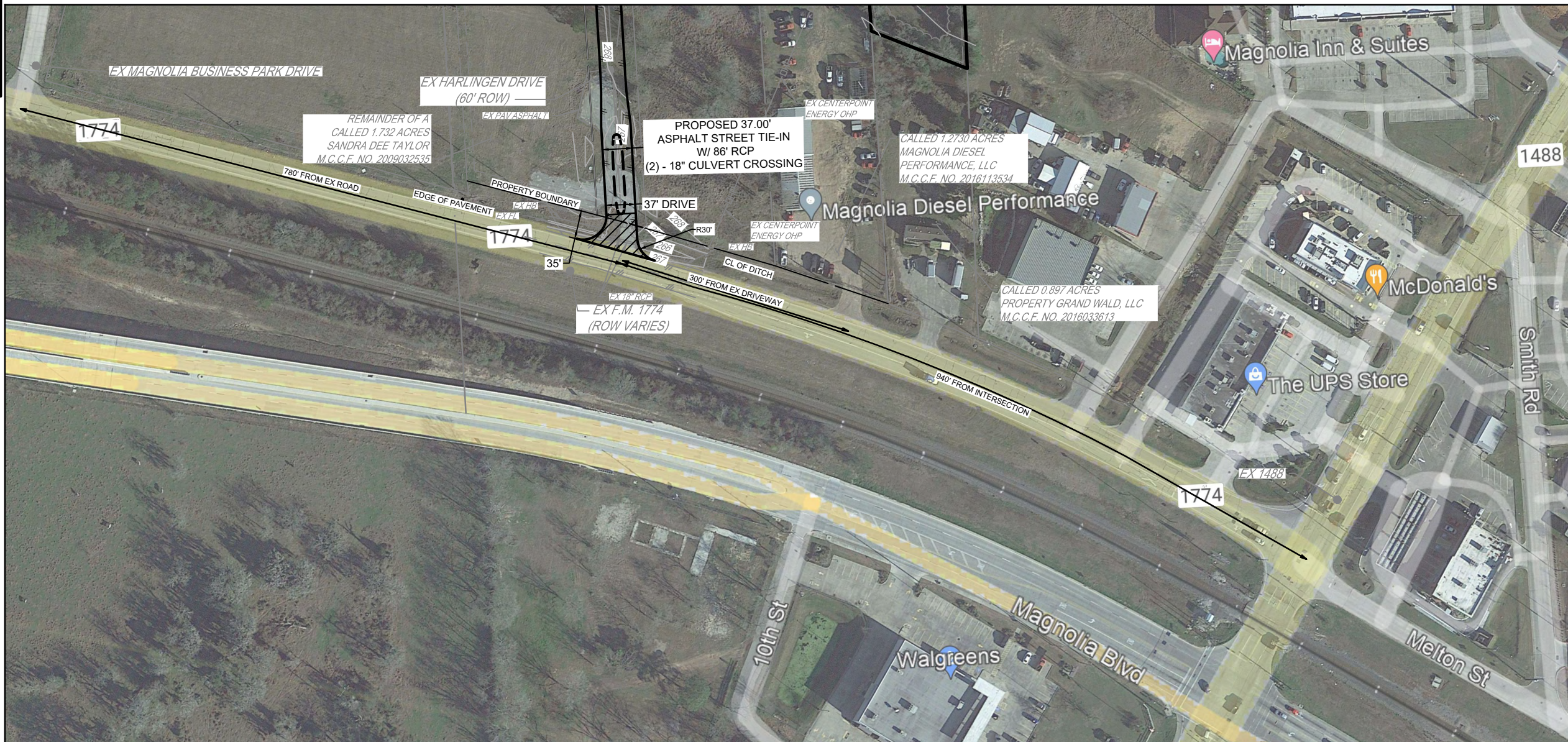
L. Brandon Steinmann

County Clerk,
Montgomery County, Texas

\\brownsy.net\gis\Regions\TX\H\Projects\Buil. Capital\8576-00-Windmill_Estates\LD101_CADD\05_Exhibit\TXDOT_DRIVEWAYS.dwg 1:1



VICINITY MAP
KEY MAP NO 211M & 212J



THE POSTED SPEED LIMIT ALONG THIS SEGMENT OF FM 1774.
ALONG OUR SITE IS 45 MPH. (BLACK LEGEND ON WHITE BACKGROUND)

LEGEND

PROPOSED DRIVEWAY - - - - -

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TBPE Registration No. F-1046

CITY OF MAGNOLIA WINDMILL ESTATES ROW CONNECTION

Scale: 1"=150'	Job No.: 8576	Date: 02/22	Exhibit: 1
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CITY OF MAGNOLIA WINDMILL ESTATES

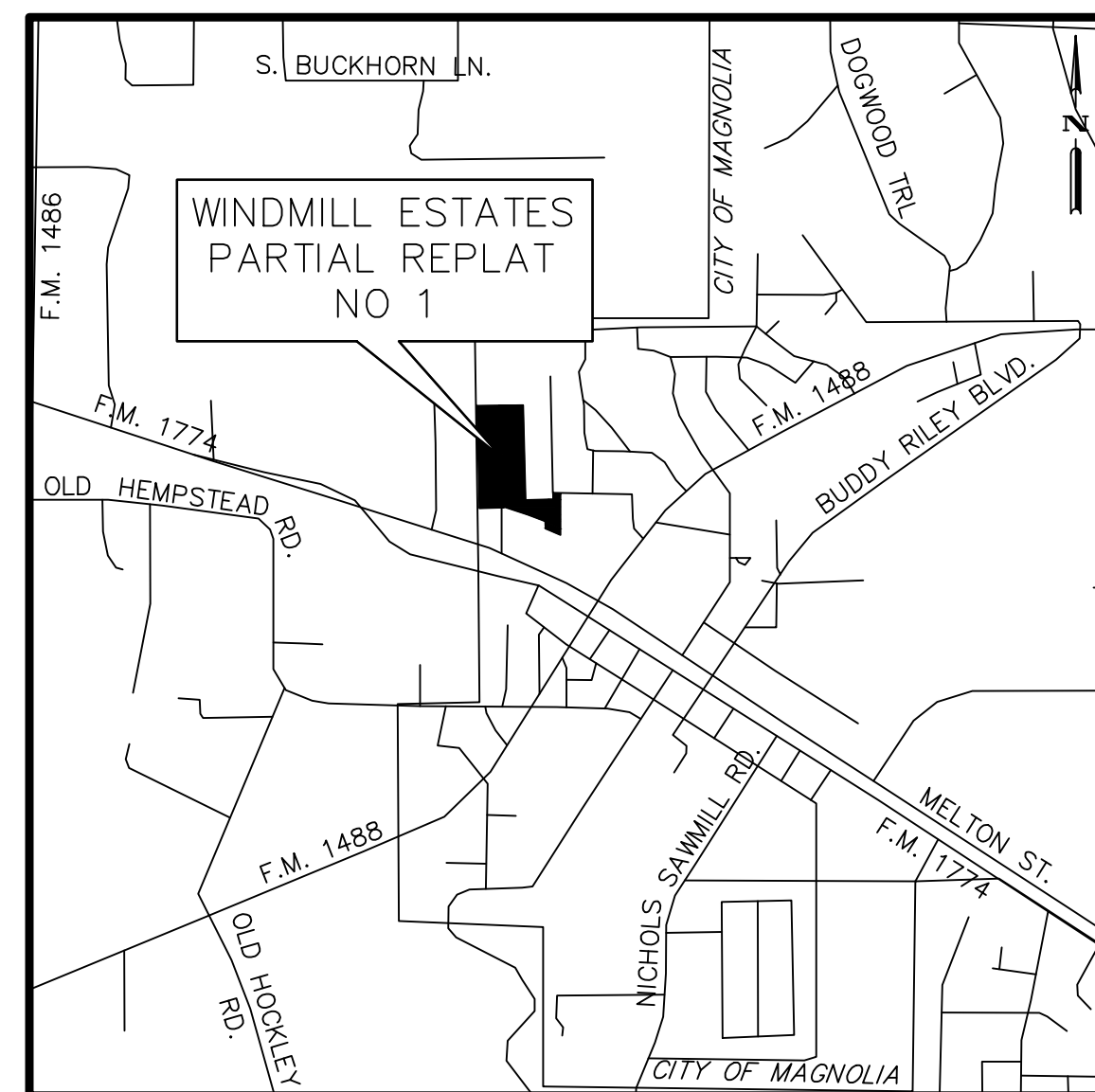


LOCATION MAP

CONSTRUCTION PLANS OF PROPOSED WATER DISTRIBUTION SYSTEM SANITARY COLLECTION SYSTEM STORM DRAINAGE SYSTEM STREET PAVING

MAY 2022

NOTE	
1.	MR. BURT SMITH WITH CITY OF MAGNOLIA IS THE CITY'S OPERATOR AND SHALL BE CONTACTED AT 281-358-2266;
2.	THE OPERATOR SHALL BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION OF ANY SANITARY OR WATER LINES;
3.	WATER AND SANITARY SEWER LINES SHALL NOT BE COVERED UNTIL OBSERVED AND APPROVED BY THE CITY;
4.	DEVELOPER SHALL MAKE THE FINAL TAP INTO THE CITY'S WATER LINE FINAL TAP SHALL NOT BE COVERED UNTIL OBSERVED AND APPROVED BY THE CITY;
5.	THE CITY WILL INSTALL THE METER.



VICINITY MAP
KEY MAP NO 211M & 212J

SHEET INDEX

NO. DESCRIPTION

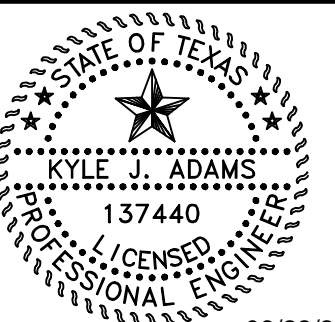
- | | | | |
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| 1 | COVER SHEET | 21 | WATER LINE TRACER DETAILS |
| 2 | GENERAL CONSTRUCTION NOTES | 22 | STORM SEWER TYPE 'C' PRECAST ROUND MANHOLE |
| 3 | SANITARY SEWER AND WATER OVERALL | 23 | STORM SEWER 02317-03 TO 07 |
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| 5 | DRAINAGE AREA MAP | 25 | STORM SEWER 02084-02 THROUGH 04 |
| 6 | DRAINAGE CALCULATIONS | 26 | STORM SEWER 02084-05 THROUGH 08 |
| 7 | GRADING PLAN AND DETENTION POND LAYOUT | 27 | STORM SEWER 02632-04 THROUGH 05 |
| 8 | PAVING, SIGNAGE AND STRIPING LAYOUT | 28 | TXDOT DRIVEWAY DETAILS (1 OF 2) |
| 9 | STORM WATER POLLUTION PREVENTION PLAN | 29 | TXDOT DRIVEWAY DETAILS (2 OF 2) |
| 10 | PLAN & PROFILE - HARLINGEN DRIVE (STA. 0+00 TO 7+00) | 30 | PAVING DETAILS |
| 11 | PLAN AND PROFILE - HARLINGEN DRIVE (STA. 7+00 TO 13+32) | 31 | H.C.E.D. PAVEMENT MARKING DETAILS (1 OF 2) |
| 12 | PLAN AND PROFILE - AMARILLO DRIVE (STA. 0+00 TO 6+28) | 32 | H.C.E.D. PAVEMENT MARKING DETAILS (2 OF 2) |
| 13 | PLAN AND PROFILE - SMITH STREET (STA. 0+00 TO 6+35) | 33 | STORM WATER POLLUTION PREVENTION DETAILS |
| 14 | PLAN AND PROFILE - BASELINE "A" | 34 | TXDOT PRECAST SAFETY END TREATMENT (1 OF 2) |
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| 16 | PLAN AND PROFILE - BASELINE "C" | 36 | TXDOT SINGLE BOX CULVERTS PRECAST 4'-0" SPAN |
| 17 | PLAN AND PROFILE - BASELINE "D" | 37 | TXDOT DESIGN DATA FOR PRECAST BASE AND JUNCTION BOX |
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| 20 | WATER LINE AND MISCELLANEOUS DETAILS | 40 | TXDOT CONCRETE WINGWALLS WITH STRAIGHT WINGS FOR 0 SKEW BOX CULVERTS |
| | | 41 | SMALL SIGN DETAILS |

**ONE-CALL NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!**
DIAL 811 or 1-(800)-545-6005
AT LEAST 48 HOURS BEFORE
PROCEEDING WITH ANY EXCAVATION

REV. NO.	DATE	DESCRIPTION	P.E. APPR.
3			
2	08/22/22	TXDOT UPDATES	<i>[Signature]</i>
1	07/18/22	UPDATED DETAILS	<i>[Signature]</i>



BGE, Inc.
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Houston, TX 77042
Tel: 281-558-8700 • www.bgeinc.com
TSPE Registration No. F-1046



08/22/22

BGE, INC. F-1046

SHEET
NO: 1 OF 41

PLOTTED: KADAMS 5/10/2022 2:36 PM

PLOT STYLE: BGE-CORP-2018.ctb

C:\p\projects\11\11_Capitol\BGE\Windmill_Estates\DWG_CAD\01 - SHROCK_WALEST_NOTES.dwg

GENERAL

1. THESE PLANS WERE PREPARED TO MEET OR EXCEED TEXAS COMMISSION ON ENVIRONMENTAL QUALITY, MONTGOMERY COUNTY AND CITY OF MAGNOLIA RULES AND REGULATION AS CURRENTLY AMENDED.
2. WATER LINES, WASTEWATER COLLECTION SYSTEMS, AND DRAINAGE SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MAGNOLIA.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE EXISTING PUBLIC UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER LINES, WASTEWATER COLLECTION SYSTEMS AND STORM SEWERS, DURING CONSTRUCTION. ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH CITY OF MAGNOLIA, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING WITH LATEST ADDENDA AND AMENDMENTS THERETO WITH NO COST TO THE PUBLIC. (NO ADDITIONAL PAY TO CONTRACTOR)
4. UNLESS SPECIFICALLY INDICATED OTHERWISE ON THE PLANS, UTILITIES WITHIN EASEMENTS SHALL BE LOCATED IN ACCORDANCE WITH STANDARDS OUTLINED BY THE MOST CURRENT UTILITY COORDINATING COMMITTEE DRAWINGS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND OTHER FACILITIES.
6. CONTRACTOR SHALL COMPLY WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS AND ANY OTHER FEDERAL, STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY SYSTEMS FOR TRENCH EXCAVATION.
7. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) REQUIREMENTS.
8. CONTRACTOR TO OBTAIN ALL CONSTRUCTION PERMITS REQUIRED PRIOR TO STARTING CONSTRUCTION.
9. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD OR BETTER THAN CONDITION PRIOR TO STARTING WORK.
10. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE EXISTING PUBLIC OR PRIVATE UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER LINES, WASTEWATER COLLECTION SYSTEMS AND STORM SEWERS, DURING CONSTRUCTION. ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH MONTGOMERY COUNTY, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING WITH LATEST ADDENDA AND AMENDMENTS THERETO, WITH NO COST TO THE PUBLIC.

SANITARY SEWERS

1. ALL SEWERS SHALL BE SUBJECT TO A STANDARD EXFILTRATION TEST. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF SEWER LINE INCLUDED IN THE PROJECT. REQUIREMENTS OF 30 TEXAS ADMINISTRATIVE CODE, CHAPTER 317, "DESIGN CRITERIA FOR SEWERAGE SYSTEMS" SHALL BE FOLLOWED WHERE NOT COVERED BY THE CITY OF MAGNOLIA.
2. SANITARY SEWER PIPE TO BE SDR 26 P.V.C. PIPE MEETING ASTM SPECIFICATIONS D3034 WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
3. SANITARY SEWERS WILL HAVE BEDDING AND BACKFILL PER CITY OF MAGNOLIA SPECIFICATIONS AND DETAILS INCLUDED IN THIS PLAN SET.
4. ALL SANITARY SEWER LINES UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT 1 FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL HAVE BEDDING PER CITY OF MAGNOLIA SPECIFICATIONS AND DETAILS INCLUDED IN THIS PLAN SET. WITH A MINIMUM 1 1/2 SACK CEMENT/C.Y. (MIN. 100 PSI AT 48 HR.) STABILIZED SAND BACKFILL UP TO WITHIN ONE (1) FOOT OF PAVING SUBGRADE. TEST REPORTS TO BE SUBMITTED BEFORE PLACEMENT OF PAVEMENT. SAND SHALL BE PLACED WITHIN 4 HOURS OF BEING MIXED.
5. ALL MANHOLES ARE TO BE PER CITY OF MAGNOLIA SPECIFICATIONS AND DETAILS INCLUDED IN THIS PLAN SET.
6. CONTRACTOR SHALL PROVIDE 6-INCHES OF CLEARANCE AT ALL SANITARY SEWERS CROSSING WATER LINES PER CITY OF MAGNOLIA DESIGN SPECIFICATIONS.
7. CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 9' (NINE FEET) BETWEEN WATER LINES AND SANITARY SEWER MANHOLES AND LINES.
8. SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3"-6" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING WITH SLOPED BACKFILL ADDED FOR STORMWATER DRAINAGE AWAY FROM MANHOLE RIM.
9. "SAN. S.E." INDICATES "SANITARY SEWER EASEMENT".
10. IN WET STABLE TRENCH AREAS USE BEDDING PER CITY OF MAGNOLIA SPECIFICATIONS AND DETAILS INCLUDED IN THIS PLAN SET.
11. ALL SEWER LEADS AND STACKS SHALL BE MARKED WITH A 4" X 6" LONG P.V.C. PIPE AT THE TIME OF CONSTRUCTION. THE 4" P.V.C. PIPE SHALL EXTEND TWO FEET ABOVE FINISHED GRADE AND BE CAPPED. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE 4" P.V.C. PIPES IN GOOD AND PLUMB CONDITION. IF PIPE IS DAMAGED, THE PAVING CONTRACTOR SHALL REPLACE THE 4" P.V.C. PIPE AT THE ENGINEERS DIRECTION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR MAINTAINING THE 4" P.V.C. PIPE MARKINGS.
12. ALL DR P.V.C. PIPE IS TO HAVE D.I.P. SIZE O.D. AND RUBBER GASKETED BELL-AND-SPIGOT TYPE JOINT ENDS.
13. SDR 26 P.V.C. PIPE USES "FULL BODIED" SDR 26 P.V.C. FITTINGS OR D.I.P. FITTINGS WITH APPROPRIATE ADAPTERS. AWWA C-900 DR-18 P.V.C. PIPE USES EITHER AWWA C900 DR-18 P.V.C. FITTINGS OR D.I.P. FITTINGS. SDR-26 P.V.C. PIPE SHALL HAVE A CELL CLASSIFICATION OF 12364-B AS DEFINED IN ASTM D-1784.
14. DEFLECTION TEST: DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE AND SEMI-RIGID SEWER PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED AS PER 30 TAC 317.2 LATEST AMENDMENT AND WITHOUT MECHANICAL PULLING DEVICES.
15. INFILTRATION, EXFILTRATION OR LOW-PRESSURE AIR TEST: EITHER OF THE FOLLOWING TESTS SHALL BE PERFORMED AS PER 30 TAC 317.2 WITHIN THE SPECIFIED TOLERANCES ON ALL GRAVITY SEWERS.
 - A. INFILTRATION OR EXFILTRATION TEST: TOTAL LEAKAGE AS DETERMINED BY A HYDROSTATIC HEAD TEST SHALL NOT EXCEED 50 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOURS AT A MINIMUM TEST HEAD OF 2 FEET.
 - B. LOW - PRESSURE AIR TEST: PERFORM TEST ACCORDING TO UNI-B-6-90 OR OTHER APPROPRIATE PROCEDURES. FOR SECTIONS OF PIPE LESS THAN 36" (INCH) AVERAGE INSIDE DIAMETER, THE MINIMUM ALLOWABLE TIME FOR PRESSURE DROP FROM 3.5 PSIG TO 2.5 PSIG SHALL BE AS FOLLOWS:
 - 8": 454 SECONDS OR 1.520(L) FOR TEST LENGTHS GREATER THAN 298'.
 - 10": 567 SECONDS OR 2.374(L) FOR TEST LENGTHS GREATER THAN 239'.
 - 12": 680 SECONDS OR 3.419(L) FOR TEST LENGTHS GREATER THAN 199'.
 - 15": 850 SECONDS OR 5.342(L) FOR TEST LENGTHS GREATER THAN 159'.
 - 18": 1020 SECONDS OR 7.693(L) FOR TEST LENGTHS GREATER THAN 133'.
 WHERE L = LENGTH OF LINE OF SAME PIPE SIZE IN FEET.
16. SERVICE CONNECTIONS ENTERING A MANHOLE THREE FEET (3') OR MORE ABOVE THE FLOWLINE OF THE MANHOLE SHALL INCLUDE A DROP PIPE WITH FITTINGS OUTSIDE THE MANHOLE. THE DROP SHALL BE INSTALLED ADJOINING AND ANCHORED TO THE WALL OF THE MANHOLE, UNLESS SPECIFICALLY APPROVED OTHERWISE.
17. WHENEVER POSSIBLE CENTER 1 - 20' JOINT, C-900 PVC PIPE, CLASS 150 SANITARY SEWER LEAD ON PROPOSED WATER LINE AND 1 - 20' JOINT, C-900 PVC WATER LINE PIPE ON PROPOSED SANITARY LEAD, 12" MINIMUM CLEARANCE

COMPACTION OF SITE FILL

1. ALL AREAS TO BE FILLED ARE TO BE FREE OF VEGETATION, DEBRIS, PONDED WATER, LOOSE SOILS, MUD & MUCK. (STRIP 3" MIN.)
2. THE PLACEMENT OF ANY FILL OR THE DISPOSAL OF ANY EXCESS MATERIAL ON ANY PORTION OF THIS PROJECT SHALL BE MADE IN 8" LOOSE LIFTS, UNIFORMLY SPREAD AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

UTILITY BACKFILL

1. BACKFILL FOR UTILITIES SHALL BE IN ACCORDANCE MONTGOMERY COUNTY "RULES AND REGULATIONS" AND PER DETAILS INCLUDED IN THESE PLANS OR ANY OTHER APPLICABLE MONTGOMERY COUNTY DETAILS.
2. BACKFILL COMPACTION TO BE AT A MINIMUM OF 90 PERCENT (OUTSIDE OF PAVEMENT) AND 95 PERCENT (UNDER OR WITHIN 1 FOOT OF PAVEMENT) OF THE MAXIMUM DRY DENSITY AND AT A MOISTURE CONTENT RECOMMENDED FROM GEOTECHNICAL INVESTIGATION.

WATER LINES

1. 4" THRU 12" WATER LINES SHALL BE P.V.C. CLASS 150, DR-18, AWWA C-900.
2. ALL WATER LINES SHALL HAVE A 6" BOTTOM AND 12" SIDE BANK - SAND ENVELOPE AND SHALL BE BACKFILLED TO A MINIMUM COMPACTED DEPTH OF 6" OVER THE TOP OF THE PIPE TO PROVIDE A COMPACTED ENCASEMENT IN ACCORDANCE WITH CITY OF MAGNOLIA WATER DEPARTMENT SPECIFICATIONS AND DETAILS INCLUDED IN THIS PLAN SET.
3. WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO WITHIN 1 FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" ABOVE PIPE AND BACKFILLED WITH 1 1/2 SACK CEMENT / C.Y. STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
4. ALL FILL AND COMPACTION TO 95% STANDARD PROCTOR DENSITY SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF WATER LINES.
5. CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 9' (NINE FEET) BETWEEN WATER LINES AND SANITARY SEWER MANHOLES AND LINES.
6. "W.L.E." INDICATES "WATER LINE EASEMENT"
7. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651. A MINIMUM OF ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EACH 1,000 FEET OF COMPLETED WATERLINE TO CHECK EFFICIENCY OF DISINFECTION PROCEDURES AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
8. ALL WATER PIPE AND RELATED PRODUCTS MUST CONFORM TO ANSI/NSF STANDARD 61.
9. 4" THROUGH 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53 CONFORMING TO THE REQUIREMENTS OF SECTION 02528- POLYETHYLENE WRAP, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG.
10. HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH AWWA C-600, SECTION 4 STANDARDS FOR A DURATION OF NOT LESS THAN TWO HOURS. LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE OR ANY VALVED SECTION THEREOF, TO MAINTAIN PRESSURE WITHIN 5 PSI OF THE SPECIFIED TEST PRESSURE AFTER THE PIPE HAS BEEN FILLED WITH WATER AND THE AIR HAS BEEN EXPELLED. THE TEST PRESSURE SHALL BE EITHER A MINIMUM OF 125 PSIG OR 1.5 TIMES THE WORKING PRESSURE WHICHEVER IS LARGER. THE MAXIMUM LEAKAGE SHALL BE CALCULATED USING THE FORMULA AS FOLLOWS:

$$L = (S)(D)(P^{1/2})/133,200$$
 WHERE L = ALLOWABLE LEAKAGE IN GAL./HR.
 S = LENGTH OF PIPE TESTED IN FEET
 D = INSIDE DIAMETER OF PIPE IN INCHES
 P = PRESSURE IN POUNDS PER SQUARE INCH (GAUGE)
11. PIPE SHALL NOT BE LAID IN WATER OR PLACED WHERE IT CAN BE FLOODED WITH WATER OR SEWAGE DURING ITS STORAGE OR INSTALLATION IN COMPLIANCE WITH TAC 290.44(f)(1).
12. ALL PLASTIC PIPE FOR USE IN PUBLIC WATER SYSTEMS MUST ALSO BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL (NSF-pw) AS REQUIRED IN SECTION 290.44(a)(2) OF THE RULES.
13. THE HYDROSTATIC LEAKAGE RATE FOR PVC PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AWWA C-605 AS REQUIRED IN SECTION 290.44(a)(5) OF THE RULES. [L = NDP /7,400]

STORM SEWERS

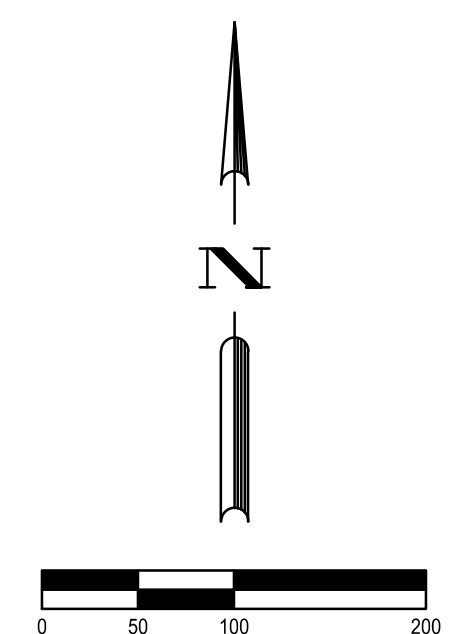
1. STORM SEWERS AND LEADS SHALL BE REINFORCED CONCRETE PIPE, C-76, CLASS III, AND SHALL BE INSTALLED, BEDDED, AND BACKFILLED IN ACCORDANCE WITH MONTGOMERY COUNTY SPECIFICATIONS AND DRAWINGS AS APPLICABLE.
2. C.M.P. (CORRUGATED METAL PIPE) SHALL BE INSTALLED, BEDDED AND BACKFILLED ACCORDING TO MONTGOMERY COUNTY DETAILS.
3. ALL SEWERS CONSTRUCTED IN SIDE LOT EASEMENTS SHALL BE R.C.P. (C-76 CLASS III) AND SHALL BE BEDDED IN ACCORDANCE WITH MONTGOMERY COUNTY SPECIFICATIONS AND DETAILS INCLUDED IN THIS PLAN SET AS APPLICABLE - MIN. 20' EASEMENT SHALL BE PROVIDED.
4. ALL SEWERS UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE BACKFILLED WITH 2 SACKS CEMENT/C.Y. STABILIZED SAND AS-PER DETAILS. THE REMAINING DEPTH OF TRENCH SHALL BE BACKFILLED WITH SUITABLE EARTH MATERIAL IN 8 INCH LIFTS, WITH TESTS TAKEN AT 100 FOOT INTERVALS ON EACH LIFT, AND MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM DESIGNATION D-698/AASHTO T99). MOISTURE CONTENT OF BACKFILL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CEMENT-STABILIZED SAND SPECIFICATION, LATEST EDITION. ALTERNATE TO CEMENT STABILIZED SAND BACKFILL FOR PIPES 54-INCH AND LARGER, FROM 1-FOOT ABOVE THE TOP OF PIPE TO THE BOTTOM OF THE SUBGRADE. CONTRACTOR MAY BACKFILL WITH SUITABLE MATERIAL, PROVIDED THE BACKFILL MATERIAL IS PLACED IN 8-INCH LIFTS AND MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY. TESTS SHALL BE TAKEN AT 100-FOOT INTERVALS ON EACH LIFT. BEDDING AND BACKFILL TO 1-FOOT ABOVE THE TOP OF THE PIPE SHALL BE CEMENT STABILIZED SAND.
5. ALL INLETS TO BE TYPE "B-B" UNLESS OTHERWISE NOTED.
6. ALL INLET LEADS TO BE 24" RCP UNLESS OTHERWISE NOTED.
7. 24" TO 72" STORM SEWERS SHALL HAVE TYPE "C" M.H.'S.
8. CONCRETE PIPE SHALL BE INSTALLED USING RUBBER GASKET JOINTS ONLY CONFORMING TO ASTM C 443.
9. "STM. S.E." INDICATES "STORM SEWER EASEMENT".
10. ALL PROPOSED PIPE STUB-OUTS FROM MANHOLES OR INLETS ARE TO BE PLUGGED WITH 8" BRICK WALLS UNLESS OTHERWISE NOTED.
11. ALL STORM SEWER MANHOLE RIMS LOCATED OUTSIDE THE PROPOSED PAVING SHALL BE SET TO PROPOSED FINISHED GRADE ELEVATION.
12. CONTRACTOR SHALL PROVIDE 6-INCHES OF CLEARANCE AT ALL STORM SEWERS CROSSING WATER LINES PER MONTGOMERY COUNTY DESIGN SPECIFICATIONS.
13. DETENTION POND SHALL BE OWNED AND MAINTAINED BY WINDMILL ESTATES

PAVING

1. GUIDELINES SET FORTH IN THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES SHALL BE OBSERVED.
2. CLEAN EXPOSED STEEL AND TIE TO EXISTING PAVEMENT; IF NOT EXPOSED, SAW CUT AND BREAK OFF 24" TO EXPOSE STEEL.
3. ALL CURB RETURN RADII ARE 25', UNLESS OTHERWISE NOTED, AND HAVE A 1% MIN. GRADE.

PRIVATE UTILITY LINES SHOWN			
CenterPoint Energy Electric Facilities. (Approval only for crossing underground facilities unless noted.) Valid at Time of Review Only			
City of Magnolia Gas Facilities			
SBC Approved for underground conduit facilities only signature valid for one year.			
REV. NO.	DATE	DESCRIPTION	P.E. APPR.
3			
2			
1			
BGE, Inc. 10777 Westheimer, Suite 400 Houston, TX 77042 Tel: 281-658-8700 • www.bgeinc.com TBPE Registration No. F-1046		BGE, INC. F-1046	
CITY OF MAGNOLIA			
WINDMILL ESTATES			
GENERAL CONSTRUCTION NOTES			
JOB NUMBER:		8576-00	
SUBMITTED: BGE, INC.	SCALE: N/A	DESIGNED BY: J.P.	DRAWN BY: N/A
DATE: MAY 2022	SURVEY BY: BROWN & GAY ENGINEERS, INC.	SHEET NO. 2 OF 41 SHEETS	CITY DWG NO.:
F B NO.:			

CITY OF MAGNOLIA - GRAND OAKS M.U.I.D.



BENCHMARKS

PRIMARY BENCHMARK: NGS MONUMENT A-1291 - BENCHMARK IS AN NGS BRASS DISK STAMPED A-1291 SET ATOP AN IRON ROD INSIDE OF A STEEL PIPE. TO REACH THE BENCHMARK FROM THE INTERSECTION OF FM 1488 AND FM 1774, GO SOUTHEAST ALONG FM 1774 A DISTANCE OF 0.4 MILES TO NICHOLS SAWMILL RD. THEN SOUTH ALONG NICHOLS SAWMILL RD. A DISTANCE OF 0.8 MILES TO THE BENCHMARK ON THE RIGHT. (BENCHMARK IS ALSO H.C. FLOODPLAIN RM 100195)

ELEVATION: 231.72 FEET NAVD-88, 2001 ADJUSTMENT

TBM 551-45-1: BOX CUT ON TOP OF THE NORTH END OF A SAFETY END TREATMENT AT THE ENTRANCE TO WORLD PETROLEUM SUPPLY ALONG THE WEST SIDE OF MAGNOLIA BUSINESS PARK DRIVE.

ELEVATION: 283.17 FEET

TBM 551-49-1: BOX ON TOP OF CONCRETE AT THE SOUTH CORNER OF THE SOUTH DRIVE OF A DOUBLE CONCRETE DRIVE ON THE EAST SIDE OF AMARILLO DRIVE LOCATED APPROXIMATELY 482 FEET NORTH OF THE CENTERLINE INTERSECTIONS OF AMARILLO DRIVE AND SMITH ROAD AT ADDRESS 222 AMARILLO.

ELEVATION: 280.26 FEET

LEGEND

- PROPOSED WATER LINE, GV & BOX WITH FIRE HYDRANT
- EXISTING WATER LINE, GV & BOX WITH FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE, MANHOLE AND STACK
- EXISTING SANITARY SEWER LINE, MANHOLE AND STACK
- PROPOSED STORM SEWER LINE, MANHOLE AND INLETS
- EXISTING STORM SEWER LINE, MANHOLE AND INLETS
- EXISTING CENTERPOINT ENERGY HL&P CONDUIT
- EXISTING CENTERPOINT ENERGY HL&P OVERHEAD LINE
- SANITARY SEWER MANHOLE
- SHEET REFERENCE NUMBER

CAUTION !!!
OVERHEAD POWER LINES IN AREA
SEE NOTES SHT 2

GENERAL NOTES:

1. "U.E." INDICATES "UTILITY EASEMENT".
2. "W.L.E." INDICATES "WATER LINE EASEMENT".
3. "SAN.S.E." INDICATES "SANITARY SEWER EASEMENT".
4. "STM.S.E." INDICATES "STORM SEWER EASEMENT".
5. "D.E." INDICATES "DRAINAGE EASEMENT".
6. "TEMP.D.E." INDICATES "TEMPORARY DRAINAGE EASEMENT".
7. ALL 14 FOOT UTILITY EASEMENTS SHOWN EXTEND 7 FEET ON EACH SIDE OF A COMMON LOT LINE UNLESS OTHERWISE INDICATED.
8. ALL SANITARY SEWERS ARE 8" UNLESS OTHERWISE INDICATED.
9. ALL WATER LINES ARE 8" UNLESS OTHERWISE INDICATED.

NOTICE
FOR LOCATION OF UNDERGROUND UTILITY LINES, CALL 811, 48 HOURS BEFORE EXCAVATING.

PERMIT NOTES:

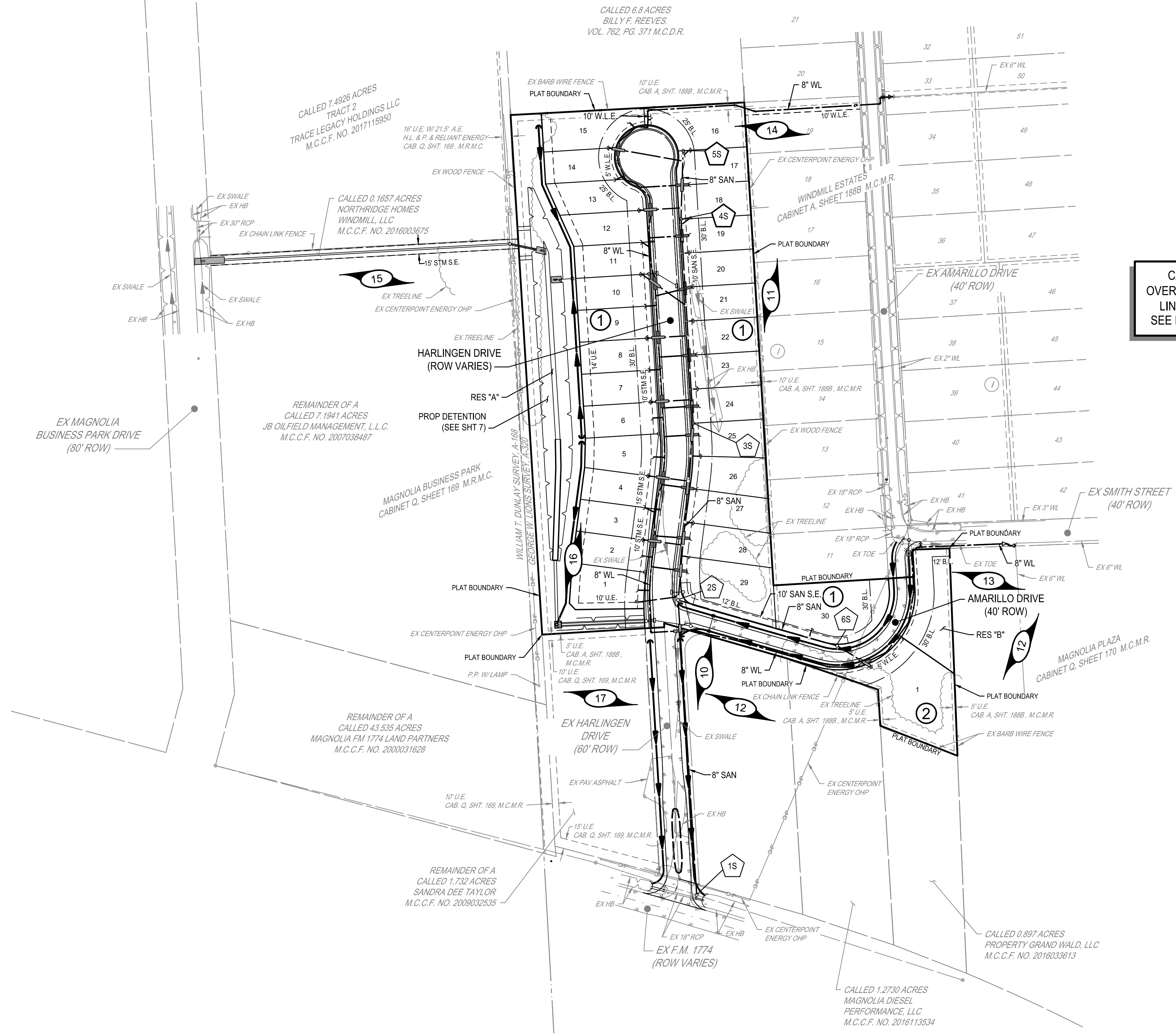
1. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF MAGNOLIA, TEXAS PRIOR TO STARTING CONSTRUCTION OF UTILITIES AND/OR CULVERTS WITHIN COUNTY ROAD RIGHT-OF-WAY. THE PERMIT IS TO BE ISSUED IN THE OWNERS NAME.
2. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY REGULATION OF CITY OF MAGNOLIA, TEXAS FOR FLOOD PLAIN MANAGEMENT PRIOR TO STARTING CONSTRUCTION.

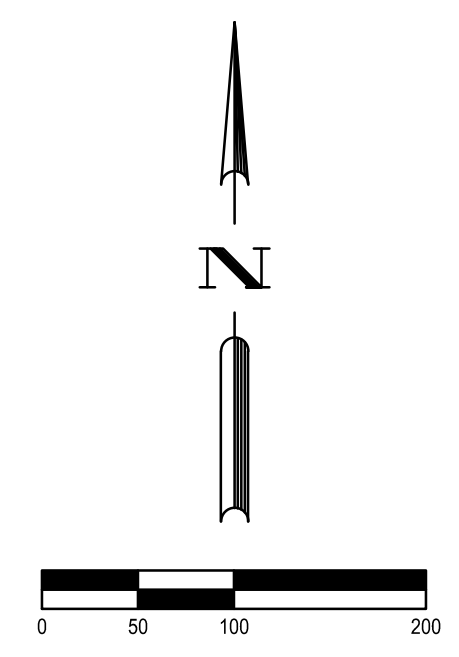
REV. NO.	DATE	DESCRIPTION	P.E. APPR.
3			
2			
1			

BGE, Inc.
10777 Westheimer, Suite 400
Houston, TX 77042
Tel: 281-258-8700 • www.bgeinc.com
TBPPE Registration No. F-1046

KYLE J. ADAMS
137440
LICENSED PROFESSIONAL ENGINEER
5/18/22
BGE, INC. F-1046

CITY OF MAGNOLIA	
WINDMILL ESTATES	
SANITARY SEWER AND WATER OVERALL	
JOB NUMBER: 8576-00	
SUBMITTED: BGE, INC. SCALE: 1"=100' DATE: MAY 2022 SURVEY BY: BROWN & GAY ENGINEERS, INC. F.B. NO.:	DESIGNED BY: J.P. DRAWN BY: C.H. SHEET NO. 3 OF 41 SHEETS CITY DWG NO.:





BENCHMARKS

PRIMARY BENCHMARK: NGS MONUMENT A-1291 - BENCHMARK IS AN NGS BRASS DISK STAMPED A-1291 SET ATOP AN IRON ROD INSIDE OF A STEEL PIPE. TO REACH THE BENCHMARK FROM THE INTERSECTION OF FM 1488 AND FM 1774, GO SOUTHEAST ALONG FM 1774 A DISTANCE OF 0.4 MILES TO NICHOLS SAWMILL RD. THEN SOUTH ALONG NICHOLS SAWMILL RD. A DISTANCE OF 0.8 MILES TO THE BENCHMARK ON THE RIGHT. (BENCHMARK IS ALSO H.C. FLOODPLAIN RM 100195)

ELEVATION: 231.72 FEET NAVD-88, 2001 ADJUSTMENT

TBM 551-45-1: BOX CUT ON TOP OF THE NORTH END OF A SAFETY END TREATMENT AT THE ENTRANCE TO WORLD PETROLEUM SUPPLY ALONG THE WEST SIDE OF MAGNOLIA BUSINESS PARK DRIVE.

ELEVATION: 283.17 FEET

TBM 551-49-1: BOX ON TOP OF CONCRETE AT THE SOUTH CORNER OF THE SOUTH DRIVE OF A DOUBLE CONCRETE DRIVE ON THE EAST SIDE OF AMARILLO DRIVE LOCATED APPROXIMATELY 482 FEET NORTH OF THE CENTERLINE INTERSECTIONS OF AMARILLO DRIVE AND SMITH ROAD AT ADDRESS 222 AMARILLO.

ELEVATION: 280.26 FEET

LEGEND

- PROPOSED WATER LINE, GV & BOX WITH FIRE HYDRANT
- EXISTING WATER LINE, GV & BOX WITH FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE, MANHOLE AND SERVICE LEAD
- PROPOSED FAR SIDE SERVICE LEAD WITH STACK
- EXISTING SANITARY SEWER LINE, MANHOLE AND STACK
- PROPOSED STORM SEWER LINE, MANHOLE AND INLETS
- EXISTING STORM SEWER LINE, MANHOLE AND INLETS
- EXISTING CENTERPOINT ENERGY HL&P OVERHEAD LINE
- STORM SEWER MANHOLE
- SHEET REFERENCE NUMBER
- EXISTING CONTOUR LINE

NOTE:
WINDMILL ESTATES
WILL OWN AND
MAINTAIN THE
DETENTION POND

CAUTION !!!
OVERHEAD POWER
LINES IN AREA
SEE NOTES SHT 2

PRIVATE UTILITY LINES SHOWN

CenterPoint Energy Electric Facilities. (Approval only for crossing underground facilities unless noted.)
Valid at Time of Review Only

City of Magnolia Gas Facilities

SBC Approved for underground records only
signature valid for one year.

REV. NO.	DATE	DESCRIPTION	P.E. APPR.
3			
2			
1	08/22/22	ADDITIONAL COMMENT FROM TXDOT	PP

- GENERAL NOTES:**
- "U.E." INDICATES "UTILITY EASEMENT".
 - "W.L.E." INDICATES "WATER LINE EASEMENT".
 - "SAN.S.E." INDICATES "SANITARY SEWER EASEMENT".
 - "STM.S.E." INDICATES "STORM SEWER EASEMENT".
 - "D.E." INDICATES "DRAINAGE EASEMENT".
 - "TEMP.D.E." INDICATES "TEMPORARY DRAINAGE EASEMENT".
 - ALL 14 FOOT UTILITY EASEMENTS SHOWN EXTEND 7 FEET ON EACH SIDE OF A COMMON LOT LINE UNLESS OTHERWISE INDICATED.
 - ALL SANITARY SEWERS ARE 8" UNLESS OTHERWISE INDICATED.
 - ALL WATER LINES ARE 8" UNLESS OTHERWISE INDICATED.
 - ALL STORM SEWERS ARE 24" UNLESS OTHERWISE INDICATED.

BGE, Inc.
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Houston, TX 77042
Tel: 281-258-8700 • www.bgeinc.com
TBPPE Registration No. F-1046

08/22/22
BGE, INC. F-1046

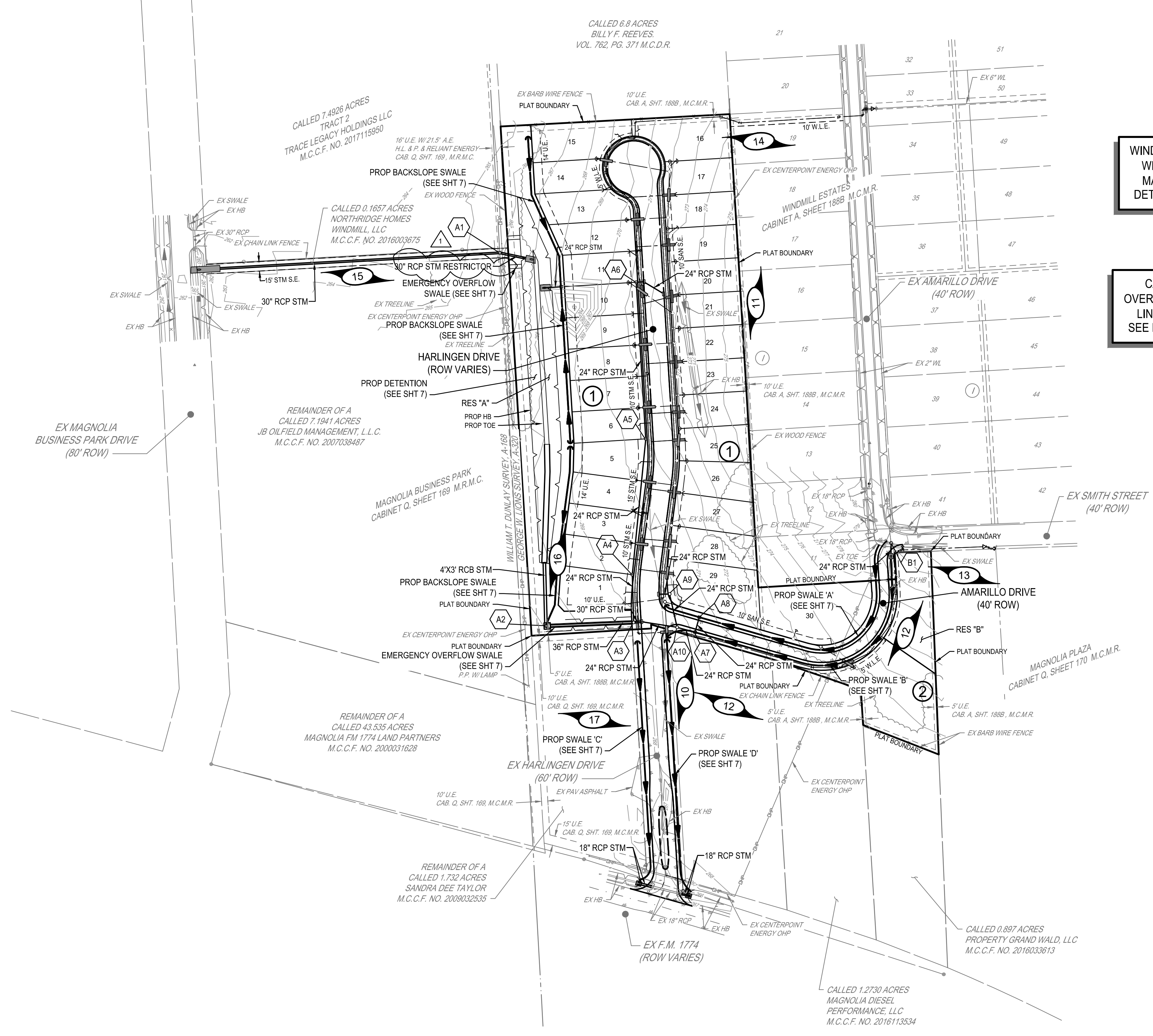
CITY OF MAGNOLIA

WINDMILL ESTATES

STORM SEWER OVERALL

JOB NUMBER: 8576-00	
SUBMITTED: BGE, INC.	DESIGNED BY: J.P.
SCALE: 1"=100'	DRAWN BY: C.H.
DATE: MAY 2022	SHEET NO. 4 OF 41 SHEETS
SURVEY BY: BROWN & GAY ENGINEERS, INC.	CITY DWG NO:
F.B. NO:	

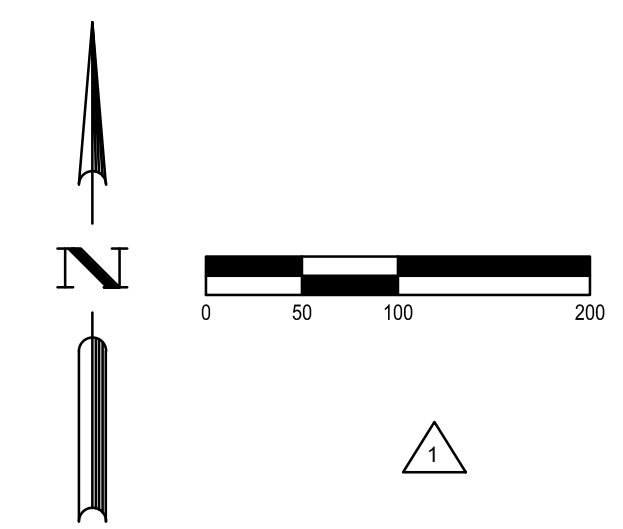
NOTICE
FOR LOCATION OF UNDERGROUND
UTILITY LINES. CALL 811, 48 HOURS
BEFORE EXCAVATING.



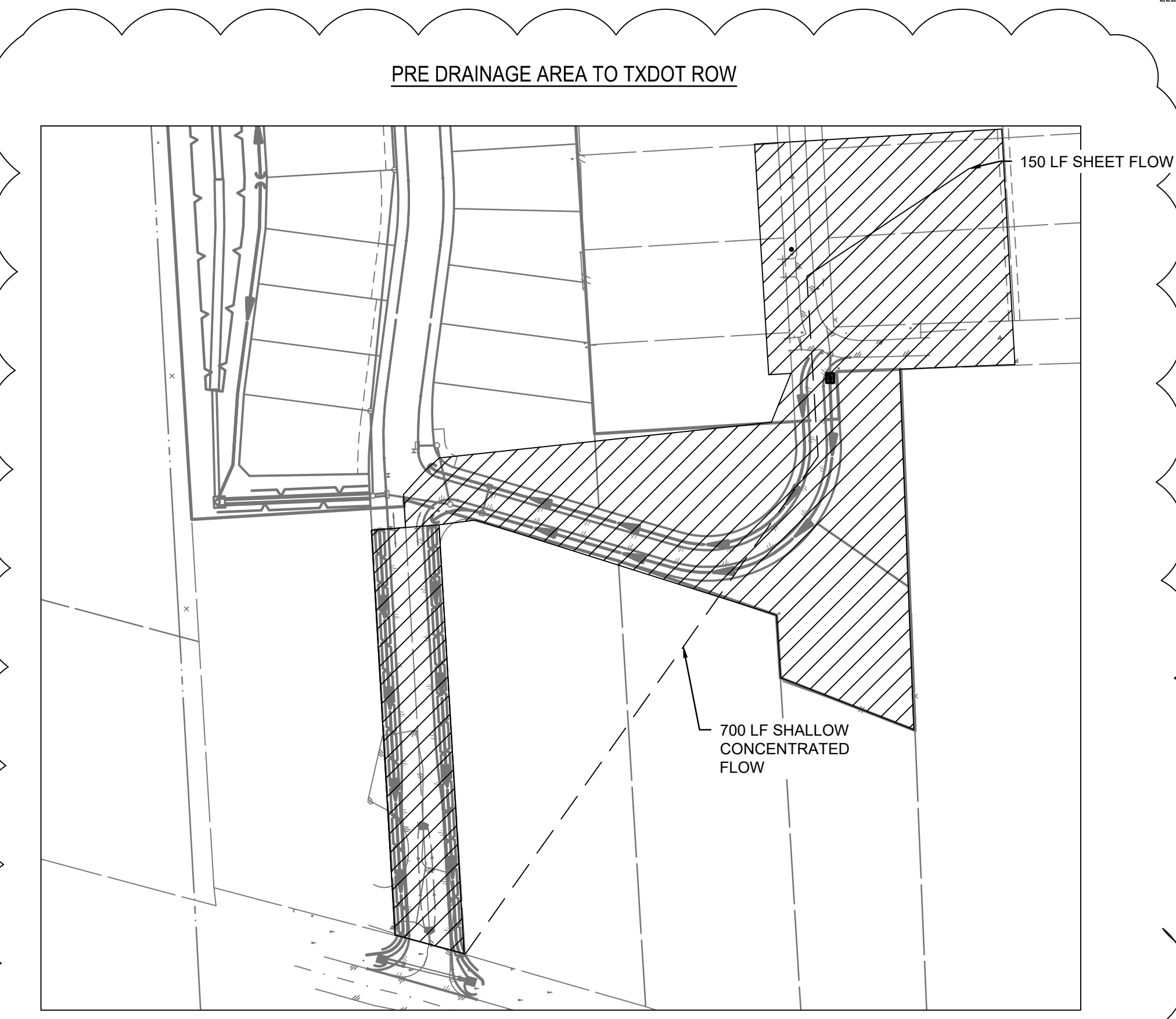
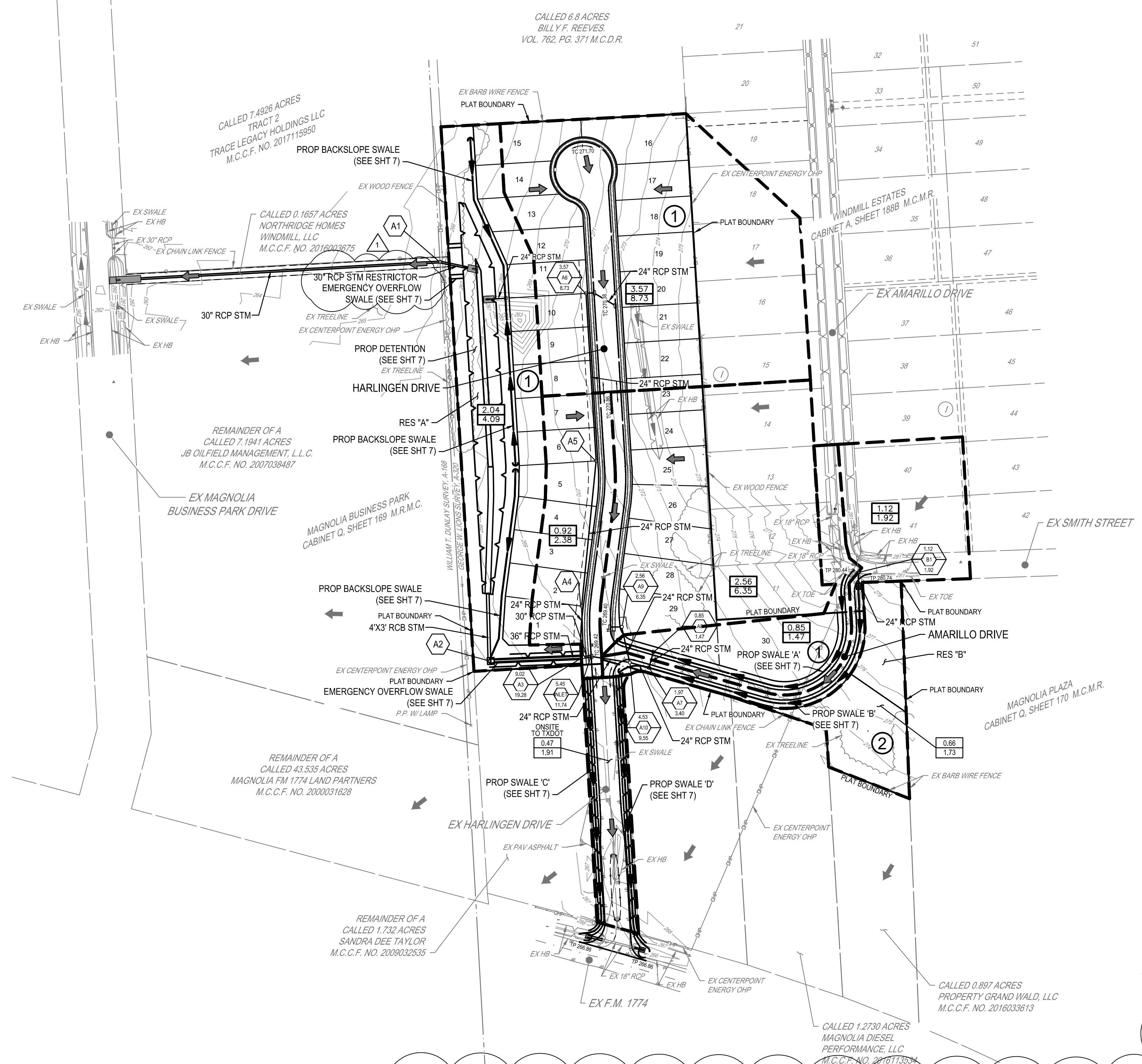
NOTE:
WINDMILL ESTATES
WILL OWN AND
MAINTAIN THE
DETENTION POND

SEE SHEET 6
FOR
DRAINAGE CALCULATIONS

THE PROPOSED DRAINAGE AND DETENTION SYSTEM
PROVIDES AT MINIMUM A 10% REDUCTION IN RUNOFF
FROM PRE-CONSTRUCTION CONDITIONS



BENCHMARKS
PRIMARY BENCHMARK: NGS MONUMENT A-1281 - BENCHMARK IS AN NGS BRASS DISK STAMPED A-1281 SET ATOP AN IRON ROD INSIDE OF A STEEL PIPE. TO REACH THE BENCHMARK FROM THE INTERSECTION OF FM 1488 AND FM 1774, GO SOUTHEAST ALONG FM 1774 A DISTANCE OF 0.4 MILES TO NICHOLS SAWMILL RD. THEN SOUTH ALONG NICHOLS SAWMILL RD. A DISTANCE OF 0.8 MILES TO THE BENCHMARK ON THE RIGHT. (BENCHMARK IS ALSO H.C. FLOODPLAIN RM 100195)
ELEVATION: 231.72 FEET NAVD-88, 2001 ADJUSTMENT
TBM 551-45-1: BOX CUT ON TOP OF THE NORTH END OF A SAFETY END TREATMENT AT THE ENTRANCE TO WORLD PETROLEUM SUPPLY ALONG THE WEST SIDE OF MAGNOLIA BUSINESS PARK DRIVE.
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ELEVATION: 280.26 FEET



LEGEND

- DRAINAGE AREA BOUNDARY
- ACREAGE
5 YR CFS
- CUMULATIVE ACREAGE
MANHOLE NUMBER
5 YR CUMULATIVE CFS
- STORM MANHOLE NUMBER
- EXISTING STORM INLETS
& MANHOLE
- PROPOSED STORM
INLETS & MANHOLE
- EXTREME EVENT SHEET
FLOW DIRECTION
- OFF SITE EXTREME EVENT
SHEET FLOW DIRECTION
- EXISTING CONTOUR LINE
- PROPOSED ASPHALT PAVEMENT
- PRE DEVELOPMENT DRAINAGE
(3.1 ACRES, 7.09 CFS)
- POST DEVELOPMENT DRAINAGE
(0.47 ACRES, 1.91 CFS)

REV. NO.	DATE	DESCRIPTION	P.E. APPR.
3			
2			
1	08/22/22	ADDITIONAL COMMENT FROM TXDOT	

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TBPPE Registration No. F-1046

KYLE J. ADAMS
137440
LICENSED PROFESSIONAL ENGINEER
08/22/22
BGE, INC. F-1046

CITY OF MAGNOLIA

WINDMILL ESTATES

DRAINAGE AREA MAP

JOB NUMBER: 8576-00

SUBMITTED: BGE, INC. DESIGNED BY: J.P.
SCALE: 1"=100' DRAWN BY: C.H.
DATE: MAY 2022 SHEET NO. 5 OF 41 SHEETS
SURVEY BY: BROWN & GAY ENGINEERS, INC. CITY DWG NO:
F.B. NO:

	Slope (ft/ft)	n	L (ft)	Tc (Hr)	Intensity (In/Hr)	Area (Acres)	c	Q (CFS)
Predevelopment								
1. Sheet Flow	0.035	0.24	150	0.2138				
2. Shallow Concentrated	0.017	0.24	700	0.0920				
Total				0.3059	18.4	5.32	3.1	7.09 5-Yr
						6.20	3.1	8.26 10-Yr
						9.34	3.1	12.45 100-Yr
Post Development								
1. Sheet Flow	0.020	0.24	20	0.0534				
2. Shallow Concentrated	0.004	0.24	330	0.0898				
Total				0.1432	8.6	6.78	0.47	1.91 5-Yr
					use 10 min	7.86	0.47	2.22 10-Yr
						11.62	0.47	3.28 100-Yr



City of Magnolia -- Storm Sewer Calculation Form

Project: Windmill Estates
Job No: 8576-00
By: KJA
Date: 4/18/2022
#N/A

Rainfall Frequency (years): 5

b = 75.26
d = 11.23
e = 0.7974

REQUIRED INPUT VALUES
Curb Height (in feet) = 0.50
Static WSE =
10 yr WSE = 265.70
100 yr WSE = 266.80

Table with columns: From MH, To MH, Sub Area, Sub Runoff Coeff, Total Area, Sum of CA, Intensity I, Sum of Flows Q, Time of Conc. TC, Reach Length, Diameter, Slope, Manning's n, Capacity Q, Velocity V, Drop at Down stream Manhole, Actual Velocity, Hydraulic Gradient, Change in Head, Elev. Up Stream, Elev. Down Stream, TC Upstream, TC Downstream, Flowline Upstream, Flowline Downstream



City of Magnolia -- Storm Sewer Calculation Form

Project: Windmill Estates
Job No: 8576-00
By: KJA
Date: 4/18/2022
#N/A

Rainfall Frequency (years): 100

b = 145.71
d = 15.69
e = 0.7898

REQUIRED INPUT VALUES
Curb Height (in feet) = 0.50
Static WSE =
10 yr WSE = 265.70
100 yr WSE = 266.80

Table with columns: From MH, To MH, Sub Area, Sub Runoff Coeff, Total Area, Sum of CA, Intensity I, Sum of Flows Q, Time of Conc. TC, Reach Length, Diameter, Slope, Manning's n, Capacity Q, Velocity V, Drop at Down stream Manhole, Actual Velocity, Hydraulic Gradient, Change in Head, Elev. Up Stream, Elev. Down Stream, TC Upstream, TC Downstream, Flowline Upstream, Flowline Downstream



City of Magnolia -- Storm Sewer Calculation Form

Project: Windmill Estates
Job No: 8576
By: KJA
Date: 4/18/2022
#N/A

Rainfall Frequency (years): 5

b = 75.26
d = 11.23
e = 0.7974

Table with columns: DITCH, Sub Area, Sub Runoff Coeff, Total Area, Sum of CA, Intensity I, Sum of Flows Q, Time of Conc. TC, Average Depth, Average Width, Side Slope, SWALE AREA, Pw, Rn, Slope, Manning's n, Capacity Q, Velocity V, Depth of Water, a

DRAINAGE SUMMARY TABLE (APPLICABLE TO PROJECTS WITH DRAINAGE TO TXDOT)

Please copy and paste the completed table onto the drainage sheet

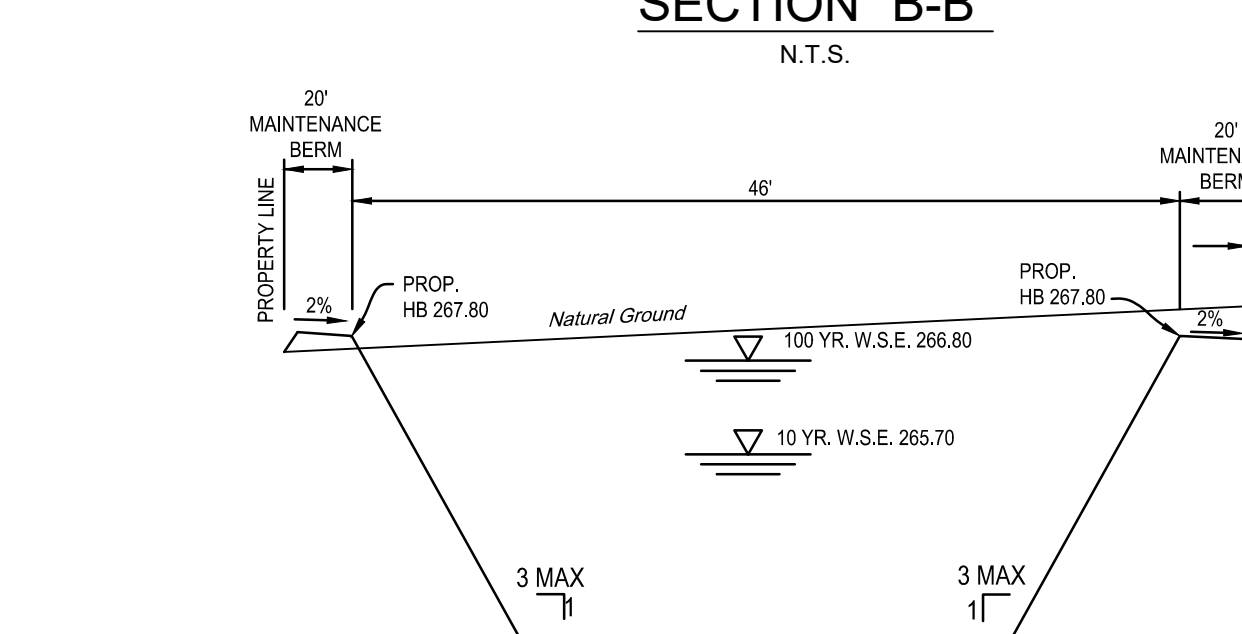
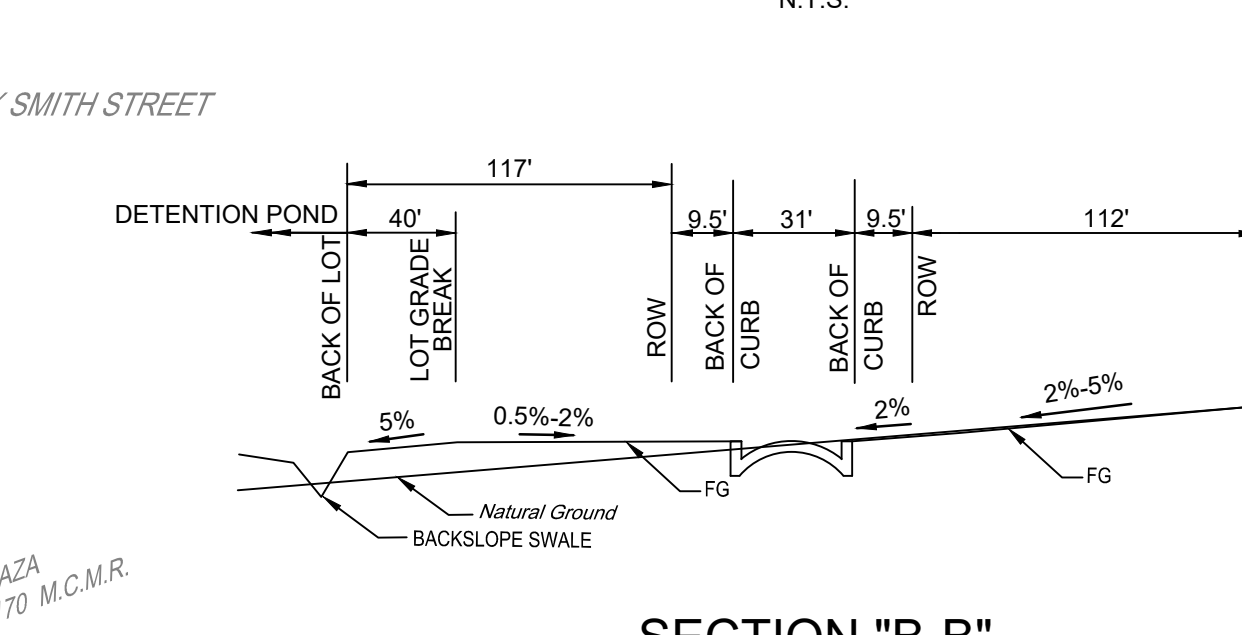
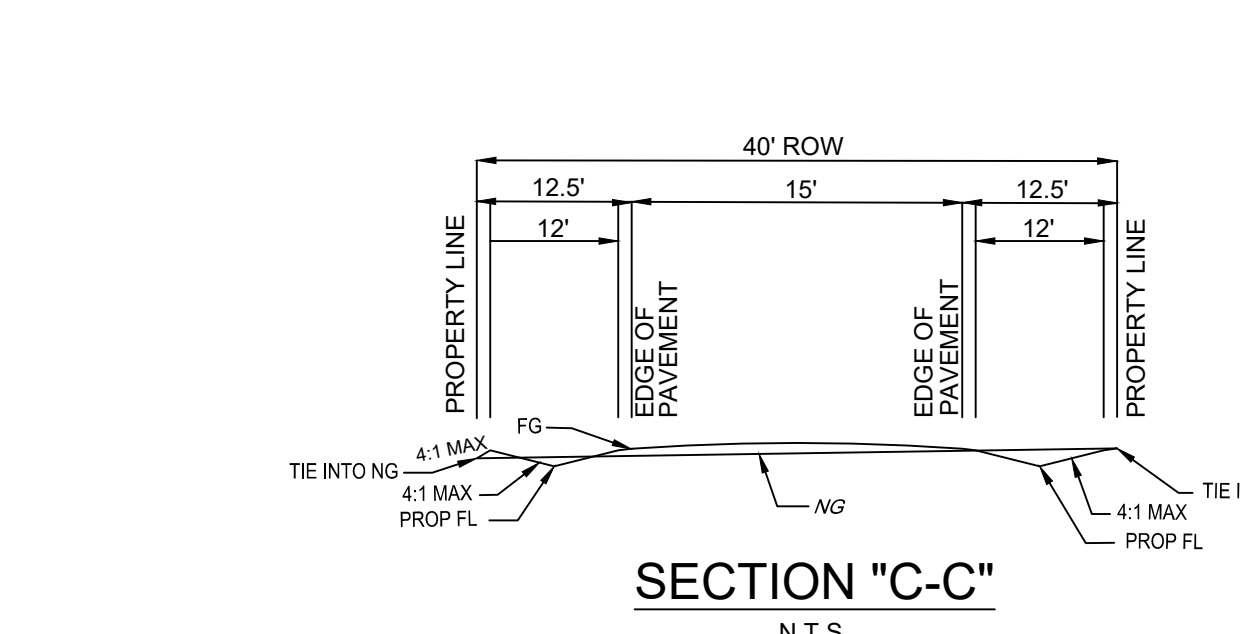
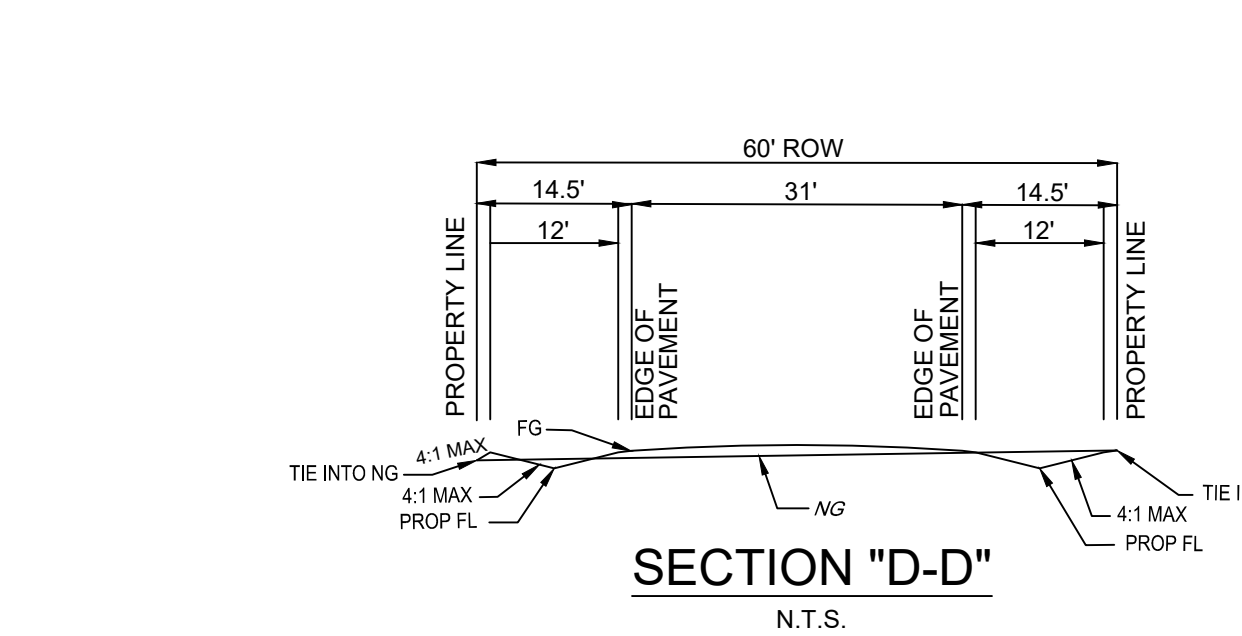
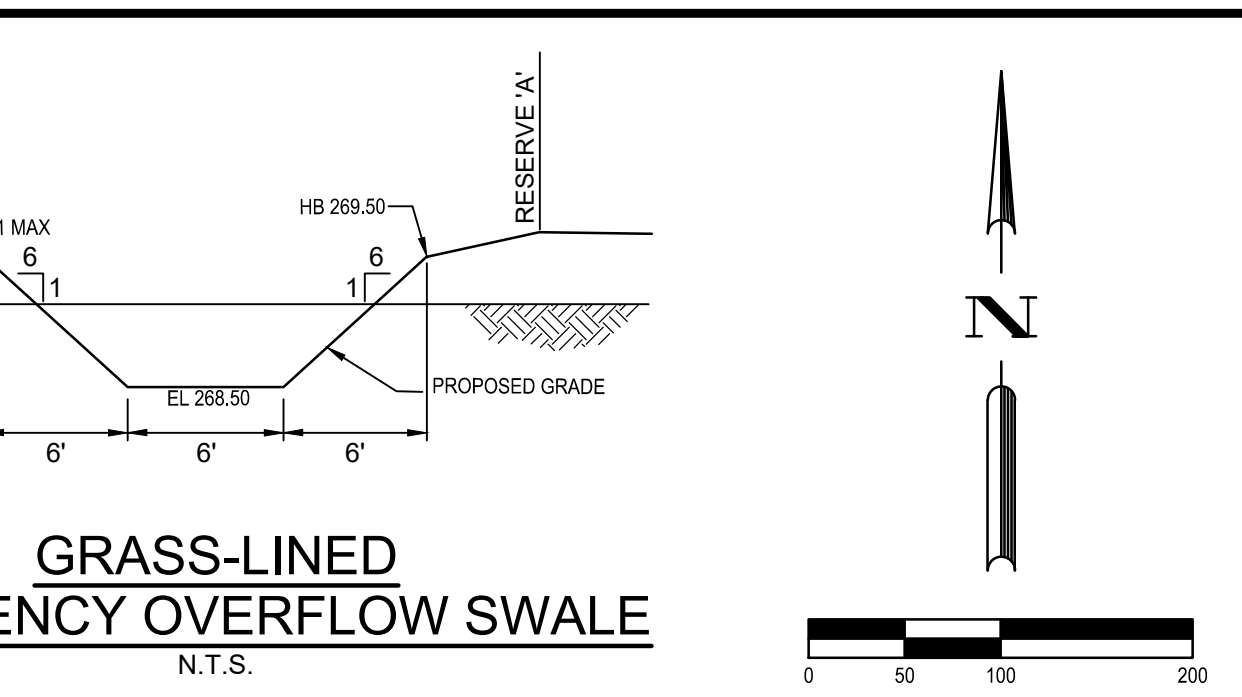
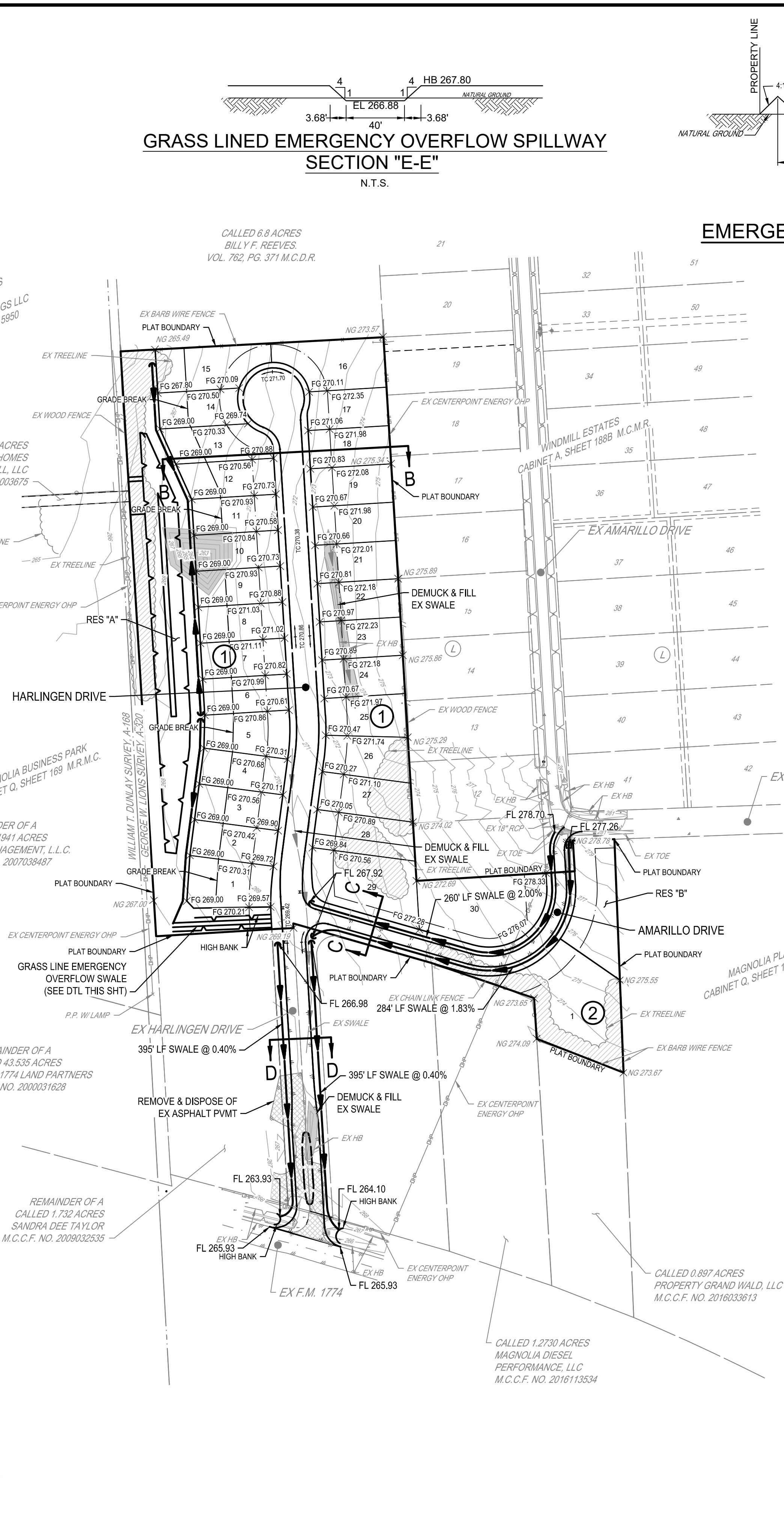
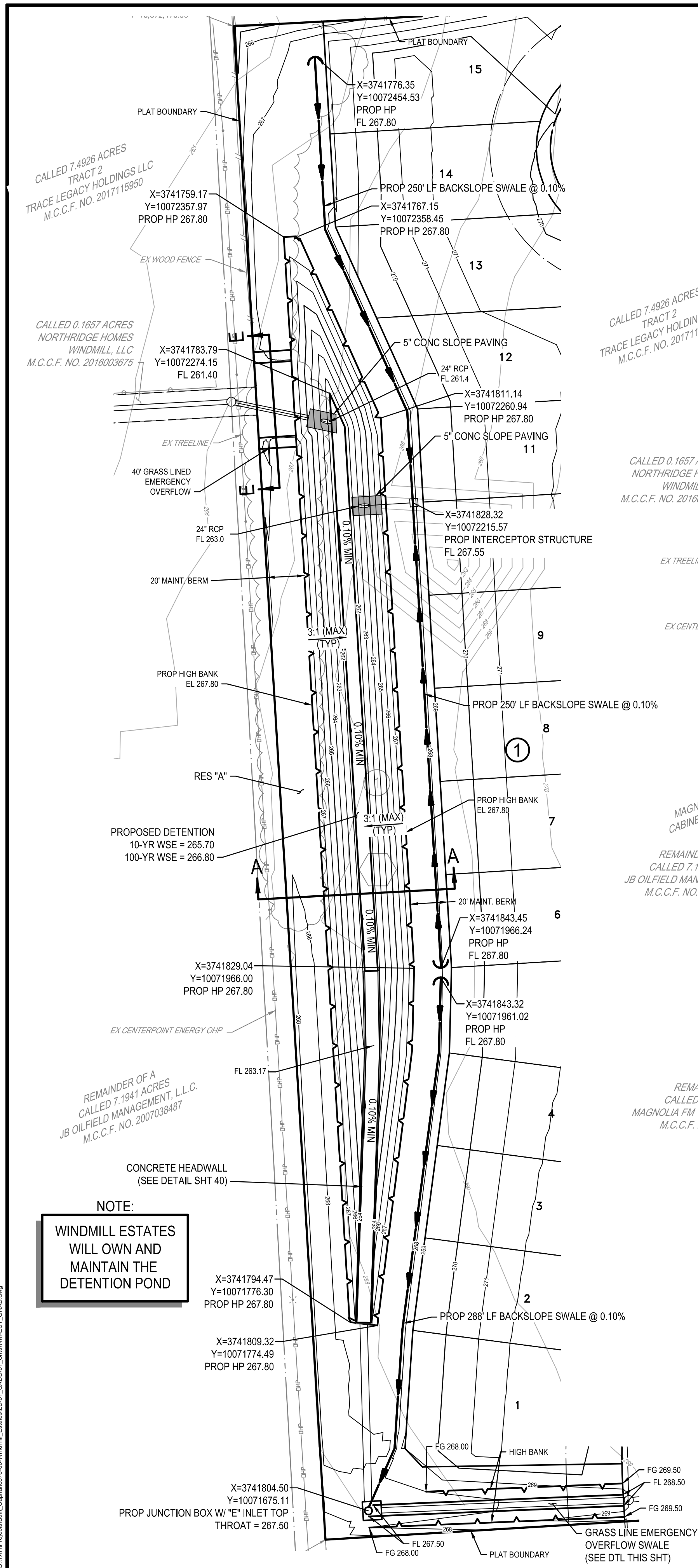
Table with columns: TxDOT Tracking number (TR#), Highway, TxDOT frontage, TxDOT Area, Total tractarea based on submitted survey map, Proposed disturbed area, Project contributing drainage area to TxDOT, Off-site contributing drainage area, Increased impervious area, 10-yr required detention volume, 10-yr proposed detention volume, 10-yr design W.S.E., 10-yr Pre-developed peak flow, 10-yr Post-developed peak flow, 10-yr Proposed discharge to TxDOT R.O.W., 100-yr required detention volume, 100-yr proposed detention volume, 100-yr design W.S.E., 100-yr Pre-developed peak flow, 100-yr Post-developed peak flow, 100-yr Proposed discharge to TxDOT R.O.W., TxDOT as-built or calculated allowable discharge, Primary tie-in/outfall structure size, Primary restrictor size, Primary restrictor maximum discharge, Secondary outfall device size, Secondary outfall discharge, Maximum combined pumped discharge, % Pumped discharge volume, Effective gravity discharge elevation, B.F.E. per effective FIRM, Proposed fill below B.F.E., Proposed cut below B.F.E.

* THIS PROJECT IS PROPOSING 0.47 ACRES TO DIRECTLY OUTFALL INTO TXDOT ROW SINCE THE EXISTING FLOWS AND ACREAGE ARE BEING REDUCED DISCHARGING TO TXDOT ROW BY ROUTING EXISTING FLOWS INTO A PROPOSED DETENTION POND AND OUTFALLING TO EX MAGNOLIA BUSINESS PARK DRIVE (NOT TXDOT ROW). WE HAVE ALREADY OBTAINED CITY OF MAGNOLIA APPROVAL AND LETTER STATING THEY ACCEPT THIS OUTFALL LOCATION. REFERENCE APPROVED DIS DATED MAY 11, 2022 FOR FULLY APPROVED DRAINAGE STUDY

Table with columns: REV. NO., DATE, DESCRIPTION, P.E. APPR. (Revisions 1, 2, 3)

BGE logo, Professional Engineer seal for Kyle J. Adams, License No. 137440, Date 08/22/22, BGE, Inc. address and contact info.

CITY OF MAGNOLIA, WINDMILL ESTATES, DRAINAGE CALCULATIONS, JOB NUMBER: 8576-00, SUBMITTED: BGE, INC., DESIGNED BY: J.P., SCALE: N/A, DRAWN BY: BGE, DATE: MAY 2022, SHEET NO. 6 OF 41 SHEETS, SURVEY BY: BROWN & GAY ENGINEERS, INC., CITY DWG NO., F.B. NO.



GRASS LINED EMERGENCY OVERFLOW SWALE SECTION "E-E"
N.T.S.

GRASS-LINED EMERGENCY OVERFLOW SWALE
N.T.S.

SECTION "D-D"
N.T.S.

SECTION "C-C"
N.T.S.

SECTION "B-B"
N.T.S.

SECTION "A-A"
SCALE: N.T.S.

BENCHMARKS
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ELEVATION: 231.72 FEET NAVD-88, 2001 ADJUSTMENT
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ELEVATION: 280.26 FEET

LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- FINISHED GRADE ELEVATION
- EXISTING GRADE ELEVATION
- AREA OF DEMUCK & FILL
- AREA OF TREE CLEARING
- ASPHALT (TO BE REMOVED AND DISPOSED)
- PROPOSED ASPHALT PAVEMENT

REV. NO.	DATE	DESCRIPTION	P.E. APPR.
3			
2			
1			

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KYLE J. ADAMS
137440
LICENSED PROFESSIONAL ENGINEER
5/18/22
BGE, INC. F-1046

CITY OF MAGNOLIA

WINDMILL ESTATES

GRADING PLAN AND DETENTION POND LAYOUT

JOB NUMBER: 8576-00

SUBMITTED: BGE, INC. DESIGNED BY: J.P.
SCALE: 1"=100' DRAWN BY: C.H.
DATE: MAY 2022 SHEET NO. 7 OF 41 SHEETS
SURVEY BY: BROWN & GAY ENGINEERS, INC. CITY DWG NO:

NOTE:
WINDMILL ESTATES WILL OWN AND MAINTAIN THE DETENTION POND

NOTE:
IN AREAS WHERE THE PROJECT DESIGN INCORPORATES FILL ADJACENT TO NEIGHBORING LANDOWNERS, THE CONTRACTOR SHALL IMPLEMENT GRADING AND/OR PERIMETER RUNOFF CATCHMENT DEVICES (E.G. PERIMETER DITCHES OR OTHER BEST MANAGEMENT PRACTICES) DURING CONSTRUCTION TO ENSURE THAT ADJACENT PARCELS BORDERING THE PROJECT SITE DO NOT EXPERIENCE INTERIM DRAINAGE FLOWS THAT EXCEED PRE-DEVELOPMENT CONDITIONS FOR STORM EVENTS UP TO AND INCLUDING THE CURRENT STORM DRAINAGE DESIGN CRITERIA AT THE TIME OF PERMIT OR CARRY SEDIMENT GENERATED AS PART OF CONSTRUCTION ACTIVITIES. WHERE APPLICABLE, THESE PRACTICES ARE IN ADDITION TO THE STANDARD STORM WATER POLLUTION PREVENTION DESIGN AND SHALL INCLUDE ADDITIONAL DITCHES REDIRECTING SITE DRAINAGE OR TEMPORARY PIPING. THIS NOTE IS NOT INTENDED TO ADDRESS ANY LIABILITY OR RESPONSIBILITY UNDER TEXAS WATER CODE 11.086.

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BENCHMARKS

PRIMARY BENCHMARK: NGS MONUMENT A-1291 - BENCHMARK IS AN NGS BRASS DISK STAMPED A-1291 SET ATOP AN IRON ROD INSIDE OF A STEEL PIPE. TO REACH THE BENCHMARK FROM THE INTERSECTION OF FM 1488 AND FM 1774, GO SOUTHEAST ALONG FM 1774 A DISTANCE OF 0.4 MILES TO NICHOLS SAWMILL RD. THEN SOUTH ALONG NICHOLS SAWMILL RD. A DISTANCE OF 0.8 MILES TO THE BENCHMARK ON THE RIGHT. (BENCHMARK IS ALSO H.C. FLOODPLAIN RM 100195)

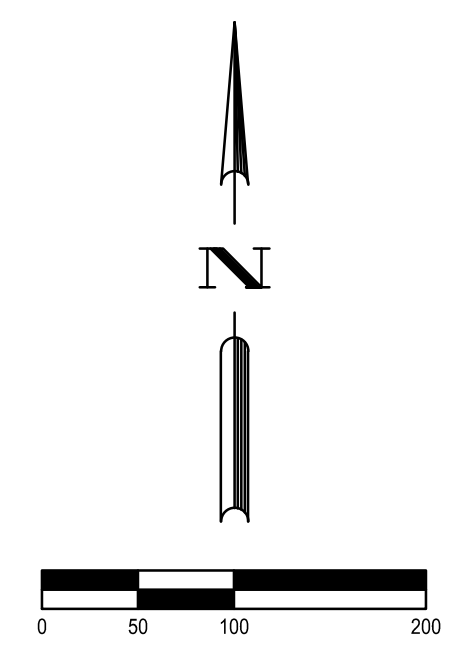
ELEVATION: 231.72 FEET NAVD-88, 2001 ADJUSTMENT

TBM 551-45-1: BOX CUT ON TOP OF THE NORTH END OF A SAFETY END TREATMENT AT THE ENTRANCE TO WORLD PETROLEUM SUPPLY ALONG THE WEST SIDE OF MAGNOLIA BUSINESS PARK DRIVE.

ELEVATION: 283.17 FEET

TBM 551-49-1: BOX ON TOP OF CONCRETE AT THE SOUTH CORNER OF THE SOUTH DRIVE OF A DOUBLE CONCRETE DRIVE ON THE EAST SIDE OF AMARILLO DRIVE LOCATED APPROXIMATELY 482 FEET NORTH OF THE CENTERLINE INTERSECTIONS OF AMARILLO DRIVE AND SMITH ROAD AT ADDRESS 222 AMARILLO.

ELEVATION: 280.26 FEET

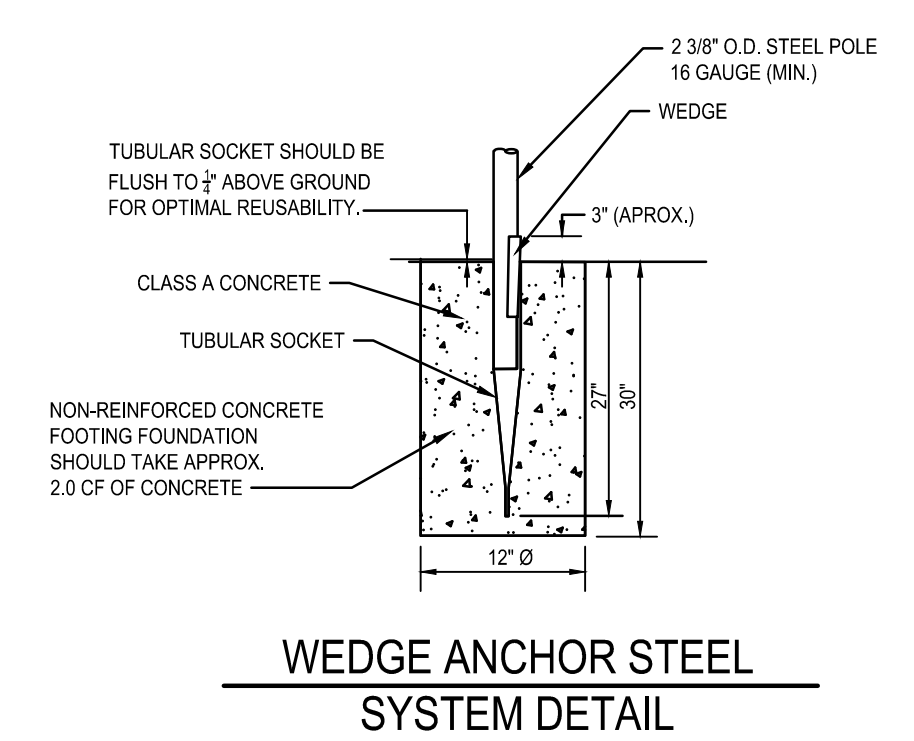
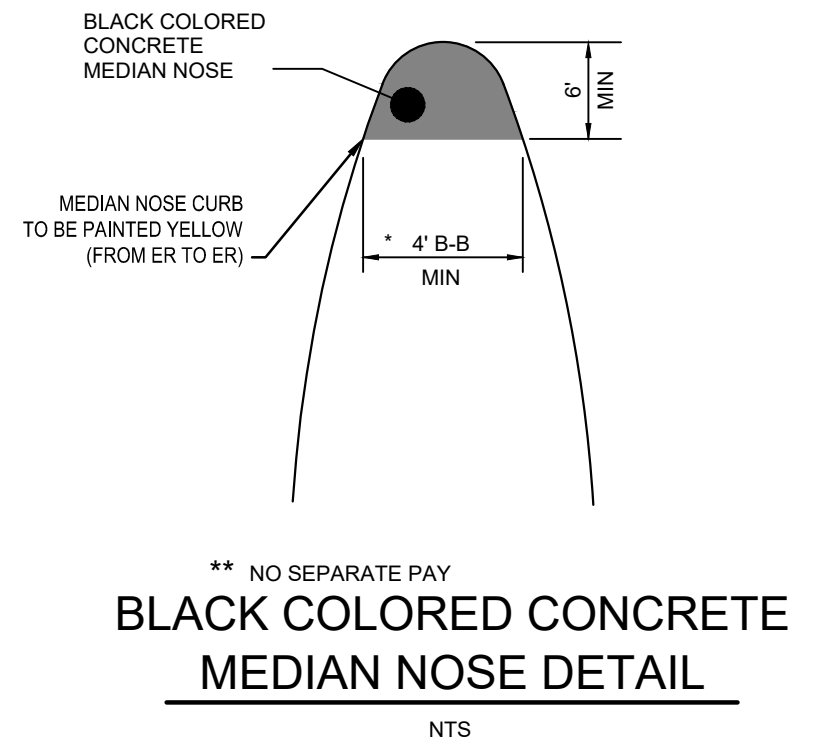
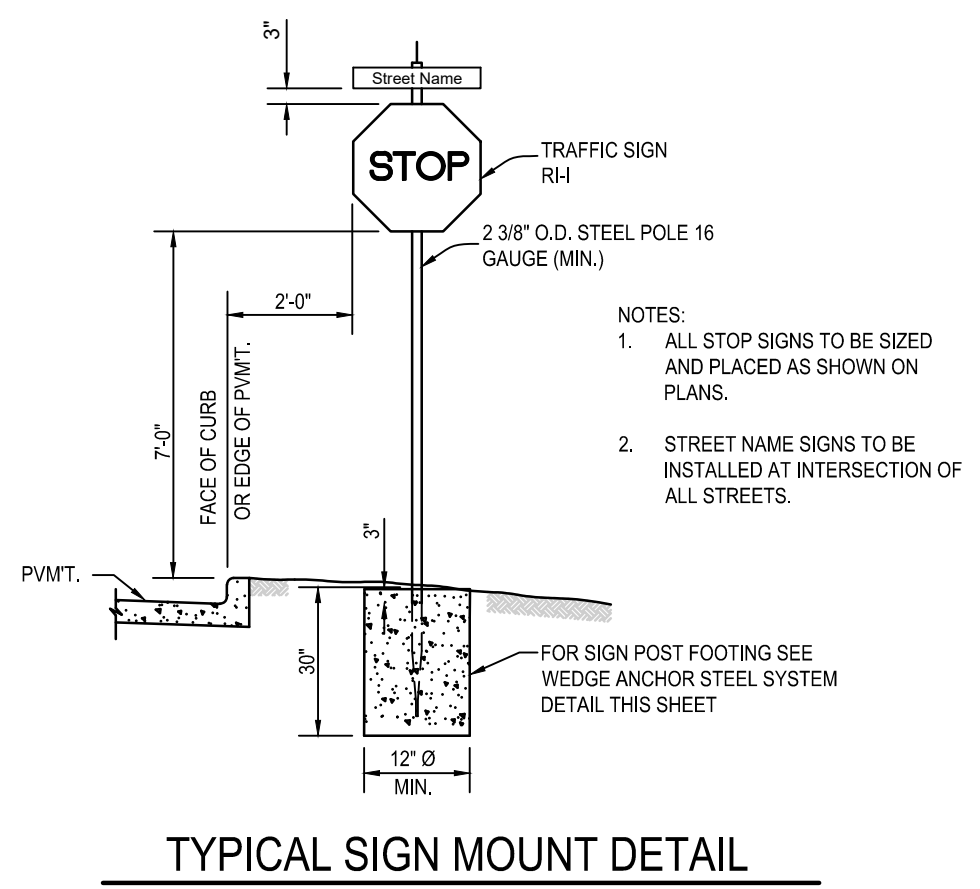
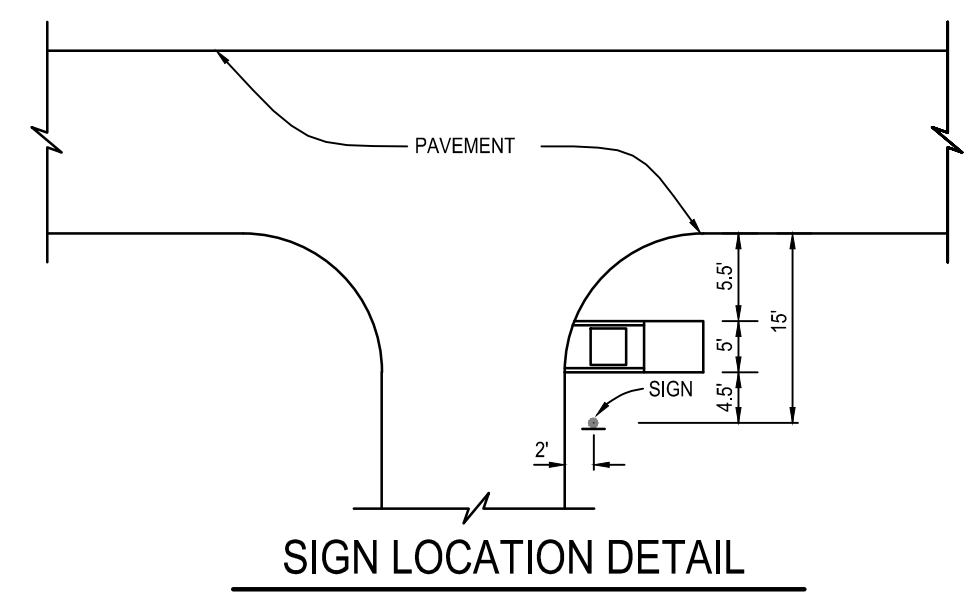


LEGEND

- ⊕ S1 PROPOSED STOP SIGN
- ⊕ S2 PROPOSED STREET SIGN
- ⊕ S3 PROPOSED STOP SIGN WITH STREET SIGN
- PROPOSED TOP CURB GRADE ARE BASED ON 6" CURBS. WHERE 4"x12" CURBS ARE INSTALLED, ACTUAL TOP OF CURB WILL BE 0.17 FEET BELOW PLAN GRADE.
- PROPOSED 4"x12" CURB

- ① 24" WIDE WHITE STOP LINE (SEE DTL SHT 32)
- ② 8" WIDE SOLID WHITE STRIPE (TYPE I) WITH TYPE II C-R PAVEMENT MARKERS AND NON-REFLECTIVE WHITE BUTTONS (TYP) (SEE DTL SHT 32)
- ③ 24" WIDE SOLID YELLOW STRIPE 20' C-C @45° WITH TYPE II A-A MARKERS AND YELLOW BUTTONS (SEE DTL SHT 31)
- ④ 2-4" WIDED YELLOW STRIPES WITH 4" 2-WAY YELLOW RAISED REFLECTORIZED PAVEMENT MARKERS (TYPE II A-A) (SEE DTL SHT 32)
- ⑤ BLACK COLORED CONCRETE MEDIAN NOSE (NO SEPARATE PAY) (SEE DTL THIS SHEET)

NOTE: WHERE NOT COVERED, THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" GUIDELINES SHALL BE USED.

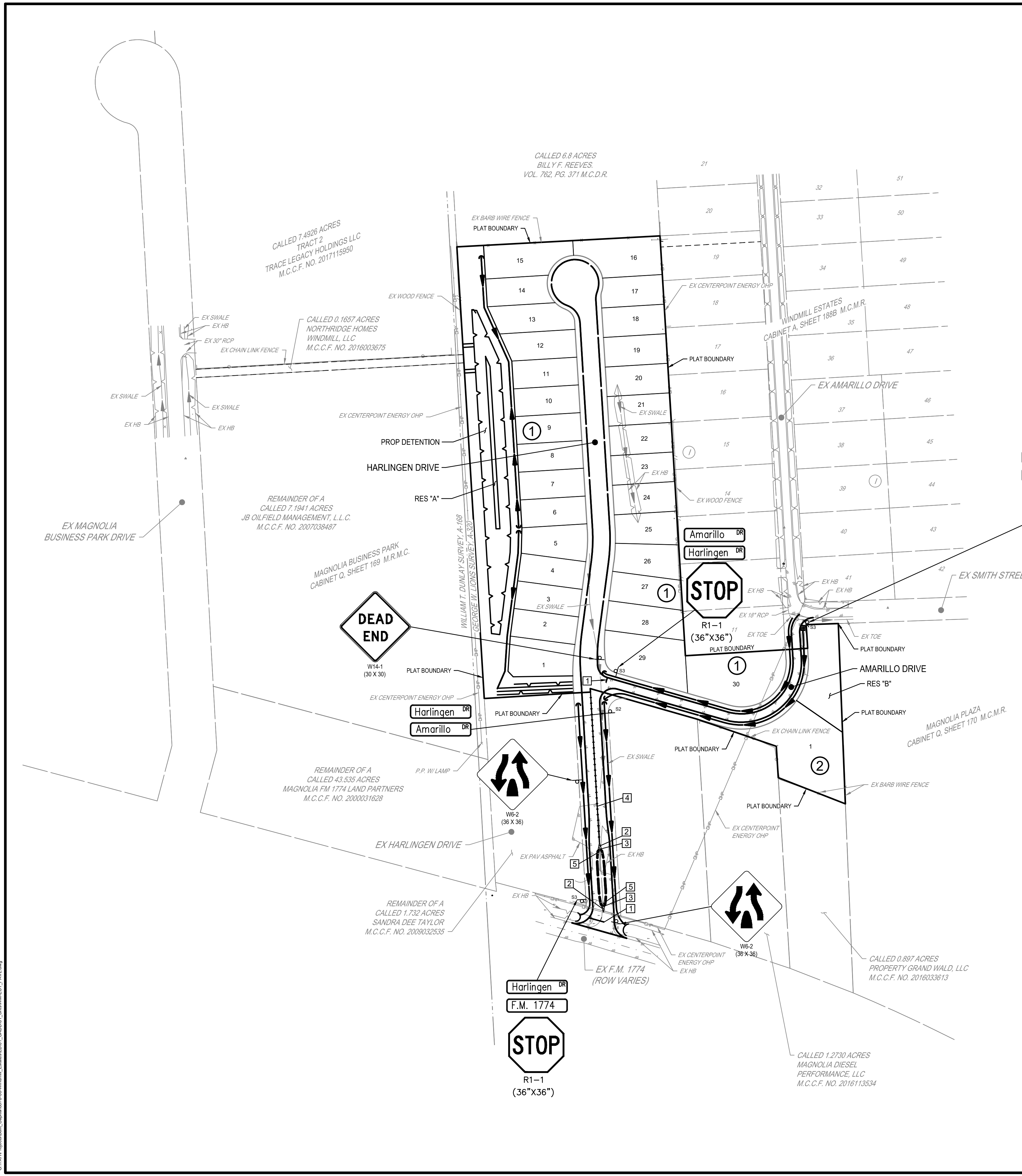


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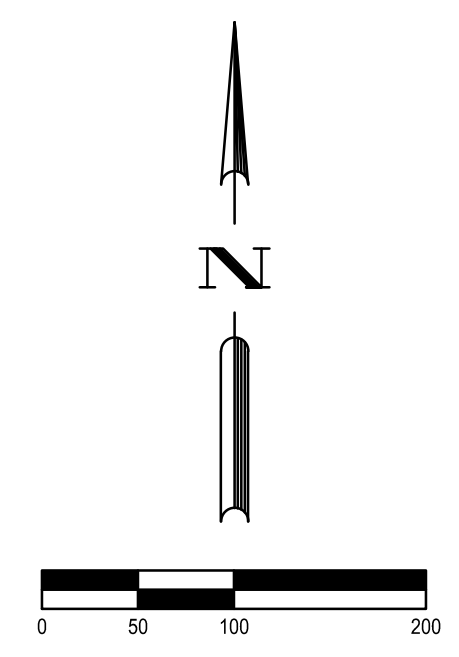
BGE, Inc.
10777 Westheimer, Suite 400
Houston, TX 77042
Tel: 281-558-8700 • www.bgeinc.com
TBPPE Registration No. F-1046

5/18/22
BGE, INC. F-1046

CITY OF MAGNOLIA	
WINDMILL ESTATES	
PAVING, SIGNAGE AND STRIPING LAYOUT	
JOB NUMBER: 8576-00	
SUBMITTED: BGE, INC. SCALE: 1"=100' DATE: MAY 2022 SURVEY BY: BROWN & GAY ENGINEERS, INC. F.B. NO.:	DESIGNED BY: J.P. DRAWN BY: C.H. SHEET NO. 8 OF 41 SHEETS CITY DWG NO.:



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BENCHMARKS

PRIMARY BENCHMARK: NGS MONUMENT A-1291 - BENCHMARK IS AN NGS BRASS DISK STAMPED A-1291 SET ATOP AN IRON ROD INSIDE OF A STEEL PIPE. TO REACH THE BENCHMARK FROM THE INTERSECTION OF FM 1488 AND FM 1774, GO SOUTHEAST ALONG FM 1774 A DISTANCE OF 0.4 MILES TO NICHOLS SAWMILL RD. THEN SOUTH ALONG NICHOLS SAWMILL RD. A DISTANCE OF 0.8 MILES TO THE BENCHMARK ON THE RIGHT. (BENCHMARK IS ALSO H.C. FLOODPLAIN RM 100195)

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ELEVATION: 280.26 FEET

LEGEND

- PROPOSED STORM SEWER LINE, MANHOLE AND INLETS
- EXISTING STORM SEWER LINE, MANHOLE AND INLETS
- INLET PROTECTION BARRIER FOR STAGE I INLETS (SEE SPEC. ITEM 01580)
- INLET PROTECTION BARRIER FOR STAGE II INLETS (SEE SPEC. ITEM 01580)
- HYDRO-MULCH SEEDING (SEE SPEC. ITEM 02921)
- REINFORCED FILTER FABRIC BARRIER (SEE SPEC. ITEM 01574)
- STABILIZED CONSTRUCTION EXIT (SEE SPEC. ITEM 01575)
- CONCRETE TRUCK WASHOUT AREA
- FILTER DAM (TO BE REMOVED ONCE DITCH HAS BEEN STABILIZED BY CONTRACTOR)

NOTE:
 IN AREAS WHERE THE PROJECT DESIGN INCORPORATES FILL ADJACENT TO NEIGHBORING LANDOWNERS, THE CONTRACTOR SHALL IMPLEMENT GRADING AND/OR PERIMETER RUNOFF CATCHMENT DEVICES (E.G. PERIMETER DITCHES OR OTHER BEST MANAGEMENT PRACTICES) DURING CONSTRUCTION TO ENSURE THAT ADJACENT PARCELS BORDERING THE PROJECT SITE DO NOT EXPERIENCE INTERIM DRAINAGE FLOWS THAT EXCEED PRE-DEVELOPMENT CONDITIONS FOR STORM EVENTS UP TO AND INCLUDING THE CURRENT STORM DRAINAGE DESIGN CRITERIA AT THE TIME OF PERMIT OR CARRY SEDIMENT GENERATED AS PART OF CONSTRUCTION ACTIVITIES. WHERE APPLICABLE, THESE PRACTICES ARE IN ADDITION TO THE STANDARD STORM WATER POLLUTION PREVENTION DESIGN AND SHALL INCLUDE ADDITIONAL DITCHES REDIRECTING SITE DRAINAGE OR TEMPORARY PIPING. THIS NOTE IS NOT INTENDED TO ADDRESS ANY LIABILITY OR RESPONSIBILITY UNDER TEXAS WATER CODE 11.086.

POLLUTION PREVENTION NOTES:

1. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES) REQUIREMENTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ENFORCEMENT OF TPDES REQUIREMENTS PER "GENERAL REQUIREMENTS FOR PERMIT TXR150000".
3. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING GENERAL SOURCE CONTROLS PER SPECIAL SPEC. ITEM 01572.
4. THE LOCATION OF THE STABILIZED CONSTRUCTION ACCESS IS TO BE DETERMINED BY THE CONTRACTOR.
5. STORM WATER QUALITY PRE-CONSTRUCTION INSPECTION REQUIREMENTS: THE PROPERTY OWNER OR CONTRACTOR SHALL CONTACT THE HARRIS COUNTY STORM WATER QUALITY PERMITTING SECTION AT 713-956-3000 FOR A PRE-CONSTRUCTION INSPECTION PRIOR TO COMMENCING ANY CLEARING OR CONSTRUCTION ACTIVITIES ON THE SITE.
6. ALL RESERVES AND AREAS BETWEEN BACK-OF-CURB AND RIGHT-OF-WAY SHALL BE HYDRO-MULCHED SEEDDED, PER SPEC. ITEM 02921. ALL LOTS AND OTHER AREAS DISTURBED DURING CONSTRUCTION SHALL BE BROADCAST SEEDDED, PER SPEC ITEM 02920.
7. ANY AREAS DISTURBED WITHIN H.C.F.C.D. R.O.W. SHALL BE SEEDDED PER H.C.F.C.D. SPECS.

REV. NO.	DATE	DESCRIPTION	P.E. APPR.
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1			

BGE, Inc.
 10777 Westheimer, Suite 400
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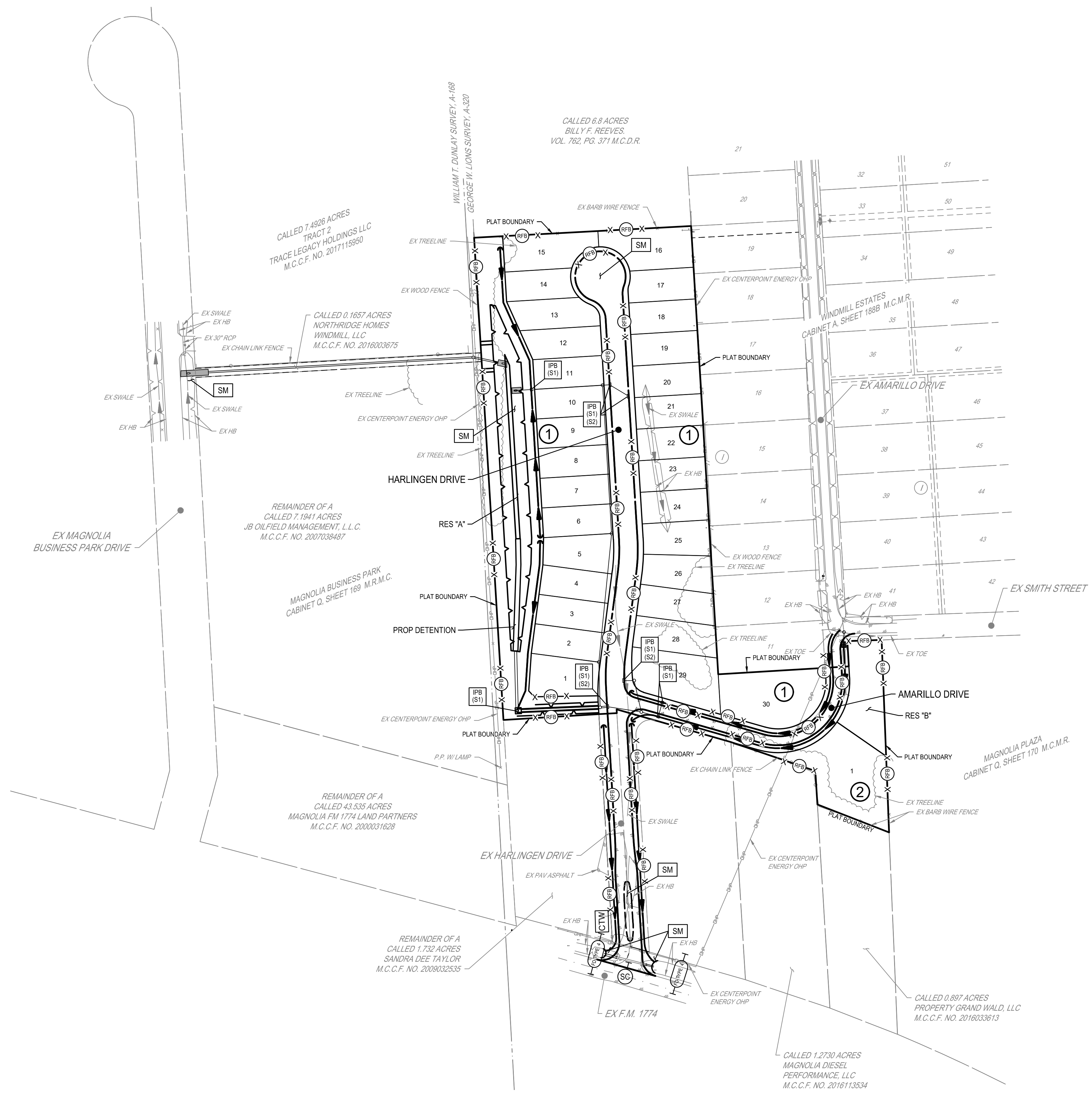
CITY OF MAGNOLIA

WINDMILL ESTATES

STORM WATER POLLUTION PREVENTION PLAN

JOB NUMBER: 8576-00

SUBMITTED: BGE, INC. SCALE: 1"=100' DATE: MAY 2022 SURVEY BY: BROWN & GAY ENGINEERS, INC. F.B. NO.:	DESIGNED BY: J.P. DRAWN BY: C.H. SHEET NO. 9 OF 41 SHEETS CITY DWG NO.:
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Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



PWS_1700020_CO_20220705_Plan Ltr

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

July 5, 2022

Mr. Kyle J. Adams, P.E.
BGE, Inc.
1450 Lake Robbins Drive
The Woodlands, TX 77380

Re: City Of Magnolia - Public Water System ID No. 1700020
Proposed Distribution System to Serve Windmill Estates
Engineer Contact Telephone: (832) 592-2721
Plan Review Log No. P-05042022-041
Montgomery County, Texas

CN: 600636856; RN: 101390334

Dear Mr. Adams:

On May 4, 2022, the Texas Commission on Environmental Quality (TCEQ) received planning material for the proposed distribution system improvements. Based on our review of the information submitted, the project generally meets the minimum requirements of Title 30 Texas Administrative Code (TAC) Chapter 290 - Rules and Regulations for Public Water Systems and is **conditionally approved for construction** if the project plans and specifications meet the following requirement(s):

1. Please note: dechlorination of disinfecting water shall be in strict accordance with current American Water Works Association (AWWA) Standard C655.
2. The authorization provided in this letter does not relieve a Public Water System from the need to comply with other applicable state and federal regulations.

The submittal consisted of 23 sheets of engineering drawings and technical specifications. The approved project consists of:

- Approximately 1,621 linear feet (lf) of 8-inch, AWWA Standard C900, dimension ratio (DR) 18, polyvinyl chloride (PVC) pipe;
- Approximately 360 lf of 8-inch, AWWA Standard C900, DR 18, restrained joint PVC pipe; and,
- Various valves, fittings, and appurtenances.

This approval is for the construction of the above listed items only. Any wastewater components contained in this design were not considered.

The City of Magnolia public water supply system provides water treatment.

Mr. Kyle J. Adams, P.E.
Page 2
July 5, 2022

The project is located on FM 1774 approximately 700 feet east of the intersection of Magnolia Park Drive and FM 1774 in Montgomery County, Texas.

An appointed engineer must notify the TCEQ's Region 12 Office in Houston at (713) 767-3500 when construction will start. Please keep in mind that upon completion of the water works project, the engineer or owner will notify the commission's Water Supply Division, in writing, as to its completion and attest to the fact that the completed work is substantially in accordance with the plans and change orders on file with the commission as required in 30 TAC §290.39(h)(3).

Please refer to the Plan Review Team's Log No. P-05042022-041 in all correspondence for this project.

Please complete a copy of the most current Public Water System Plan Review Submittal form for any future submittals to TCEQ. Every blank on the form must be completed to minimize any delays in the review of your project. The document is available on TCEQ's website at the address shown below. You can also download the most current plan submittal checklists and forms from the same address.

<https://www.tceq.texas.gov/drinkingwater/udpubs.html>

For future reference, you can review part of the Plan Review Team's database to see if we have received your project. This is available on TCEQ's website at the following address:

<https://www.tceq.texas.gov/drinkingwater/planrev.html/#status>

You can download the latest revision of 30 TAC Chapter 290 - Rules and Regulations for Public Water Systems from this site.

If you have any questions concerning this letter or need further assistance, please contact Brian Dickey at (512)239-0963 or by email at Brian.dickey@tceq.texas.gov or by correspondence at the following address:

Plan Review Team, MC-159
Texas Commission on Environmental Quality
P.O. Box 13087
Austin, Texas 78711-3087

Sincerely,



Vera Poe, P.E., Team Leader
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality

VP/BDD/av

cc: City of Magnolia, Attn: Mr. Burt Smith, 18111 Buddy Riley Boulevard,
Magnolia, TX 77354-5864



February 6, 2023

City of Magnolia

Attn: Cristin Emshoff
18111 Buddy Riley Blvd
Magnolia, Texas 77354

Re: Windmill Estates Partial Replat No 1 – Response to Preliminary Plat Comments

Dear Ms. Emshoff:

Below is our itemized list of responses to the preliminary plat comments, dated November 16, 2021, from Robel E. Giackero, P.E. with AEI Engineering regarding the above referenced plat. If you have any questions, or require any additional information, please do not hesitate to call.

1. Provide easement for proposed water, sanitary, and storm facilities.

RESPONSE: Easements have been provided and are shown and labeled on the final plat.

2. Provide easement for the 24" Storm Sewer RCP between the subdivision and Magnolia Business Park Drive.

RESPONSE: An easement has been provided for the 24" Storm Sewer between the subdivision and Magnolia Business Park Drive in document number 2023008571 and is shown on the final plat.

Sincerely,

Adam France, AICP

Senior Planner

WINDMILL ESTATES
8.164 ACRES

MAY 7, 2021
JOB NO. 8576-00

DESCRIPTION OF A 8.164 ACRE TRACT OF LAND SITUATED
IN THE G.W. LONIS SURVEY, ABSTRACT NO. 320
MONTGOMERY COUNTY, TEXAS

BEING a 8.164 acre (355,611 square foot) tract of land situated in the G.W. Lonis Survey, Abstract No. 320 of Montgomery County, Texas and being all of Lots 1-10 of Block L, all of Block M, and all of Lot 1 of Block N conveyed in an instrument to Northridge Homes Windmill, LLC (f/k/a MK Home Windmill, LLC) recorded under M.C.C.F. No. 2014015223 and shown on WINDMILL ESTATES, a subdivision per plat recorded under Cabinet A, Sheet 188B of Montgomery County Map Records (M.C.M.R.), and being a portion of Harlingen Drive (40 foot right-of-way) and Amarillo Drive (40 foot right-of-way) as shown on said WINDMILL ESTATES, said 8.164 acre tract of land described by metes and bounds as follows, with all bearings based on the Texas Coordinate System of 1983 (NAD83), Central Zone 4204 and referenced to monuments found along the North line of said WINDMILL ESTATES as cited herein:

BEGINNING at a 1-inch iron pipe found for the common Northwest corner said Lot 1, of Block M, and the herein described tract, same being the Southwest corner of a called 6.8 acre tract of land as described in an instrument to Billy F. Reeves recorded under Volume 762, Page 371 of Montgomery County Deed Records (M.C.D.R.), lying on the common East line of MAGNOLIA BUSINESS PARK, a subdivision per plat recorded under Cabinet Q, Sheet 169, of M.C.M.R. and a called 7.4926 acre tract of land as described in an instrument to Trace Legacy Holdings LLC, designated Tract 2, recorded under Montgomery County Clerk's File Number (M.C.C.F. No.) 2017115950;

THENCE, N 86°55'18" E, along and with a North line of said WINDMILL ESTATES, passing the Northeast corner of said Block M, and the Northwest corner of said Harlingen Drive at a distance of 170.00 feet, from which a found 5/8-inch iron rod bears S 63°51' W, 0.34 of one foot, passing a 5/8-inch iron rod with cap stamped "COBB FENDLEY" found in the North line of said Harlingen drive at a distance of 190.13 feet, passing the Northeast corner of said Harlingen Drive and the Northwest corner of Lot 1 of said Block L at a distance of 210.01 feet, from which a found 5/8-inch iron rod bears S 73°08' E, 0.62 of one foot, continuing for a total distance of 365.32 feet to a point for the common Northeast corner of said Lot 1 of Block L and the herein described tract, same being the common West corner of Lots 19 and 20 of said Block L and the Southeast corner of said 6.8 acre tract, from which a found bent 1/2-inch iron pipe bears N 88°43' W, 0.42 of one foot;

THENCE, S 03°28'23" E, along and with the line common to Lots 1-9 and Lots 11-19 of said Block L, a distance of 755.48 feet to a 5/8-inch iron rod found for the common West corner of Lots 10 and 11, same being an interior corner of the herein described tract, lying on the East line of said Lot 9;

THENCE, N 86°31'37" E, along and with the line common to said Lots 10 and 11, passing 5/8-inch iron rod found for the common East corner of said Lots 10 and 11, lying on the East right-of-way of said Amarillo Drive at a distance of 180.00 feet, continuing over and across said right-of-way for a total distance of 220.00 feet to a 5/8-inch iron rod with cap stamped "BGE INC" set for an interior corner of the herein described tract, lying on the East line of said right-of-way and the West line of said Block N;

THENCE, N 03°28'23" W, along and with the East right-of-way of said Amarillo Drive and the West line of said Block N, a distance of 42.58 feet to a 5/8-inch iron rod with cap stamped "BGE INC" set for the Northeast corner of said Block N and the South intersection of said Amarillo Drive and Smith Street (40 feet wide) as shown on said WINDMILL ESTATES, same being a corner of the herein described tract;

WINDMILL ESTATES
8.164 ACRES

MAY 7, 2021
JOB NO. 8576-00

THENCE, N 87°59'08" E, along and with the South right-of-way line of said Smith Street and the North line of said Block N, a distance of 57.70 feet to a point for the common North corner of Block N and MAGNOLIA PLAZA, a subdivision per plat recorded under Cabinet Q, Sheet 170 of M.C.M.R., from which a found 1-inch iron pipe bears S 67°58' W, 0.83 of one foot;

THENCE, S 02°14'05" E, along and with the line common to said Block N and said MAGNOLIA PLAZA, a distance of 324.17 feet to a for the common Southeast corner of Block N and the herein described tract and the Northeast corner of a called 0.897 acre tract of land as described in an instrument to Propriety Grand Wald, LLC recorded under M.C.C.F. No. 2016033613, from which a found 5/8-inch iron rod with cap stamped "COBB FENDLEY" bears S 56°20' W, 0.39 of one foot;

THENCE, N 68°40'05" W, along and with the line common to said Block N and said 0.897 acre tract, a distance of 129.41 feet to a 5/8-inch iron rod with cap stamped "BGE INC" set for a Southwest corner of Block N and the herein described tract, same being the Northwest corner of said 0.897 acre tract, lying on the East line of a called 1.2730 acre tract of land as described in an instrument to Magnolia Diesel Performance, LLC recorded under M.C.C.F. No. 2016113534;

THENCE, N 03°38'06" W, along and with the East line of said 1.230 acre tract and the West line of said Block N, a distance of 56.41 feet to a point for an interior corner of said Block N and the herein described tract, same being the Northeast corner of said 1.2730 acre tract, from which a found 2-inch pipe in concrete bears S 59°32' W, 1.20 feet;

THENCE, N 71°03'01" W, along and with a South line of said Block N, then the South right-of-way line of said Amarillo Drive, same being the North line of said 1.2730 acre tract, a distance of 150.00 feet to an angle point in the South right-of-way line of said Amarillo Drive and the herein described tract, same being the common North corner of said 1.2730 acre tract and a called 1.732 acre tract of land as described in an instrument to Sandra Dee Taylor recorded under M.C.C.F. No. 2009032535, from which a found 1/2-inch iron rod bears S 51°22' W, 0.48 of one foot;

THENCE, N 74°02'43" W, continuing along and with the South right-of-way line of said Amarillo Drive, same being the North line of said 1.732 acre tract, then the North line of a called 0.2752 acre tract of land as described in an instrument to the City of Magnolia recorded under M.C.C.F. No. 2017006435, a distance of 200.00 feet to a 5/8-inch iron rod with cap stamped "BGE INC" set for an interior corner of the herein described tract at the Southeast intersection of said Amarillo Drive and Harlingen Drive, same being the Northwest corner of said 0.2752 acre tract;

THENCE, S 03°23'48" E, along and with the West line of said 0.2752 acre tract and the East right-of-way line of said Harlingen Drive, a distance of 6.28 feet to a 5/8-inch iron rod with cap stamped "BGE INC" set for corner of the herein described tract;

THENCE, S 86°36'12" W, over and across said Harlingen Drive, a distance of 30.28 feet to a 5/8-inch iron rod found for the common East corner of said Lot 9 of Block M and a called 1.3179 acre tract of land, designated as Reserve "U", as shown on said WINDMILL ESTATES and conveyed in an instrument to Magnolia FM 1774 Land Partners recorded under M.C.C.F. No. 2000008721, lying on the West right-of way line of said Harlingen Drive, same being an angle point in the South line of the herein described tract;

WINDMILL ESTATES
8.164 ACRES

MAY 7, 2021
JOB NO. 8576-00

THENCE, S 86°31'37" W, along and with the line common to said Lot 9 of Block M and said 1.3179 acre tract, a distance of 160.80 feet to the common West corner of said Lot 9 of Block M, said 1.3179 acre tract and the herein described tract, lying on the East line said MAGNOLIA BUSINESS PARK, from which a 1/2-inch iron rod was found to bear S 13°54'41" W, 0.26 feet, same being the East line of a called 7.1941 acre tract of land as described in an instrument to JB Oilfield Management, L.L.C. recorded under M.C.C.F. No. 2007038487 and the West line of said WINDMILL ESTATES;

THENCE, N 03°28'23" W, along and with the West line of said WINDMILL ESTATES and the East line of said MAGNOLIA BUSINESS PARK, same being the East line of said 7.1941, then an East line of a called 0.1657 acre tract of land as described in an instrument to Northridge Homes Windmill, LLC recorded under M.C.C.F. No. 2016003675, passing a 5/8-inch iron rod with cap stamped "RPLS 4079" found for the Northeast corner of said 0.1657 acre tract and the Southeast corner of 7.4926 acre tract at a distance of 619.02 feet, continuing along and with the East line of said 7.4926 acre tract and MAGNOLIA BUSINESS PARK and the West line of said WINDMILL ESTATES for a total distance of 812.78 feet to the **POINT OF BEGINNING** and containing 8.164 acres (355,611 square feet) of land.

Alan C. Bentley RPLS No. 2055
BGE, Inc.
10777 Westheimer Road, Suite 400
Houston, Texas 77042
Telephone: (281) 558-8700
TBPLS Licensed Surveying Firm No. 10106500

PERFORMANCE BOND

THE STATE OF TEXAS §
 § KNOW ALL BY THESE PRESENTS:
COUNTY OF MONTGOMERY §

That we, BC Windmill Estates, LLC [Contractor], as Principal herein, and Arch Insurance Company [Surety], a corporation organized and existing under the laws of the State of Missouri and who is authorized and admitted to issue surety bonds in the State of Texas, Surety herein, are held and firmly bound unto the **City of Magnolia, Texas**, located in **Montgomery County, Texas**, Obligee herein, in the sum of One Million Five Hundred Eighty One Thousand and No/100 Dollars (\$1,581,000.00) for the payment of which sum we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has entered into a certain written contract with the Obligee dated the 14th day of October, 2022, herein referred to as “the Contract” and incorporated herein and made a part hereof for all purposes, for the construction of the following project: **Construction of Windmill Estates with Improvements including Water, Sewer, Drainage, and Streets.**

NOW, THEREFORE, the condition of this obligation is such, if the said Principal shall faithfully perform the work in accordance with the plans, specifications, and other Contract Documents and shall fully indemnify and hold harmless the Obligee from all costs and damages which Obligee may suffer by reason of Principal’s failure to perform the Work in conformity with the Contract Documents, and reimburse and repay Obligee for all outlay and expense that Obligee may incur in making good such default, then this obligation shall be void; otherwise, to remain in full force and effect.

Whenever Principal shall be declared by Obligee to be in default under the Contract, the Surety shall, upon request of Obligee and within ten (10) calendar days from receipt of Obligee’s notice of Principal’s default, commence and thereafter complete performance of Contractor’s obligations under the Contract. Surety acknowledges that its obligations under this bond and as detailed herein and in the Contract Documents are not conditioned on a termination of the Principal by the Obligee. Surety further acknowledges and agrees that Surety shall obtain the Obligee’s approval and consent with respect to the contractor(s) that Surety may retain to replace defaulted Principal or otherwise honor the obligations under this Bond.

This Bond covers all contractual obligations of Contractor under the Contract, including, without limitation, the indemnity, warranty and guaranty obligations. The Surety stipulates and agrees that no change, extension of time, alteration, omission, addition or other modification to the terms of any of the Contract will affect its obligations on this bond, and it hereby waives notice of any such changes, extensions of time, alterations, omissions, additions, or other modifications, to the Contract or to related subcontracts, purchase orders or other obligations, and any notices provided in such regard shall not create as to any party a duty related thereto. The penal limit of this bond shall automatically be increased by the amount of any change order, supplemental agreement or amendment which increases the price of the Contract.

PROVIDED, HOWEVER, that this bond is executed pursuant to Chapter 2253 of the Texas Government Code, as amended, and all rights and liabilities on this bond shall be determined in accordance with the provisions of such statute, to the same extent as if it were copied at length herein. All notices shall be delivered in writing to the addresses shown below or to addresses provided in the Contract Documents.

The Resident Agent of the Surety in Dallas County , Texas, for delivery

Name: Nancy Ellis
Street: 2711 N. Haskell, Suite 1600
City, State, ZIP: Dallas, TX 752014

of notice and service of the process is:

For additional information on the above-named Surety Company you may contact the Texas Department of Insurance at (800)578-4677.

[SIGNATURE PAGES TO FOLLOW]

NOTE: Performance Bond shall not be prior to the date **of Contract**. If Resident Agent is not a corporation, give a person's name.

IN WITNESS WHEREOF, the duly authorized representatives of the Principal and the Surety have executed this instrument.

SIGNED and SEALED this 31st day of January, 2023.

(Print Name) BC Windmill Estates, LLC
PRINCIPAL

By: *[Signature]*

Name: Levi Mixon

Title: Authorized Officer

Address: 210 Rele Street
Mountain Brook, AL 35213

Telephone Number: 256-445-8610

ATTEST:

[Signature]
(Principal) Secretary Notary

Print Name: Sarah J. Gooden

(S E A L)



[Signature]
Witness as to Principal

Print Name: Jessica Cox

An original copy of Power of Attorney shall be attached to Bond by the Attorney-in-Fact.

Arch Insurance Company
SURETY

By: *[Signature]*

Name: James I. Moore, Attorney-in-Fact

Address: 311 South Wacker Drive, Suite 3700
Chicago, IL 60606

Telephone Number: 630-468-5600

ATTEST:

[Signature]
Secretary

Print Name: Tariese M. Pisciotto



(S E A L)

[Signature]
Witness as to Surety

Print Name: Heather A. Robinson

Approved as to Form:

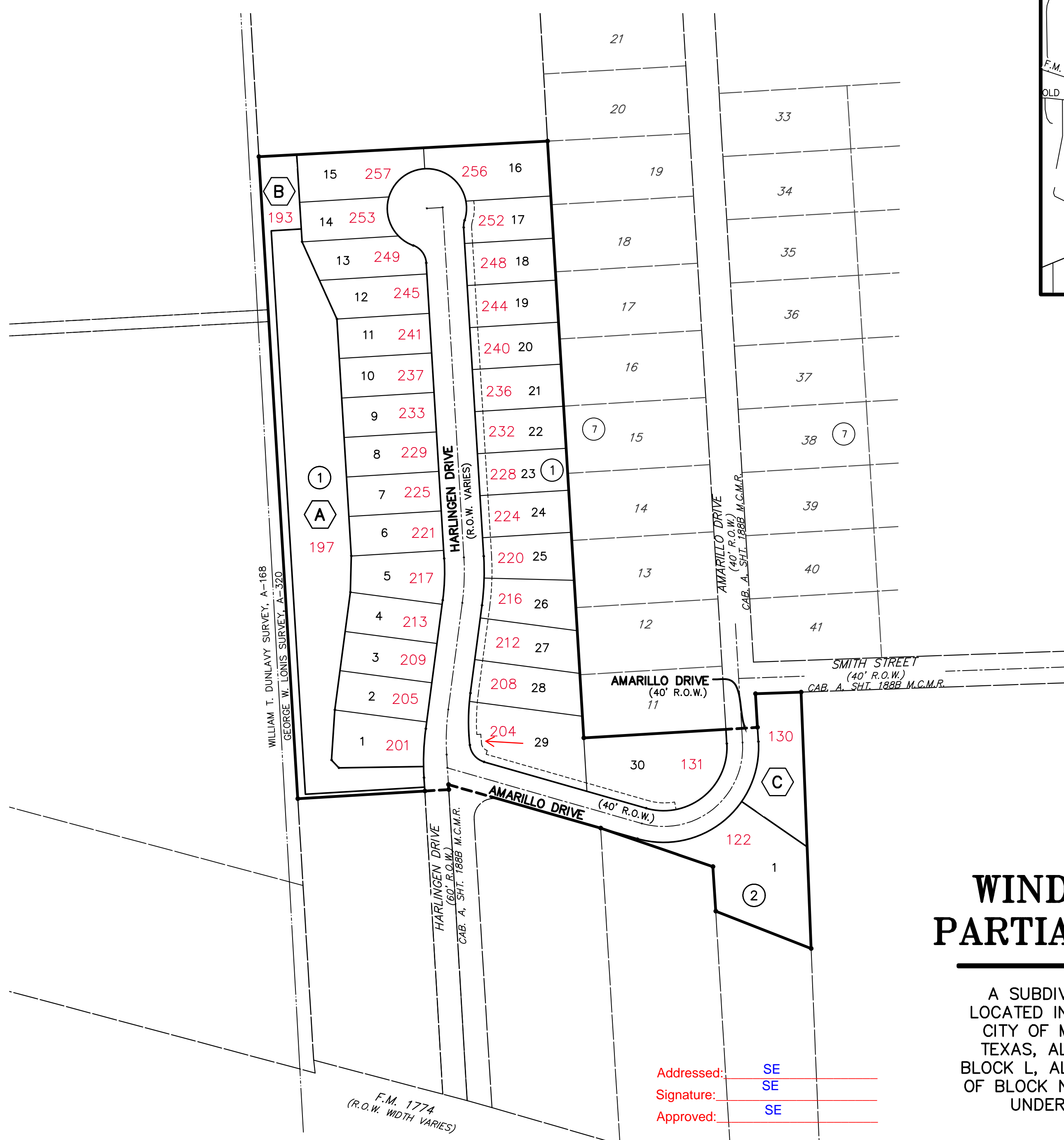
City of Magnolia, Texas

By: _____

Title: _____

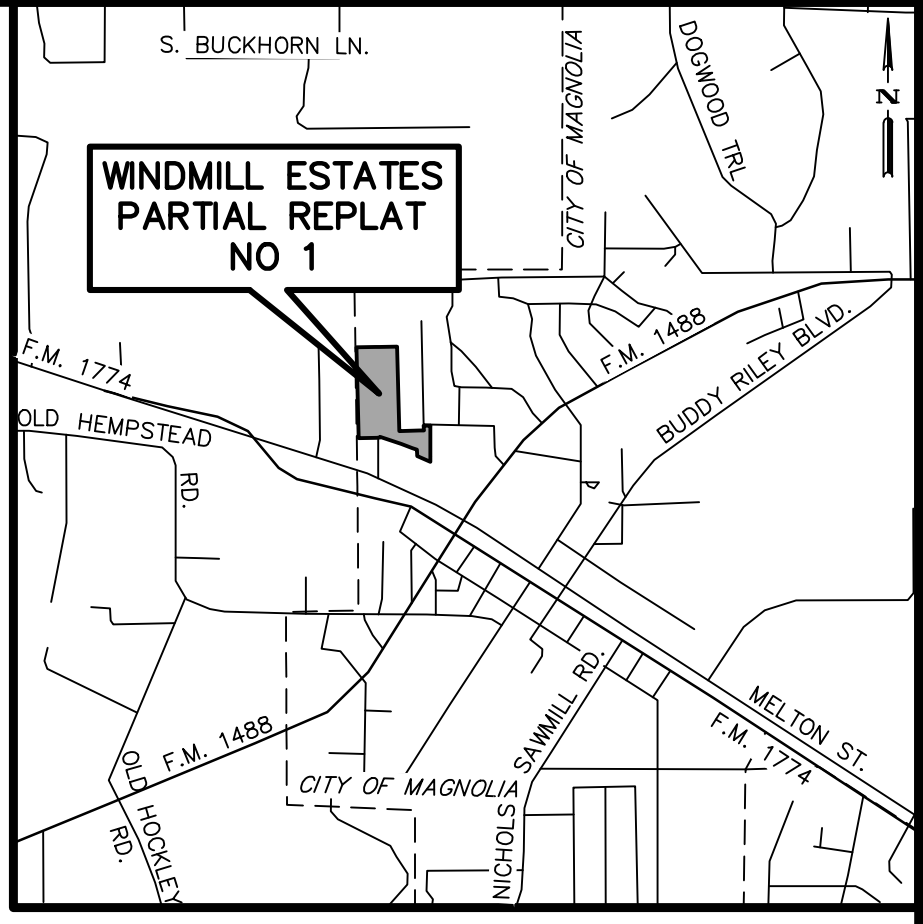
Date: _____

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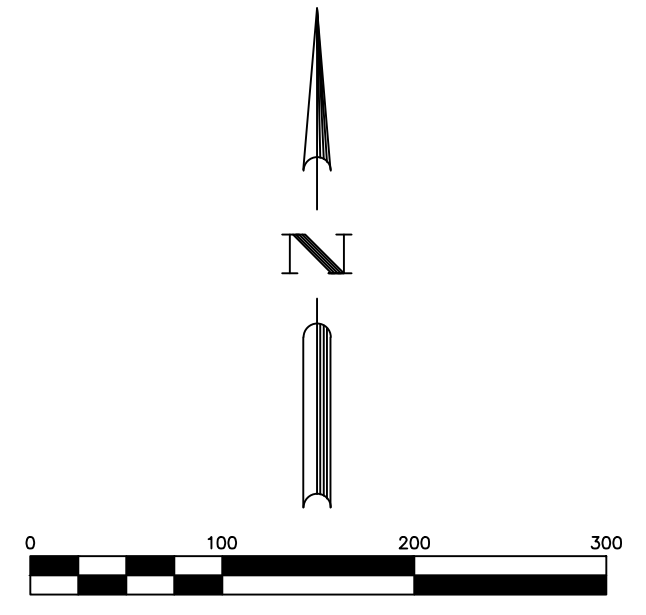


Addressed: SE
 Signature: SE
 Approved: SE

12/15/2022 10:09
 MCECD - 911
 MAGNOLIA 77354



VICINITY MAP
 N.T.S.
 KEY MAP: 211M & 212J



ADDRESS MAP
**WINDMILL ESTATES
 PARTIAL REPLAT NO 1**

A SUBDIVISION OF 8.164 ACRES OF LAND
 LOCATED IN THE G.W. LONIS SURVEY, A-320,
 CITY OF MAGNOLIA, MONTGOMERY COUNTY,
 TEXAS, ALSO BEING ALL OF LOTS 1-10 OF
 BLOCK L, ALL OF BLOCK M, AND ALL OF LOT 1
 OF BLOCK N, OF WINDMILL ESTATES RECORDED
 UNDER CAB. A, SHT. 188B, M.C.M.R.

REASON FOR REPLAT:
 TO CREATE 31 SINGLE FAMILY LOTS AND 3 RESERVES

LOTS: 31 RESERVES: 3 BLOCKS: 2
 SCALE: 1"=100' DATE: DECEMBER, 2022

OWNER:
 BC WINDMILL ESTATES, LLC,
 a Texas limited liability company
 210 RELE STREET
 MOUNTAIN BROOK, ALABAMA 35223

LAND PLANNER:
 BGE, INC.
 10777 WESTHEIMER, STE. 400
 HOUSTON, TEXAS 77042
 281-558-8700



BGE, Inc.
 10777 Westheimer, Suite 400, Houston, TX 77042
 Tel: 281-558-8700 • www.bgeinc.com
 TBPE Registration No. F-1046
 TBPLS Licensed Surveying Firm No. 101065-00