

Mayor Todd Kana
Daniel Miller, Position 1
Matthew Dantzer, Position 2
Richard Carby, Mayor Pro Tem, Position 3
Brenda Hoppe, Position 4
Jack L Huitt Jr., Position 5



Don Doering, City Administrator
Leonard Schneider, City Attorney
Kyle Montgomery, Police Chief
Beverly Standley, Finance/HR Administrator
Tim Robertson, City Engineer
Mike Kurzy, Baxter & Woodman
Christian Gable, Interim City Secretary

NOTICE OF PUBLIC MEETING OF THE MAGNOLIA CITY COUNCIL

AGENDA

REGULAR CITY COUNCIL MEETING TUESDAY, OCTOBER 10, 2023 – 6:00 PM

Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL MEETING TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF A QUORUM

2. CITIZEN COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. *Statements of specific factual information given in response to an inquiry;*
- b. *A recitation of existing policy in response to an inquiry;*
- c. *A proposal to place the subject on a future agenda.*

3. CONSENT AGENDA

(This portion of the agenda consists of items considered routine and will be enacted by one motion unless separate discussion is requested by a member of the City Council or a citizen. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.)

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the Regular City Council Meeting held September 12, 2023.

4. PRESENTATION BY GRANTWORKS RELATED TO THE CITY OF MAGNOLIA'S TEXAS DEPARTMENT OF AGRICULTURE (TDA) GRANT (Mayor Todd Kana)

5. CONSIDERATION AND POSSIBLE ACTION TO APPROVE TEMPORARY ROAD CLOSURES OF COMMERCE STREET AND SANDERS STREET FOR MISD TRUNK OR TREAT EVENT ON OCTOBER 26, 2023 (Mayor Todd Kana)

- 6. CONSIDERATION AND POSSIBLE ACTION TO APPROVE FOUR PATROL VEHICLES THROUGH AMERICAN NATIONAL LEASING (Mayor Todd Kana)**
- 7. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MCDONALD'S (Mayor Todd Kana)**
- 8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MAGNOLIA RIDGE FOREST SECTION 18, FINAL PLAT, +/- 27.570 ACRES (Mayor Todd Kana)**
- 9. CONSIDERATION AND POSSIBLE ACTION TO FILL THE EXPIRED BOARD TERM FOR POSITION 1 OF THE MAGNOLIA 4B COMMUNITY DEVELOPMENT CORPORATION (Mayor Todd Kana)**
- 10. CONSIDERATION AND POSSIBLE ACTION TO FILL THE EXPIRED BOARD TERM FOR POSITION 2 OF THE MAGNOLIA 4B COMMUNITY DEVELOPMENT CORPORATION (Mayor Todd Kana)**
- 11. CONSIDERATION AND POSSIBLE ACTION TO FILL THE EXPIRED BOARD TERM FOR POSITION 3 OF THE MAGNOLIA 4B COMMUNITY DEVELOPMENT CORPORATION (Mayor Todd Kana)**
- 12. CONSIDERATION AND POSSIBLE ACTION TO FILL THE EXPIRED BOARD TERM FOR POSITION 6 OF THE MAGNOLIA 4B COMMUNITY DEVELOPMENT CORPORATION (Mayor Todd Kana)**
- 13. CONSIDERATION AND POSSIBLE ACTION TO FILL THE UNEXPIRED TERM FOR POSITION 4 OF THE MAGNOLIA 4B COMMUNITY DEVELOPMENT CORPORATION (Mayor Todd Kana)**

14. CLOSED EXECUTIVE SESSION

The City Council of the City of Magnolia, Texas, reserves the right to adjourn into Executive Session at any time during the course of this meeting to discuss any of the matters listed below as authorized by Title 5, Chapter 551, of the Texas Government Code. §551.071(Consultation with Attorney), §551.072 (Deliberations about Real Property), §551.073 (Deliberations about Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations about Security Devices), §551.086 (Deliberations about competitive matters), and §551.087 (Deliberation about Economic Development Matters.)

The City Council may enter into executive session under Texas Government Code Section 551.071 to consult and receive legal advice from its attorneys on MISD v City of Magnolia, et al and SJRA v Cities of Conroe and Magnolia; and to receive legal advice on sanitary sewer force main and water line easement from Audubon Magnolia Development, LLC;

and to receive legal advice concerning the Wholesale Water Supply and Sanitary Sewer Agreement and addendums between the City of Magnolia and Audubon.

15. **RECONVENE** into regular session and consider and/or take action on item(s) discussed in executive session.

16. ADMINISTRATION - DEPARTMENT REPORTS

ACTIVITIES/ UPDATES/ ANNOUNCEMENTS AND ITEMS OF COMMUNITY INTEREST

- a. POLICE DEPARTMENT (Chief of Police, Kyle Montgomery)
- b. PUBLIC WORKS DEPARTMENT (City Administrator, Don Doering)
- c. ADMINISTRATION DEPARTMENT (City Administrator, Don Doering)

17. ADJOURN

If, during the course of the meeting and discussion of any items covered by this notice, City Council determines that a Closed or Executive Session of the Council is required, then such closed meeting will be held as authorized by Texas Government Code, Chapter 551, Section 551.071 – consultation with counsel on legal matters; Section 551.072 – deliberation regarding purchase, exchange, lease or value of real property; Section 551.073 – deliberation regarding a prospective gift; Section 551.074 – personnel matters regarding the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; Section 551.076 – implementation of security personnel or devices; Section 551.086 – deliberation regarding competitive matters of a public power utility ; Section 551.087 – deliberation regarding economic development negotiation; and/or other matters as authorized under Texas Government Code. If a Closed or Executive Session is held in accordance with the Texas Government Code as set out above, the City Council will reconvene in Open Session in order to take action, if necessary, on the items addressed during Executive Session.

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary’s office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the Notice of Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City’s website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Christian Gable, Interim City Secretary



Mayor Todd Kana
Daniel Miller, Position 1
Matthew Dantzer, Position 2
Richard Carby, Mayor Pro Tem, Position 3
Brenda Hoppe, Position 4
Jack L Huitt Jr., Position 5



Don Doering, City Administrator
Leonard Schneider, City Attorney
Kyle Montgomery, Police Chief
Beverly Standley, Finance/HR Administrator
Tim Robertson, City Engineer
Mike Kurzy, Baxter & Woodman
Christian Gable, Interim City Secretary

MINUTES OF PUBLIC MEETING OF THE MAGNOLIA CITY COUNCIL SEPTEMBER 12, 2023

A meeting of the City Council was held on this date, September 12, 2023, beginning at 6:00 pm in the Sewall Smith Council Chambers 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL MEETING TO ORDER

Mayor Kana called the meeting to order at 6:00 pm.

a. INVOCATION

Councilmember Dantzer delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Mayor Kana led the Pledge of Allegiance to the USA and Texas flags.

ROLL CALL AND CERTIFICATION OF A QUORUM

Mayor Kana called the roll and certified a quorum was present with the following Council members in attendance: Todd Kana, Richard Carby, Daniel Miller, Matthew Dantzer, Brenda Hoppe, and Jack L Huitt Jr.

Absent: None

Staff present: City Administrator Don Doering, City Attorney Leonard Schneider, City Engineer Tim Robertson, Finance/HR Administrator Beverly Standley, Economic Development Director Rachel Steele, Police Chief Kyle Montgomery, Interim City Secretary Christian Gable.

2. CITIZEN COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

a. *Statements of specific factual information given in response to an inquiry;*

b. *A recitation of existing policy in response to an inquiry;*

c. *A proposal to place the subject on a future agenda.*

None

3. CONSENT AGENDA

(This portion of the agenda consists of items considered routine and will be enacted by one motion unless separate discussion is requested by a member of the City Council or a citizen. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.)

a. **CONSIDERATION – APPROVAL OF MINUTES**

Consideration and possible action to approve the minutes of the Regular City Council Meeting held August 8, 2023.

b. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the Special City Council Meeting held August 29, 2023.

c. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the Special City Council Meeting held August 30, 2023.

MOTION: Upon a motion to approve the Consent Agenda made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

4. CONSIDERATION – APPROVE REQUEST FOR STREET CLOSURES DEAN, R.L. BUTLER, AND UNITY PARK DR. FOR “STROLL THROUGH THE RENAISSANCE” EVENT SATURDAY, SEPTEMBER 30 FROM 3:00-7:00 PM (Mayor Todd Kana)

MOTION: Upon a motion to approve made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

5. CONSIDERATION AND POSSIBLE ACTION TO ADOPT RESOLUTION NO. R-2023-004 TO PROCLAIM OCTOBER 5, 2023, AS CITY OF MAGNOLIA TEACHERS’ DAY (Mayor Todd Kana)

MOTION: Upon a motion to approve made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

6. CONSIDERATION AND POSSIBLE ACTION TO ADOPT RESOLUTION NO. R-2023-005 TO NOMINATE FOR THE MONTGOMERY CENTRAL APPRAISAL DISTRICT’S BOARD OF DIRECTORS ELECTION, 2024-2025 TERM (Mayor Todd Kana)
Councilmember Dantzer volunteered to be nominated.

MOTION: Upon a motion to adopt Resolution No. R-2023-005 to nominate Matthew “Doc” Dantzer for the Montgomery Central Appraisal District’s Board of Directors Election for the 2024-2025 term made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

7. CONSIDERATION – CASTING VOTE FOR CANDIDATE APPOINTMENT TO 9-1-1 MONTGOMERY COUNTY EMERGENCY COMMUNICATION DISTRICT BOARD OF MANAGERS TO SERVE THE TWO-YEAR TERM CURRENTLY HELD BY PAUL VIRGADAMO FOR OCTOBER 1, 2023 – SEPTEMBER 30, 2025 (Mayor Todd Kana)

MOTION: Upon a motion to choose Paul Virgadamo as candidate for the 9-1-1 Montgomery County Emergency Communication District Board of Managers to serve the two-year term made by Councilmember Hoppe and seconded by Councilmember Huitt, the Councilmembers voted, and the motion carried unanimously, 5-0.

8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE RESOLUTION NO. R-2023-006 AUTHORIZING PUBLICATION OF NOTICE OF INTENTION TO ISSUE CERTIFICATES OF OBLIGATION (Mayor Todd Kana)

City Administrator Don Doering explained that the Texas Water Development Board will review the City's loan application for the wastewater treatment plant expansion project on Thursday and this is required to move forward upon approval.

MOTION: Upon a motion to approve made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

9. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR 5POINT CREDIT UNION (Mayor Todd Kana)

MOTION: Upon a motion to approve made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

10. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR VALVOLINE (Mayor Todd Kana)

MOTION: Upon a motion to approve made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

11. CLOSED EXECUTIVE SESSION

The City Council of the City of Magnolia, Texas, reserves the right to adjourn into Executive Session at any time during the course of this meeting to discuss any of the matters listed below as authorized by Title 5, Chapter 551, of the Texas Government Code. §551.071(Consultation with Attorney), §551.072 (Deliberations about Real Property), §551.073 (Deliberations about Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations about Security Devices), §551.086 (Deliberations about competitive matters), and §551.087 (Deliberation about Economic Development Matters.)

The City Council may enter into executive session under Texas Government Code Section 551.071 to consult and receive legal advice from its attorneys on water well built by Audubon and to receive legal advice on sanitary sewer force main and water line easement from Audubon Magnolia Development LLC.

The City Council may enter into executive session under Texas Government Code Section 551.071 to receive legal advice on MISD v City of Magnolia, Et Al.

The City Council may enter into executive session under Texas Government Code Section 551.071 to receive legal advice concerning the Wholesale Water Supply and Sanitary Sewer Agreement and addendums between the City of Magnolia and Audubon.

Mayor Kana convened into Closed Executive Session at 6:10 pm.

- 12. RECONVENE** into regular session and consider and/or take action on item(s) discussed in executive session.

Mayor Kana adjourned Closed Executive Session and reconvened the open meeting at 6:55 pm.

MOTION: Upon a motion to advise staff to move forward with the review of the Audubon Appraisal and the review of the Audubon Agreement made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, and the motion carried unanimously, 5-0.

- 13. CONSIDERATION AND POSSIBLE ACTION TO AUTHORIZE AN AMENDMENT TO WORK ORDER 23-002 IN THE AMOUNT OF \$13,125 FOR THE GEOTECHNICAL SERVICES RELATED TO LOCATING THE 500,000-GALLON EST AT WATER PLANT NO. 4 INSTEAD OF AT WATER PLANT NO. 3.** (Mayor Todd Kana)

City Engineer Tim Robertson explained the benefits of the changes included in the amendment.

MOTION: Upon a motion to advise Pat to approve made by Councilmember Carby and seconded by Councilmember Miller, the Councilmembers voted, and the motion carried unanimously, 5-0.

**14. ADMINISTRATION - DEPARTMENT REPORTS
ACTIVITIES/ UPDATES/ ANNOUNCEMENTS AND ITEMS OF COMMUNITY INTEREST**

a. POLICE DEPARTMENT (Chief of Police, Kyle Montgomery)

Police Chief Kyle Montgomery gave a brief summary of the report provided in the packet and mentioned increased calls and one burglary at Family Dollar.

b. PUBLIC WORKS DEPARTMENT (City Administrator, Don Doering)

City Administrator Don Doering reported highlights found in the report provided in the meeting packet including a pre-application meeting that was held with a national retailer, introducing the City's new intern named Corben, announcing that City staff have completed cyber training, and mentioning a Lonestar Groundwater Conservation District board meeting that he attended with Councilmember Dantzer where they provided feedback.

c. ADMINISTRATION DEPARTMENT (City Administrator, Don Doering)

City Administrator Don Doering gave a brief summary of the financial report.

15. ADJOURN

MOTION: Upon a motion to adjourn made by Councilmember Carby and seconded by Councilmember Hoppe, the Councilmembers voted, the motion carried unanimously, 5-0, and the meeting adjourned at 7:00 pm.

Todd Kana, Mayor

CERTIFICATION

I certify that this is a true and correct copy of the minutes of the City Council meeting held on September 12, 2023.



Christian Gable, Interim City Secretary

From: Danielle Whitmer <dwhitmer84@hotmail.com>

Sent: Tuesday, September 12, 2023 1:14 PM

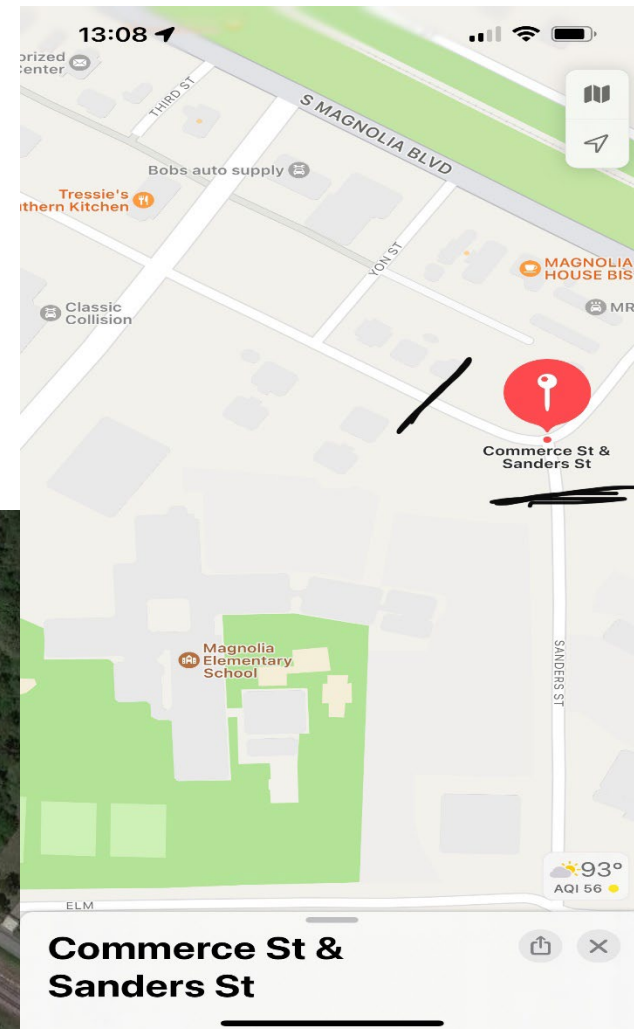
To: Don Doering <ddoering@cityofmagnolia.com>

Subject: MES request for temp street closure

Good Afternoon Mr. Doering,

My name is Danielle Whitmer and I am the PTO member that reached out to you about a temporary road closure on 10/26 from 5:30pm to 8:30pm at commerce and sanders st.

We are hosting our 2nd annual Trunk or Treat and would like the temporary closure for safety of the families walking to the trunk or treat in our school back parking lot. Since there is an apartment building on the street we are just asking if we close the part after the apartment complex and intersection at Commerce and Sanders St. I have attached a map of the area we are requesting. Thank you for getting back with me.





American National Leasing Company
Governmental Lease Purchase Quotes (3yr)
City of Magnolia PD
September 8, 2023

	<u>3yr with \$1 Buyout</u>
2024 Chevrolet Tahoe PPV 2wd	
BuyBoard Purchase--Caldwell Chevrolet	\$53,220
+ Emergency Fleet Service	\$15,963
+ Route 1	\$1,267
+ Safe Fleet Focus System	\$0
+ Kustom Signals	\$2,495
+ Rugged Depot	\$811
+ Cline Wraps	\$800
Buyboard Fee	\$100
ANLC Doc Fee	\$100
- Down Payment	\$0
Total per vehicle	\$74,755
Estimated Start Date .. 2023	
2024 Payment(#1)	\$28,167
2025 Payment(#2)	\$28,167
2026 Payment(#3)	\$28,167
Annual Payment Total for 4 Tahoe PPV 4X2	\$112,666
Residual Purchase	\$1
Bank Qualified Rate	
Mileage Estimate	n/a

QUOTE# 00AA

CONTRACT PRICING WORKSHEET

End User: CITY OF MAGNOLIA	Contractor: CALDWELL COUNTRY
Contact Name: CHIEF KYLE MONTGOMERY	CALDWELL COUNTRY
Email: KMONTGOMERY@CITYOFMAGNOLIA.COM	Prepared By: Averyt Knapp
Phone #: 281-892-0485 832-795-2040	Email: aknapp@caldwellcountry.com
Fax #:	Phone #: 979-567-6116
Location City: MAGNOLIA, TX	Fax #: 979-567-4376
Date Prepared: SEPTEMBER 6, 2023	Address: P. O. Box 27, Caldwell, TX 77836
Contract Number: BUY BOARD #601-19	Tax ID # 87-3266036

Product Description: 2024 CHEVROLET TAHOE PFV CC10706

A Base Price & Options: \$53,220

B Fleet Quote Option:

Code	Description	Cost	Code	Description	Cost
	LH LED SPOTLIGHT, PFV, 5.3L-V8, 10-SPD AUTOMATIC, LOCKING REAR AXLE DIFFERENTIAL, DUAL BATTERIES, CLOTH BUCKET/VINYL REAR BENCH, FULL RUBBER FLOOR, AIR CONDITION, AMFM-STEREO W/BLUETOOTH, TILT, CRUISE, POWER WINDOWS, POWER LOCKS, POWER MIRRORS, KEYLESS ENTRY, DEEP TINT GLASS, RUNNING BOARDS, TRAILER TOW HITCH, REAR VISION CAMERA, CALIBRATION HEADLAMP AND TAILLAMP DRL COMPATIBLE W/CONTROL WIRE, CALIBRATION SURVEILLANCE MODE INTERIOR LIGHTING, CALIBRATION TAILLAMP FLASHER RED/WHITE, CALIBRATION TAILLAMP FLASHER RED/RED	INCL			
	GM WARRANTY 5YR/100,000 MILES POWERTRAIN @ N/C	INCL		CALDWELL COUNTRY PO BOX 27 CALDWELL, TEXAS 77836	
	PRICES VALID FOR 30 DAYS BUT SUBJECT TO CHANGE DUE TO SUPPLY CHAIN CHALLENGES			REVERIFY PRICING BEFORE ISSUING PURCHASE ORDER. COMMODITY SURCHARGES MAY APPLY AFTER PO ISSUED	

Subtotal B TBD

C Unpublished Options					
Code	Description	Cost	Code	Description	Cost
Subtotal C					
D Other Price Adjustments (Installation, Delivery, Etc...)					
Subtotal D					INCL
E Unit Cost Before Fee & Non-Equipment Charges (A+B+C+D)					\$53,220
Quantity Ordered					4
Subtotal E					\$212,880
F Non-Equipment Charges (Trade-In, Warranty, Etc...)					
BUY BOARD FEE					\$400
G. Color of Vehicle: WHITE					
H. Total Purchase Price (E+F)					\$213,280
Estimated Delivery Date:					Q2-Q3 2024

Emergency Fleet Service

6333 Dixie Drive
 Houston, TX 77087 US
 +1 7134856366
 sales@efshouston.com
 www.efshouston.com

**INVOICE****BILL TO**

Magnolia Police Department
 18111 Buddy Riley Blvd.
 Magnolia, TX 77354

INVOICE # 3259**DATE** 03/30/2023**DUE DATE** 04/29/2023**TERMS** Net 30**UNIT #/VIN LAST 4**

2023 Tahoe #1

ACTIVITY	QTY	RATE	AMOUNT
FN-1521D Feniex Fusion Interior Light Bar Dual Color (2021+ Tahoe)	1	799.00	799.00T
Q-2120 Feniex Quad 2X Dash Light (perm mount) (Hardwire) red/blue-white (lower center windshield)	1	239.00	239.00T
DashAdept Dash Adapter for Fusion 1X or 2X Dash Lights (Converts Suction Cup to Adhesive Mount) (One Pair Does One Light) (SOLD IN PAIRS)	1	22.00	22.00T
QSM-8101 Feniex Quad Series Surface Mount (grill and below headlight)	6	99.00	594.00T
FN-4616 Fusion Recess Mount	2	20.00	40.00T
QSM-8101 Feniex Quad Series Surface Mount (side of push bumper)	2	99.00	198.00T
Q-1420CT Feniex Quad Mirror Mounts (2021+ Tahoe)	1	349.00	349.00T
FN-8816D Fusion Rocker Panel Dual Color	1	1,298.00	1,298.00T
L Bracket (Custom) Bracket (Custom)	6	17.00	102.00T
FS-0216 Fusion S 200 Light Stick	2	119.00	238.00T
L Bracket (Custom) Bracket (Custom)	2	22.00	44.00T
FS-1520CT Fusion S Spoiler Mount (2021+ Tahoe) red/blue	1	599.00	599.00T
FS-2021	1	649.00	649.00T

ACTIVITY	QTY	RATE	AMOUNT
Fusion S Pillar Mount (2021+ Tahoe) rwr,bwb			
A-4600B 6"x4" Fenix Wide-Lux Blue (hatch)	1	139.00	139.00T
A-4600R 6"x4" Fenix Wide-Lux Red (hatch)	1	139.00	139.00T
WigWag Factory Headlight/Taillight flasher relays	1	130.00	130.00T
C-4200-DL 4200DL 18 button w/ slide switch programmable controller (Datalink version)	1	449.00	449.00T
C-5014 Storm 200w Remote Siren (Datalink Version)	1	249.00	249.00T
S-2009 Triton 100w Siren Speaker	2	109.00	218.00T
S-3017 Hammer Low Frequency Siren System (1 Speaker) (Vehicle Bracket Kit Required)	1	249.00	249.00T
HAMB-002 Hammer Bracket for Tahoe	1	49.00	49.00T
PP-2021-TAH-FS 2021 Chevy Tahoe Full Size center console	1	795.00	795.00T
PPArmrest Plastix Plus Armrest for all Consoles	1	65.00	65.00T
425-6392 Fenix 4200 Control Head - 4" Faceplate	1	45.00	45.00T
JOTTO Any Jotto Bracket	1	45.00	45.00T
GOP5168 GoRhino Push Bumper (2021+ Tahoe)	1	589.00	589.00T
GOP5168WHD Heavy Duty Wraparound Brush Guards (2021+ Tahoe)	1	567.34	567.34T
KIT-TP-SL6-21TH-SS 2021+ Tahoe US Partition Kit (TP-E-SL6-FS-SS, PM-21TH, KP-21TH-SS)	1	1,315.00	1,315.00T
RP-21TH-SQ-2 2021+ Tahoe rear cage with square-hole window	1	882.00	882.00T
WS-21TH-HATCH 2021+ Tahoe hatch window screen; square-hole punched	1	325.00	325.00T
WS-21TH-SET 2021+ Tahoe driver and passenger side window screens, diamond-punched design	1	419.00	419.00T
PAR46 Whelen PAR46 for Unity Spotlights	1	206.25	206.25T
DomeR/W Red/White Dome/Compartment Light	1	125.00	125.00T
ANTKIT Coax Cable, Connector and Antenna	3	75.00	225.00T

ACTIVITY	QTY	RATE	AMOUNT
58000 Gun Rack Assembly (lock not included)	1	242.58	242.58T
SC-6 Model SC-6 Universal Gunlock	2	187.00	374.00T
Shipping Freight on above equipment	1	425.00	425.00
Misc. Materials/Shop Supplies Installation Materials Charge	1	275.00	275.00T
INSTALLATION Standard Installation of above items. (Limited Lifetime Warranty on Materials and Labor)	1	2,250.00	2,250.00

Final sale amount may be subject to state and local sales tax.
PLEASE NOTE: Once this estimate has been approved, either by signature on this form, written approval referencing this estimate number, the issuance of purchase order number or payment, any changes or cancellations of parts made by the customer are subject to a 25% restocking fee. Any additional customer-requested parts/services will be added to the total amount of the sale. Fenix lights are custom built to your specifications. Once the order is placed it can not be cancelled. Please note, although rare, lead times could be as long as 90 days. Fenix LED products carry a 5 year warranty. Fenix sirens, speakers and controllers carry a 2 year warranty. Labor is lifetime warranty as long as the system is only serviced by EFS. Warranty does not cover misuse, abuse or customer supplied products and is not transferable.

SUBTOTAL	15,963.17
TAX	0.00
TOTAL	15,963.17
BALANCE DUE	\$15,963.17



Phone: 480-500-1750
 Web: www.route1.com

Portable Computer Systems, Inc.
 dba PCS Mobile
 7300 N Via Paseo Del Sur Suite 202
 Scottsdale, AZ 85258

QUOTE

Note: This Quote is good and valid for 15 days beyond the Quote Date.

City of Magnolia, TX
 18111 Buddy Riley Blvd
 Magnolia, TX 77354
 (281)356-2500

Proposal Description:
 Here is the quote you requested.

SALESPERSON	CONTACT	DATE	DOCUMENT NUMBER
Ross Matthews	Kyle Montgomery	3/14/2023	GRMQ10373
FOB	PAYMENT TERMS	QUOTE PRICES EFFECTIVE UNTIL	
Origin	Net 30	4/11/2023	

QTY	DESCRIPTION	PART NUMBER	UNIT PRICE	TOTAL PRICE
1	Docking Station with Advanced Port Replication & Power Supply for Dell Latitude Rugged Notebooks 5430, 7330, 5420, 5424 & 7424	DS-DELL-422	\$741.50	\$741.50
1	2021-2022 Chevrolet Tahoe, 2019-2022 Silverado & GMC Sierra 1500 Premium Passenger Side Mount Package	PKG-PSM-3003	\$490.00	\$490.00
1	Ground Shipping	Shipping	\$35.00	\$35.00
			SUBTOTAL	\$1,266.50
			SALES TAX	\$0.00
			TOTAL	\$1,266.50

Quote Number 00002229



Prepared By Jenny Coughenour
Phone (913) 428-3280
Fax (913) 492-1703
Email jcoughenour@kustomsignals.com

Address 10901 W 84th Terrace, Suite 100
Lenexa, Kansas 66214
United States
Created Date 9/1/2022
Expiration Date 12/1/2022

Quote To:

Name Chief KYLE MONTGOMERY
Bill To Name MAGNOLIA POLICE DEPT
Bill To PO BOX 396
MAGNOLIA, TX 77354
USA

Ship To Name MAGNOLIA POLICE DEPT
Ship To 18111 BUDDY RILEY BLVD
MAGNOLIA, TX 77354
USA

Product Code	Quantity	Product Description	Sales Price	Total Price
3003	4.00	Eagle 3 Dual Ka-band antenna with Same Direction, Fastest, Scan mode, Wireless Speed Sensing, QuikTrak, and eFork	\$2,455.00	\$9,820.00

Totals

Subtotal	\$9,820.00
Shipping and Handling	\$160.00
Total Amount	\$9,980.00

* Applicable Sales Tax Not Included. Seller may charge Buyer a 25% restocking fee

HGAC EF04-21 Contract

3-Year Standard Warranty

$\div 4 = 2495.00$

Quote Acceptance

Signature _____

Name _____

Title _____

Date _____

RUGGED DEPOT

Sales Quote

Magnolia Police Department (#C13785)

Quote #	Date	Quote Valid Until	Terms	Ref
Q-06595	3/14/2023, 10:48 AM	4/13/2023	Rugged NET 30	

Account Specialist

Aaron Kukielski
aaron.kukielski@ruggeddepot.com
p: 800-905-6743
f: 281-259-6615

Billing

Magnolia Police Department
18111 Buddy Riley Blvd
Magnolia, TX 77354
US

Shipping

Magnolia Police Department
18111 Buddy Riley Blvd
Magnolia, TX 77354
US

Item Code	Details	Qty	Unit Price	Extended
ZQ52-BUE0000-00	DT Printer ZQ521, media width 4.45/113mm; English/Latin fonts, Bluetooth 4.X, slnd battery	4.00	\$745.00	\$2,980.00
P1063406-030	ZEBRA ZQ500 DC VEHICLE ADAPTER. OPEN ENDED FOR 12-24V. COMPATIBLE FOR USE WITH OR WITHOUT VEHICLE CRADLE.	4.00	\$45.00	\$180.00

Freight \$82.00
Freight Type
Total \$3,242.00

$\div 4 = 80.50$

Cline Wraps LLC
15825 SH 249 Suite 4
Houston, TX 77086
matt@clinewraps.com
www.clinewraps.com



ADDRESS
Magnolia Police

Estimate 1106

DATE 03/29/2023

DATE	DESCRIPTION	QTY	RATE	AMOUNT
03/29/2023	Services Produce and Install reflective graphics to 4 Tahoes	4	800.00	3,200.00
			SUBTOTAL	3,200.00
			TAX	0.00
			TOTAL	\$3,200.00

Accepted By

Accepted Date

$$\div 4 = 800$$



COBAN Technologies, Inc.
 9411 S. Sam Houston Parkway W. #300
 Missouri City, Texas 77489
 United States

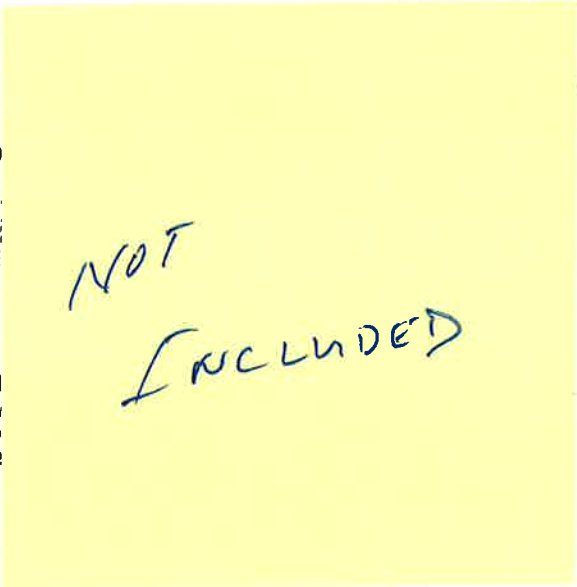
Ship To
 Kyle Montgomery
 Magnolia Police Department (Magnolia, TX)
 18111 Buddy Riley Blvd.
 Magnolia Texas 77354
 United States
 (281) 356-2500
 kmontgomery@cityofmagnolia.com

Quote:
 Contract:
 Date:
 Expires On:

Phone: (281)
 Fax: (281) 9
 Email: SFLE

Bill To
 Magnolia Po
 18111 Buddy
 Magnolia Te
 United States

End User



SALESPERSON	EXT	EMAIL	DELIVERY METHOD	PAYMENT METHOD
Richard Alley	x	richard.alley@safefleet.net		Net 30

Focus H2 In-Car System / 3-Year Plan

- Includes 3-YR Software/Hardware Coverage
- DVMS Back Office Software
- Includes Vehicle Dock Integration w/ 3YR Hardware Coverage
- Hardware Installation is Not Included

LINE NO.	PART #	DESCRIPTION	UNIT PRICE	QTY	EXTENDED
QL-0328424	FOCUS2-51-00	FOCUS H2 IN-CAR SYSTEM - PACKAGE 2 2 CAMERAS AND WIRELESS MICROPHONE Features: • Three year limited hardware warranty • 4.3" touchscreen monitor • GPS • Crash Sensor • Smart Power Module (SPM) w/ UPS • 16 GB Internal Solid State OS drive • 128 GB Internal Solid State Fall-Safe drive • 64 GB removable Thumb Drive • Internal 802.11 A/G/N/AC wireless card • Backseat wide angle IR camera with built in covert microphone • Front facing HD low profile color camera • Wireless microphone & receiver	USD 5,580.00	4	USD 22,360.00
QL-0328425	MZZ-01	MOUNTING For secure mounting within the vehicle ** Vehicle Year, Make & Model Information Needed Upon Purchase **	USD 135.00	4	USD 540.00
QL-0328426	SCOPT-27	TWO DUAL BAND ANTENNAS (802.11 A/G/N/AC) For wireless upload to Access Point	USD 205.00	4	USD 820.00
QL-0328427	SCAA-016	FOCUS H2 SUPPORT KIT ** One Time Purchase **	USD 125.00	1	USD 125.00

LINE NO.	PART #	DESCRIPTION	UNIT PRICE	QTY	EXTENDED
QL-0326428	SCPKB-DRA-0100	G5 WIRELESS MICROPHONE PACKAGE Includes: • Transmitter • Battery • Lapel Mic • Antenna • Charger with AC/DC Adapters • Leather Holster	USD 445.00	4	USD 1,780.00
QL-0326429	FOCUS-04-00	FOCUS ICV 64GB USB SECURED PEN DRIVE ** Recommended for Spare **	USD 250.00	1	USD 250.00
QL-0326431	WLIC-01	COBAN DVMS SOFTWARE SOLUTION ** YEAR 1 ** • Per Active Device • Software License with First Year Technical Support ** Annual Renewal Required **	USD 165.00	4	USD 660.00
QL-0326432	WMAIN-110	COBAN DVMS SOFTWARE SOLUTION ANNUAL RENEWAL ** YEARS 2 and 3 ** • Per Active Device • Software maintenance and Technical Support ** Annual Renewal Required **	USD 165.00	8	USD 1,320.00
QL-0326445	FOCUS-02-00	FOCUS VEHICLE DOCK PACKAGE Automatic body camera activation and in-field charging. Field playback and event tagging available through FOCUS series in car video system.	USD 475.00	4	USD 1,900.00
QL-0330388	WARR-X1-ICSDTSP3	FOCUS BWC PARTNER DOCK 3-YEAR TECHNOLOGY SERVICE PLAN 3-year hardware service plan with technology upgrade protection	USD 66.00	4	USD 264.00
QL-0330389	LFEE-050	SHIPPING - IN CAR VIDEO SYSTEMS	USD 50.00	4	USD 200.00
QL-0330390	LFEE-064	SHIPPING - Vehicle Dock	USD 15.00	4	USD 60.00
Focus H2 In-Car System / 3-Year Plan TOTAL:					USD 30,279.00

Professional Service / ** One Time Purchase **

One-Time Software Set-Up, Configuration for New In-Car System Platform

LINE NO.	PART #	DESCRIPTION	UNIT PRICE	QTY	EXTENDED
QL-0326127	LSET-50	REMOTE SETUP	USD 1,295.00	1	USD 1,295.00
QL-0326128	LTRN-04	2 HOUR REMOTE WEB TRAINING	USD 595.00	1	USD 595.00
Professional Service / ** One Time Purchase ** TOTAL:					USD 1,890.00

	TOTAL: USD 32,169.00
--	-----------------------------

Terms & Conditions

Applicable sales taxes are not reflected on this proposal, and will be included on the invoice. In the event Sales Tax is requested to be listed on the proposal, it will be the responsibility of the Agency to provide the current Tax rate and amount. Any purchases that are exempt from Sales Tax must be accompanied by a tax exemption and/ or re-seller certificate.

This quote is presented to the customer under the condition that it remains a valid quote for only 60 days after the stated Quote Date, after which the quote becomes null and void.

÷ 4 = 8042.25

MEMO

TO: Timothy W. Robertson, P.E. **DATE:** 08/14/2023
FROM: Connor McBride, P.E. **PROJECT NO.:** 41020-03
cc: Nathan Billiot, P.E.
RE: 42-3308 McDonald's at 13337 FM 1488 Plan Review Comments

1. The proposed onsite drainage system shows to tie into a drainage system to be built by others. Will the offsite systems be completed in time to accept the onsite drainage?
Response: The developer's storm system has already been constructed.
2. The time of concentration of 21.9 minutes and 24 minutes that have been developed are very long for this small commercial site. Please adjust the times appropriately or supply detailed calculations that substantiate these calculated times.
Response: Time of concentrations have been revised to minimums (10 minutes).
3. The legend on the drainage plan sheet indicates that either a 2-year or 10-year design was used. The next sheet indicates that the storm sewers were designed based on a 5-year storm event. What is the design storm?
Response: A 5-yr design storm. The legend on Sheet C-3.10 has been updated.
4. The west entrance to the building is one of the darkest areas onsite. Additional lighting in this area is necessary.
Response: A light pole near the building entrance has been added. Please find updated photometric plan attached.
5. Correct sheet numbering in title block on plan sheet with drainage calculations. Shows C-2.10 and it should be C-3.20.
Response: Revised.
6. Sheet C-3.30 is not listed in the sheet index on C-0.00.
Response: Revised.
7. There are discrepancies on the elevations between the Benchmark table and the callouts on the survey map on Sheet C-0.10. Plan callouts for Control Point #13 are not fully visible on several plan sheets. Please review and confirm that all plan callouts

MEMO

42-3308 FM 1488 McDonalds

Page 2 of 2

regarding benchmark elevations are visible and elevations are consistent/correct on all sheets.

Response: Discrepancies between elevations on Benchmark Table and callouts have been revised. Plan callout for CP 13 has been revised to be more visible on plan sheets.

8. Re: Sheet C-0.10. Title block indicates this sheet is a "SWPPP Plan Details" and it's the land survey.

Response: Revised

9. Re: Sheet C-2.20. FDC shall be within 100' of fire hydrant.

Response: Plans are currently in review with Montgomery County Fire Marshal. It is currently understood that FDC shall be within 150' of fire hydrant. We will coordinate with MC Fire Marshal on their requirements regarding this item.

10. Sheet C-3.30 is not listed in the sheet index on C-0.00.

Response: Revised.

11. City personnel have not performed a plan review to confirm compliance with Texas Accessibility Standards (TAS). It is the responsibility of the owner and/or design professional to follow the procedures of the of the Texas Department of Licensing and Regulation Architectural Barriers Program and comply with TAS. Please confirm and acknowledge.

Response: Confirmed and acknowledged, plans have been registered under TDLR Number TABS2023006165 and reviewed.

-END MEMO-

PROPOSED LINEUP



- GENERAL NOTES:**
1. PARKING SHARED ACROSS PAD A & PAD R FOR A RATIO OF: **8.2 PS / 1k**
 2. PARKING SHARED ACROSS PAD B & C.
 3. PRELIMINARY CIVIL REVIEW & COORDINATION RECOMMENDED FOR PROPOSED DRAINAGE/DETENTION SYSTEMS.
 4. NEW PD REQUIREMENTS / REVIEW NOT YET IMPLEMENTED.
 5. DEVELOPMENT NO LONGER WITHIN CITY OF MAGNOLIA ETJ. MAGNOLIA PLANNED DEVELOPMENT ZONING TO BE VERIFIED. NEW PD INFORMATION NOT YET REFLECTED IN PLAN.
 6. TYPICAL DRIVE-CUT SPACING ON A 50 MPH STATE HIGHWAY DESIGNATED AS 425' PER TxDOT ROADWAY DESIGN MANUAL.
 7. PRELIMINARY SIGNAGE LOCATIONS. (PENDING APPROVAL)
 - SIGNAGE A : MONUMENT SIGN FOR THREE TENANT PAD MONUMENT SIGNS.
 - SIGNAGE B : MONUMENT SIGN FOR MULTI-TENANT BUILDINGS.
 - SIGNAGE C : PYLON SIGN FOR REAR TENANTS / JR ANCHOR.

PRELIMINARY SITE PLAN

Scale: 1" = 100'

identityARCHITECTS

111 Travis Street, Houston, Texas 77002
www.identityarchitects.com 713.595.2150



COMMERCIAL DEVELOPMENT

March 17, 2023

SPUR 149 RD @ F.M. 1488
MAGNOLIA, TX
18050-01_SITE

THIS DRAWING IS FOR PRESENTATION PURPOSES ONLY. ANY AND ALL FEATURES, MATTERS AND OTHER INFORMATION DEPICTED HEREON OR CONTAINED HEREIN ARE FOR ILLUSTRATIVE MARKETING PURPOSES ONLY, ARE SUBJECT TO MODIFICATION WITHOUT NOTICE, ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY AND ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND WARRANTIES AS TO THE SIZE AND NATURE OF IMPROVEMENTS TO BE CONSTRUCTED OR THAT ANY IMPROVEMENTS WILL BE CONSTRUCTED OR AS TO THE IDENTITY OR NATURE OF ANY OCCUPANTS THEREOF.

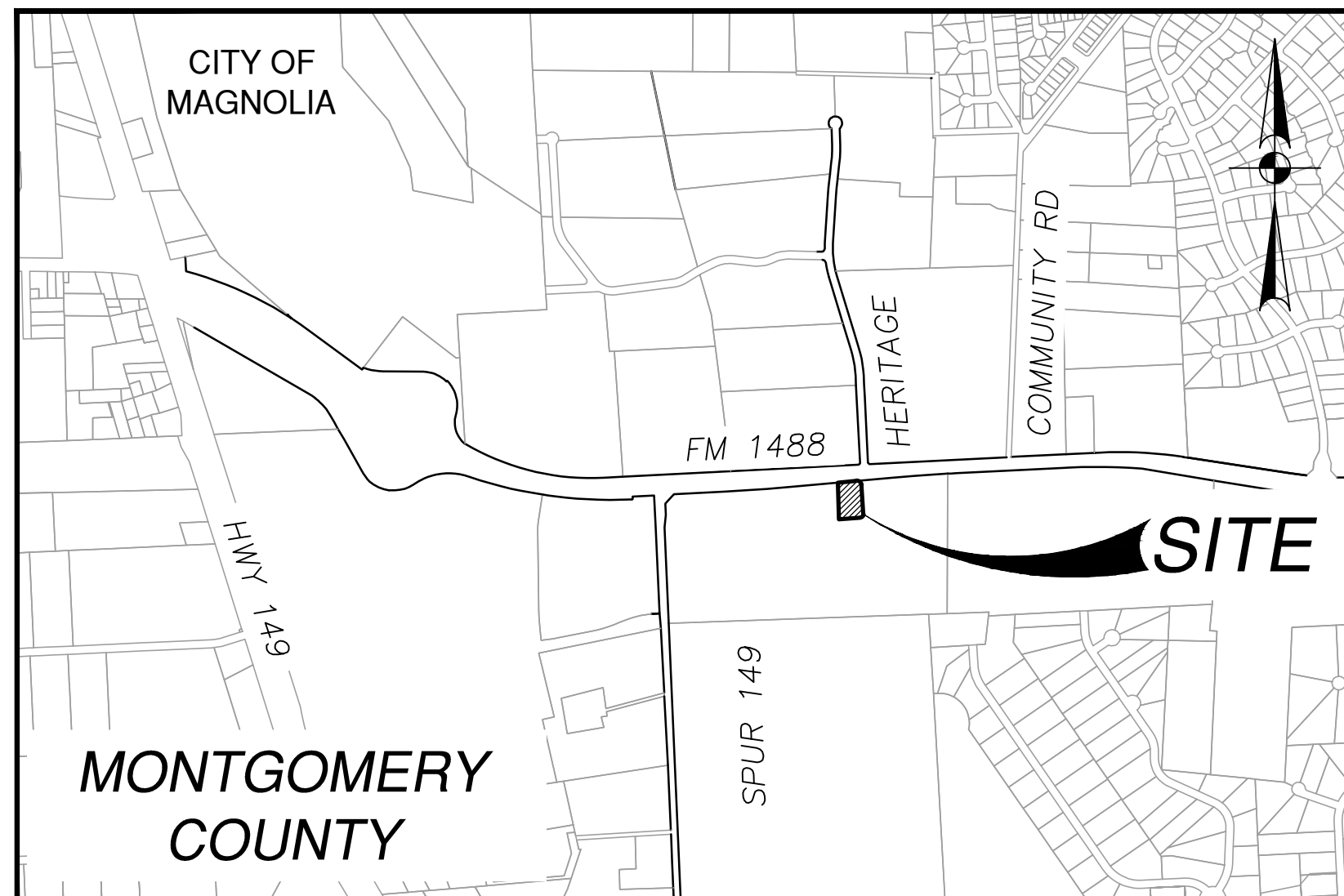
CIVIL PLANS
FOR
McDonald's
(42-3308)
AT
13337 FM 1488

CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS 77354

	REVISION

SHEET INDEX

Description	Sheet No.
COVER SHEET	C-0.00
ALTA-NSPS LAND SURVEY	C-0.10
DEMOLITION PLAN	C-1.00
OVERALL SITE PLAN	C-2.00
PAVING PLAN	C-2.10
FIRE PROTECTION PLAN	C-2.20
GRADING PLAN	C-3.00
DRAINAGE PLAN	C-3.10
DRAINAGE CALCULATIONS	C-3.20
DETENTION PLAN (REFERENCE)	C-3.30
UTILITY PLAN	C-4.00
STORM WATER POLLUTION PREVENTION PLAN	C-5.00
STORM WATER POLLUTION PREVENTION PLAN DETAILS	C-5.10
DETAIL SHEET (SHEET 1 OF 3)	C-6.00
DETAIL SHEET (SHEET 2 OF 3)	C-6.10
DETAIL SHEET (SHEET 3 OF 3)	C-6.20
LANDSCAPE PLAN	LP-1
LANDSCAPE SPECS & SCHED	LP-2
LANDSCAPE DETAILS	LP-3



VICINITY MAP

NOT-TO-SCALE

ZIP CODE: 77354

JUNE 2023

PROJECT TEAM

OWNER

MCDONALD'S - HOUSTON REGION
3707 FM 1960, SUITE 300
HOUSTON, TX 77068
PH: 281.587.7300
ATTN: JORGE MARTINEZ

CIVIL ENGINEER

PAPE - DAWSON ENGINEERS, INC.
10333 RICHMOND AVE, SUITE 900
HOUSTON, TX 77042
PH: 713.428.2400
ATTN: NATHAN C. BILLIOT, P.E.

ARCHITECT

CASTLE'S DESIGN GROUP, INC.
3801 KIRBY DRIVE, SUITE 600
HOUSTON, TEXAS 77098
PH: 713-664-7974
ATTN: ALEXANDER M. FAZZINO, AIA

MEP ENGINEER

MPW ENGINEERING
110W, 7TH STREET, STE 600
TULSA, OK 74119
ATTN: -

CONTRACTOR

TBD

STRUCTURAL ENGINEER

SHULTZ BURMAN ENGINEERING, PLLC
12804 WILLOW CENTER DRIVE
SUITE B
HOUSTON, TX 77066
ATTN: ANDREW BRUMAN

UTILITY PROVIDERS:

WATER: CITY OF MAGNOLIA
SANITARY SEWER: CITY OF MAGNOLIA
GAS: EPCOR
TELEPHONE: AT&T



HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10333 RICHMOND AVE, STE 900 | HOUSTON, TX 77042 | 713.428.2400
TBPB FIRM REGISTRATION #470 | TBPES FIRM REGISTRATION #10193974

LEGAL DESCRIPTION

A 1.105 ACRE, OR 48,132 SQUARE FEET MORE OR LESS, TRACT OF LAND, BEING A PORTION OF A 20.951 ACRE TRACT OF LAND CONVEYED TO GC MAGNOLIA, LP, AS DESCRIBED IN A DEED RECORDED IN MONTGOMERY COUNTY CLERK'S FILE NO. 2021118371, AND BEING PARTIALLY OUT OF THE MAGNOLIA VILLAGE SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 2022006682 AND CABINET 00Z, SHEET 8123-8125 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS, SITUATED IN THE HAMPTON TILLONS SURVEY, ABSTRACT NUMBER 556, IN THE CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS.

FEMA FLOODPLAIN NOTE

THE SUBJECT PROPERTY IS WITHIN THE FOLLOWING FLOOD ZONE(S) AS DEPICTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP NUMBER 48339C0485G, DATED AUGUST 14, 2014 FOR MONTGOMERY COUNTY, TEXAS AND INCORPORATED AREAS. THIS DATA IS AVAILABLE ON THE WEBSITE WWW.MSC.FEMA.GOV.
ZONE X (UNSHADED), DEFINED AS: "OTHER AREAS; AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN."



Nathan C. Billiot

C-0.00

Date: Aug 14, 2023, 6:49pm, User: (b: mvalbena, File: K:\Projects\410\20\03\2-0 Design\2-1 Civil\2-1-4 Plans\Sheets\00.00-4102003-CV.dwg

CALL BEFORE YOU DIG!
TEXAS ONE CALL PARTICIPANTS REQUEST
48 HOURS NOTICE BEFORE YOU DIG, DRILL,
OR BLAST - STOP CALL.

Texas One Call System

1-800-344-8377

MCDONALD'S No. 42-3308, 13337 FM 1488, CITY OF MAGNOLIA, TEXAS

Date: Aug 08, 2023, 6:49pm User: ID: mvalbana File: K:\Projects\41012003\2-1-Civil\2-1-Civil.dwg

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

LOCATION MAP (N.T.S.)

CITY OF MAGNOLIA

FM 1488

HERITAGE

COMMUNITY RD

MONTGOMERY COUNTY

SPUR 149

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
- ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
- NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND T&S STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

SURVEY

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	22	90" SPACES 20'-0" X 9'-0"
43	21	60" SPACES 20'-0" X 9'-0"
	--	--

PLAN SCALE: N/A

STREET ADDRESS

13337 FM 1488

CITY **MAGNOLIA** STATE **TEXAS**

COUNTY **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**

DRAWING TITLE **00.10-4102003-LS.dwg**

NEW

LOCATION MAP (N.T.S.)

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	--	--

PLAN SCALE: N/A

STREET ADDRESS

13337 FM 1488

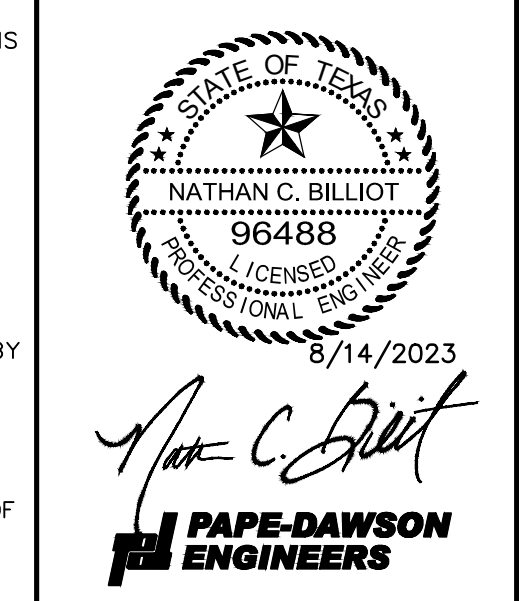
CITY **MAGNOLIA** STATE **TEXAS**

COUNTY **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**

DRAWING TITLE **00.10-4102003-LS.dwg**

NEW



McDonald's

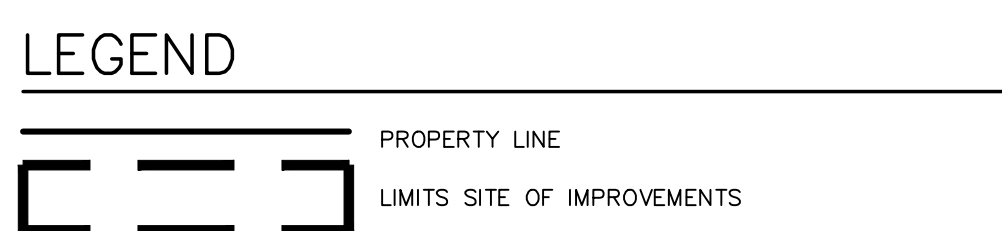
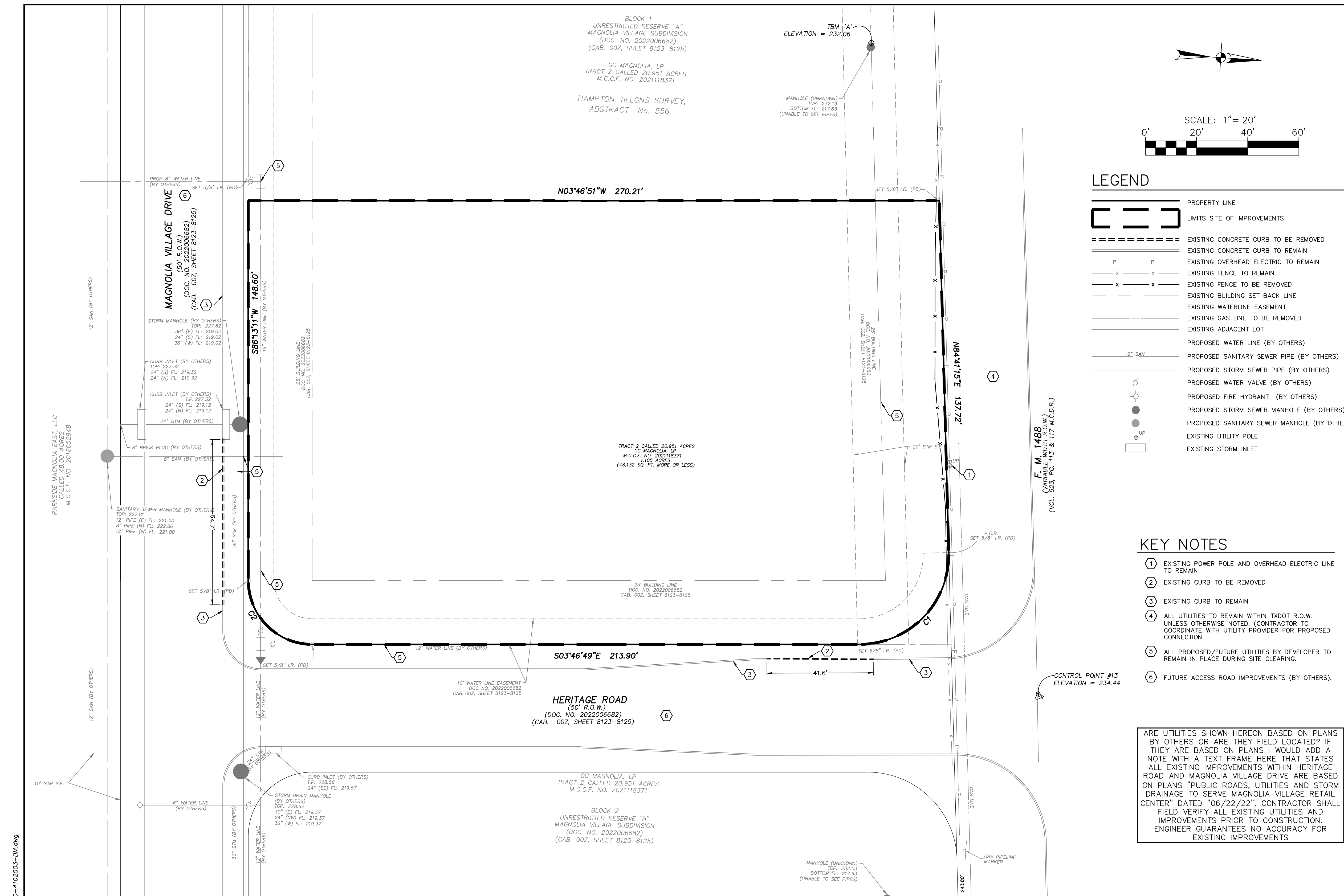
McDONALD'S USA - SOUTH TEXAS TEAM
3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

PLAN APPROVALS	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)	CONTRACTOR OWNER
REGIONAL MANAGER	
REC CONSTRUCTION MGR	
OPERATIONS MANAGER	
REAL ESTATE MANAGER	

STATUS	DATE	BY
PRELIMINARY		
PLAN DRAWN		
PLAN CHECKED		

SHEET INDEX

C-0.00 COVER SHEET
C-0.10 ALTA-NSPS LAND SURVEY
C-1.00 DEMOLITION PLAN
C-2.00 OVERALL SITE PLAN
C-2.10 PAVING PLAN
C-2.20 FIRE PROTECTION SITE PLAN
C-3.00 GRADING PLAN
C-3.10 DRAINAGE PLAN
C-3.20 DRAINAGE CALCULATIONS
C-3.30 DETENTION PLAN (REFERENCE)
C-4.00 UTILITY PLAN
C-5.00 SWPPP PLAN
C-5.10 SWPPP PLAN DETAILS
C-6.00 DETAIL SHEET (SHEET 1 OF 3)
C-6.10 DETAIL SHEET (SHEET 2 OF 3)
C-6.20 DETAIL SHEET (SHEET 3 OF 3)

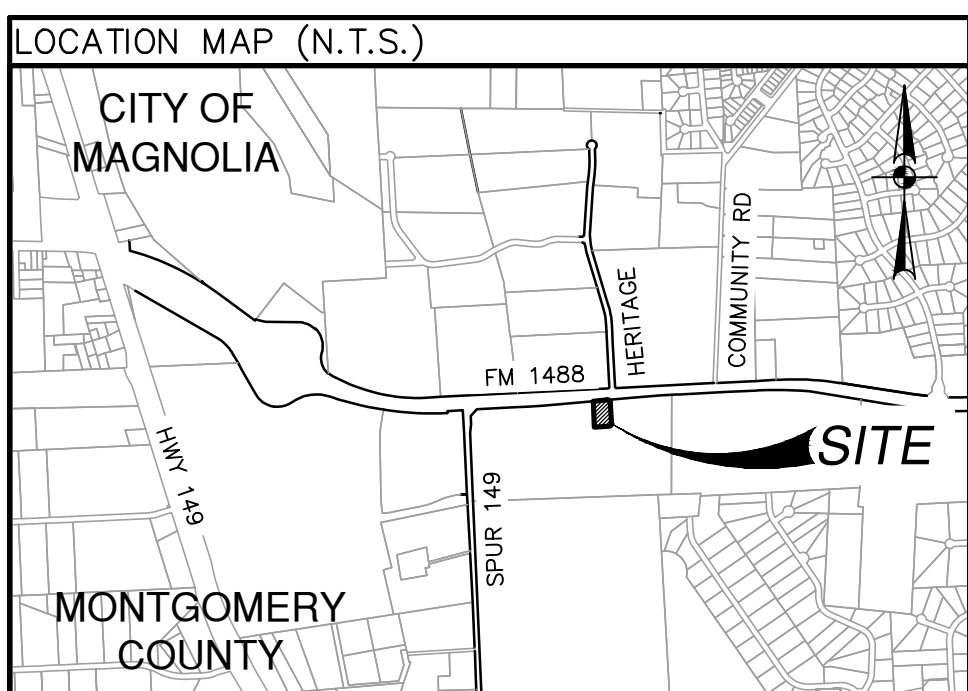


LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	LIMITS SITE OF IMPROVEMENTS
[Symbol]	EXISTING CONCRETE CURB TO BE REMOVED
[Symbol]	EXISTING CONCRETE CURB TO REMAIN
[Symbol]	EXISTING OVERHEAD ELECTRIC TO REMAIN
[Symbol]	EXISTING FENCE TO REMAIN
[Symbol]	EXISTING FENCE TO BE REMOVED
[Symbol]	EXISTING BUILDING SET BACK LINE
[Symbol]	EXISTING WATERLINE EASEMENT
[Symbol]	EXISTING GAS LINE TO BE REMOVED
[Symbol]	EXISTING ADJACENT LOT
[Symbol]	PROPOSED WATER LINE (BY OTHERS)
[Symbol]	PROPOSED SANITARY SEWER PIPE (BY OTHERS)
[Symbol]	PROPOSED STORM SEWER PIPE (BY OTHERS)
[Symbol]	PROPOSED WATER VALVE (BY OTHERS)
[Symbol]	PROPOSED FIRE HYDRANT (BY OTHERS)
[Symbol]	PROPOSED STORM SEWER MANHOLE (BY OTHERS)
[Symbol]	PROPOSED SANITARY SEWER MANHOLE (BY OTHERS)
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING STORM INLET

- KEY NOTES**
- EXISTING POWER POLE AND OVERHEAD ELECTRIC LINE TO REMAIN
 - EXISTING CURB TO BE REMOVED
 - EXISTING CURB TO REMAIN
 - ALL UTILITIES TO REMAIN WITHIN TYPICAL R.O.W. UNLESS OTHERWISE NOTED. (CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR PROPOSED CONNECTION)
 - ALL PROPOSED/FUTURE UTILITIES BY DEVELOPER TO REMAIN IN PLACE DURING SITE CLEARING.
 - FUTURE ACCESS ROAD IMPROVEMENTS (BY OTHERS).

ARE UTILITIES SHOWN HEREON BASED ON PLANS BY OTHERS OR ARE THEY FIELD LOCATED? IF THEY ARE BASED ON PLANS I WOULD ADD A NOTE WITH A TEXT FRAME HERE THAT STATES ALL EXISTING IMPROVEMENTS WITHIN HERITAGE ROAD AND MAGNOLIA VILLAGE DRIVE ARE BASED ON PLANS "PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER" DATED "06/22/22". CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION. ENGINEER GUARANTEES NO ACCURACY FOR EXISTING IMPROVEMENTS



- GENERAL NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
 - ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 - COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
 - CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
 - THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
 - DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
 - THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
 - NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND T&S STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

NIS REFERENCE MARK NO. PD BL1869	PUBLISHED ELEVATION: 231.7 NAVD83
BM A	BM A
BOX CUT ON TOP OF M.N. AS SHOWN HEREON.	ELEVATION: 232.12 NAVD83
CONTROL POINT #13	ELEVATION: 234.44 NAVD83
BOX CUT IN CONC. AS SHOWN HEREON.	ELEVATION: 234.44 NAVD83

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

SITE PREPARATION PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	21	90' SPACES 20'-0" X 9'-0"
	21	60' SPACES 20'-0" X 9'-0"
	--	--
	--	--

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
 10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
 TEPLE FIRM REGISTRATION #470 | TEPLE FIRM REGISTRATION #1019074

PLAN SCALE: 1" = 20'

STREET ADDRESS
13337 FM 1488

CITY
MAGNOLIA

STATE
TEXAS

COUNTY
MONTGOMERY

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
 DRAWING TITLE **01.00-4102003-DM.dwg**

REV	DATE	DESCRIPTION	BY	ISSUE REF

McDonald's

McDONALD'S USA - SOUTH TEXAS TEAM
 3707 FM CYPRESS CREEK PARKWAY, SUITE 300, HOUSTON, TEXAS 77068

OFFICE ADDRESS

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	
------------------------	--

CO-SIGN SIGNATURES

REGIONAL MANAGER	
REC CONSTRUCTION MGR	
OPERATIONS MANAGER	
REAL ESTATE MANAGER	
CONTRACTOR OWNER	

STATUS PRELIMINARY
DATE
BY

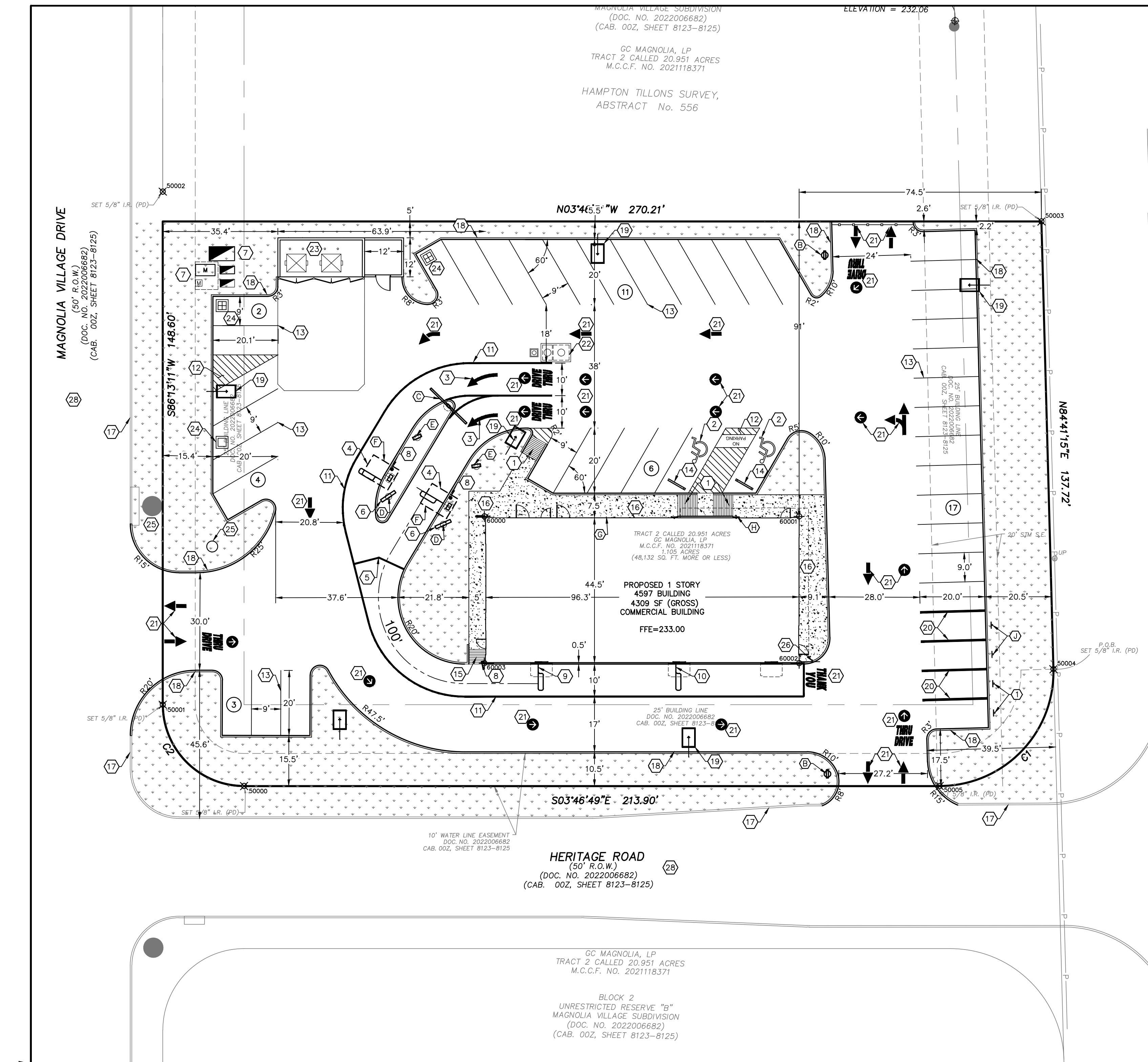
SHEET INDEX

C-0.00 COVER SHEET	
C-0.10 ALTA-NSPS LAND SURVEY	
C-1.00 DETAILED SITE PLAN	
C-2.00 OVERALL PLAN	
C-2.10 PAVING PLAN	
C-2.20 FIRE PROTECTION SITE PLAN	
C-3.00 GRADING PLAN	
C-3.10 DRAINAGE PLAN	
C-3.20 DRAINAGE CALCULATIONS	
C-3.30 DETENTION PLAN (REFERENCE)	
C-4.00 UTILITY PLAN	
C-5.00 SWPPP PLAN	
C-5.10 SWPPP PLAN DETAILS	
C-6.00 DETAIL SHEET (SHEET 1 OF 3)	
C-6.10 DETAIL SHEET (SHEET 2 OF 3)	
C-6.20 DETAIL SHEET (SHEET 3 OF 3)	

NEW

DEMOLITION NOTES

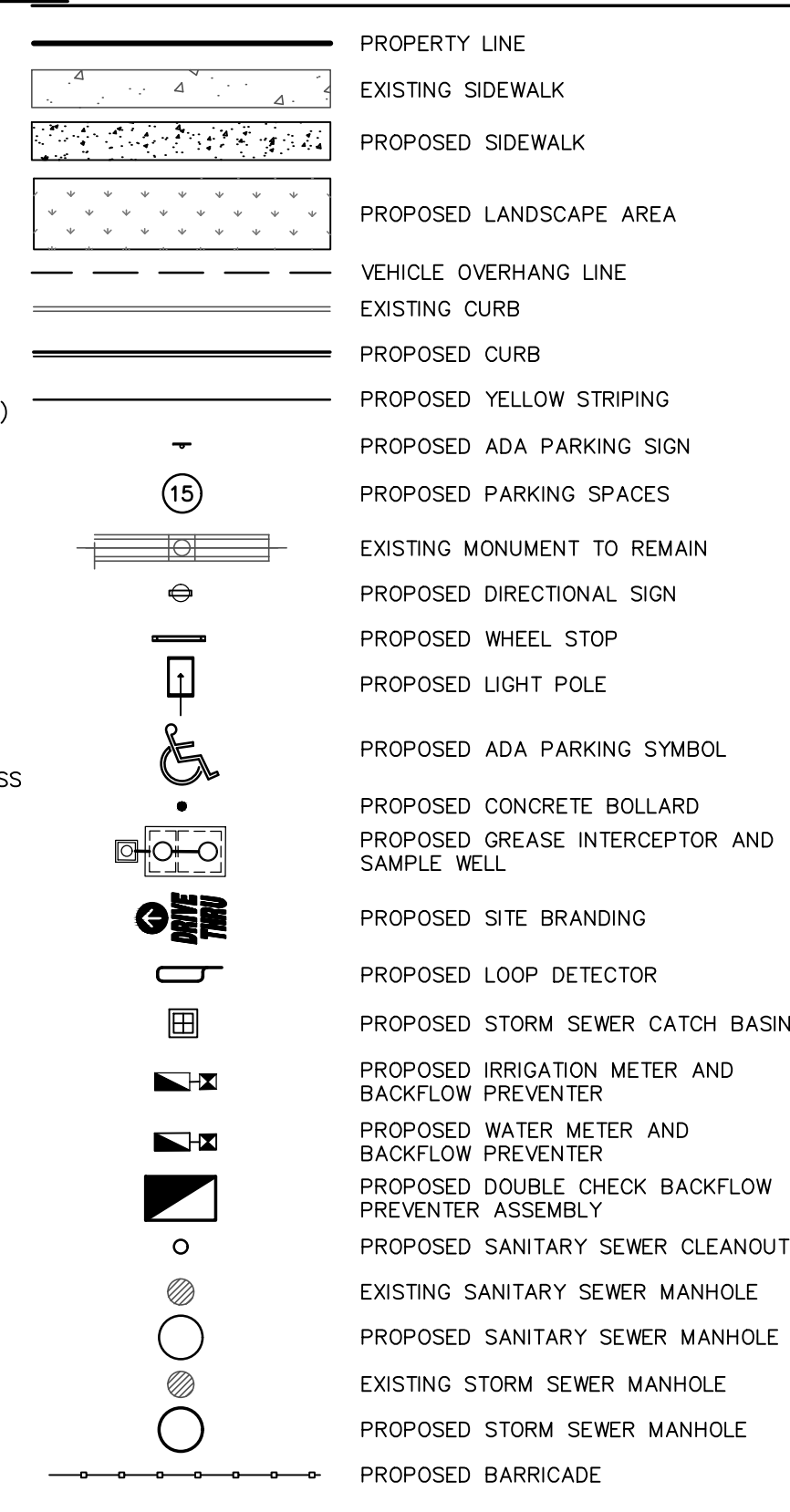
- LOCATION OF EXISTING UTILITIES AND DRAINAGE STRUCTURES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SCHEDULED TO REMAIN.
- DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION CONTRACTOR.
- ALL EXISTING ITEMS WITHIN PROPERTY LIMITS NOT SPECIFICALLY NOTED TO REMAIN SHALL BE REMOVED. ALL PROPOSED DEVELOPER UTILITIES "LABELED AS "FUTURE"/"BY OTHERS" ARE TO REMAIN IN PLACE. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT ARE TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES. POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, GAS UTILITY PROVIDER MUST MAINTAIN ACCESS TO VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- ALL EXISTING ELECTRIC SERVICES TO BE REMOVED ARE TO BE BY ELECTRIC SERVICE PROVIDER AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CPS AND OWNER AS REQUIRED BEFORE REMOVAL OF ANY ELECTRIC FACILITIES.
- NO EXISTING ASPHALT SCHEDULED FOR REMOVAL SHALL REMAIN ON-SITE OR BE USED AS FILL MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIAL OFFSITE FOLLOWING ALL APPLICABLE DISPOSAL REGULATIONS.
- CONTRACTOR SHALL NOT DISTURB ANY LAND WITHIN THE PUBLIC R.O.W. OF FM 1488 WITHOUT A TYPICAL PERMIT. ALL OTHER SITE WORK AND DEMOLITION TO BE CONTAINED WITHIN LIMITS OF DEMOLITION AS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT AND OWNER FOR ANY TREE REMOVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH ELECTRIC PROVIDER TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED. ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.
- CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL APPROPRIATE STORM WATER POLLUTION PREVENTION MEASURES ARE INSTALLED AND APPLICABLE REGULATORY REQUIREMENTS ARE COMPLETED.
- CONTRACTOR SHALL CONFIRM WITH THE OWNER OR THEIR DESIGNATE WHETHER TO SALVAGE AND MAKE ARRANGEMENTS TO STORE TRANSPLANTABLE TREES PRIOR TO REMOVAL.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL, OF ALL DEMOLISHED OR UNWANTED MATERIAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.
- CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- REFER TO THE SITEWORK SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING DEMOLITION, SITE PREPARATION AND EARTHWORK FOR THIS PROJECT.
- NO PARKING AND/OR STORAGE SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN.
- CONTRACTOR SHALL REMOVE ALL EXISTING IRRIGATION PIPING ON SITE.
- CONTRACTOR SHALL INSTALL A MINIMUM 6-FOOT HIGH, PROTECTIVE FENCE ALONG THE PERIMETER OF CONSTRUCTION/DEMOLITION LIMITS AS SHOWN. PROTECTIVE FENCE SHALL BE IN PLACE BEFORE ANY DEMOLITION OR CONSTRUCTION BEGINS AND REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ADJACENT BUSINESSES AT ALL TIMES THROUGHOUT CONSTRUCTION. CONSTRUCTION FENCING, STORAGE, MATERIALS AND/OR ACTIVITIES SHALL NOT INTERFERE WITH PUBLIC ACCESS.
- CAUTION:** THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE OWNER PRIOR TO BEGINNING ANY WORK IN THIS AREA. CONTRACTOR SHALL PROVIDE ADEQUATE FENCING AND PROTECTION FOR CUSTOMERS UTILIZING ADJACENT PARKING AND SIDEWALKS AREAS. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR DATE AND TIME OF DEMOLITION.



KEY NOTES

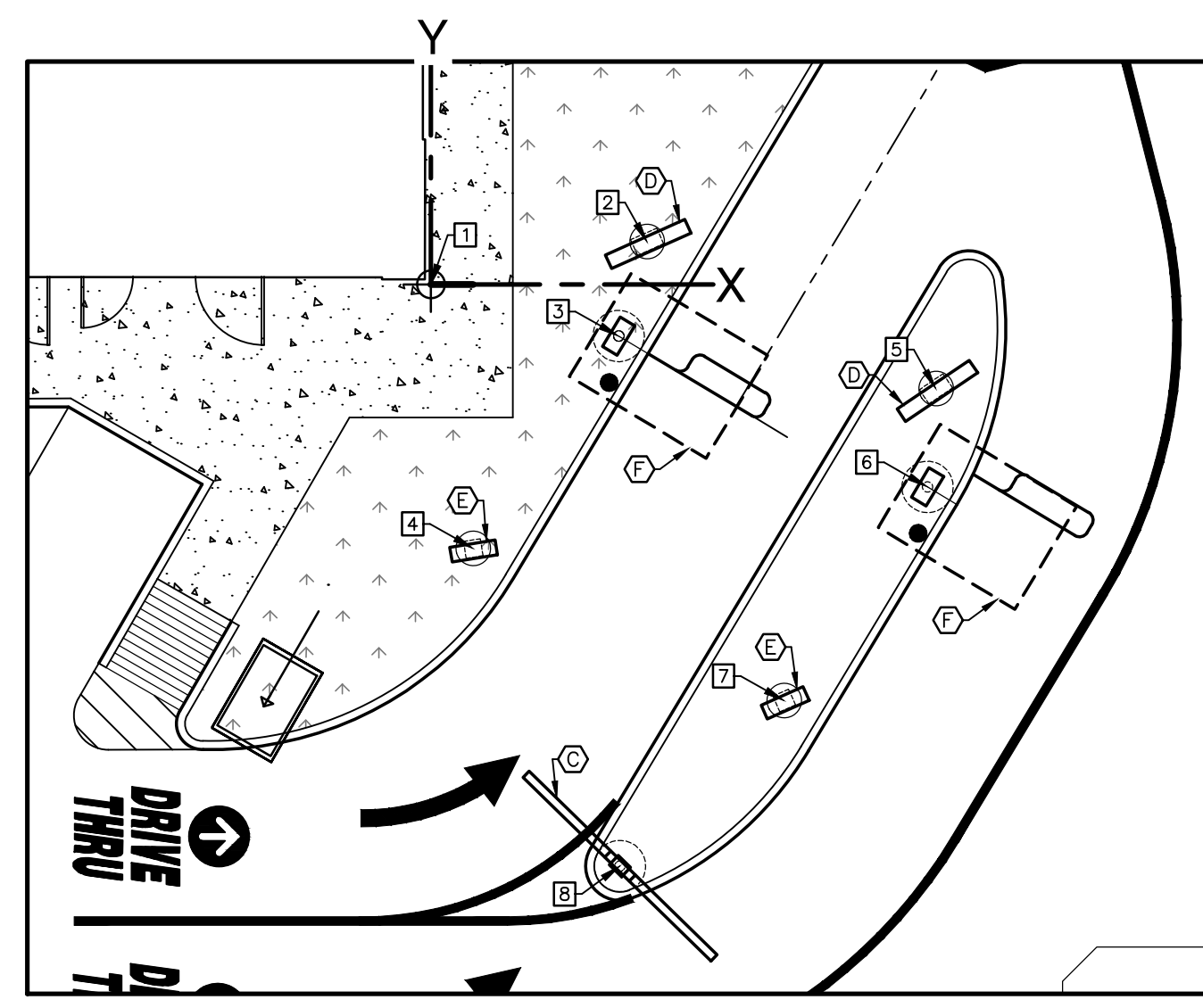
- ① ADA COMPLIANT CURB RAMP @ 12:1 MAX SLOPE (DETAIL SHEET C-6.10)
- ② PROPOSED ADA STRIPING (DETAIL SHEET C-6.10)
- ③ 12" ARROW PAVEMENT MARKING (TYP)
- ④ "MCDONALD'S ORDER HERE CANOPY" DRIVE-THRU EQUIPMENT
- ⑤ 6" YELLOW PAINTED STRIPE FOR "MERGE POINT" (TYP)
- ⑥ PROPOSED MENU BOARD (ODMB)
- ⑦ PROPOSED WATER EQUIPMENT (SEE SHEET C-4.00)
- ⑧ PROPOSED CONCRETE BOLLARD (DETAIL SHEET C-6.10)
- ⑨ CASH WINDOW LOOP DETECTOR
- ⑩ PRESENTATION WINDOW LOOP DETECTOR
- ⑪ DRIVE-THRU LANE STRIPING, 6" YELLOW PAINT STRIPE TO SPAN EDGE OF DRIVE-THRU LANE (TYP)
- ⑫ 4" YELLOW PAINT STRIPES 24" O.C. (TYP)
- ⑬ 4" WIDE SINGLE SOLID YELLOW STRIPE (TYP)
- ⑭ PROPOSED WHEEL STOP
- ⑮ PROPOSED CURB RAMP FOR EMPLOYEE INGRESS/EGRESS
- ⑯ PROPOSED CONCRETE SIDEWALK
- ⑰ PROPOSED CURB BY OTHERS
- ⑱ PROPOSED 6-INCH CURB
- ⑲ PROPOSED LIGHT POLE (REF PHOTOMETRIC PLAN FOR DETAILS)
- ⑳ PROPOSED 8" WIDE SOLID YELLOW PULL FORWARD STRIPING
- ㉑ PROPOSED SITE BRANDING (DETAIL SHEET C-6.10)
- ㉒ PROPOSED SANITARY SEWER GREASE TRAP AND SAMPLE WELL
- ㉓ PROPOSED TRASH CORRAL (SEE DETAIL ARCH AND STRUCTURAL DETAILS)
- ㉔ PROPOSED STORM SEWER CATCH BASIN/JUNCTION BOX (SEE SHEET C-3.10)
- ㉕ PROPOSED SANITARY SEWER MANHOLE (BY OTHERS)
- ㉖ PROPOSED HANDRAIL (SEE SHEET C-6.00)
- ㉗ PROPOSED TRANSITION FROM 6-INCH CURB TO ZERO CURB
- ㉘ FUTURE ACCESS ROAD IMPROVEMENTS (BY OTHERS)

LEGEND

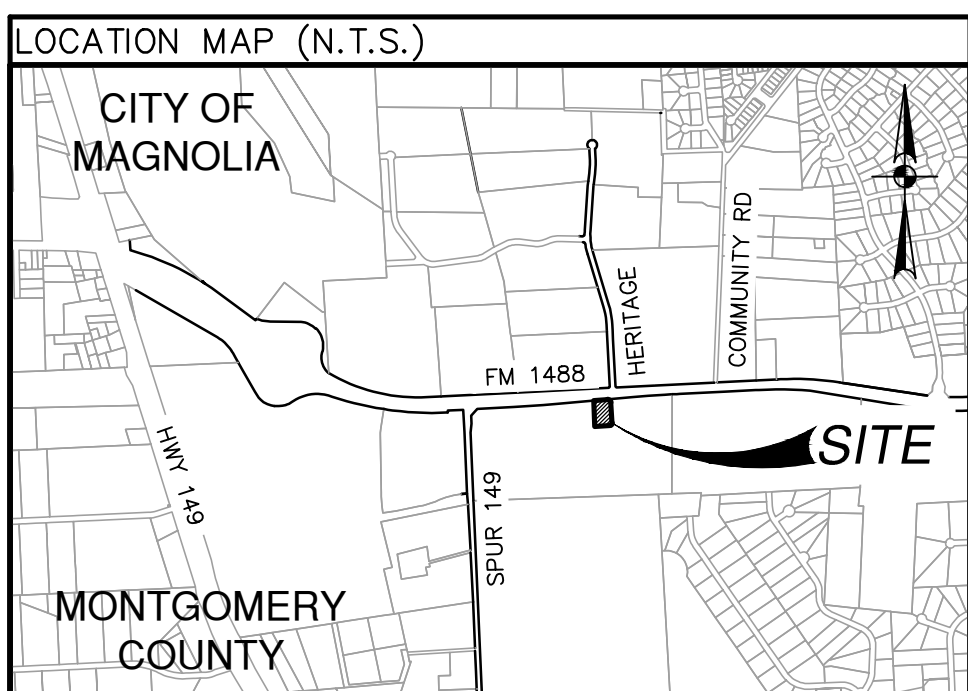


BASE SITE AREA (SF)	NET BUILDABLE AREA (SF)
48,132 SQFT	33,015 SQFT

CONTROL POINT #13 ELEVATION = 234.44



DRIVE-THRU DETAIL
SCALE: 1" = 10'



GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF CURB TO CENTER OF PAINT STRIPING, OR PERPENDICULAR TO THE PROPERTY LINE.
3. ALL CURB RADI ARE 3' TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
4. COORDINATE CONTROL FOR PARKING DRIVES, DRIVEWAYS, AND ISLANDS IS AS SHOWN. NO OFFSETS FROM FACE OF CURB OR BUILDINGS ARE GIVEN.
5. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
7. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
9. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE SPECIFICATIONS FOR SIMILAR CONSTRUCTION IN THIS JURISDICTION.
10. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
12. DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
13. THE SBS CONFIGURATION WAS CREATED WITHOUT THE USE OF TOPOGRAPHY. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF THE PROPOSED SBS EFFECTS EXISTING DRAINAGE PATTERNS. CONTRACTOR IS TO GRADE THE PROPOSED IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AND ENSURE NO PONDING OCCURS.
14. NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL GRADES ON SITE MEET THE ADA AND TAS STANDARDS WHICH INCLUDE BUT MAY NOT BE LIMITED TO:
 - SIDEWALKS AND ACCESSIBLE ROUTES TO BE AT 2% MAX CROSS SLOPE AND 5% MAX LONGITUDINAL SLOPE
 - ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION
 - CURB RAMPS SHALL NOT EXCEED 6" IN VERTICAL DIFFERENCE AND SLOPE SHALL BE NO MORE THAN 12:1

BENCHMARK

NIS REFERENCE MARK NO. PD BL1869
PUBLISHED ELEVATION: 231.3 NAVD83
BM A
ELEVATION: 232.12 NAVD83
BOX CUT ON TOP OF BM, AS SHOWN HEREON.
CONTROL POINT #13
ELEVATION: 234.44 NAVD83
BOX CUT IN CONC., AS SHOWN HEREON.

EXISTING IMPROVEMENTS DELINEATED HEREON WERE CALCULATED FROM INFORMATION PROVIDED BY OWNER AND A TOPOGRAPHIC SURVEY PROVIDED BY PAPE-DAWSON ENGINEERS, DATED AUGUST 16, 2022. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES

LEGAL DESCRIPTION

A 1.105 acre, or 48,132 square feet more or less, tract of land, being a portion of a 20.951 acre tract of land conveyed to GC MAGNOLIA, LP, as described in a deed recorded in Montgomery County Clerk's File No. 2021118371.

OVERALL SITE PLAN

TYPE	SIZE	LEGEND	LOCATION
SANITARY SEWER	-	-	-
WATER	-	-	-
ELECTRIC (UGND)	-	-	-
GAS	-	-	-

PARKING INFORMATION

TOTAL SPACES	90" SPACES 20'-0" X 9'-0"	60" SPACES 20'-0" X 9'-0"
43	22	21



HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713-428-2400
TXPE FIRM REGISTRATION #470 | TEPLE FIRM REGISTRATION #10199074

PLAN SCALE: 1" = 20'

STREET ADDRESS
13337 FM 1488

CITY **MAGNOLIA** STATE **TEXAS**
COUNTY **MONTGOMERY**

REGIONAL DRAWING NO. **42-3308** JOB NO. **4102003**
DRAWING TITLE **02.00-4102003-0A.dwg**

PROPERTY LINE CONTROL POINTS

PTS	NORTHING	EASTING
50000	10075685.13	3767484.28
50001	10075688.53	3767460.99
50002	10075658.13	3767303.59
50003	10075928.36	3767294.91
50004	10075941.11	3767432.03
50005	10075908.56	3767470.19

BUILDING PAD CONTROL POINTS

PTS	NORTHING	EASTING
60000	10075763.39	3767396.71
60001	10075859.97	3767390.32
60002	10075862.95	3767435.34
60003	10075766.37	3767441.73

NOTE: BUILDING ENVELOPE CORNER POINTS ARE APPROXIMATE AND PROVIDED FOR BUILDING PAD PREPARATION ONLY. CONTRACTOR SHALL REFERENCE STRUCTURAL ENGINEER'S FOUNDATION PLAN FOR ACTUAL BUILDING DIMENSIONS.

SIGN SCHEDULE

SYM.	QTY.	DESCRIPTION
A	1	- NOT USED -
B	2	NEW NEXT GEN DIRECTIONAL SIGNS
C	1	DOUBLE DRIVE-THRU GATEWAY SIGN
D	2	MENU BOARD (ODMB)
E	2	PRE-BROWSE BOARD (ODMB)
F	2	ORDER HERE CANOPY
G	1	ACCESSIBLE PARKING SIGN
H	1	ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE APPENDAGE BELOW
I	2	PULL FORWARD SIGN
J	2	MOBILE ORDER SIGN

PARKING SUMMARY TABLE

MINIMUM SPACES REQUIRED (PER COM*)	23
PROPOSED PARKING SPACES	38
MINIMUM ADA SPACES REQUIRED	2
MINIMUM VAN ACCESSIBLE SPACES REQUIRED	1
PROPOSED ACCESSIBLE SPACES	2 (1 VAN)

*PER CITY OF MAGNOLIA ORDINANCE, NO. 0-2020-012 SEC. 2-1-1.03 ZONING, 1.0 PARKING SPACES PER 200 SF OF GFA. (4,309 SF/200) = 22.5 PARKING SPACES

LANDSCAPE NOTE:
CONTRACTOR TO REFERENCE LANDSCAPE ARCHITECT'S PLANS FOR LANDSCAPE, PLANTING, AND IRRIGATION DETAILS

DRIVE-THRU COORDINATES

X	Y	DESCRIPTION
0.0'	0.0'	CRITICAL STARTING POINT AT BUILDING CORNER
12.61'	2.50'	TO CENTER OF FOUNDATION OF MENU BOARD 1
10.95'	-3'	TO CENTER OF FOUNDATION OF CANOPY/COD UNIT 1
2.47'	-15.41'	TO CENTER OF FOUNDATION OF PRE-BROWSE BOARD 1
29.47'	-6.08'	TO CENTER OF FOUNDATION OF MENU BOARD 2
28.98'	-11.81'	TO CENTER OF FOUNDATION OF CANOPY/COD UNIT 2
20.61'	-24.28'	TO CENTER OF FOUNDATION OF PRE-SELL BOARD 2
67.87'	-2.22'	TO CENTER OF DOUBLE GATEWAY SIGN W/INTEGRATED "ANY LANE ANYTIME" SIGN

REV	DATE	DESCRIPTION	BY	ISSUE REF

PAPE-DAWSON ENGINEERS

PLAN APPROVALS	CO-SIGN SIGNATURES	STATUS	DATE	BY
		PRELIMINARY		
		PLAN DRAWN		
		PLAN CHECKED		
		SHEET INDEX		
		C-0.00 COVER SHEET		
		C-0.10 ALTA-NSPS LAND SURVEY		
		C-1.00 DEMOLITION PLAN		
		C-2.00 OVERALL SITE PLAN		
		C-2.10 PAVING PLAN		
		C-2.20 FIRE PROTECTION SITE PLAN		
		C-3.00 GRADING PLAN		
		C-3.10 DRAINAGE PLAN		
		C-3.20 DRAINAGE CALCULATIONS		
		C-3.30 DETENTION PLAN (REFERENCE)		
		C-4.00 UTILITY PLAN		
		C-5.00 SWPPP PLAN		
		C-5.10 SWPPP PLAN DETAILS		
		C-6.00 DETAIL SHEET (SHEET 1 OF 3)		
		C-6.10 DETAIL SHEET (SHEET 2 OF 3)		
		C-6.20 DETAIL SHEET (SHEET 3 OF 3)		

MCDONALD'S NO. 42-3308 - 13337 FM 1488, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

September 7, 2023

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Magnolia Ridge Forest Section 18 – Final Plat Review – Letter of No Objection
City of Magnolia
AEI Job No. 220876.80-001*

Dear Mr. Doering:

We received the revised final plat for the proposed Magnolia Ridge Forest Section 18 development on August 30, 2023. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. A Professional Surveyor licensed in Texas shall sign and seal the final plat.
2. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.
3. Obtain all applicable governmental agency signatures.
4. Construction shall not commence until final agency approvals are secured.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff

Cristin Emshoff, MUP, ENV SP
Urban Planner

Baxter & Woodman Consulting Engineers
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia
Mr. Don Doering – City of Magnolia
Mr. Tim Robertson – City of Magnolia
Mr. Michael A. Kurzy, P.E. – Baxter & Woodman Consulting Engineers
Ms. Karleigh Brown – Baxter and Woodman Consulting Engineers
Mr. Tommy Cormier, Jr., PE – Baxter & Woodman Consulting Engineers
Mr. Zachary Zarse – LJA Engineering, Inc.



Single Family Residential Yield

45' x 125'	890 Lots	±255.8 Ac.	71.2%
50' x 125'	311 Lots	±96.7 Ac.	24.8%
60' x 125'	49 Lots	±17.3 Ac.	4.0%

TOTAL 1,250 Lots ±369.8 Ac. 100.0%

Prepared For:

M/IHOMES

Reference Date: 02.17.2022



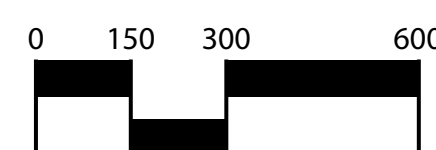
PLANNING & LANDSCAPE ARCHITECTURE

3600 W. Sam Houston Pkwy S, Suite 600
Houston, Texas 77042
713.953.5200

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North

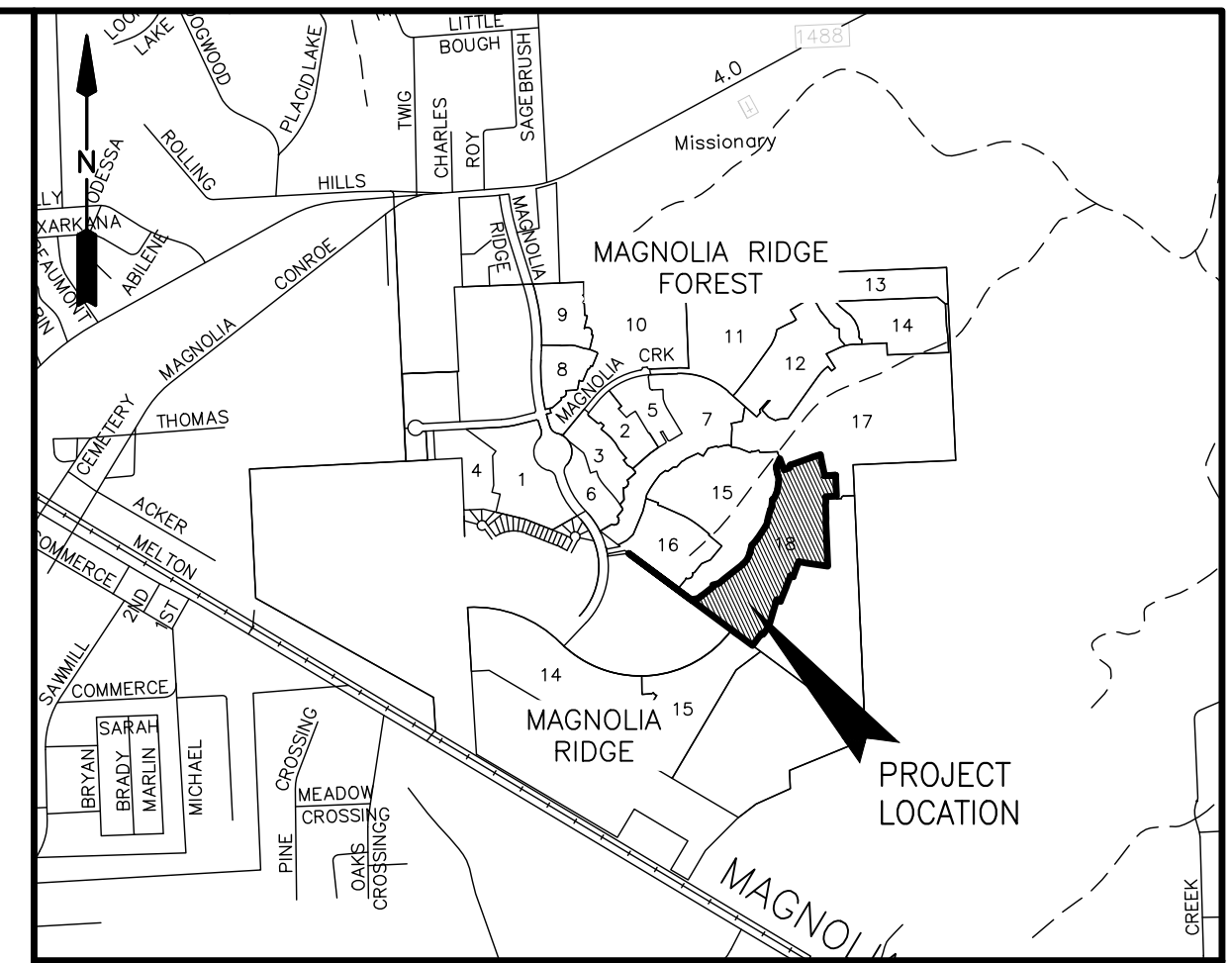
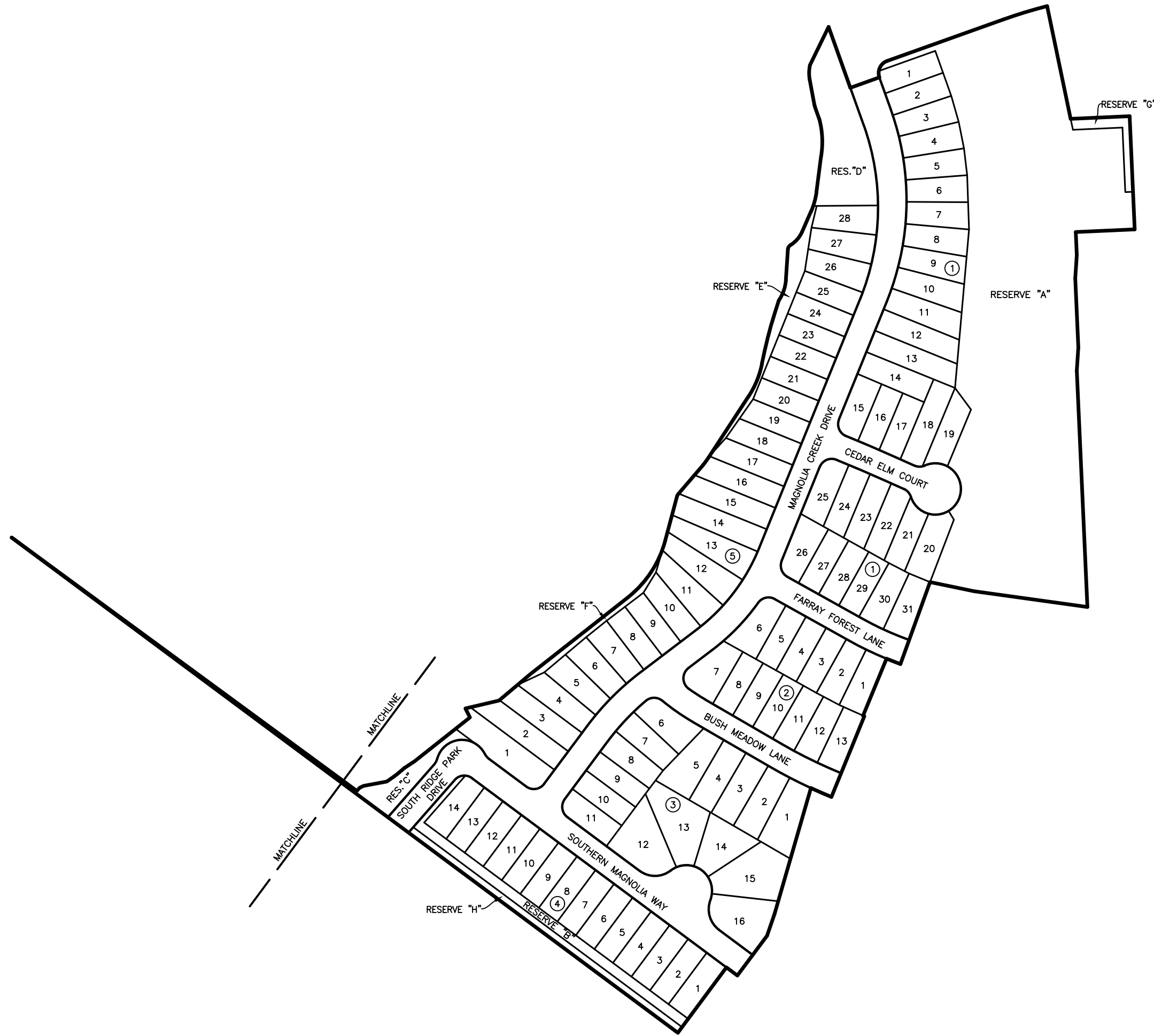
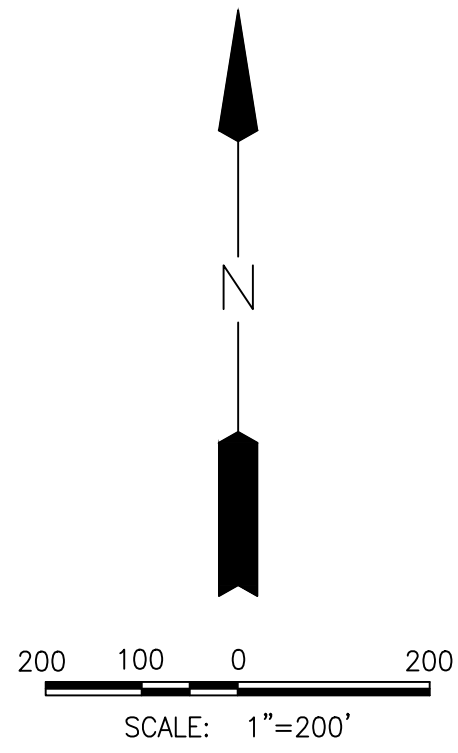


A Concept Plan for
MAGNOLIA RIDGE FOREST

±369.8 Acres of Land

Magnolia, Texas

Project #: 2025-07001



VICINITY MAP
SCALE: 1" = 2,000'
KEY MAP NO. 212L

FINAL PLAT OF MAGNOLIA RIDGE FOREST SECTION 18

A SUBDIVISION OF 27.570 ACRES OF LAND SITUATED IN
THE EDWARD TAYLOR SURVEY, ABSTRACT 554,
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, BEING A
PARTIAL REPLAT OF RESERVE "A", MAGNOLIA RIDGE SECTION 13,
A SUBDIVISION RECORDED IN CABINET Z, SHEET 1427-1429,
MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

DATE: AUGUST 8, 2023

102 LOTS
5 BLOCKS
8 RESERVES
8.236 ACRES IN RESERVES

SURVEYOR:

LJA Surveying, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 175 Fax 713.953.5026
Houston, Texas 77042 T.B.P.L.S. Firm No. 10194382

ENGINEER:

LJA Engineering, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

Date: Tue, 08 Aug 2023 7:48:00 PM
Path: I:\Projects\PLATTING\2025\03_PLATS\Magnolia Ridge Forest\18.dwg
CAD: ZZ MYLAR CHECK: SUR.

IN TESTIMONY WHEREOF, THE LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY, (AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM U.S. HOME CORPORATION, A DELAWARE CORPORATION), ITS GENERAL PARTNER, THEREUNTO AUTHORIZED, BY ITS VICE PRESIDENT, MICHAEL W. JOHNSON, THIS THE _____ DAY OF _____, 2023.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY

BY: U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY,
(AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM
U.S. HOME CORPORATION, A DELAWARE CORPORATION),
ITS GENERAL PARTNER

BY: _____
MICHAEL W. JOHNSON, VICE PRESIDENT

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, BRANNON BOOZER, VICE PRESIDENT OF LAND, RESPECTIVELY OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND I, MICHAEL W. JOHNSON, VICE PRESIDENT RESPECTIVELY OF U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY, (AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM U.S. HOME CORPORATION, A DELAWARE CORPORATION), GENERAL PARTNER OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MAGNOLIA RIDGE FOREST SECTION 18, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MAGNOLIA RIDGE FOREST SECTION 18, LOCATED IN THE EDWARD TAYLOR SURVEY, ABSTRACT 554, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRANNON BOOZER, ITS VICE PRESIDENT OF LAND, THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2023.

M/I HOMES OF HOUSTON, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

BY: _____
BRANNON BOOZER, VICE PRESIDENT OF LAND

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRANNON BOOZER, VICE PRESIDENT OF LAND, OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL W. JOHNSON, VICE PRESIDENT OF U.S. HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY, (AS SUCCESSOR-IN-INTEREST BY CONVERSION FROM U.S. HOME CORPORATION, A DELAWARE CORPORATION), GENERAL PARTNER, OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, GARY D. NUTTER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

GARY D. NUTTER, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5659

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

SCOTT SHELburne, CHAIRMAN

CHRISTIAN GABLE, INTERIM CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2023, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

CHRISTIAN GABLE, INTERIM CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, L. BRANDON STEINMANN, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2023, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2023, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

L. BRANDON STEINMANN, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

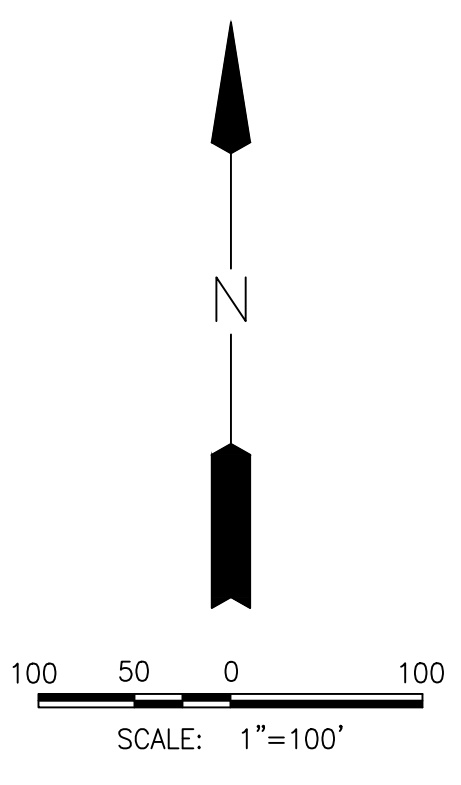
BY: _____
DEPUTY

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 500
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

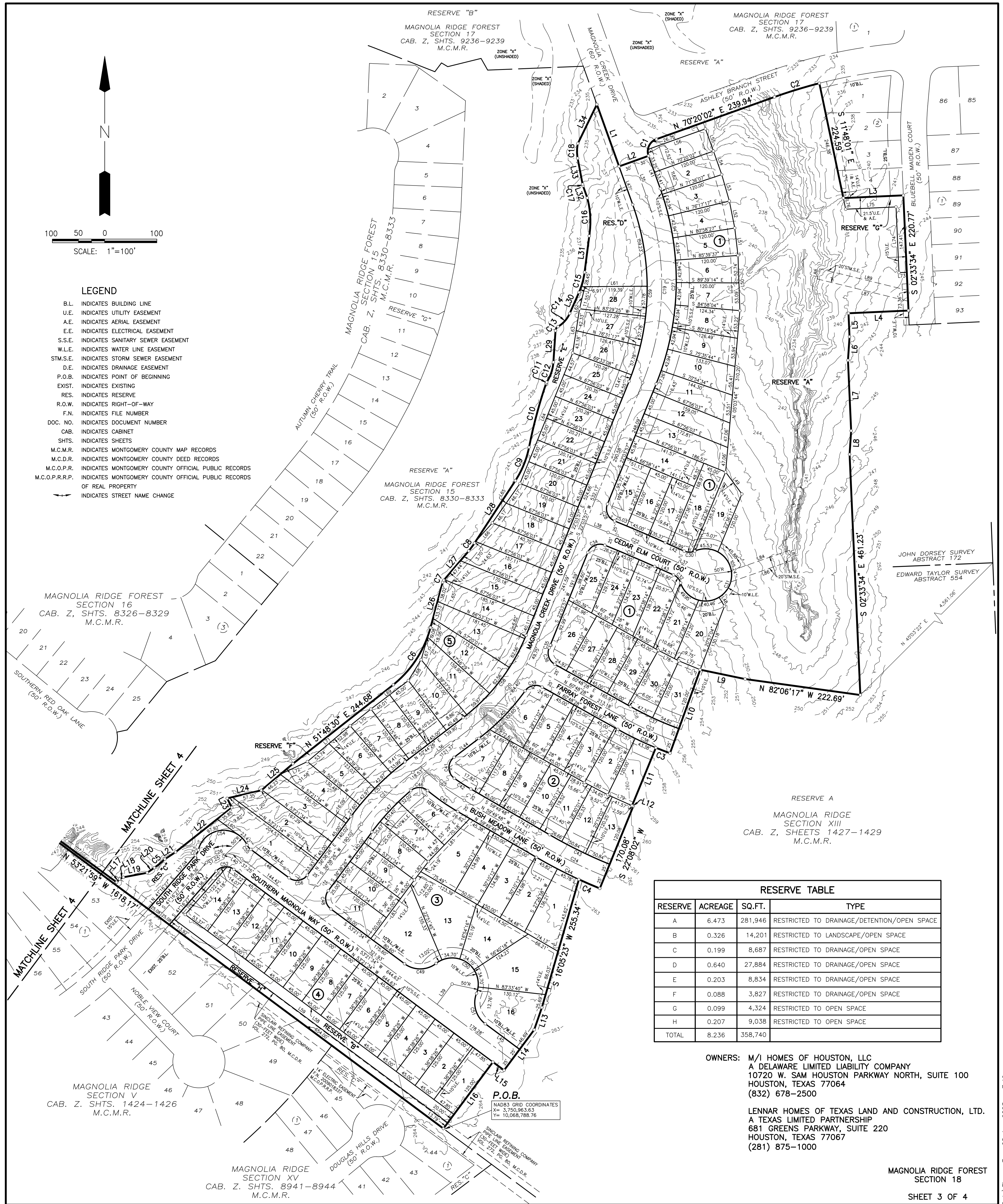
MAGNOLIA RIDGE FOREST
SECTION 18

SHEET 2 OF 4



LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- E.E. INDICATES ELECTRICAL EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- STM.S.E. INDICATES STORM SEWER EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- P.O.B. INDICATES POINT OF BEGINNING
- EXIST. INDICATES EXISTING
- RES. INDICATES RESERVE
- R.O.W. INDICATES RIGHT-OF-WAY
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- INDICATES STREET NAME CHANGE



RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	6.473	281,946	RESTRICTED TO DRAINAGE/DETENTION/OPEN SPACE
B	0.326	14,201	RESTRICTED TO LANDSCAPE/OPEN SPACE
C	0.199	8,687	RESTRICTED TO DRAINAGE/OPEN SPACE
D	0.640	27,884	RESTRICTED TO DRAINAGE/OPEN SPACE
E	0.203	8,834	RESTRICTED TO DRAINAGE/OPEN SPACE
F	0.088	3,827	RESTRICTED TO DRAINAGE/OPEN SPACE
G	0.099	4,324	RESTRICTED TO OPEN SPACE
H	0.207	9,038	RESTRICTED TO OPEN SPACE
TOTAL	8.236	358,740	

OWNERS: M/I HOMES OF HOUSTON, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
 HOUSTON, TEXAS 77064
 (832) 678-2500

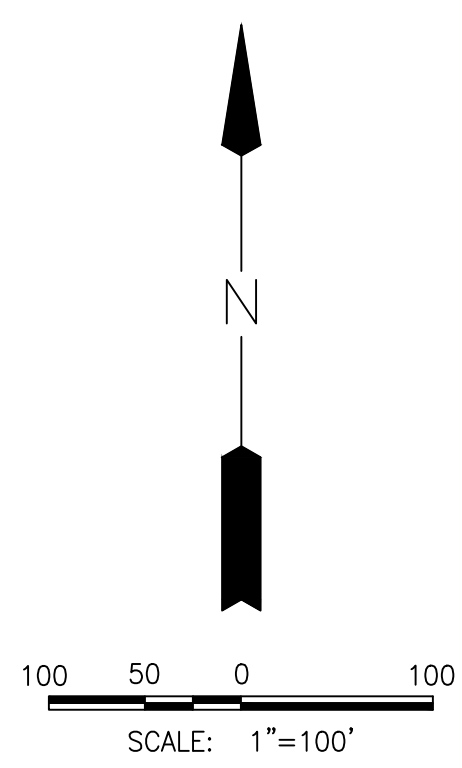
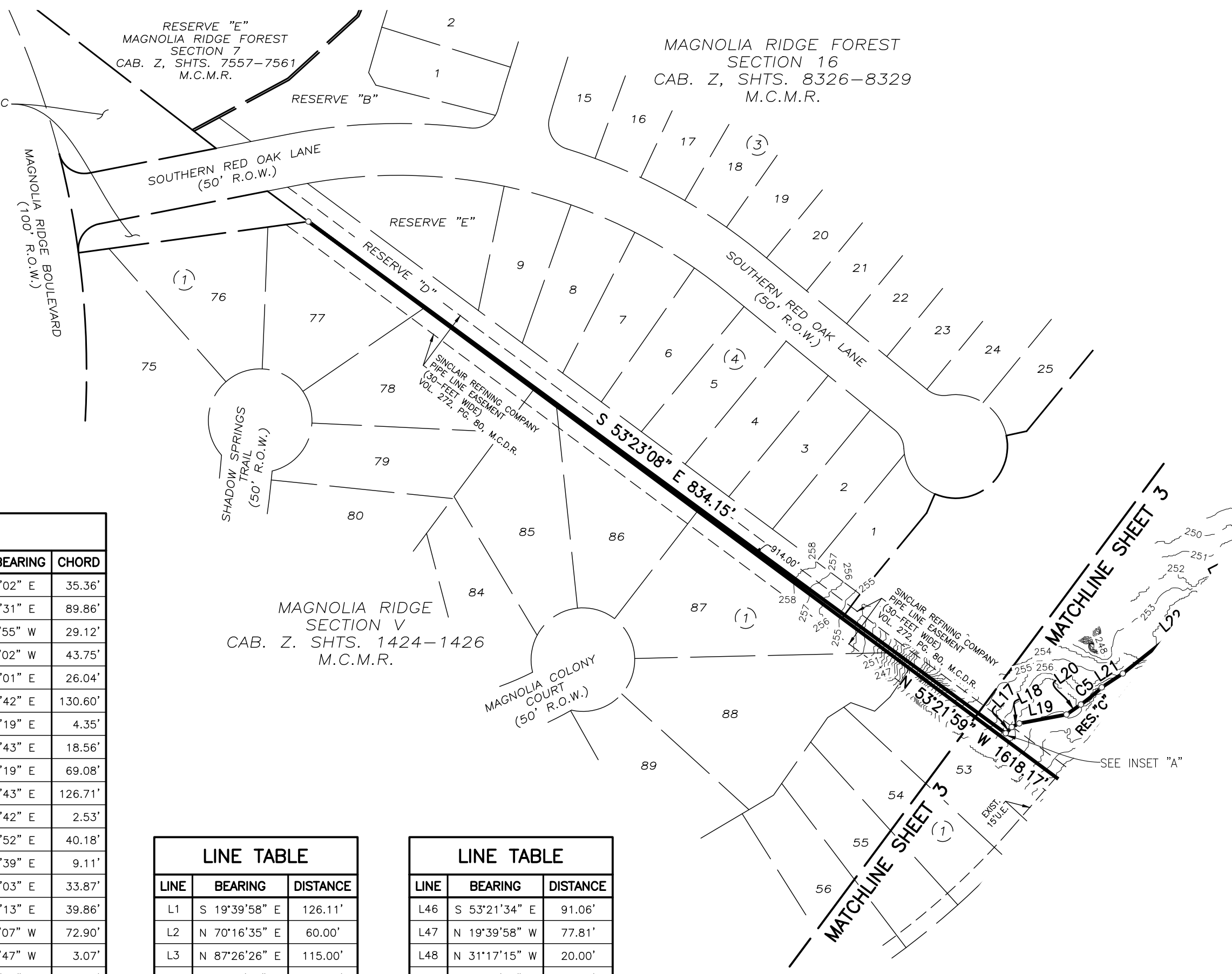
LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 A TEXAS LIMITED PARTNERSHIP
 681 GREENS PARKWAY, SUITE 220
 HOUSTON, TEXAS 77067
 (281) 875-1000

MAGNOLIA RIDGE FOREST SECTION 18

SHEET 3 OF 4

Date: Tue, 08 Aug 2023 7:49am
 Path: I:\Projects\PLATTING\2025\03_PLATS\Magnolia Ridge Forest\Magnolia Ridge Forest 18.dwg
 CAD: ZZ
 MYLAR CHECK: SUR

REMAINDER OF CALLED 581.2398 ACRES MAGNOLIA RIDGE DEVELOPMENT, LLC DOC. NO. 20090921652 M.C.O.P.R.R.P.



- LEGEND**
- B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - A.E. INDICATES AERIAL EASEMENT
 - E.E. INDICATES ELECTRICAL EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
 - STM.S.E. INDICATES STORM SEWER EASEMENT
 - D.E. INDICATES DRAINAGE EASEMENT
 - P.O.B. INDICATES POINT OF BEGINNING
 - EXIST. INDICATES EXISTING
 - RES. INDICATES RESERVE
 - R.O.W. INDICATES RIGHT-OF-WAY
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 - M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
 - M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
 - M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
 - INDICATES STREET NAME CHANGE

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	25.00'	90°00'00"	39.27'	N 25°20'02" E	35.36'
C2	975.00'	5°16'56"	89.89'	N 72°58'31" E	89.86'
C3	675.00'	2°28'18"	29.12'	N 68°54'55" W	29.12'
C4	965.00'	2°35'51"	43.75'	N 66°34'02" W	43.75'
C5	210.00'	7°06'31"	26.05'	N 50°32'01" E	26.04'
C6	210.00'	36°13'55"	132.80'	N 33°02'42" E	130.60'
C7	10.00'	25°06'44"	4.38'	N 27°57'19" E	4.35'
C8	156.00'	6°49'21"	18.58'	N 36°15'43" E	18.56'
C9	180.00'	22°07'28"	69.51'	N 22°15'19" E	69.08'
C10	968.11'	7°30'16"	126.80'	N 14°56'43" E	126.71'
C11	10.00'	14°33'41"	2.54'	N 25°58'42" E	2.53'
C12	79.20'	29°23'21"	40.62'	N 18°33'52" E	40.18'
C13	10.01'	54°07'05"	9.45'	N 32°06'39" E	9.11'
C14	55.64'	35°26'18"	34.42'	N 41°27'03" E	33.87'
C15	139.55'	16°25'21"	40.00'	N 15°31'13" E	39.86'
C16	174.20'	24°09'15"	73.44'	N 02°57'07" W	72.90'
C17	20.00'	8°47'44"	3.07'	N 15°09'47" W	3.07'
C18	72.06'	22°42'12"	28.55'	N 00°53'00" E	28.37'
C19	500.00'	41°43'54"	364.18'	S 01°11'59" W	356.18'
C20	400.00'	30°40'30"	214.15'	S 37°24'12" W	211.60'
C21	500.00'	16°06'01"	140.50'	S 44°41'26" W	140.04'
C22	3000.00'	2°03'35"	107.84'	N 66°54'16" W	107.84'
C23	650.00'	9°20'36"	106.00'	N 65°28'46" W	105.88'
C24	940.00'	8°02'09"	131.84'	N 63°50'53" W	131.73'
C25	400.00'	15°13'11"	106.25'	N 52°13'13" W	105.94'
C26	50.00'	85°21'59"	74.50'	S 83°57'26" W	67.79'
C27	525.00'	41°43'54"	382.39'	S 01°11'59" W	373.99'
C28	25.00'	89°56'12"	39.24'	S 22°54'09" E	35.34'
C29	3025.00'	1°59'47"	105.40'	S 66°52'22" E	105.39'
C30	25.00'	48°11'23"	21.03'	S 89°58'10" E	20.41'
C31	50.00'	276°22'46"	241.19'	S 24°07'32" W	66.67'
C32	25.00'	48°11'23"	21.03'	N 41°46'47" W	20.41'
C33	2975.00'	1°59'39"	103.54'	N 66°52'18" W	103.54'
C34	25.00'	90°03'56"	39.30'	S 67°05'55" W	35.38'
C35	425.00'	0°44'50"	5.54'	S 22°26'22" W	5.54'
C36	25.00'	83°37'14"	36.49'	S 18°59'51" E	33.33'
C37	625.00'	9°20'36"	101.92'	S 65°28'46" E	101.81'
C38	675.00'	9°20'36"	110.07'	N 65°28'46" W	109.95'
C39	25.00'	83°37'14"	36.49'	S 77°22'55" W	33.33'
C40	425.00'	17°10'09"	127.35'	S 44°09'22" W	126.88'
C41	25.00'	106°48'12"	46.60'	S 00°39'39" E	40.14'
C42	375.00'	5°46'03"	37.75'	S 56°56'47" E	37.73'
C43	915.00'	8°02'09"	128.33'	S 63°50'53" E	128.23'
C44	965.00'	8°02'09"	135.34'	N 63°50'53" W	135.23'
C45	425.00'	9°29'58"	70.46'	N 55°04'49" W	70.38'
C46	25.00'	79°52'15"	34.85'	S 89°44'02" W	32.10'
C47	475.00'	13°09'29"	109.08'	S 43°13'10" W	108.85'
C48	25.00'	90°00'00"	39.27'	S 08°21'34" E	35.36'
C49	50.00'	74°25'14"	64.94'	N 89°25'49" E	60.47'
C50	50.00'	148°50'29"	129.89'	S 53°21'34" E	96.33'
C51	50.00'	74°25'14"	64.94'	S 16°08'57" E	60.47'
C52	25.00'	85°21'59"	37.25'	S 83°57'26" W	33.90'
C53	25.00'	26°50'27"	11.71'	N 27°51'14" E	11.60'
C54	50.00'	139°02'52"	121.34'	N 83°57'26" E	93.68'
C55	25.00'	26°50'27"	11.71'	S 39°56'21" E	11.60'
C56	25.00'	90°00'00"	39.27'	N 81°38'26" E	35.36'
C57	525.00'	16°06'01"	147.53'	N 44°41'26" E	147.04'
C58	375.00'	30°40'30"	200.77'	N 37°24'12" E	198.38'
C59	475.00'	41°43'54"	345.97'	N 01°11'59" E	338.37'

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 19°39'58" E	126.11'
L2	N 70°16'35" E	60.00'
L3	N 87°26'26" E	115.00'
L4	S 87°26'26" W	115.00'
L5	S 02°33'34" E	45.00'
L6	S 03°46'50" W	45.28'
L7	S 02°33'34" E	135.00'
L8	S 03°46'50" W	45.28'
L9	N 78°13'17" W	87.86'
L10	S 19°50'56" W	170.00'
L11	S 22°19'14" W	120.00'
L12	S 69°31'15" E	2.59'
L13	S 19°05'54" W	45.10'
L14	S 36°38'26" W	96.69'
L15	N 53°21'34" W	26.56'
L16	S 36°38'26" W	158.79'
L17	N 43°05'23" E	13.13'
L18	N 64°28'14" E	8.15'
L19	N 79°18'34" E	46.32'
L20	N 55°07'57" E	16.90'
L21	N 56°43'42" E	24.35'
L22	N 51°34'39" E	137.48'
L23	N 27°03'08" W	19.62'
L24	N 76°47'13" E	67.17'
L25	N 49°52'30" E	79.01'
L26	N 15°00'46" E	89.81'
L27	N 40°30'41" E	73.73'
L28	N 33°11'56" E	142.98'
L29	N 03°52'11" E	60.50'
L30	N 23°43'54" E	44.12'
L31	N 07°18'33" E	70.15'
L32	N 19°33'39" W	24.56'
L33	N 10°45'55" W	50.67'
L34	N 25°56'44" E	83.20'
L35	S 19°39'58" E	72.23'
L36	S 52°44'26" W	139.90'
L37	N 65°52'28" W	95.54'
L38	N 67°56'03" W	46.63'
L39	S 36°38'26" W	48.14'
L40	N 06°02'34" W	5.00'
L41	S 19°39'58" E	66.66'
L42	S 65°52'28" E	39.64'
L43	N 65°52'28" W	39.64'
L44	S 52°44'26" W	59.71'
L45	S 53°21'34" E	81.96'

LINE TABLE

LINE	BEARING	DISTANCE
L46	S 53°21'34" E	91.06'
L47	N 19°39'58" W	77.81'
L48	N 31°17'15" W	20.00'
L49	N 36°31'50" W	52.43'
L50	N 01°59'48" W	105.83'
L51	N 06°40'58" W	52.74'
L52	N 11°22'08" W	52.74'
L53	N 16°03'18" W	52.74'
L54	N 19°28'35" W	47.68'
L55	N 19°39'58" W	45.25'
L56	N 70°20'02" E	116.93'
L57	S 41°16'27" W	121.54'
L58	S 53°21'34" W	64.122'
L59	S 53°21'34" E	652.88'
L60	N 53°21'34" W	52.59'
L61	S 89°32'26" W	126.30'
L62	S 13°27'52" W	43.47'
L63	S 08°49'14" W	85.51'
L64	S 21°58'32" W	269.57'
L65	S 35°01'02" W	92.35'
L66	S 42°06'30" W	47.90'
L67	S 16°21'24" W	44.79'
L68	S 31°29'13" W	46.87'
L69	S 52°44'26" W	90.01'
L70	S 51°13'36" W	51.15'
L71	S 49°57'55" W	106.73'
L72	S 64°49'12" W	57.45'
L73	S 87°26'26" W	15.00'
L74	N 02°33'34" W	125.91'
L75	S 87°26'26" W	96.50'
L76	N 11°48'01" W	21.78'
L77	N 67°38'52" W	44.12'
L78	S 62°40'48" E	44.26'
L79	N 65°50'18" W	51.09'
L80	N 62°12'37" W	50.31'
L81	N 43°53'29" E	114.26'
L82	S 37°18'44" W	44.19'
L83	N 36°38'26" E	127.35'
L84	S 70°37'58" W	118.09'
L85	N 19°22'02" W	20.00'
L86	N 70°37'58" E	126.40'
L87	S 76°15'56" E	179.18'
L88	S 13°44'04" W	20.00'
L89	N 76°15'56" W	173.34'

BLOCK 1

LOT NO.	SQ.FT.
1	5,418
2	5,559
3	5,723
4	5,723
5	5,723
6	5,723
7	5,837
8	6,009
9	6,241
10	6,720
11	7,210
12	7,467
13	8,086
14	6,661
15	5,950
16	5,397
17	5,413
18	7,616
19	6,238
20	6,805
21	5,562
22	6,288
23	6,150
24	5,948
25	6,285
26	6,436
27	5,400
28	5,400
29	5,400
30	5,871
31	5,939

BLOCK 2

LOT NO.	SQ.FT.
1	5,655
2	5,624
3	5,400
4	5,400
5	5,400
6	6,758
7	7,417
8	5,292
9	5,327
10	5,361
11	5,553
12	5,712
13	5,713

BLOCK 3

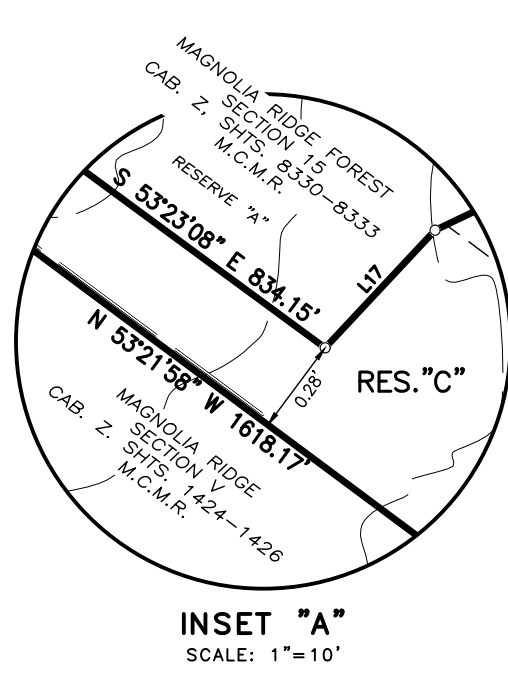
LOT NO.	SQ.FT.
1	8,272
2	6,937
3	6,749
4	6,749
5	8,317
6	6,935
7	5,760
8	5,701
9	5,400
10	5,400
11	5,866
12	11,088
13	11,654
14	8,059
15	11,932
16	10,281

BLOCK 4

LOT NO.	SQ.FT.
1	5,982
2	5,625
3	5,625
4	5,625
5	5,625
6	5,625
7	5,625
8	5,625
9	5,625
10	5,625
11	5,625
12	5,625
13	5,625
14	6,022

BLOCK 5

LOT NO.	SQ.FT.
1	11,097
2	8,350
3	7,290
4	6,807
5	6,078
6	5,806
7	5,658
8	5,400
9	5,400
10	6,001
11	7,367
12	8,138
13	8,499
14	8,332
15	7,996
16	7,336
17	6,701
18	6,098
19	5,633
20	5,402
21	5,405
22	5,408
23	5,411
24	5,414
25	5,569
26	6,220
27	6,368
28	6,220



NOTES:

- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 TEXAS COORDINATE SYSTEM, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE 0.9999717219.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 2021-0582, DATED JUNE 28, 2022. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "LJA SURVEY" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0480G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED). ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "LJA DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- THE PIPELINES AND/OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
- SHORT FORM BLANKET EASEMENT FOR CERTAIN UTILITIES GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC AND CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS AND SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS, BY INSTRUMENT RECORDED IN/UNDER CLERK'S FILE NO. 2010019737 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS.

OWNERS: M/I HOMES OF HOUSTON, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 500
 HOUSTON, TEXAS 77064

Magnolia 4B Directors Roster

Board Position #	Incumbent Re-Applying	General Applicants (Alpha Listing)
Position #1	NO	Todd Barretto Amanda Hall Sandy Hoffman Frank Parker Cathy Yowell Doug Walker
Position #2	YES: Josh Chadwick	
Position #3	YES: Barbara Gardner	
Position #6	Yes: Clyde Hunt	
Position 4	Resignation	Todd Barretto Amanda Hall Sandy Hoffman Frank Parker Cathy Yowell Doug Walker

General Applicant List as of August 22, 2023 in alpha order.

Todd Barretto
Amanda Hall
Sandy Hoffman
Frank Parker
Cathy Yowell
Doug Walker

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For Office Use Only
 Date Received: _____

City of Magnolia Application for Boards, Commissions and Committees

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<p><input type="checkbox"/> 4A Economic Development Corporation</p> <p>The 4A EDC is charged with promoting economic development and advising the City Council in regard to incentives for the development of industrial and commercial districts. *Five members *Meets monthly: 2nd Thursday at 4:00 p.m.</p>	<p><input checked="" type="checkbox"/> 4B Community Development Corporation</p> <p>In addition to promoting economic development, 4B CDC strives to improve the quality of life in Magnolia by assisting and funding a variety of projects. *Seven members *Meets monthly: 2nd Thursday at 5:30 p.m.</p>
<p><input type="checkbox"/> Planning & Zoning Commission</p> <p>The P&Z Commission's primary responsibility is to make recommendations to Council regarding a master plan, city planning, land use issues, such as zoning and subdivision plat requests. *Seven members *Meets the third Thursday at 4:30 p.m.</p>	<p><input type="checkbox"/> Board of Adjustment</p> <p>This board interprets and modifies zoning regulations in specific cases as circumstances require and has the authority to grant relief to the enforcement of provisions of the Zoning Ordinance on a case-by-case basis. *Five members, two alternates. *Meets as needed.</p>

- Some boards permit non-city residents (must be Montgomery County resident).
- Candidates cannot have been convicted of a felony or a misdemeanor crime of moral turpitude for which he/she has not been pardoned within the last ten (10) years.
- Candidates cannot have been removed from a board or commission because of failure to attend meetings within the last three (3) years.

If asked to serve on a different board than you indicated, would you be interested? YES NO
 Would you be interested in serving on any Ad Hoc Committee that may arise during the year? YES NO

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION CLEARLY IN BLACK INK ONLY

Ms.
 Mrs.
 Mr.

Barretto	Todd	M
Last Name	First Name	MI
	Magnolia Texas	77354
Home Address	City	Zip Code
		(713) 819-3543
Business Address	City	Zip Code
		()
Email Address	toddbarretto@sbcglobal.net	

Resident of City for 19 years. Registered to vote in City of Magnolia? YES NO
 Are you a business owner/operator/employee in the City of Magnolia? YES NO
 Resident of Montgomery County? YES NO
 Have you ever served as a member of any Magnolia boards/commissions/committees? YES NO
 If YES, specify which one (s) and approximate dates of service:

List any civic or community activities in which you have been involved:

President of our home owners association for 7 years

So the Council may know more about you, please complete the following:

Education: BBA, Business Management

Related experience/community service: HOA, MYFA youth football coach

Areas of interests related to this committee: Preservation Magnolia quality of life and community.
I also have 25 years of experience in both commercial and residential construction and development.

Please specify membership on any other governmental board/commission/committee:
None

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:
I enjoy taking part in our community to serve and help maintain quality of the community and feel my background in construction can help the committee.

This application is the only information considered for appointments by the City Council. Please do not send resumes, business cards, photographs, or letters of recommendation.


Please call Kandice Garrett at (281) 305-0550 for more information about the City's boards, commissions, and committees.

NOTE: APPLICATION MUST BE SIGNED BELOW BY THE APPLICANT

Statement of Intent:

"If appointed, I agree to serve on the board/commission/committee for which I have applied. I do solemnly swear (or affirm) that I have not directly or indirectly paid, offered, promised to pay, contributed, or promised to contribute any money or thing of value, or promised any public office or employment as a reward to secure my appointment or confirmation, so help me God."

Date: 8/10/23

Signature: 

Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com

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<input type="checkbox"/> Planning & Zoning Commission The P&Z Commission's primary responsibility is to make recommendations to Council regarding a master plan, city planning, land use issues, such as zoning and subdivision plat requests. *Seven members *Meets the third Thursday at 4:30 p.m.	<input type="checkbox"/> Board of Adjustment This board interprets and modifies zoning regulations in specific cases as circumstances require and has the authority to grant relief to the enforcement of provisions of the Zoning Ordinance on a case-by-case basis. *Five members, two alternates. *Meets as needed.

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- Candidates cannot have been removed from a board or commission because of failure to attend meetings within the last three (3) years.

If asked to serve on a different board than you indicated, would you be interested? YES NO
 Would you be interested in serving on any Ad Hoc Committee that may arise during the year? YES NO

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION CLEARLY IN BLACK INK ONLY

Ms.
 Mrs. AMANDA I.
 Mr. HALL Last Name First Name MI

MAGNOLIA 77354 (832) 819-8093
 Home Address City Zip Code Home or Mobile Phone

()
 Business Address City Zip Code Business Phone

MANDY.I.ODGERS@GMAIL.COM
 Email Address

Resident of City for 10 years. Registered to vote in City of Magnolia? YES NO
 Are you a business owner/operator/employee in the City of Magnolia? YES NO
 Resident of Montgomery County? YES NO
 Have you ever served as a member of any Magnolia boards/commissions/committees? YES NO
 If YES, specify which one (s) and approximate dates of service:

List any civic or community activities in which you have been involved:

Spay and neuter events throughout Harris and Montgomery County; providing low-cost spay, neuter and vaccinations to community members in need.

So the Council may know more about you, please complete the following:

Education: Doctor of Veterinary Medicine; Master of Public Health; BA in Communications

Related experience/community service: Medical director for Harris County Animal Shelter; volunteer with various rescue groups

Areas of interests related to this committee: Community development and beautification. I want to see Magnolia blossom.

Please specify membership on any other governmental board/commission/committee:
none

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:
I love Magnolia and grew up here--recently returning to buy a home right in the city limits. This town means a lot to me and I want to see it flourish and thrive. I'd like to assist with community events, help in building outlets to encourage comradery (i.e. sidewalks, parks, etc.)

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Date: 11/29/2022

Signature: 

Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com

See attached resume:

List any civic or community activities in which you have been involved:

Lake Travis Fire + Rescue, Ancillary Board Jurileague of Austin, Mobile Launch + Fisher Habitat for Humanity, Dry Baby Car, Highland Lakes Eco dev. Committee

So the Council may know more about you, please complete the following:

Education: BBA - Marketing, BBA - Management, UT-Austin

Related experience/community service: Ecodev. in Highland Lakes

Areas of interests related to this committee: Ecodevelopment, Planning

Please specify membership on any other governmental board/commission/committee:

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:

As a newer member of the community, I would like to put my experience to work for the benefit of the community. I love the growth and would like to be part of the success of the area.

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Date: 8/8/23

Signature: [Handwritten Signature]

Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com

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<input checked="" type="checkbox"/> 4A Economic Development Corporation The 4A EDC is charged with promoting economic development and advising the City Council in regard to incentives for the development of industrial and commercial districts. *Five members *Meets monthly: 2 nd Thursday at 4:00 p.m.	<input checked="" type="checkbox"/> 4B Community Development Corporation In addition to promoting economic development, 4B CDC strives to improve the quality of life in Magnolia by assisting and funding a variety of projects. *Seven members *Meets monthly: 2 nd Thursday at 5:30 p.m.
<input checked="" type="checkbox"/> <input type="checkbox"/> Planning & Zoning Commission The P&Z Commission's primary responsibility is to make recommendations to Council regarding a master plan, city planning, land use issues, such as zoning and subdivision plat requests. *Seven members *Meets the third Thursday at 4:30 p.m.	<input type="checkbox"/> Board of Adjustment This board interprets and modifies zoning regulations in specific cases as circumstances require and has the authority to grant relief to the enforcement of provisions of the Zoning Ordinance on a case-by-case basis. *Five members, two alternates. *Meets as needed.

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If asked to serve on a different board than you indicated, would you be interested? YES NO
 Would you be interested in serving on any Ad Hoc Committee that may arise during the year? YES NO

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION CLEARLY IN BLACK INK ONLY

Ms.
 Mrs.
 Mr.

Parker Frank M
 Last Name First Name MI

Magnolia 77355 281 924 8666
 City Zip Code Home or Mobile Phone

Magnolia 77354 281 356 6038
 City Zip Code Business Phone

fparkervm164@gmail.com
 Email Address

Resident of City for 45 years. Registered to vote in City of Magnolia? YES NO
 Are you a business owner/operator/employee in the City of Magnolia? YES NO
 Resident of Montgomery County? YES NO
 Have you ever served as a member of any Magnolia boards/commissions/committees? YES NO
 If YES, specify which one (s) and approximate dates of service:

4B ≈ 2006

List any civic or community activities in which you have been involved:

Magnolia Rotary Club, Boy Scouts, Lone Star College

So the Council may know more about you, please complete the following:

Education: BS Civil Engineering (PE), MAOM Systems Management

Related experience/community service: Various City offices & boards,

Areas of interests related to this committee: Development of Magnolia as a community

Please specify membership on any other governmental board/commission/committee: None at this time

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee: Help City develop as a complete community with emphasis on original town

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Date: 8/11/23

Signature: [Handwritten Signature]

Return in person, by mail or email to: City of Magnolia Attn: City Secretary 18111 Buddy Riley Blvd. Magnolia, TX 77354

kgarrett@cityofmagnolia.com

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<p><u>3</u> 4A Economic Development Corporation The 4A EDC is charged with promoting economic development and advising the City Council in regard to incentives for the development of industrial and commercial districts. *Five members *Meets monthly: 2nd Thursday at 4:00 p.m.</p>	<p><u>2</u> 4B Community Development Corporation In addition to promoting economic development, 4B CDC strives to improve the quality of life in Magnolia by assisting and funding a variety of projects. *Seven members *Meets monthly: 2nd Thursday at 5:30 p.m.</p>
<p><u>1</u> <input type="checkbox"/> Planning & Zoning Commission The P&Z Commission's primary responsibility is to make recommendations to Council regarding a master plan, city planning, land use issues, such as zoning and subdivision plat requests. *Seven members *Meets the third Thursday at 4:30 p.m.</p>	<p><input type="checkbox"/> Board of Adjustment This board interprets and modifies zoning regulations in specific cases as circumstances require and has the authority to grant relief to the enforcement of provisions of the Zoning Ordinance on a case-by-case basis. *Five members, two alternates. *Meets as needed.</p>

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If asked to serve on a different board than you indicated, would you be interested? YES NO
 Would you be interested in serving on any Ad Hoc Committee that may arise during the year? YES NO

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION CLEARLY IN BLACK INK ONLY

Ms.
 Mrs.
 Mr.

Yowell
Cathy
H.
 Last Name First Name MI

Magnolia TX 77354
(936) 788-3059
 Home Address City Zip Code Home or Mobile Phone

N/A - retired
()
 Business Address City Zip Code Business Phone

cathyhyowell@gmail.com
 Email Address

Resident of City for 7 years. Registered to vote in City of Magnolia? YES NO
 Are you a business owner/operator/employee in the City of Magnolia? YES NO Was but sold and retired.
 Resident of Montgomery County? YES NO
 Have you ever served as a member of any Magnolia boards/commissions/committees? YES NO
 If YES, specify which one (s) and approximate dates of service:

Currently on second term in Board of Adjustments.

List any civic or community activities in which you have been involved:
2009 Leadership Montgomery County graduate, Montgomery County United Way, Montgomery County Community Foundation, Dispute Resolution Center of Montgomery County

So the Council may know more about you, please complete the following:

Education: BS from Texas A&M

Related experience/community service: Treasurer, Board Member, Volunteer

Areas of interests related to this committee: Community, Trails/Sidewalks, Financial Responsibility, Sound Governance.

Please specify membership on any other governmental board/commission/committee:
Magnolia Board of Adjustments

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:
Have always been active and interested in serving the community as a volunteer, enjoy strategic thinking and long range planning, concerned about managing growth in a way that does not produce unintended consequences. Familiar with policies and board structures.

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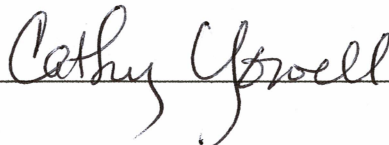
Please call Kandice Garrett at (281) 305-0550 for more information about the City's boards, commissions, and committees.

NOTE: APPLICATION MUST BE SIGNED BELOW BY THE APPLICANT

Statement of Intent:

"If appointed, I agree to serve on the board/commission/committee for which I have applied. I do solemnly swear (or affirm) that I have not directly or indirectly paid, offered, promised to pay, contributed, or promised to contribute any money or thing of value, or promised any public office or employment as a reward to secure my appointment or confirmation, so help me God."

Date: 8/10/2023

Signature: 

Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com

This information is public record.
 Public Service Opportunities are offered by the City of Magnolia without regard to race, color, national origin, religion, sex, or disability.

For Office Use Only
 Date Received: 8/18/23

City of Magnolia Application for Boards, Commissions and Committees

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<input type="checkbox"/> 4A Economic Development Corporation The 4A EDC is charged with promoting economic development and advising the City Council in regard to incentives for the development of industrial and commercial districts. *Five members *Meets monthly: 2 nd Thursday at 4:00 p.m.	<input checked="" type="checkbox"/> 4B Community Development Corporation In addition to promoting economic development, 4B CDC strives to improve the quality of life in Magnolia by assisting and funding a variety of projects. *Seven members *Meets monthly: 2 nd Thursday at 5:30 p.m.
<input type="checkbox"/> Planning & Zoning Commission The P&Z Commission's primary responsibility is to make recommendations to Council regarding a master plan, city planning, land use issues, such as zoning and subdivision plat requests. *Seven members *Meets the third Thursday at 4:30 p.m.	<input type="checkbox"/> Board of Adjustment This board interprets and modifies zoning regulations in specific cases as circumstances require and has the authority to grant relief to the enforcement of provisions of the Zoning Ordinance on a case-by-case basis. *Five members, two alternates. *Meets as needed.

- Some boards permit non-city residents (must be Montgomery County resident).
- Candidates cannot have been convicted of a felony or a misdemeanor crime of moral turpitude for which he/she has not been pardoned within the last ten (10) years.
- Candidates cannot have been removed from a board or commission because of failure to attend meetings within the last three (3) years.

If asked to serve on a different board than you indicated, would you be interested? YES NO
 Would you be interested in serving on any Ad Hoc Committee that may arise during the year? YES NO

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION CLEARLY IN BLACK INK ONLY

Ms.
 Mrs.
 Mr. WALKER DDUG

Last Name First Name MI

Home Address City Magnolia Zip Code 77354 Home or Mobile Phone (303) 704 8001

Business Address City Zip Code Business Phone ()

Email Address schudallas@yahoo.com

Resident of City for 8 Mos. years. Registered to vote in City of Magnolia? YES NO
 Are you a business owner/operator/employee in the City of Magnolia? YES NO
 Resident of Montgomery County? YES NO
 Have you ever served as a member of any Magnolia boards/commissions/committees? YES NO
 If YES, specify which one (s) and approximate dates of service:

List any civic or community activities in which you have been involved:

KIWAHS CLUB, PRESIDENT, LITTLE LEAGUE COACH, CHRISTMAS PARADE CHAIRMAN, SPOK RACE COMMITTEE,
CHRISTIAN WORKS FOR CHILDREN BOARD, CHAIRMAN, EQUIPMENT BOARD (DALLAS) 25 YRS
HARDING UNIVERSITY PRESIDENTS COUNCIL

So the Council may know more about you, please complete the following:

Education: B.S. BUSINESS MANAGEMENT HARDING UNIVERSITY SEARCY, AR

Related experience/community service: CITY BOARD, MAYOR BRINKLEY AR, CHAIRMAN CITY OWNED HOSPITAL BOARD

Areas of interests related to this committee: LOOKING FOR OPPORTUNITIES TO SERVE FOR THE IMPROVEMENT OF THE MAGNOLIA COMMUNITY

Please specify membership on any other governmental board/commission/committee:

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:

LOOKING TO APPLY 30 YEARS OF KNOWLEDGE AND EXPERIENCE OF OFFICE, RETAIL, MULTIFAMILY AND HOSPITALITY DEVELOPMENT, 7 YEARS OF CITY GOVERNMENT EXPERIENCE.

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Date: 8-15-23

Signature: Doug Walker

Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com

List any civic or community activities in which you have been involved:

So the Council may know more about you, please complete the following:

Education: College

Related experience/community service: _____

Areas of interests related to this committee: Continued growth of city while still holding to the values of a small town.

Please specify membership on any other governmental board/commission/committee:

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:

With having lived in magnolia for almost 3 decades and having two kids in the school system, I would like my involvement help create a more vibrant and promising future for all the city residents.

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Date: 8/14/2023

Signature: _____



Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com

City of Magnolia Application for Boards, Commissions and Committees

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- Candidates cannot have been removed from a board or commission because of failure to attend meetings within the last three (3) years.

If asked to serve on a different board than you indicated, would you be interested? YES NO
 Would you be interested in serving on any Ad Hoc Committee that may arise during the year? YES NO

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION CLEARLY IN BLACK INK ONLY

Ms.
 Mrs.
 Mr. GARDNER BARBARA
Last Name First Name MI

PLANTERSVILLE 77363 (281) 300-8457
Home Address City Zip Code Home or Mobile Phone

FM 1488 MAGNOLIA 77354 (281) 300-8457
Business Address City Zip Code Business Phone

bgardner1103@gmail.com
Email Address

Business Owner, 20
 Resident of City for 20 years. Registered to vote in City of Magnolia? YES NO
 Are you a business owner/operator/employee in the City of Magnolia? YES NO
 Resident of Montgomery County? YES NO
 Have you ever served as a member of any Magnolia boards/commissions/committees? YES NO
 If YES, specify which one (s) and approximate dates of service:
Planning Commission 2003 (?) - 2012

4B - 2013 - 2023
Various Committees - See attached list

List any civic or community activities in which you have been involved:

See Attached

So the Council may know more about you, please complete the following:

Education: BA Degree - Tennessee Wesleyan College

and Undergraduate work at Univ of Pittsburgh.
Related experience/community service: See Attached. Currently serve on UB

Areas of interests related to this

committee: As business owner of real estate brokerage for the last 20 years, am interested in the current and future development of the City while preserving its small town charm and beauty.

Please specify membership on any other governmental board/commission/committee:

UB Treasurer

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:

To help manage the explosive growth the City is experiencing and bring an historical perspective of past efforts to do so in anticipation of this growth that is now here. The goal is for the City to continue to be a beautiful and vibrant place to live and work.

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Date: 8/21/2023

Signature: [Signature]

Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com

CIVIC/COMMUNITY ACTIVITIES OF BARBARA GARDNER

Recently served on advisory committee to update the UDC

Current (since 2013) Board member of 4B Corporation

2010-2011 Chair of Planning Commission and on the Board from around 2003.

2010-2011 Chair of Magnolia Area Chamber of Commerce Board

Several years' winner/placed in Magnolia Christmas parade

Participated in Stroll Dedication

Member of committee on Development of Comprehensive Plan

On Board of first Economic Development Board and zoning committee

Volunteer at first City of Magnolia Music Festival

Served on Impact Fee Advisory Committee 2013

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For Office Use Only
 Date Received: 8/9/23

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If asked to serve on a different board than you indicated, would you be interested? YES NO
 Would you be interested in serving on any Ad Hoc Committee that may arise during the year? YES NO

PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION CLEARLY IN BLACK INK ONLY

Ms.
 Mrs.
 Mr.

Last Name: HUNT First Name: Clayde MI: M

Home Address: _____ City: Magnolia Zip Code: 77354 Home or Mobile Phone: (936) 672-1513

Business Address: _____ City: Magnolia Zip Code: 77354 Business Phone: (832) 349-1223

Email Address: cmh0144@gmail.com chunt@cityofmagnolia.com

Resident of City for 10+ years. Registered to vote in City of Magnolia? YES NO
 Are you a business owner/operator/employee in the City of Magnolia? YES NO
 Resident of Montgomery County? YES NO
 Have you ever served as a member of any Magnolia boards/commissions/committees? YES NO
 If YES, specify which one (s) and approximate dates of service:

4B Community Development Corporation

List any civic or community activities in which you have been involved:

Member of Chamber of Commerce

So the Council may know more about you, please complete the following:

Education: Associate Degree Business Administration

Related experience/community service:

Areas of interests related to this committee: COMMUNITY DEVELOPMENT

Please specify membership on any other governmental board/commission/committee:

SOS - VOLUNTEER WORK, BOARD OF TRUSTEES Wildwood UMC

Please provide a brief narrative outline on your reasons for seeking appointment to this board/commission/committee:

Help City of Magnolia to grow, help city to be the place to live, work & play.

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Date:

Signature:

Clyde M. Hunt

Return in person, by mail or email to: City of Magnolia
Attn: City Secretary
18111 Buddy Riley Blvd.
Magnolia, TX 77354

kgarrett@cityofmagnolia.com



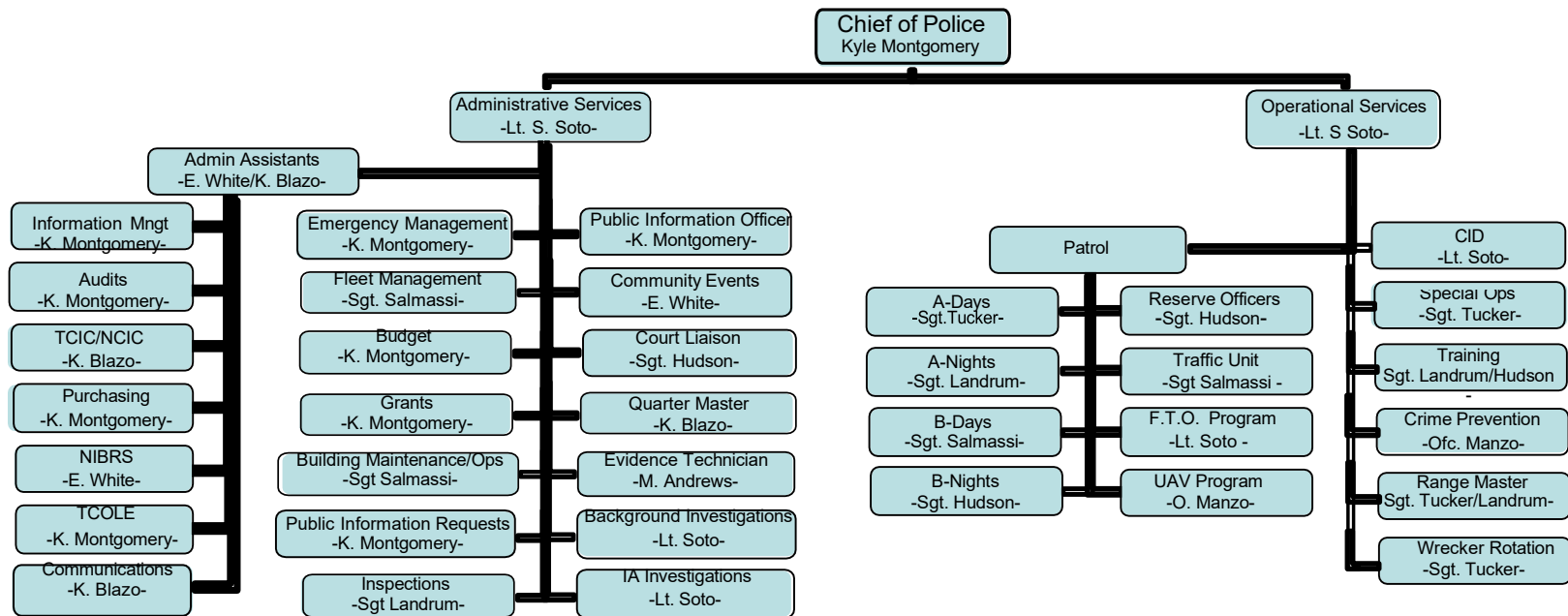
DEPARTMENT REPORT

September 2023

Prepared by:
Kyle Montgomery
Chief of Police

ADMINISTRATIVE

Organizational Chart



PATROL

CALL BREAKDOWN

	Aug	Sept	Monthly Change
EMERGENCY	31	25	-6
NON-EMERGENCY	366	299	-67

CALLS FOR SERVICE

	Aug	Sept	Monthly Change	2023
Total Calls for Service	397	324	-73	2,739

*The total calls for service include all priorities, event entries, and officer-initiated calls.

OFFENSE REPORTS

	Aug	Sept	Monthly Change
Report Totals	88	58	-30

RESIDENTIAL PATROLS

	Windmill Estates	Magnolia Ridge	Dogwood Patches	Mustang Ridge	Timber Hollow	Total
Aug	136	164	154	131	148	733
Sept	147	153	153	150	152	755

CALL TOTALS

OFFENSES	Aug	Sept	MONTHLY CHANGE
Burglary of a Vehicle	0	2	+2
Burglary of a Building	1	1	-
Burglary of a Habitation	0	2	+2
Theft	3	0	-3
Fraud/Forgery	3	1	-2
Criminal Mischief	1	4	+3
Robbery	0	0	-
Assault/Family Violence	0	1	+1
Death Investigation	0	0	-
Sexual Assault	0	0	-
Motor Vehicle Crash	29	27	-2
Alarms	34	28	-6
Medical calls	7	15	+8
Welfare Checks	14	4	-10
Disturbances	12	3	-9
Assist Outside Agency	8	8	-
Narcotics	8	11	+3
DWI	17	11	-6

CRIMINAL ARRESTS

	Aug	Sept	MONTHLY CHANGE
TOTAL ARRESTS	36	26	-10
NARCOTICS	8	11	+3
DWI	17	11	-6

TRAFFIC CONTACTS BY RACE

	Asian/ Pacific	Black	Hispanic	Alaskan/ Indian	White
Aug	14	58	293	4	657
Sept	11	75	249	3	546
Change	-3	+17	-44	-1	-111

TRAFFIC CRASHES

	Aug	Sept	MONTHLY CHANGE
Fatal	0	0	-
Injury	4	3	-1
Non-Injury	25	24	-1

TRAFFIC ENFORCEMENT

	Aug	Sept	MONTHLY CHANGE
FM 1488	600	558	-42
FM 1774	225	201	-24
Magnolia Blvd	274	247	-27
Buddy Riley	157	104	-53
Nichols Sawmill	48	48	-
Total Violations	1,288	1,134	-154

COMMERCIAL PATROLS

	Aug	Sept	MONTHLY CHANGE
Business Checks	919	1,034	+115
Business Contacts	25	30	+5
Totals	944	1,064	+120

CRIMINAL INVESTIGATIONS

	Aug	Sept	MONTHLY CHANGE
Assault	0	0	-
Sexual Assault	0	1	+1
Robbery	0	0	-
Death	0	0	-
Persons Crime Totals	0	1	+1
Burglary-Building	1	1	-
Burglary-Vehicle	0	2	+2
Burglary-Habitation	0	1	+1
Theft	0	0	-
Hit and Run Crashes	0	0	-
Financial Crime	0	0	-
Criminal Mischief	1	1	-
Property Crime Totals	2	5	+3
Arrests/Warrants	1	2	+1

	2023
Total Cases	49
Cleared	19
Clearance Rate	39%

FY 2023 MAGNOLIA MUNICIPAL COURT COLLECTIONS REPORT

MONTH	CITATIONS PAID THROUGH TRAFFIC PAYMENT.COM	CITATIONS PAID IN OFFICE OR THROUGH THE MAIL	TOTAL COURT COLLECTIONS
OCT.2022	23,274.55	17,855.25	41,129.80
Nov.2022	19,180.72	10,980.89	30,161.61
DEC.2022	28,022.55	17,011.03	45,033.58
JAN.2023	30,894.61	25,438.27	56,332.88
FEB.2023	36,438.45	22,882.45	59,320.95
MAR.2023	42,773.69	34,185.45	76,959.14
APR. 2023	35,417.97	28,990.05	64,408.02
MAY 2023	39,020.56	30,638.98	69,659.54
JUN. 2023	40,486.23	25,138.55	65,624.78
JUL. 2023	28,718.23	27,196.41	55,914.64
AUG. 2023	30,592.10	27,553.60	58,145.70
SEPT. 2023	30,531.16	26,874.68	57,405.84
TOTAL:	385,354.82	294,745.61	680,286.20
	BY: FRANCES SUAREZ		

2023 MAGNOLIA MUNICIPAL COURT CASE MANAGEMENT REPORT

Month	Citations Issued	Violations Issued	Warnings Issued	New Warrants Issued	Warrants Cleared	Arraignment Cases	Juvenile Court Cases	Judge Trial cases	*Jury Trial Cases	Show Cause cases
January	277	367	504	82	38	50	4	0	0	6
February	282	350	435	74	85	55	3	0	0	7
March	326	452	485	17	79	45	2	0	0	7
April	326	424	575	75	51	35	3	1	0	25
May	314	428	609	0	66	64	2	0	0	6
June	267	352	664	199	56	23	0	0	0	0
July	326	431	666	4	43	50	4	2	0	8
August	314	418	726	95	29	52	5	1	0	9
September	248	320	545	92	53	36	4	0	0	9
October										
November										
December										
TOTAL	2,650	3,542	5,209	638	500	410	27	4	0	68
Completed By: Frances Suarez										

MAGNOLIA, TX 77354 MUNICIPAL COURT

Fees and Fines Collection & Activity Report

As of August 31, 2023



Linebarger Goggan Blair & Sampson, LLP

**PROPRIETARY AND CONFIDENTIAL
INFORMATION**

Linebarger Goggan Blair & Sampson, LLP considers the information contained in this report to be proprietary, confidential, trade secrets of the firm. We respectfully request that no copies of this information be made and/or distributed without the prior written consent of the firm.

Collections & Activity Summary

Collection Disposition Summary - August 2023	
Citations Assigned	0
Amount Assigned	\$0
Citations Collected	26
Amount Collected	\$5,013
Citations Cancelled	6
Amount Cancelled	\$2,386
Citations Resolved	32
Amount Resolved	\$7,399

Collection Disposition Summary - Contract to Date	
Citations Assigned	3,291
Amount Assigned	\$1,394,449
Citations Adjusted	149
Amount Adjusted	(\$29,965)
Citations Collected	221
Amount Collected	\$66,675
Citations Cancelled	62
Amount Cancelled	\$19,624
Citations Resolved	283
Amount Resolved	\$86,299
Dollar Resolution Rate	8.3%

Collection Activity - August 2023		
Letters		0
Address/Phone Updated		70
Phone Activity	Inbound	7
	Outbound	468

Collection Activity - Contract to Date		
Letters		3,372
Address/Phone Updated		855
Phone Activity	Inbound	112
	Outbound	1,825

Status of Open Accounts

Status	Count	Amount
ACT - Active Account	3,018	\$1,269,792
ATT - Attorney Contact Only	16	\$6,051
INC - Incarcerated	4	\$1,370
PRM - Promise Payment	2	\$636
PTC - Paid To Client	1	\$337
Total	3,041	\$1,278,185

Monthly Collection Activity Last 24 Months

Year	Month	Letters Mailed	Address/Phone Updated	Phone Activity		Dollars Collected
				Inbound	Outbound	
2023	August	0	70	7	468	\$5,013
	July	98	49	11	279	\$9,802
	June	90	59	7	285	\$5,936
	May	106	101	18	392	\$6,609
	April	649	108	12	93	\$9,646
	March	53	86	9	18	\$8,730
	February	862	18	16	140	\$12,963
	January	15	66	1	16	\$0
2022	December	729	63	23	24	\$0
	November	0	15	0	8	\$4,467
	October	31	77	2	14	\$3,509
	September	739	27	6	88	\$0
	August	0	116	0	0	\$0
Total*		3,372	855	112	1,825	\$66,675

***Total Amounts noted represent the last 24 months & not contract to date.**

Portfolio Analysis Outstanding Placements

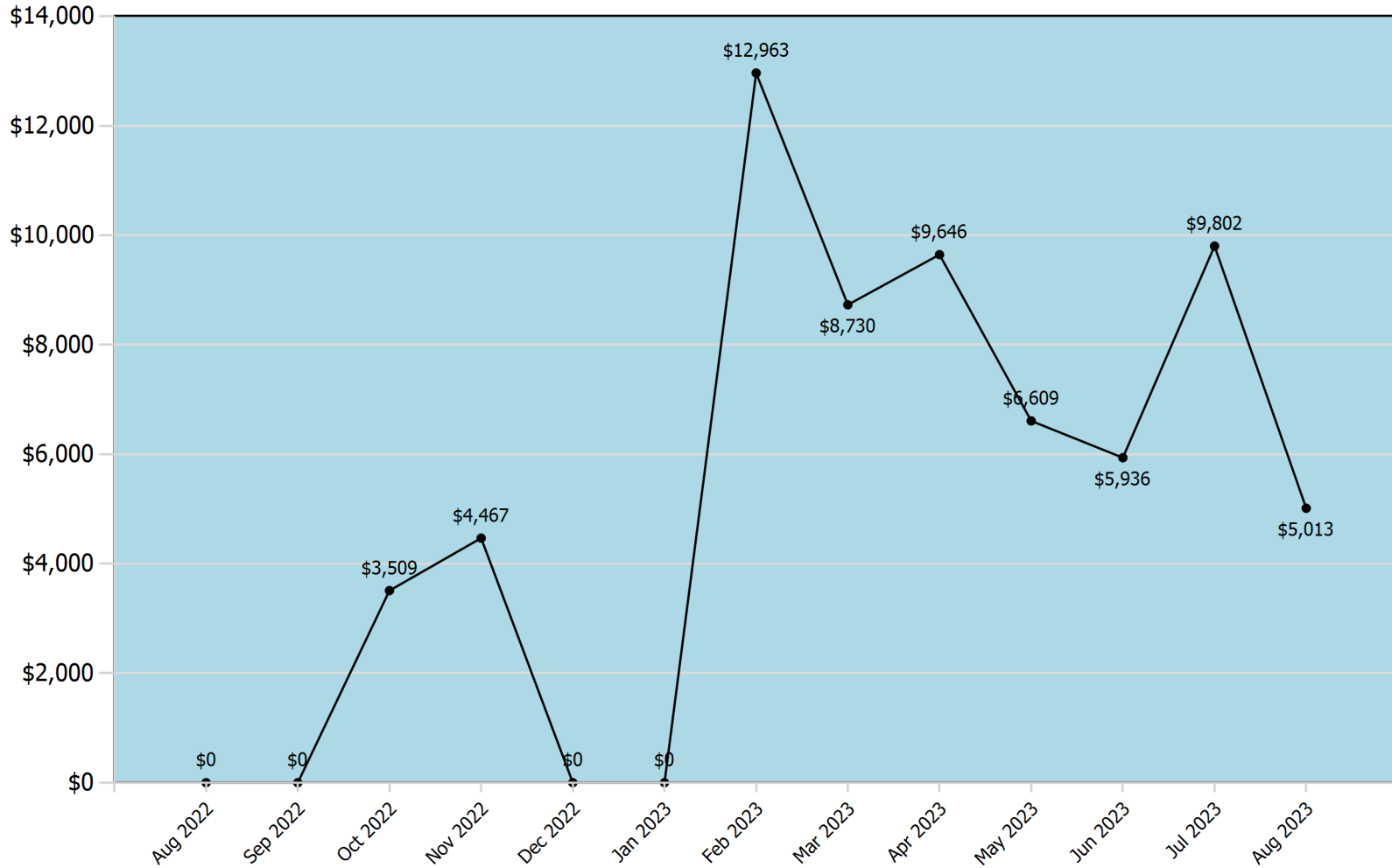
	Accounts	Dollars	Acct. Pct.	Dollar Pct.	Average Balance
ALL ACCOUNTS	3,041	\$1,278,184.63	100.00%	100.00%	\$420.32
ADDRESSES					
No Mailing Address	1	\$429.00	0.03%	0.03%	\$429.00
Returned Mail	141	\$59,804.21	4.64%	4.68%	\$424.14
Good Address	2,899	\$1,217,951.42	95.33%	95.29%	\$420.13
OFFENSE AGE					
One Year or Less	122	\$52,356.20	4.01%	4.10%	\$429.15
1-2 Years	562	\$233,111.25	18.48%	18.24%	\$414.79
2-3 Years	448	\$194,945.78	14.73%	15.25%	\$435.15
+3 Years	1,909	\$797,771.40	62.78%	62.41%	\$417.90
PLACEMENT AGE					
One Year or Less	1,910	\$810,821.34	62.81%	63.44%	\$424.51
1-2 Years	1,131	\$467,363.29	37.19%	36.56%	\$413.23
2-3 Years	0	\$0.00	0.00%	0.00%	\$0.00
+3 Years	0	\$0.00	0.00%	0.00%	\$0.00

Offense Age of Placements Last 13 Months

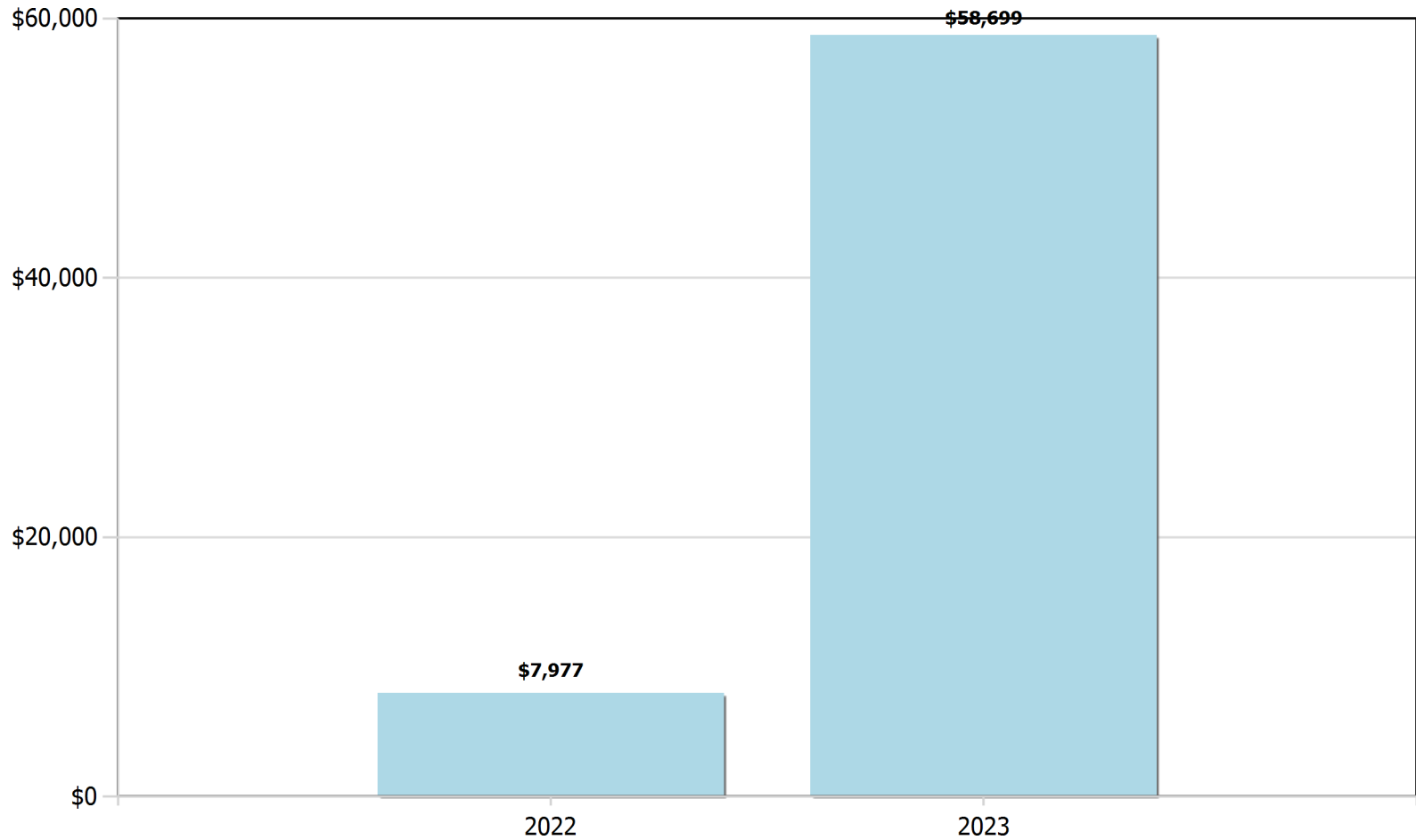
	2016 & PRIOR	2017	2018	2019	2020	2021	2022	2023	Total Placements
August 2023	-	-	-	-	-	-	-	-	0
July 2023	-	1	-	-	-	1	61	-	63
		1.59%				1.59%	96.83%		
June 2023	-	-	-	-	-	-	14	-	14
							100.00%		
May 2023	3	4	-	-	-	-	62	-	69
	4.35%	5.80%					89.86%		
April 2023	-	-	-	-	-	-	-	-	0
March 2023	1	-	-	-	4	13	51	-	69
	1.45%				5.80%	18.84%	73.91%		
February 2023	2	1	-	3	4	8	43	-	61
	3.28%	1.64%		4.92%	6.56%	13.11%	70.49%		
January 2023	106	423	681	216	-	-	-	-	1,426
	7.43%	29.66%	47.76%	15.15%					
December 2022	10	5	21	10	13	19	106	-	184
	5.43%	2.72%	11.41%	5.43%	7.07%	10.33%	57.61%		
November 2022	-	-	-	-	-	-	-	-	0
October 2022	1	2	2	1	2	7	32	-	47
	2.13%	4.26%	4.26%	2.13%	4.26%	14.89%	68.09%		
September 2022	6	-	2	6	8	14	95	-	131
	4.58%		1.53%	4.58%	6.11%	10.69%	72.52%		
August 2022	62	30	56	108	458	459	54	-	1,227
	5.05%	2.44%	4.56%	8.80%	37.33%	37.41%	4.40%		

Placement Activity Summary Contract to Date								
Year	Month	Count #	Orig Placement \$	Cancelled \$	Adjustment \$	Net Placement \$	Collected \$	Collected %
2023 Summary	August	0	\$0	\$0	\$0	\$0	\$0	0.00%
	July	63	\$26,372	\$0	\$0	\$26,372	\$0	0.00%
	June	14	\$5,977	\$0	\$0	\$5,977	\$384	6.42%
	May	69	\$29,875	\$10	(\$478)	\$29,388	\$411	1.40%
	April	0	\$0	\$0	\$0	\$0	\$0	0.00%
	March	69	\$29,624	\$10	(\$694)	\$28,920	\$2,186	7.56%
	February	61	\$26,090	\$459	(\$321)	\$25,311	\$591	2.33%
	January	1,426	\$610,920	\$12,415	(\$11,079)	\$587,426	\$25,841	4.40%
		1,702	\$728,859	\$12,893	(\$12,572)	\$703,394	\$29,412	4.18%
2022 Summary	December	184	\$75,271	\$368	(\$95)	\$74,808	\$4,115	5.50%
	November	0	\$0	\$0	\$0	\$0	\$0	0.00%
	October	47	\$20,660	\$0	(\$279)	\$20,381	\$1,464	7.18%
	September	131	\$55,075	\$2,923	(\$1,872)	\$50,281	\$3,053	6.07%
	August	1,227	\$514,584	\$3,440	(\$15,148)	\$495,996	\$28,633	5.77%
		1,589	\$665,590	\$6,731	(\$17,393)	\$641,466	\$37,264	5.81%

Monthly Collections Last 18 Months

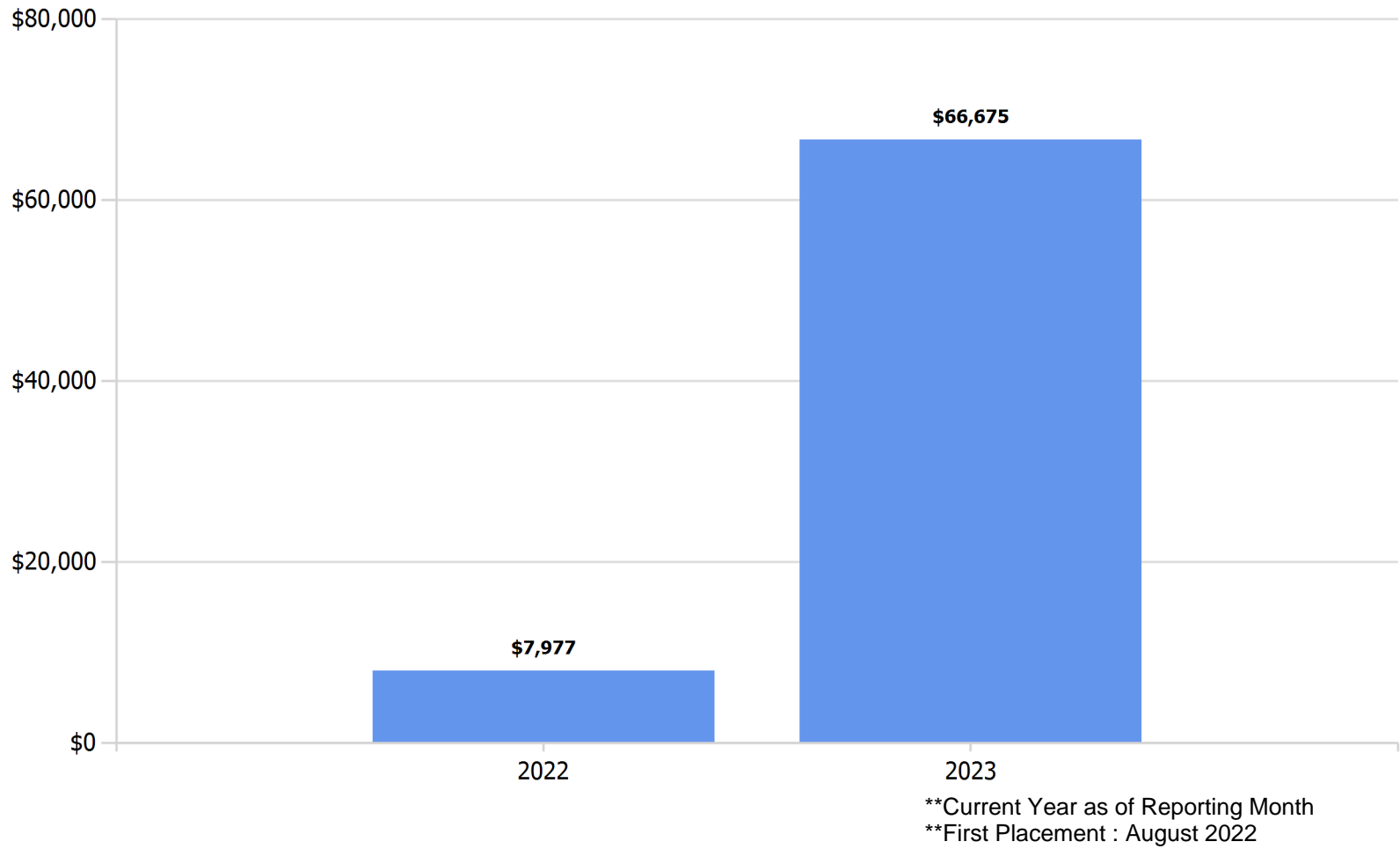


Delinquent Court Fees & Fines Annual Collections Last 6 Years



***Current Year as of Reporting Month
***First Placement : August 2022

Delinquent Fees & Fines Cumulative Collections



City Administrator's Report for October 10, 2023

Every day is a new adventure here in Magnolia! Here is a partial list of some of my recent activities since the last City Council Meeting:

09/08 Interview Court Clerk Applicant

09/11 Interview Court Clerk Applicant

09/11 Attended interview with Local Newspaper Reporter

09/12 Attended Lonestar Groundwater Conservation District Board meeting in Conroe.

09/14 Attended meeting with GLF Environmental Representatives.

09/14 Attended 4A Meeting

09/14 Attended 4B Meeting

09/15 Attended H-GAC City Managers Summit in Houston.

09/25 Attended SJRA Settlement Discussion in Conroe.

09/26 Attended Pre-Development Meeting

09/30 Attended Stroll Through the Renaissance Event

10/03 Attended Pre-Bid Conference for CDBG Grant Project.

10/04 Attended North Houston Association meeting in Magnolia.

10/05 Attended National Night Out Event in Unity Park.

I have attached a 2 - page Financial Summary

Don Doering

**City of Magnolia
Financial Summary
September 30, 2023
100% of Fiscal Year**

	Budgeted	Actual	Percent
General Fund			
Revenue	\$6,984,169	\$6,173,576	88%
Expenses	\$6,197,697	\$5,774,567	93%
Water & Sewer Fund			
Revenue	\$12,013,971	\$10,844,980	90%
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Revenue	\$500,000	\$842,142	168%
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Total Expenses	\$19,055,385	\$23,052,327	121%
Total Rev - Capital P.	\$22,873,393	\$21,226,216	93%
Total Exp. - Capital P.	\$15,035,385	\$14,522,339	97%

City of Magnolia

Public Works Report

Sep-23

		# Worked/Completed		
AFTER HOURS CALLS		10		
Water leaks		10		
Water taps		53		
Sewer leaks		7		
Sewer taps		53		
Description		# Worked/Completed		
Hydrants/Blow-offs done		6		
Lift station CALLED IN REPAIRS		4		
Lift Station repairs by PW		0		
Street signs		2		
Street patching		6		
Turn Off's/Turn On's		51	87	
Mowed		see	tracker	NONE
Work orders completed		248		
Shop work Description				
PD Vehicle repairs Svenni		2		
PD Oil changes Svenni		1		
PW Vehicle Work Orders		8		
PW Vehicle Oil changes		0		
TOTAL		11		
		<i>This year</i>	<i>Last Year</i>	
		Sep-23	Sep-22	Difference
Gallons pumped well#1		4,631.000	3,346.000	1,285.000
Gallons pumped well#2		5,314.000	3,483.000	1,831.000
Gallons pumped well#3		41,987.000	28,978.000	9,256.000
Gallons pumped well#4		4,769.000	n/a	4,769.000
Total for the month for all 3		56,701.000	35,807.000	20,894.000
Sewer plants inspected 7 days a week by law				
		<i>Current yr.</i>	<i>Last yr.</i>	
		Sep-23	Sep-22	Difference
Treated gallons pumped plant#1		21,234.000	18,821.000	2,413.000
ALL METERS READ IN THOUSANDS				



CITY OF MAGNOLIA

B&W ENGINEERING REPORT

OCTOBER 10, 2023

1. CAPITAL IMPROVEMENT PLAN (CIP) PROJECTS IN DESIGN

A. Water Well No. 9

The hydrogeologic subconsultant has provided a draft report. The proposed well will be pumping from the Evangeline Aquifer and will not meet the Lone Star Groundwater Conservation District (LSGCD) spacing requirements from other nearby wells in the Evangeline and Chicot Aquifers. As the first step of the exception request, we have mailed certified letters to the well owners within 3,000 feet of the proposed well and are currently awaiting their return.

The proposed well location's 150-foot sanitary control radius extends outside of City limits. The City's sanitary control ordinance is only enforceable within City limits. Therefore, a sanitary control easement (SCE) is needed where the 150-foot radius is outside of City limits. We have revised the location of the well to have the SCE in one tract only. City Staff is continuing to work with the landowner on obtaining the easement.

We submitted the service upgrade to request to CenterPoint for the upgrade from 600A to 1200A. We anticipate a pad mount transformer will be needed for the permanent power upgrade due to Water Well No. 9. The lead time on ground transformers is currently one year.

The project schedule is dependent upon the LSGCD exception request and review process, as well as the recordation of the sanitary control easement. We will revise the schedule once enough information from agencies is obtained.

B. Water Plant No. 4 500,000-Gallon Elevated Storage Tank

We have reached out to LJA Engineering to obtain the survey and CAD files for Water Plant No. 4.

C. Sagebrush (Dogwood Patches) Sanitary Sewer Rehabilitation (CDBG Funding)

The bid opening for the Sagebrush Sanitary Sewer Rehabilitation is on Tuesday, October 10, 2023. It is our understanding Grantworks will be providing the bid results.

D. Amarillo Drive Replacement and Smith Road Repairs

Design is underway with the pavement replacement of Amarillo Drive and the widening of Smith Road. We met with City Staff on September 6 to review and discuss the project plans.

E. Metered Interconnects with Montgomery County MUD No. 131 (Audubon)

There is no update this reporting period.

The City authorized design for installation of four (4) water meters at the Audubon connections to the City's water distribution system. We received plans from Audubon and there are five (5) connections to the City's system. It is our understanding the City Attorney and City Staff are reviewing the possibility of an ordinance to require developers install and pay for interconnect meters between their public water system and the City's public water system. The topographic survey is complete, and the project is on hold. We await further direction from City Staff before proceeding.

F. Melton Street Sanitary Sewer System

As noted in the previous months, the Melton Street sanitary sewer system experiences issues after a heavy rain. We have provided recommendations to the City. No action has taken place on this line as the City indicated that they wanted the City Engineer to review this.

2. WATER PLANT NO. 3 TEMPORARY FACILITIES

The site has been connected to permanent power and installation of the permanent well pump and motor for the new Water Well No. 7, along with well controls and instrumentation, is underway. The temporary pressure system will stay in place until the upsize is complete and the well is back online.

3. CAPITAL IMPROVEMENT PLAN (CIP) PROJECTS IN CONSTRUCTION

A. Water Plant No. 2 (Kelly Road Water Plant) Ground Storage Tank and Hydropneumatic Tank Addition

Baxter & Woodman is providing limited construction phase services. City Staff is providing the majority of construction phase services including observation.

Contractor: ALLCO LLC

Contract Time / Completion Date: 270 calendar days / May 24, 2024

Contract Amount: \$1,660,950.00

The pre-construction conference was held on August 22, 2023. The contractor is underway with providing submittals. The current GST lead times are 30-36 weeks.

B. Water Well No. 8 at Water Plant No. 2 (Kelly Road Water Plant)

Contractor: Weisinger, Inc.; Site Subcontractor: Long & Son, Inc.

Contract Time / Completion Date: 290 calendar days / November 30, 2023

Contract Amount: \$2,899,500.00

The well pump and motor are in the supplier's shop. Delivery to the site is expected in 2-4 weeks. Weisinger and EAC are providing a cost proposal to reconfigure electrical service and meter to meet new CenterPoint CNP standards.



Pump bowls



Water Well No. 8 and foundation

C. Water Plant No. 3 (Guillemont Water Plant)

Phase I (Water Well No. 7)

Contractor: R & B Group, Inc.; Drilling Subcontractor: Weisinger, Inc.
Contract Time / Completion Date: 270 calendar days / June 30, 2023
Contract Amount: \$3,281,100.00

The site is connected to permanent CenterPoint power. The 500-gpm temporary pumping equipment has been removed from the well and the contractor has installed the 1,600-gpm permanent pumping equipment. We are currently awaiting 3 passing bacteriological tests in order to put the well online.

Installation of the SCADA panel and oiler panel and the tie-ins are expected to occur in early October. Startup testing is scheduled for mid-October.

It is our understanding the City has contracted a structural engineering company to review the modified footings and the HPT condition for the 20,000-gallon HPT.



Pump bowls



Pump



Permanent pump installation



Column pipe assembly

Phase II (GST, MCC Building, Generator, Detention, Site)

Baxter & Woodman is providing limited construction phase services. City Staff is providing the majority of construction phase services including observation.

Contractor: R & B Group, Inc.

Contract Time / Completion Date: 480 calendar days / November 9, 2024
600 calendar days / March 9, 2025 (generator)

Contract Amount: \$4,326,395.00

The contractor has performed clearing and grubbing and has constructed the detention pond. They have installed light pole bases and pull boxes. They are underway with submittals.



Detention pond and pilot channels



Detention pond and pilot channels

D. Nichols Sawmill WWTP Expansion

Allco, LLC is approximately 98% complete with the project. Three SCADA startups have been held with the project integrator, BLTI. Deficiency lists have been provided and the majority of items on the list have not been addressed. We continue to push the general contractor and the integrator to get this project completed.

Allco is underway with the repair work at Plant No. 2 (South Plant). Work will take 45-75 days, weather permitting.

Allco has submitted Pay Estimate No. 30 for \$53,116.00 (**attached**). This amount represents partial payment for demolition of existing pump station and electrical, seeding, site acceptance testing, power system training, ATS system training, and work per Change Order No. 4.

4. FUTURE CAPITAL IMPROVEMENT PLAN (CIP) PROJECTS

A. Future Water Plant Sites

Water Plant No. 4 (Magnolia East Water Plant, Magnolia East Municipal Utility District)

The project was bid by the current site owner and their engineer. At the time this report was prepared, pricing was being finalized for the low bidder on new plant improvements for presentation to Council.

B. Future Wastewater Treatment Plant Sites

There is no additional information this reporting period.

C. WWTP Expansion to 2.00 MGD (TWDB State Revolving Funds)

The application was for financial assistance in the amount of \$10,675,000. The TWDB approved the financial assistance request on September 14, 2023, along with \$1,000,000 in principal forgiveness. It is anticipated the transaction will close in December 2023.

5. EVALUATION OF EXISTING 0.30 MGD PLANT (TREATMENT UNIT 1; NORTH PLANT)

The Treatment Unit No. 1 evaluation report was provided to City Staff for review on September 5, 2023. The report calculated that Treatment Unit No. 1 is capable of treating 0.25 MGD.

Treatment Unit 2 will be rehabilitated and put back online as part of the current WWTP Expansion to 1.30 MGD project.

6. REGULATORY COMPLIANCE PROJECTS

A. Sanitary Sewer Overflow (SSO) Initiative (TCEQ)

SSO Initiative Plan

The report was submitted to the TCEQ on January 31, 2022. In June, the TCEQ indicated they expect to schedule a call soon to discuss any potential revisions. We followed up on July 18th and have not yet received a response.

B. Lead and Copper Rule Revisions (EPA)

The compliance date for the Lead and Copper Rule Revisions (LCRR) is October 16, 2024. It is our understanding City Staff is handling the compliance.

C. Lone Star Groundwater Conservation District (LSGCD) Permit

We continue to work with LSGCD on amending the operating permit.

7. PLANNING PROJECTS

A. Water Master Plan and Wastewater Master Plan

We are in discussions with the City Engineer regarding scope of work and information needed for the Water Master Plan and Wastewater Master Plan updates.

B. Master Thoroughfare Plan

The draft report was provided to City Staff on August 10, 2023. Comments will be incorporated once received. The Master Thoroughfare Plan is planned for approval at a future Planning and Zoning Commission meeting and a future City Council Meeting.

C. City Limits, ETJ, and Zoning Map

The proposed zoning layer changes, as drafted in UDC Chapter 2: Zoning and Land Uses, have been drawn and were sent to City Staff and the UDC Task Force on August 15. Comments will be incorporated once received. The zoning map will need to be approved in conjunction with the updated UDC.

Currently, the City's CCN does not cover the entire City boundary. The City should consider updating CCN to cover the City limits.

D. Unified Development Code (UDC)

The proposed UDC was sent to City Staff and the UDC Task Force for review on August 15. They are currently providing a thorough review of the documents. Comments will be incorporated once received. The zoning map, as mentioned under Item C above, and the UDC are planned for approval at a future Planning and Zoning Commission meeting and a future City Council Meeting.

8. FUNDING FOR PROJECTS

A. TWDB State Revolving Funds (SRF) for 0.75 MGD Wastewater Treatment Plant Expansion

This item is reported on under Item 4.C. WWTP Expansion to 2.00 MGD.

B. American Rescue Plan Act of 2021 (ARPA) Funding

Construction contracts must be underway by December 31, 2024, and all ARPA funds must be spent by December 31, 2026. The proposed projects include:

- Water Plant No. 1 212,000-Gallon GST rehabilitation
- Water Plant No. 1 100,000-Gallon EST rehabilitation
- Water Plant No. 2 200,000-Gallon GST rehabilitation

It is recommended to wait until Water Plant No. 3 (Guillemont) Phase II comes online as well as the Water Plant No. 2 (Kelly Road) new GST is constructed before taking GSTs and ESTs offline for these rehabilitations.

C. Water Infrastructure Finance and Innovation Act (WIFIA)

WIFIA funding is administered through the EPA. It accelerates national and regional water and wastewater infrastructure through long-term, low-cost supplemental loans for credit assistance.

D. Water Plants

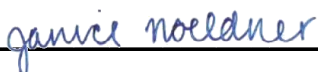
GrantWorks, Inc. provided two options through the Texas Water Development Board (TWBD): the Rural Water Assistance Fund (RAWF) and the Drinking Water State Revolving Fund (DWSRF).

9. DEVELOPMENT AND PLAN REVIEWS

We are only performing plan reviews on projects we performed the original plan reviews on. The City Engineer is performing plan reviews on all new projects.

10. GENERAL ITEMS

- The following GIS updates occurred this reporting period:
 - Magnolia Village Section 1: We have received GIS files.
 - Magnolia Village Section 2: We have received GIS files and await a PDF of the record drawings before adding the utilities to the GIS.
 - Utility Extension to Serve Box Store: We have fixed these utility locations in GIS.
 - Audubon: We have received plans for the remaining Audubon developments.
 - Timber Hollow: Water and sanitary have been added, and storm will be added.
 - The linework and appurtenances for the majority of the utilities are in. We are underway with adding attributes for all this work (installation year, pipe size, pipe material, etc.)



Janice C. Noeldner, P.E.
Senior Project Manager

Baxter & Woodman, Inc.
TBPELS Registration No. F-21783

Attachments

August 7, 2023

Timothy W. Robertson, PE
City Engineer
City of Magnolia
18111 Buddy Riley Blvd
Magnolia, Texas 77354

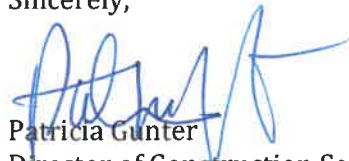
***Subject: Pay Estimate No. 30
Wastewater Treatment Plant Expansion***

Dear Mr. Robertson:

Baxter & Woodman is presenting **Pay Estimate No. 30** in the amount of **\$53,116.00** for the above referenced project for your review. This amount represents partial payment for demolition of existing pump station and electrical, seeding, site acceptance testing, power system training, ATS system training, and work per Change Order No. 4. The work completed to date appears to have been performed in general conformance with the plans and specifications. Payment to the contractor is recommended at this time. A two percent (2%) retainage has been withheld in accordance with the contract requirements.

Should you have any questions, please feel free to contact me at 346-249-8582.

Sincerely,



Patricia Gunter
Director of Construction Services

BAXTER & WOODMAN, INC.
CONSULTING ENGINEERS
TBPELS REGISTRATION NO. F21783

xc: Mr. Don Doering – City of Magnolia
Mr. Michael A. Kurzy, PE – Baxter & Woodman, Inc.
Mr. Daniel Ramos, PE – Baxter & Woodman, Inc.
Mr. Keith Bohack – Baxter & Woodman, Inc.
Mr. Kyle Helvey – Baxter & Woodman, Inc.

APPLICATION FOR PAYMENT

OWNER: CITY OF MAGNOLIA PROJECT: WWTP EXPANSION
 CONTRACTOR: ALLCO, LLC CONTRACT: 3-2019
 FOR PERIOD ENDING: 4/31/23 PAYMENT APPLICATION DATE: Apr-23
 PAYMENT APPLICATION NO: 30

CONTRACT AMOUNT

ORIGINAL CONTRACT AMOUNT	\$	<u>9,974,000.00</u>
PLUS: ADDITIONS TO CONTRACT	\$	<u>119,685.00</u>
LESS: DEDUCTIONS FROM CONTRACT	\$	<u>(\$122,378.77)</u>
ADJUSTED CONTRACT AMOUNT TO DATE	\$	<u>9,971,306.23</u>

WORK PERFORMED

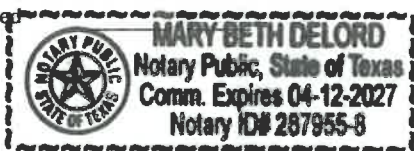
COST OF WORK COMPLETED	\$	<u>9,265,582.88</u>
PLUS MATERIALS STORED (ATTACHED SCHEDULE)	\$	<u>\$0.00</u>
NET AMOUNT EARNED TO DATE	\$	<u>9,265,582.88</u>
LESS AMOUNT OF RETAINAGE	\$	<u>185,311.66</u>
SUBTOTAL	\$	<u>9,080,271.22</u>
LESS PREVIOUS PAYMENTS	\$	<u>9,027,155.23</u>
AMOUNT DUE THIS APPLICATION	\$	<u>53,116.00</u>

CONTRACTOR'S Certification:

The undersigned Contractor certifies that: (1) all previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with Work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear of Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest of encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Required lien waivers attached

Date:



By [Signature] ALLCO, LLC
 CONTRACTOR
 (Authorized Signature)
 By Brandon Harrison
 (Print Name)

Sworn to and subscribed before me on the 5th day of May, 2023
Mary Beth Delord
 (Notary Public in and for the State of Texas)

Payment of the above AMOUNT DUE THIS APPLICATION is approved by

Payment of the above AMOUNT DUE THIS APPLICATION is recommended by

Dated _____, _____ CITY OF MAGNOLIA
 By _____
 (Authorized Signature-OWNER)
 By _____
 (Print Name)

Dated Sept 13, 2023 BAXTER & WOODMAN, INC.
 By [Signature]
 (Authorized Signature)
 By PATRICIA GUNTOR
 (Print Name)

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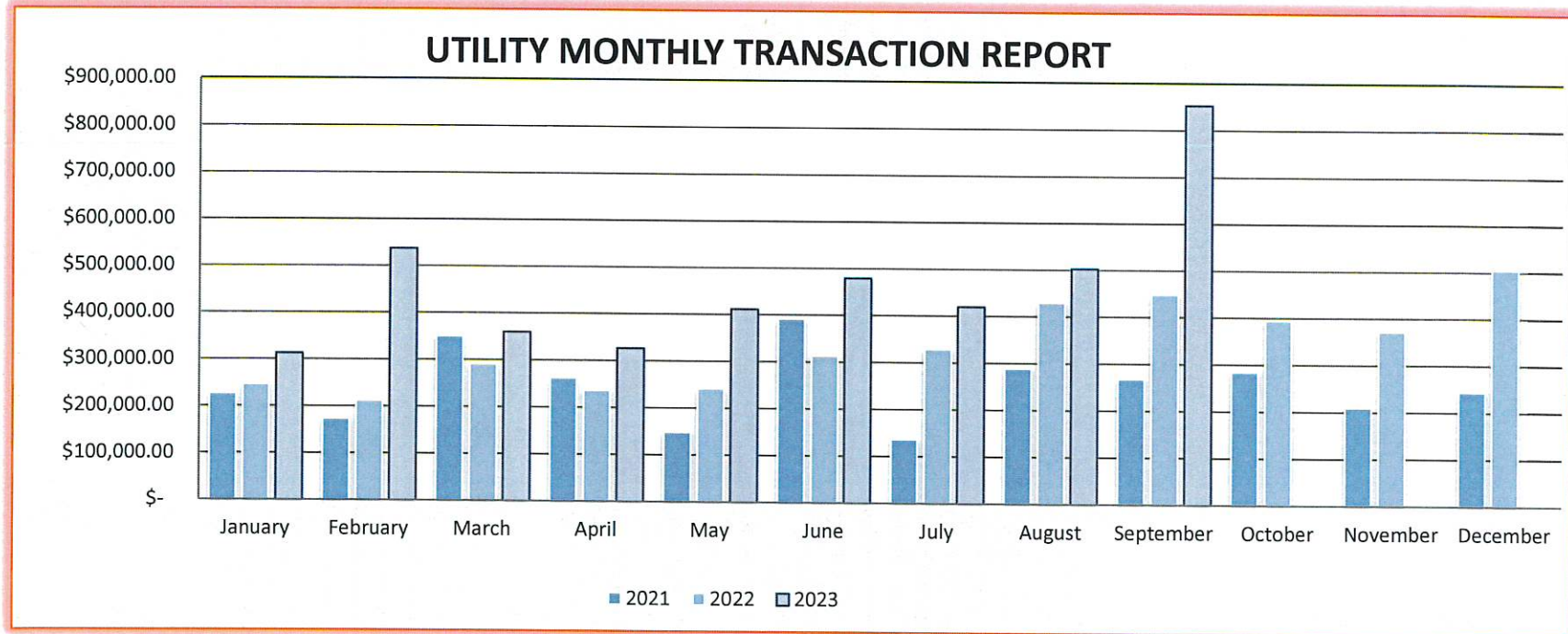
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Total Exp. - Capital P.	\$15,035,385	\$14,522,339	97%

UTILITY MONTHLY TRANSACTION REPORT (does not include draft pmts)

Month	Payment Count	Amount	Month	Payment Count	Amount	% INCREASE
January-22	1433	\$ 246,376.57	January-23	2064	\$ 312,351.20	26.78%
February-22	1434	\$ 211,985.98	February-23	2223	\$ 537,138.57	153.38%
March-22	1722	\$ 290,923.49	March-23	2399	\$ 359,496.69	23.57%
April-22	1599	\$ 236,466.73	April-23	2162	\$ 325,869.78	37.81%
May-22	1601	\$ 241,277.44	May-23	2327	\$ 411,726.89	70.64%
June-22	1742	\$ 312,687.47	June-23	1992	\$ 479,125.36	53.23%
July-22	1849	\$ 328,967.56	July-23	2293	\$ 419,490.40	27.52%
August-22	1985	\$ 429,740.87	August-23	2291	\$ 502,216.81	16.87%
September-22	2059	\$ 448,301.48	September-23	2383	\$ 852,649.53	90.20%
October-22	2169	\$ 393,764.08	October-23			-100.00%
November-22	2070	\$ 371,611.87	November-23			-100.00%
December-22	2243	\$ 504,803.99	December-23			-100.00%
AVG	1826	\$ 334,742.29	AVG	2237	\$ 466,673.91	39.41%



DEPARTMENT	FUND	VENDOR NAME	DATE	DESCRIPTION	AMOUNT			
NON-DEPARTMENTAL	GENERAL FUND	INTERNAL REVENUE SERVICE	9/01/23	FEDERAL INCOME TAX W/H	7,079.21			
			9/14/23	FEDERAL INCOME TAX W/H	7,640.76			
			9/27/23	FEDERAL INCOME TAX W/H	7,224.34			
			9/01/23	FICA WITHHOLDING	5,745.22			
			9/14/23	FICA WITHHOLDING	6,017.49			
			9/27/23	FICA WITHHOLDING	5,806.40			
			9/01/23	MEDICARE WITHHOLDING	1,343.63			
			9/14/23	MEDICARE WITHHOLDING	1,407.30			
			9/27/23	MEDICARE WITHHOLDING	1,357.92			
			9/01/23	TX CHILD SUPPORT DISBURSEMENT UNIT #201127387-0012459516 - HU	325.38			
			9/14/23	#201127387-0012459516 - HU	325.38			
			9/27/23	#201127387-0012459516 - HU	325.38			
			9/26/23	HUMANA HLTH PLN TEXAS	4,288.84			
			9/12/23	A.E.I. ENGINEERING 0250051	1,440.00			
			9/12/23	0250054	615.00			
			9/12/23	0250058	495.00			
			9/12/23	0250060	1,530.00			
			9/12/23	0250061	955.00			
			9/12/23	CALIFORNIA STATE DISBURSEMENT UNIT CASE ID200000002223575-FON	372.92			
			9/27/23	CASE ID200000002223575-FON	372.92			
			9/26/23	AFLAC SEPTEMBER PREMIUMS	490.76			
				TOTAL:	55,158.85			
			ADMINISTRATION	GENERAL FUND	INTERNAL REVENUE SERVICE	9/01/23	FICA WITHHOLDING	963.91
						9/14/23	FICA WITHHOLDING	992.76
						9/27/23	FICA WITHHOLDING	1,030.76
						9/01/23	MEDICARE WITHHOLDING	225.43
						9/14/23	MEDICARE WITHHOLDING	232.18
						9/27/23	MEDICARE WITHHOLDING	241.07
						9/12/23	AMERICAN EXPRESS LA HACIENDA	259.50
						9/12/23	HEB COOKIES	22.83
9/12/23	HEB TEA	5.48						
9/12/23	POSTAGE	4.67						
9/12/23	ADOBE	21.44						
9/12/23	PAPER CLIPS	16.95						
9/12/23	ADOBE	21.44						
9/12/23	TRF BANNERS	950.00						
9/12/23	SHIRTS (TIM R)	126.00						
9/12/23	CANVA	12.99						
9/12/23	STAMPS	10.00						
9/12/23	LEGISLATIVE UPDATE	75.00						
9/12/23	LAMP	254.23						
9/26/23	MEATING PLACE	240.00						
9/26/23	FRUIT, CHIPS, TEA	18.96						
9/26/23	ADOBE	21.44						
9/26/23	ADOBE	21.44						
9/26/23	CANVA	12.99						
9/26/23	POSTAGE	28.75						
9/26/23	PENS, INK	47.89						
9/26/23	FOOD COUNCIL MEETING	67.53						
9/26/23	TEA	6.78						
9/26/23	BUSINESS CARDS TIM R	58.45						
9/26/23	CHRISTMAS	5,411.86						
9/26/23	CHRISTMAS	1,833.25						
9/26/23	CHRISTMAS	179.38						
9/12/23	BUREAU VERITAS NORTH AMERICA, INC. 23040093	1,799.69						

01 -GENERAL FUND
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	GENERAL AND ADMINISTRATIV	5,593,937.00	517,779.23	4,721,315.36	84.40	872,621.64
	POLICE	17,671.68	0.00	8,191.02	46.35	9,480.66
	COURTS	340,500.00	15,009.59	418,492.91	122.91	(77,992.91)
	INTRA-FUND TRANSFERS IN	<u>1,032,060.00</u>	<u>225.08</u>	<u>1,025,576.82</u>	<u>99.37</u>	<u>6,483.18</u>
***	TOTAL REVENUES ***	<u>6,984,168.68</u>	<u>533,013.90</u>	<u>6,173,576.11</u>	<u>88.39</u>	<u>810,592.57</u>
<u>EXPENDITURE SUMMARY</u>						
	CITY HALL / ADMIN	1,679,784.00	119,791.17	1,454,167.72	86.57	225,616.28
	POLICE	2,132,257.00	168,852.70	2,075,765.19	97.35	56,491.81
	PUBLIC WORKS	1,509,132.00	107,956.50	1,411,345.69	93.52	97,786.31
	MUNICIPAL COURT	229,871.00	12,418.91	201,273.94	87.56	28,597.06
	FINANCE	303,559.00	23,620.81	293,595.76	96.72	9,963.24
	CITY SECRETARY	111,514.00	7,556.45	79,484.47	71.28	32,029.53
	FACILITES	98,500.00	6,701.74	103,261.88	104.83	(4,761.88)
	CITY COUNCIL	53,630.00	4,119.46	51,151.20	95.38	2,478.80
	PARKS	<u>79,450.00</u>	<u>6,630.17</u>	<u>104,520.82</u>	<u>131.56</u>	<u>(25,070.82)</u>
***	TOTAL EXPENDITURES ***	<u>6,197,697.00</u>	<u>457,647.91</u>	<u>5,774,566.67</u>	<u>93.17</u>	<u>423,130.33</u>
***	REVENUES OVER/(UNDER) EXPENDITURES *	<u>786,471.68</u>	<u>75,365.99</u>	<u>399,009.44</u>	<u>50.73</u>	<u>387,462.24</u>

01 -GENERAL FUND
 REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
REVENUE						
GENERAL AND ADMINISTRATIV						
40102	Gen/Admin. Donations	0.00	550.00	575.00	0.00	(575.00)
40102.06	COMMUNITY EVENTS	11,568.00	0.00	0.00	0.00	11,568.00
40104	Liquor License Fee	500.00	0.00	530.00	106.00	(30.00)
40105	Ad Valorem Tax Revenue	580,869.00	6,043.67	558,324.81	96.12	22,544.19
40107	Mix Beverage Tax Revenue	30,000.00	2,707.60	33,615.21	112.05	(3,615.21)
40110	Wrecker Permit Fees	1,000.00	0.00	907.00	90.70	93.00
40116	Sales Tax Revenue	3,000,000.00	206,591.08	2,394,567.85	79.82	605,432.15
40116.01	CONTRA SALES TAX ABATEMENTS (	850,000.00)	0.00	(38,723.59)	4.56	(811,276.41)
40117	Misc. Income	21,000.00	2,984.61	29,063.37	138.40	(8,063.37)
40117.01	UNITY PARK RENTAL	4,000.00	350.00	6,514.69	162.87	(2,514.69)
40118	License and Permits	2,500,000.00	263,885.70	1,426,923.24	57.08	1,073,076.76
40119	Sign Permit Revenue	6,000.00	590.00	7,425.00	123.75	(1,425.00)
40120	Franchise Tax Revenue	260,000.00	30,926.57	288,467.78	110.95	(28,467.78)
40133	Plat Fee Revenue	25,000.00	3,150.00	13,125.00	52.50	11,875.00
40199	DELINQ PROP TAX/PENALTIES/INT	4,000.00	0.00	0.00	0.00	4,000.00
TOTAL GENERAL AND ADMINISTRATIV		5,593,937.00	517,779.23	4,721,315.36	84.40	872,621.64

POLICE						
40204	Police Dept- Grants	8,171.68	0.00	8,171.68	100.00	0.00
40209	Police Grant - TAPEIT	0.00	0.00	500.00	0.00	(500.00)
40224	Asset Forfeitures	9,500.00	0.00	(480.66)	5.06	9,980.66
TOTAL POLICE		17,671.68	0.00	8,191.02	46.35	9,480.66

STREETS						
COURTS						
40401	Summoning Jury Fee	0.00	(20.82)	(4.22)	0.00	4.22
40402	Indigent Defense Fee Income	0.00	(14.98)	(4.98)	0.00	4.98
40403	Judicial Fee / City	0.00	(5.70)	(1.50)	0.00	1.50
40404	Judicial Fee / County	0.00	(40.46)	13.74	0.00	(13.74)
40405	State Jury Fee	0.00	(37.97)	4,285.77	0.00	(4,285.77)
40407	OMNI Revenue	2,000.00	(206.00)	1,580.81	79.04	419.19
40409	Warrant Fee Revenue	20,000.00	1,222.95	14,647.40	73.24	5,352.60
40410	Traffic Fine Revenue	250,000.00	1,316.27	273,305.00	109.32	(23,305.00)
40413	Bond Escrow/Bond Refund	35,000.00	620.59	3,450.67	9.86	31,549.33
40414	C.O.L.A.G.Y.	32,000.00	2,213.69	24,052.69	75.16	7,947.31
40416	Child Safety (School Zone)	0.00	25.00	171.23	0.00	(171.23)
40417	Civil Justice Fee	0.00	(0.18)	317.61	0.00	(317.61)
40418	Arrest Fees	0.00	1,148.89	2,114.24	0.00	(2,114.24)
40423	Bond	0.00	7,690.74	82,366.05	0.00	(82,366.05)
40424	Truancy Prevention Fund-City	1,500.00	1,112.54	12,208.36	813.89	(10,708.36)
40425	Truancy Prevention Fund-State	0.00	(14.97)	(9.96)	0.00	9.96
TOTAL COURTS		340,500.00	15,009.59	418,492.91	122.91	(77,992.91)

01 -GENERAL FUND
 REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>CITY MARSHALL</u>						
<u>PROJECT REVENUE</u>						
<u>RESTRICTED ACCOUNTS</u>						
<u>INTRA-FUND TRANSFERS IN</u>						
49902	Intra-Fund Transfer (02)	1,021,695.00	0.00	1,021,695.00	100.00	0.00
49906	Intra-Fund Transfer 4B (06)	8,000.00	225.08	3,291.24	41.14	4,708.76
49907	Intra-Fund Transfer 4A (07)	<u>2,365.00</u>	<u>0.00</u>	<u>590.58</u>	<u>24.97</u>	<u>1,774.42</u>
TOTAL INTRA-FUND TRANSFERS IN		1,032,060.00	225.08	1,025,576.82	99.37	6,483.18
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*** TOTAL REVENUE ***		6,984,168.68	533,013.90	6,173,576.11	88.39	810,592.57
		=====	=====	=====	=====	=====

01 -GENERAL FUND
 CITY HALL / ADMIN
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
501501	Salaries	264,013.00	32,599.09	227,010.93	85.98	37,002.07
501502	Car Allowance	12,000.00	461.54	6,000.02	50.00	5,999.98
501503	Overtime	2,000.00	678.04	1,631.82	81.59	368.18
501515	Longevity	175.00	0.00	255.00	145.71	(80.00)
501516	T.E.C.	540.00	0.00	18.00	3.33	522.00
501517	T.M.R.S.	12,884.00	2,248.91	9,816.73	76.19	3,067.27
501518	Worker's Comp.	675.00	0.00	300.04	44.45	374.96
501526	Insurance (Med/Den/Life/Vis.)	42,327.00	2,639.34	26,230.62	61.97	16,096.38
501536	Payroll Tax (F.I.C.A.)	24,724.00	3,686.11	16,884.46	68.29	7,839.54
501543	Educ., Travel & Cert.	3,000.00	75.00	1,676.13	55.87	1,323.87
501547	Drug Test	100.00	0.00	0.00	0.00	100.00
501550	Dues & Memberships	<u>1,620.00</u>	<u>0.00</u>	<u>1,718.00</u>	<u>106.05</u>	<u>(98.00)</u>
TOTAL PERSONNEL SERVICES		364,058.00	42,388.03	291,541.75	80.08	72,516.25

<u>CONTRACTUAL EXPENSES</u>						
501625	Maintenance & Repair Vehicles	2,000.00	0.00	58.75	2.94	1,941.25
501629	Inspection Services	430,000.00	49,675.70	388,008.74	90.23	41,991.26
501632	Consultant/Contract Services	29,720.00	2,060.00	35,640.67	119.92	(5,920.67)
501640	Legal	80,000.00	10,933.14	89,240.33	111.55	(9,240.33)
501640.02	LEGAL - TX LEGISLATURE MONITO	30,000.00	0.00	5,350.00	17.83	24,650.00
501641	Accounting	18,585.00	0.00	18,677.96	100.50	(92.96)
501643	Engineering	600,000.00	2,626.25	517,325.79	86.22	82,674.21
501670	Rental of Office Equipment	6,200.00	374.14	5,925.34	95.57	274.66
501673	Computer Software (S/W)	42,611.00	128.69	23,543.14	55.25	19,067.86
501674	Posting / Advertising	0.00	0.00	(222.34)	0.00	222.34
501677	Computer Asst (IT Services)	<u>15,000.00</u>	<u>1,221.25</u>	<u>18,779.00</u>	<u>125.19</u>	<u>(3,779.00)</u>
TOTAL CONTRACTUAL EXPENSES		1,254,116.00	67,019.17	1,102,327.38	87.90	151,788.62

<u>MISCELLANIOUS EXPENSES</u>						
501744	Minor Equipment	1,000.00	0.00	1,322.64	132.26	(322.64)
501766	Office Supplies	5,000.00	486.57	8,495.51	169.91	(3,495.51)
501768	Planning Comm. Expenses	16,400.00	0.00	7,327.95	44.68	9,072.05
501774	Phones & Communication Equip.	960.00	446.57	3,200.78	333.41	(2,240.78)
501775	Ref. Books, Reports, Subscrip	1,000.00	0.00	100.00	10.00	900.00
501778	Flower Fund	750.00	0.00	232.62	31.02	517.38
501779	Morale/Welfare	<u>1,000.00</u>	<u>0.00</u>	<u>19.98</u>	<u>2.00</u>	<u>980.02</u>
TOTAL MISCELLANIOUS EXPENSES		26,110.00	933.14	20,699.48	79.28	5,410.52

<u>EXPENSES (Continued)</u>						
501800	Bank Fees	2,000.00	60.00	135.00	6.75	1,865.00
501806	City Administrator's Fund	3,000.00	621.08	3,966.36	132.21	(966.36)
501807	Community Special Events	27,000.00	8,374.49	26,516.64	98.21	483.36
501807.06	COMMUNITY EVENTS	0.00	0.00	782.90	0.00	(782.90)
501833	Postage	<u>3,500.00</u>	<u>395.26</u>	<u>4,620.20</u>	<u>132.01</u>	<u>(1,120.20)</u>
TOTAL EXPENSES (Continued)		35,500.00	9,450.83	36,021.10	101.47	(521.10)

01 -GENERAL FUND
CITY HALL / ADMIN
DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>CAPITAL EXPENSES</u>						
501999	DUE TO STATE PAYMENT	<u>0.00</u>	<u>0.00</u>	<u>3,578.01</u>	<u>0.00</u>	(<u>3,578.01</u>)
	TOTAL CAPITAL EXPENSES	0.00	0.00	3,578.01	0.00	(3,578.01)
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	TOTAL CITY HALL / ADMIN	1,679,784.00	119,791.17	1,454,167.72	86.57	225,616.28
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01 -GENERAL FUND
 POLICE
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
502501	Salaries	1,207,552.00	89,858.37	1,156,217.10	95.75	51,334.90
502503	Overtime	45,000.00	3,612.84	46,204.65	102.68	(1,204.65)
502515	Longevity	7,000.00	0.00	6,855.00	97.93	145.00
502516	T.E.C.	4,140.00	0.00	43.50	1.05	4,096.50
502517	T.M.R.S.	60,734.00	6,742.36	53,816.75	88.61	6,917.25
502518	Worker's Comp.	30,000.00	0.00	28,164.05	93.88	1,835.95
502526	Insurance (Med/Den/Life/Vis.)	324,510.00	27,251.67	303,560.94	93.54	20,949.06
502536	Payroll Tax (F.I.C.A.)	95,208.00	10,431.26	90,132.14	94.67	5,075.86
502543	Educ., Travel & Cert.	20,000.00	2,422.08	26,139.55	130.70	(6,139.55)
502544	State P.D. Education	0.00	0.00	(387.91)	0.00	387.91
502547	Drug Test	600.00	35.00	546.00	91.00	54.00
502550	Dues, Promotions & Membership	<u>3,000.00</u>	<u>210.57</u>	<u>9,667.04</u>	<u>322.23</u>	<u>(6,667.04)</u>
	TOTAL PERSONNEL SERVICES	1,797,744.00	140,564.15	1,720,958.81	95.73	76,785.19
<u>CONTRACTUAL EXPENSES</u>						
502604	Police Department Cell Phones	12,000.00	1,596.87	16,705.37	139.21	(4,705.37)
502625	Maintenance & Repair/Vehicles	35,000.00	3,232.53	37,568.38	107.34	(2,568.38)
502630	Outside Services	2,500.00	21.32	3,272.54	130.90	(772.54)
502634	Maint. & Repair Office Equip.	500.00	0.00	421.05	84.21	78.95
502637	Radios	19,100.00	0.00	20,604.14	107.88	(1,504.14)
502670	Copy Machine / Lease of O.E.	4,000.00	257.07	3,648.11	91.20	351.89
502673	Computer Software	38,398.00	376.44	40,514.24	105.51	(2,116.24)
502677	IT Services	<u>14,000.00</u>	<u>315.00</u>	<u>10,298.19</u>	<u>73.56</u>	<u>3,701.81</u>
	TOTAL CONTRACTUAL EXPENSES	125,498.00	5,799.23	133,032.02	106.00	(7,534.02)
<u>MISCELLANIOUS EXPENSES</u>						
502744	Minor Equipment	9,000.00	33.90	2,216.60	24.63	6,783.40
502760	Fuel	65,000.00	10,813.38	76,542.44	117.76	(11,542.44)
502762	Uniforms & Badges	23,000.00	8,422.60	32,301.47	140.44	(9,301.47)
502766	Office Supplies	7,450.00	1,594.44	12,789.62	171.67	(5,339.62)
502769	Evidence Supplies	2,750.00	0.00	2,467.15	89.71	282.85
502770	Special Operations	1,500.00	314.00	604.25	40.28	895.75
502773	SPECIAL OPERATIONS	<u>0.00</u>	<u>0.00</u>	<u>113.98</u>	<u>0.00</u>	<u>(113.98)</u>
	TOTAL MISCELLANIOUS EXPENSES	108,700.00	21,178.32	127,035.51	116.87	(18,335.51)
<u>EXPENSES (Continued)</u>						
502827	Fleet Insurance - TML	23,000.00	1,311.00	19,678.50	85.56	3,321.50
502828	Law Enforcement Liability	15,000.00	0.00	10,347.69	68.98	4,652.31
502833	Postage	<u>200.00</u>	<u>0.00</u>	<u>94.78</u>	<u>47.39</u>	<u>105.22</u>
	TOTAL EXPENSES (Continued)	38,200.00	1,311.00	30,120.97	78.85	8,079.03
<u>CAPITAL EXPENSES</u>						
502921	Radios	1,000.00	0.00	430.00	43.00	570.00
502922	Tasers	8,500.00	0.00	10,086.38	118.66	(1,586.38)
502951	Motor Vehicles	<u>52,615.00</u>	<u>0.00</u>	<u>54,101.50</u>	<u>102.83</u>	<u>(1,486.50)</u>
	TOTAL CAPITAL EXPENSES	62,115.00	0.00	64,617.88	104.03	(2,502.88)
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TOTAL POLICE		2,132,257.00	168,852.70	2,075,765.19	97.35	56,491.81
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01 -GENERAL FUND
 PUBLIC WORKS
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
503501	Salary	621,010.00	47,006.98	607,801.60	97.87	13,208.40
503503	Overtime	20,000.00	1,470.52	21,339.73	106.70	(1,339.73)
503515	Longevity	1,190.00	0.00	1,040.00	87.39	150.00
503516	T.E.C.	3,420.00	0.00	58.82	1.72	3,361.18
503517	T.M.R.S.	36,219.00	3,533.99	28,382.48	78.36	7,836.52
503518	Worker's Comp.	25,000.00	0.00	23,765.71	95.06	1,234.29
503526	Insurance (Med/Den/Life/Vis.)	268,074.00	18,173.68	225,891.69	84.26	42,182.31
503536	Payroll Tax (F.I.C.A.)	56,778.00	5,281.27	47,160.75	83.06	9,617.25
503543	Educ., Travel & Cert.	5,000.00	0.00	3,837.50	76.75	1,162.50
503547	Drug Test	<u>500.00</u>	<u>140.00</u>	<u>595.00</u>	<u>119.00</u>	(<u>95.00</u>)
TOTAL PERSONNEL SERVICES		1,037,191.00	75,606.44	959,873.28	92.55	77,317.72
<u>CONTRACTUAL EXPENSES</u>						
503604	Electric (Street Lights)	160,000.00	4,213.98	126,145.62	78.84	33,854.38
503605	Cell Phones	5,500.00	1,096.59	9,670.16	175.82	(4,170.16)
503625	Maintenance & Repair/Vehicle	10,000.00	68.07	11,142.17	111.42	(1,142.17)
503632	Contract/Consulting Services	4,500.00	0.00	6,101.27	135.58	(1,601.27)
503633	Maint & Repair Equip.-Heavy	4,000.00	634.90	6,070.50	151.76	(2,070.50)
503655	Street Signs & Flags	3,000.00	287.26	2,831.30	94.38	168.70
503663	Rental of Equipment	<u>3,000.00</u>	<u>0.00</u>	<u>1,028.84</u>	<u>34.29</u>	<u>1,971.16</u>
TOTAL CONTRACTUAL EXPENSES		190,000.00	6,300.80	162,989.86	85.78	27,010.14
<u>MISCELLANEOUS EXPENSES</u>						
503700	Gen Supplies	11,300.00	2,470.11	26,560.18	235.05	(15,260.18)
503744	Minor Tools & Equipment	20,000.00	680.04	9,323.89	46.62	10,676.11
503749	Street Supplies	1,000.00	0.00	0.00	0.00	1,000.00
503760	Fuel	59,000.00	4,576.01	64,966.12	110.11	(5,966.12)
503761	Tires and Tubes	3,000.00	310.00	2,825.00	94.17	175.00
503762	Uniforms & Badges	<u>15,000.00</u>	<u>1,439.83</u>	<u>13,914.09</u>	<u>92.76</u>	<u>1,085.91</u>
TOTAL MISCELLANEOUS EXPENSES		109,300.00	9,475.99	117,589.28	107.58	(8,289.28)
<u>EXPENSES (Continued)</u>						
503827	Fleet Insurance - TML	<u>10,000.00</u>	<u>7,277.14</u>	<u>16,366.64</u>	<u>163.67</u>	(<u>6,366.64</u>)
TOTAL EXPENSES (Continued)		10,000.00	7,277.14	16,366.64	163.67	(6,366.64)
<u>CAPITAL EXPENSES</u>						
503940	Mowers & Edgers	32,000.00	0.00	30,383.00	94.95	1,617.00
503945	Other Equipment	0.00	8,184.00	8,184.00	0.00	(8,184.00)
503951	Motor Vehicles	<u>130,641.00</u>	<u>1,112.13</u>	<u>115,959.63</u>	<u>88.76</u>	<u>14,681.37</u>
TOTAL CAPITAL EXPENSES		162,641.00	9,296.13	154,526.63	95.01	8,114.37
TOTAL PUBLIC WORKS		1,509,132.00	107,956.50	1,411,345.69	93.52	97,786.31

01 -GENERAL FUND
 MUNICIPAL COURT
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
504501	Salaries	90,927.00	6,090.05	95,491.47	105.02	(4,564.47)
504503	Overtime	3,000.00	109.29	1,454.66	48.49	1,545.34
504515	Longevity	515.00	0.00	515.00	100.00	0.00
504516	T.E.C.	360.00	0.00	3.09	0.86	356.91
504517	T.M.R.S.	4,609.00	460.35	4,318.67	93.70	290.33
504518	Worker's Comp.	232.00	0.00	180.70	77.89	51.30
504526	Insurance (Med/Den/Life/Vis.)	28,218.00	0.00	28,212.38	99.98	5.62
504536	Payroll Tax (F.I.C.A.)	7,225.00	707.01	7,381.67	102.17	(156.67)
504543	Educ.,Travel & Cert.	1,500.00	(50.00)	2,324.81	154.99	(824.81)
504547	Drug Test	35.00	35.00	35.00	100.00	0.00
504550	Dues & Memberships	<u>200.00</u>	<u>0.00</u>	<u>185.00</u>	<u>92.50</u>	<u>15.00</u>
TOTAL PERSONNEL SERVICES		136,821.00	7,351.70	140,102.45	102.40	(3,281.45)
<u>CONTRACTUAL EXPENSES</u>						
504632	Contract/Outside Services	13,000.00	1,091.46	12,273.26	94.41	726.74
504640	Legal	12,000.00	450.00	9,900.00	82.50	2,100.00
504670	RENTAL OF OFFICE EQUIPMENT	1,000.00	0.00	0.00	0.00	1,000.00
504673	Computer Software & Support	16,500.00	0.00	10,248.82	62.11	6,251.18
504677	Computer Asst. / IT Services	<u>5,000.00</u>	<u>218.75</u>	<u>2,989.00</u>	<u>59.78</u>	<u>2,011.00</u>
TOTAL CONTRACTUAL EXPENSES		47,500.00	1,760.21	35,411.08	74.55	12,088.92
<u>MISCELLANIOUS EXPENSES</u>						
504766	Office Supplies	5,000.00	1,992.83	7,593.05	151.86	(2,593.05)
504769	Office Equipment	2,500.00	0.00	1,999.22	79.97	500.78
504775	Ref. Books, Reports, Subscrip	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>
TOTAL MISCELLANIOUS EXPENSES		7,600.00	1,992.83	9,592.27	126.21	(1,992.27)
<u>EXPENSES (Continued)</u>						
504800	Bank Fees	250.00	0.00	0.00	0.00	250.00
504803	Over/Short Cash	0.00	(0.05)	0.95	0.00	(0.95)
504810	Court Jurors	200.00	0.00	(42.00)	21.00-	242.00
504814	C.O.L.A.G.Y.	35,000.00	1,084.23	14,484.28	41.38	20,515.72
504833	Postage	<u>2,500.00</u>	<u>229.99</u>	<u>1,724.91</u>	<u>69.00</u>	<u>775.09</u>
TOTAL EXPENSES (Continued)		37,950.00	1,314.17	16,168.14	42.60	21,781.86
<u>CAPITAL EXPENSES</u>						
TOTAL MUNICIPAL COURT		229,871.00	12,418.91	201,273.94	87.56	28,597.06

01 -GENERAL FUND
 FINANCE
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
505501	Salary	123,760.00	7,976.54	103,127.72	83.33	20,632.28
505503	Overtime	12,000.00	1,256.67	18,273.56	152.28	(6,273.56)
505506	SALARY 4B	2,400.00	184.62	2,307.75	96.16	92.25
505515	Longevity	990.00	0.00	990.00	100.00	0.00
505516	T.E.C.	540.00	0.00	10.43	1.93	529.57
505517	T.M.R.S.	4,936.00	729.28	5,502.78	111.48	(566.78)
505518	Worker's Comp	350.00	0.00	221.61	63.32	128.39
505526	Insurance (Med/Den/Life/Vis.)	28,218.00	2,596.24	30,808.62	109.18	(2,590.62)
505536	Payroll Tax (F.I.C.A.)	10,645.00	1,062.16	9,473.91	89.00	1,171.09
505543	Educ., Travel & Cert.	1,000.00	0.00	175.00	17.50	825.00
505547	Drug Test	70.00	0.00	0.00	0.00	70.00
505550	Dues & Memberships	<u>350.00</u>	<u>0.00</u>	<u>160.00</u>	<u>45.71</u>	<u>190.00</u>
	TOTAL PERSONNEL SERVICES	185,259.00	13,805.51	171,051.38	92.33	14,207.62
<u>CONTRACTUAL EXPENSES</u>						
505644	Appraisal District Fee	<u>10,000.00</u>	<u>3,451.71</u>	<u>13,806.86</u>	<u>138.07</u>	<u>(3,806.86)</u>
	TOTAL CONTRACTUAL EXPENSES	10,000.00	3,451.71	13,806.86	138.07	(3,806.86)
<u>MISCELLANIOUS EXPENSES</u>						
505766	Office Supplies	1,000.00	19.98	1,173.74	117.37	(173.74)
505769	Office Equipment	3,000.00	0.00	909.92	30.33	2,090.08
505775	Ref. Books, Reports, Subscrip	<u>200.00</u>	<u>0.00</u>	<u>30.93</u>	<u>15.47</u>	<u>169.07</u>
	TOTAL MISCELLANIOUS EXPENSES	4,200.00	19.98	2,114.59	50.35	2,085.41
<u>EXPENSES (Continued)</u>						
505800	Bank Fees	96,600.00	6,343.61	98,122.93	101.58	(1,522.93)
505820	Surety & Fidelity Bonds	<u>7,500.00</u>	<u>0.00</u>	<u>8,500.00</u>	<u>113.33</u>	<u>(1,000.00)</u>
	TOTAL EXPENSES (Continued)	104,100.00	6,343.61	106,622.93	102.42	(2,522.93)
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TOTAL FINANCE		303,559.00	23,620.81	293,595.76	96.72	9,963.24
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01 -GENERAL FUND
 CITY SECRETARY
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
506501	Salary	66,950.00	4,442.30	46,897.63	70.05	20,052.37
506503	Overtime	0.00	129.94	1,017.33	0.00	(1,017.33)
506505	CELL PHONE ALLOWANCE	300.00	0.00	69.24	23.08	230.76
506506	Salary 4B	2,100.00	0.00	484.62	23.08	1,615.38
506507	Salary 4A	2,100.00	0.00	484.62	23.08	1,615.38
506515	Longevity	125.00	0.00	0.00	0.00	125.00
506516	T.E.C.	360.00	0.00	0.00	0.00	360.00
506517	T.M.R.S.	3,494.00	330.04	2,160.76	61.84	1,333.24
506518	Workers Comp.	171.00	0.00	93.86	54.89	77.14
506526	Insurance (Med/Den/Life/Vis.)	14,109.00	1,298.12	16,568.68	117.43	(2,459.68)
506536	Payroll Tax (F.I.C.A.)	5,475.00	510.15	3,711.65	67.79	1,763.35
506543	Educ., Travel & Cert.	2,500.00	0.00	1,932.35	77.29	567.65
506547	Drug Test	35.00	0.00	0.00	0.00	35.00
506550	Dues & Memberships	<u>495.00</u>	<u>0.00</u>	<u>185.00</u>	<u>37.37</u>	<u>310.00</u>
TOTAL PERSONNEL SERVICES		98,214.00	6,710.55	73,605.74	74.94	24,608.26
<u>CONTRACTUAL EXPENSES</u>						
506673	COMPUTER SOFTWARE (S/W)	1,000.00	0.00	3,368.85	336.89	(2,368.85)
506674	Posting & Advertising	<u>10,000.00</u>	<u>845.90</u>	<u>2,438.67</u>	<u>24.39</u>	<u>7,561.33</u>
TOTAL CONTRACTUAL EXPENSES		11,000.00	845.90	5,807.52	52.80	5,192.48
<u>MISCELLANIOUS EXPENSES</u>						
506769	Office Equipment	1,000.00	0.00	24.21	2.42	975.79
506775	Magazines, Maps & Books	<u>300.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>300.00</u>
TOTAL MISCELLANIOUS EXPENSES		1,300.00	0.00	24.21	1.86	1,275.79
<u>EXPENSES (Continued)</u>						
506834	Recording Fees	<u>1,000.00</u>	<u>0.00</u>	<u>47.00</u>	<u>4.70</u>	<u>953.00</u>
TOTAL EXPENSES (Continued)		1,000.00	0.00	47.00	4.70	953.00
<u>CAPITAL EXPENSES</u>						
TOTAL CITY SECRETARY		111,514.00	7,556.45	79,484.47	71.28	32,029.53
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01 -GENERAL FUND
 FACILITIES
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>CONTRACTUAL EXPENSES</u>						
509603	Utilities / Electric	18,000.00	2,149.99	27,079.11	150.44	(9,079.11)
509605	Telephone & Internet	18,000.00	1,283.17	24,250.54	134.73	(6,250.54)
509632	Contractual Services	2,000.00	191.46	3,378.75	168.94	(1,378.75)
509633	Building/Grounds Maintenance	12,000.00	0.00	6,456.39	53.80	5,543.61
509634	Heat/AC	4,000.00	125.00	2,563.48	64.09	1,436.52
509671	Janitorial Services / Cleanin	<u>17,000.00</u>	<u>1,325.00</u>	<u>16,100.00</u>	<u>94.71</u>	<u>900.00</u>
TOTAL CONTRACTUAL EXPENSES		71,000.00	5,074.62	79,828.27	112.43	(8,828.27)
<u>MISCELLANIOUS EXPENSES</u>						
509700	Supplies (Misc.)	15,000.00	1,627.12	16,394.36	109.30	(1,394.36)
509744	Minor Equipment	<u>2,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,000.00</u>
TOTAL MISCELLANIOUS EXPENSES		17,000.00	1,627.12	16,394.36	96.44	605.64
<u>EXPENSES (Continued)</u>						
509826	Building Insurance	<u>4,500.00</u>	<u>0.00</u>	<u>2,720.76</u>	<u>60.46</u>	<u>1,779.24</u>
TOTAL EXPENSES (Continued)		4,500.00	0.00	2,720.76	60.46	1,779.24
<u>CAPITAL EXPENSES</u>						
509950	Capital-Building Improvements	<u>6,000.00</u>	<u>0.00</u>	<u>4,318.49</u>	<u>71.97</u>	<u>1,681.51</u>
TOTAL CAPITAL EXPENSES		6,000.00	0.00	4,318.49	71.97	1,681.51
TOTAL FACILITIES		98,500.00	6,701.74	103,261.88	104.83	(4,761.88)
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01 -GENERAL FUND
 CITY COUNCIL
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
510526	Insurance (Med,Dental,Vision)	43,700.00	3,959.46	47,059.23	107.69	(3,359.23)
510543	Educ., Travel & Cert.	<u>2,500.00</u>	<u>160.00</u>	<u>160.00</u>	<u>6.40</u>	<u>2,340.00</u>
TOTAL PERSONNEL SERVICES		46,200.00	4,119.46	47,219.23	102.21	(1,019.23)
<u>CONTRACTUAL EXPENSES</u>						
510604	CELL PHONES	2,880.00	0.00	1,927.22	66.92	952.78
510642	Dues & Memberships	<u>400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>400.00</u>
TOTAL CONTRACTUAL EXPENSES		3,280.00	0.00	1,927.22	58.76	1,352.78
<u>MISCELLANIOUS EXPENSES</u>						
510744	Minor Equipment	2,000.00	0.00	0.00	0.00	2,000.00
510766	Office Supplies	<u>350.00</u>	<u>0.00</u>	<u>536.52</u>	<u>153.29</u>	<u>(186.52)</u>
TOTAL MISCELLANIOUS EXPENSES		2,350.00	0.00	536.52	22.83	1,813.48
<u>EXPENSES (Continued)</u>						
510879	Elected Officials Ins. -TML	<u>1,800.00</u>	<u>0.00</u>	<u>1,468.23</u>	<u>81.57</u>	<u>331.77</u>
TOTAL EXPENSES (Continued)		1,800.00	0.00	1,468.23	81.57	331.77
<u>CAPITAL EXPENSES</u>						
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TOTAL CITY COUNCIL		53,630.00	4,119.46	51,151.20	95.38	2,478.80
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01 -GENERAL FUND

PARKS

DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
<u>CONTRACTUAL EXPENSES</u>						
511603	Utilities/Electric	3,500.00	226.73	3,211.05	91.74	288.95
511632	Contractual Services/Parks	3,000.00	0.00	2,845.00	94.83	155.00
511633	Grounds Maintenance	21,000.00	4,704.65	28,125.23	133.93	(7,125.23)
511634	Building Maintenance	3,000.00	144.00	3,944.18	131.47	(944.18)
511663	RENTAL OF EQUIPMENT	<u>3,000.00</u>	<u>0.00</u>	<u>713.06</u>	<u>23.77</u>	<u>2,286.94</u>
TOTAL CONTRACTUAL EXPENSES		33,500.00	5,075.38	38,838.52	115.94	(5,338.52)
<u>MISCELLANIOUS EXPENSES</u>						
511700	Supplies	11,500.00	1,554.79	13,170.18	114.52	(1,670.18)
511744	Minor Tools & Equipment	<u>6,400.00</u>	<u>0.00</u>	<u>5,978.05</u>	<u>93.41</u>	<u>421.95</u>
TOTAL MISCELLANIOUS EXPENSES		17,900.00	1,554.79	19,148.23	106.97	(1,248.23)
<u>EXPENSES (Continued)</u>						
511826	Property Insurance-TML	<u>2,200.00</u>	<u>0.00</u>	<u>1,484.07</u>	<u>67.46</u>	<u>715.93</u>
TOTAL EXPENSES (Continued)		2,200.00	0.00	1,484.07	67.46	715.93
<u>CAPITAL EXPENSES</u>						
511940	Equipment	0.00	0.00	18,800.00	0.00	(18,800.00)
511960	Capital Outlay	<u>25,850.00</u>	<u>0.00</u>	<u>26,250.00</u>	<u>101.55</u>	<u>(400.00)</u>
TOTAL CAPITAL EXPENSES		25,850.00	0.00	45,050.00	174.27	(19,200.00)
TOTAL PARKS		79,450.00	6,630.17	104,520.82	131.56	(25,070.82)
*** TOTAL EXPENDITURES ***		6,197,697.00	457,647.91	5,774,566.67	93.17	423,130.33
*** REVENUES OVER/(UNDER) EXPENDITURES *		786,471.68	75,365.99	399,009.44	0.00	387,462.24

02 -WATER
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	REVENUE	11,747,000.00	1,220,142.25	10,610,510.19	90.33	1,136,489.81
	GENERAL AND ADMINISTRATIV	266,971.00	0.00	266,970.29	100.00	0.71
	PROJECT REVENUE	<u>0.00</u>	<u>(32,500.00)</u>	<u>(32,500.00)</u>	<u>0.00</u>	<u>32,500.00</u>
***	TOTAL REVENUES ***	12,013,971.00	1,187,642.25	10,844,980.48	90.27	1,168,990.52
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<u>EXPENDITURE SUMMARY</u>						
	WATER	<u>5,790,544.00</u>	<u>749,844.00</u>	<u>6,494,294.23</u>	<u>112.15</u>	<u>(703,750.23)</u>
***	TOTAL EXPENDITURES ***	5,790,544.00	749,844.00	6,494,294.23	112.15	(703,750.23)
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***	REVENUES OVER/ (UNDER) EXPENDITURES *	6,223,427.00	437,798.25	4,350,686.25	69.91	1,872,740.75
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02 -WATER
 REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
40001	Water Fund Revenue	2,200,000.00	333,523.71	2,767,295.17	125.79	(567,295.17)
40001.03	Sewer Fund Revenue	1,200,000.00	173,891.74	1,545,242.24	128.77	(345,242.24)
40002.09	Water Impact Revenue	1,600,000.00	118,100.00	1,208,390.00	75.52	391,610.00
40003	Road Bore Fee	10,000.00	0.00	6,820.00	68.20	3,180.00
40003.03	Road Bore Fee	5,000.00	0.00	0.00	0.00	5,000.00
40003.09	Sewer Impact Revenue	3,200,000.00	229,000.00	2,206,400.00	68.95	993,600.00
40004	Water Tap Fees	400,000.00	37,675.20	240,200.73	60.05	159,799.27
40004.03	Sewer Tap Fees	550,000.00	42,550.00	254,425.00	46.26	295,575.00
40005	Reconnect Fees	40,000.00	3,990.00	39,956.46	99.89	43.54
40006	Credit Card Fees	30,000.00	318.10	9,354.55	31.18	20,645.45
40009	Application Fee	0.00	0.00	70.00	0.00	(70.00)
40010.03	Garbage Collection Fees	4,000.00	455.91	4,846.06	121.15	(846.06)
40011.03	Garbage Revenue	445,000.00	43,660.09	450,626.18	101.26	(5,626.18)
40012	Misc. Revenue	25,000.00	514.17	25,634.17	102.54	(634.17)
40015	Cash Collections / Misc.	0.00	0.00	(54.65)	0.00	54.65
40016	Late Fees-Water	25,000.00	3,047.43	27,249.75	109.00	(2,249.75)
40016.03	Late Fees-Sewer	25,000.00	6,632.13	48,976.83	195.91	(23,976.83)
40018	Disconnect Fees	30,000.00	4,275.00	15,930.00	53.10	14,070.00
40020	Interest Income	0.00	0.22	2.14	0.00	(2.14)
40020.07	ESCROW-MAG EAST LLC	65,000.00	28,117.61	111,296.21	171.22	(46,296.21)
40020.09	Impact Fund Interest	356,000.00	29,817.95	408,345.35	114.70	(52,345.35)
40024	LoneStarGroundwaterConservati	30,000.00	8,307.13	62,546.67	208.49	(32,546.67)
40025	San Jac River Authority Fee	810,000.00	150,246.83	1,130,577.01	139.58	(320,577.01)
40026	Major Maintenance Fee	22,500.00	3,101.28	24,277.86	107.90	(1,777.86)
40027	Depreciation Fee	19,000.00	2,765.50	21,535.51	113.34	(2,535.51)
40029	INSTITUTIONAL/NON PRF/EXEMPT	1,000.00	152.25	566.95	56.70	433.05
40040	Transfer in from Debt Service	<u>654,500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>654,500.00</u>
TOTAL REVENUE		11,747,000.00	1,220,142.25	10,610,510.19	90.33	1,136,489.81

GENERAL AND ADMINISTRATIV

40106	Transfer in from 4B	<u>266,971.00</u>	<u>0.00</u>	<u>266,970.29</u>	<u>100.00</u>	<u>0.71</u>
TOTAL GENERAL AND ADMINISTRATIV		266,971.00	0.00	266,970.29	100.00	0.71

PROJECT REVENUE

40900.03	GRANT REVENUE-SEWER	<u>0.00</u>	<u>(32,500.00)</u>	<u>(32,500.00)</u>	<u>0.00</u>	<u>32,500.00</u>
TOTAL PROJECT REVENUE		0.00	(32,500.00)	(32,500.00)	0.00	32,500.00

*** TOTAL REVENUE ***
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12,013,971.00	1,187,642.25	10,844,980.48	90.27	1,168,990.52
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02 -WATER

WATER

DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>I & S PAYMENTS</u>						
500033.01	2017 SIB INT I&S PMT	16,906.00	0.00	16,905.92	100.00	0.08
500034	Interest Expense-2011 SIB Loa	16,183.00	0.00	16,183.13	100.00	(0.13)
500035	2014 C/O Interest Expense	167,075.00	0.00	167,075.00	100.00	0.00
500040	Interest Expense-2022 SIB Loa	22,240.00	0.00	22,239.75	100.00	0.25
500051	INT EXP-2021 GO REFUNDING BON	214,349.00	0.00	214,348.76	100.00	0.24
500052	INT EXP 2022 TAX REV C/O	<u>773,951.00</u>	<u>0.00</u>	<u>773,950.77</u>	<u>100.00</u>	<u>0.23</u>
TOTAL I & S PAYMENTS		1,210,704.00	0.00	1,210,703.33	100.00	0.67

PERSONNEL SERVICES

500501	Salaries	77,256.00	6,121.24	63,250.55	81.87	14,005.45
500503	Overtime	4,000.00	186.92	3,005.43	75.14	994.57
500515	Longevity	145.00	0.00	70.00	48.28	75.00
500516	T.E.C.	360.00	0.00	9.09	2.53	350.91
500517	T.M.R.S.	3,972.00	474.18	2,926.63	73.68	1,045.37
500518	Worker's Comp.	197.00	0.00	123.84	62.86	73.16
500526	Insurance (Med/Den/Life/Vis.)	28,218.00	2,596.24	31,972.99	113.31	(3,754.99)
500536	Payroll Tax (F.I.C.A.)	6,227.00	700.93	4,951.10	79.51	1,275.90
500543	Educ.,Travel & Cert.	1,000.00	113.75	279.75	27.98	720.25
500547	Drug Test	100.00	0.00	0.00	0.00	100.00
500548	Dues and Memberships	300.00	0.00	0.00	0.00	300.00
500550	Interest Expense-2014 G/O	<u>84,998.00</u>	<u>0.00</u>	<u>85,097.50</u>	<u>100.12</u>	<u>(99.50)</u>
TOTAL PERSONNEL SERVICES		206,773.00	10,193.26	191,686.88	92.70	15,086.12

CONTRACTUAL EXPENSES

500602.03	UTILITIES/ GAS	0.00	50.30	5,897.89	0.00	(5,897.89)
500603	Utilities/Electric-Water	105,000.00	11,467.40	109,243.51	104.04	(4,243.51)
500603.03	Utilities/Electric-Sewer	65,000.00	30,775.66	114,064.18	175.48	(49,064.18)
500605	Utilities/ Telephone-Water	500.00	0.00	0.00	0.00	500.00
500625	Maint. & Repair/Vehicles	0.00	1,833.00	5,499.00	0.00	(5,499.00)
500627	Maintenance & Repair-Water	50,000.00	1,413.51	18,519.67	37.04	31,480.33
500627.03	Maint. & Repair/Sewer	100,000.00	(26,635.61)	108,961.75	108.96	(8,961.75)
500632	Contract/Consultant Svcs-Wate	200,000.00	3,605.93	270,354.46	135.18	(70,354.46)
500632.03	Contract/Consultant Svcs-Sewer	125,000.00	92.24	65,095.81	52.08	59,904.19
500633	Maint. & Repair Water Equipme	16,000.00	287.65	15,681.54	98.01	318.46
500633.03	Maint & Repair Sewer Equipmen	42,000.00	3,404.67	42,560.26	101.33	(560.26)
500640	Legal	80,000.00	4,176.00	107,922.34	134.90	(27,922.34)
500640.03	LEGAL	0.00	4,176.00	36,049.44	0.00	(36,049.44)
500643	Engineering-Water	40,000.00	47,483.14	101,241.42	253.10	(61,241.42)
500643.03	Engineering-Sewer	0.00	0.00	265.58	0.00	(265.58)
500652	Permits,Fees,Testing-Water	27,000.00	8,465.50	31,139.95	115.33	(4,139.95)
500652.03	Permits & Testing-Sewer	12,000.00	0.00	9,671.71	80.60	2,328.29
500663	Rental of Equipment-Water	5,000.00	0.00	0.00	0.00	5,000.00
500663.03	Rental of Equipment-Sewer	6,000.00	0.00	0.00	0.00	6,000.00
500672.03	Garbage Service	307,500.00	58,478.86	305,596.47	99.38	1,903.53
500673	Computer Software/Updates	19,630.00	0.00	16,746.99	85.31	2,883.01
500677	Minor Tools & Equipment-Water	<u>5,000.00</u>	<u>0.00</u>	<u>3,984.63</u>	<u>79.69</u>	<u>1,015.37</u>
TOTAL CONTRACTUAL EXPENSES		1,205,630.00	149,074.25	1,368,496.60	113.51	(162,866.60)

02 -WATER
 WATER
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>MISCELLANIOUS EXPENSES</u>						
500700	General Supplies (Misc.)-Wate	60,000.00	10,568.30	38,979.61	64.97	21,020.39
500700.03	General Supplies (Misc.)-Sewe	8,000.00	212.29	16,226.23	202.83	(8,226.23)
500744.03	Minor Tools & Equip.-Sewer	5,000.00	0.00	0.00	0.00	5,000.00
500766	Office Supplies	2,500.00	406.00	436.74	17.47	2,063.26
500780	Chemicals/Water Treatment	110,000.00	6,265.41	118,378.08	107.62	(8,378.08)
500780.03	Chemicals/Sewer Treatment	<u>11,000.00</u>	<u>3,826.00</u>	<u>12,604.47</u>	<u>114.59</u>	<u>(1,604.47)</u>
TOTAL MISCELLANIOUS EXPENSES		196,500.00	21,278.00	186,625.13	94.97	9,874.87
<u>EXPENSES (Continued)</u>						
500800	Bank Fees	20,000.00	238.92	7,677.36	38.39	12,322.64
500802.09	Water Impact Expense	4,000.00	260.00	930.00	23.25	3,070.00
500804	San Jacinto River Authority	925,000.00	490,183.53	1,396,626.27	150.99	(471,626.27)
500805	Lone Star Water Conservation	30,000.00	0.00	34,448.10	114.83	(4,448.10)
500825.03	Sewer Liability Ins.-TML	1,500.00	0.00	774.27	51.62	725.73
500826	Water Plant Insurance - TML	9,000.00	0.00	8,904.33	98.94	95.67
500826.03	Sewer Plant Insurance-TML	12,000.00	0.00	11,625.09	96.88	374.91
500830.03	Personal Property Ins.-TML	2,000.00	0.00	1,070.25	53.51	929.75
500831.03	Damage Claims	1,000.00	0.00	0.00	0.00	1,000.00
500833	Postage	10,000.00	1,500.00	11,570.79	115.71	(1,570.79)
500857.03	Sludge Hauling	312,000.00	42,816.04	358,177.48	114.80	(46,177.48)
500859	Transfer to General Fund	<u>1,021,695.00</u>	<u>0.00</u>	<u>1,021,695.00</u>	<u>100.00</u>	<u>0.00</u>
TOTAL EXPENSES (Continued)		2,348,195.00	534,998.49	2,853,498.94	121.52	(505,303.94)
<u>CAPITAL EXPENSES</u>						
500960	Capital Outlay/Equipment-Wate	475,000.00	34,300.00	531,100.02	111.81	(56,100.02)
500960.03	Capital Outlay - Sewer	147,742.00	0.00	147,938.33	100.13	(196.33)
500975	CAPITAL OUTLAY	<u>0.00</u>	<u>0.00</u>	<u>4,245.00</u>	<u>0.00</u>	<u>(4,245.00)</u>
TOTAL CAPITAL EXPENSES		622,742.00	34,300.00	683,283.35	109.72	(60,541.35)
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TOTAL WATER		5,790,544.00	749,844.00	6,494,294.23	112.15	(703,750.23)
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02 -WATER
PENSION EXP
DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
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<u>CAPITAL EXPENSES</u>						
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02 -WATER
BOND EXPENSE
DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>I & S PAYMENTS</u>						
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***	TOTAL EXPENDITURES ***	5,790,544.00	749,844.00	6,494,294.23	112.15	(703,750.23)
***	REVENUES OVER/(UNDER) EXPENDITURES *	6,223,427.00	437,798.25	4,350,686.25	0.00	1,872,740.75
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04 -CAPITAL PROJ-ENTERPRISE
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	REVENUE	250,000.00	654,500.00	654,500.00	261.80	(404,500.00)
	PROJECT REVENUE	<u>250,000.00</u>	<u>0.00</u>	<u>187,642.34</u>	<u>75.06</u>	<u>62,357.66</u>
***	TOTAL REVENUES ***	500,000.00	654,500.00	842,142.34	168.43	(342,142.34)
		=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>						
	CAPITAL PROJ-ENTERPRISE	<u>4,020,000.00</u>	<u>139,209.36</u>	<u>8,459,417.85</u>	<u>210.43</u>	<u>(4,439,417.85)</u>
***	TOTAL EXPENDITURES ***	4,020,000.00	139,209.36	8,459,417.85	210.43	(4,439,417.85)
		=====	=====	=====	=====	=====
***	REVENUES OVER/(UNDER) EXPENDITURES	(3,520,000.00)	515,290.64	(7,617,275.51)	216.40	4,097,275.51
		=====	=====	=====	=====	=====

04 -CAPITAL PROJ-ENTERPRISE
 REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
40033	TRANSFER IN	<u>250,000.00</u>	<u>654,500.00</u>	<u>654,500.00</u>	<u>261.80</u>	<u>(404,500.00)</u>
	TOTAL REVENUE	250,000.00	654,500.00	654,500.00	261.80	(404,500.00)
<u>GENERAL AND ADMINISTRATIV</u>						
<u>PROJECT REVENUE</u>						
40903	PROCEEDS TX GEN LAND OFF	<u>250,000.00</u>	<u>0.00</u>	<u>187,642.34</u>	<u>75.06</u>	<u>62,357.66</u>
	TOTAL PROJECT REVENUE	250,000.00	0.00	187,642.34	75.06	62,357.66
<u>INTRA-FUND TRANSFERS IN</u>						
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***	TOTAL REVENUE ***	500,000.00	654,500.00	842,142.34	168.43	(342,142.34)
		=====	=====	=====	=====	=====

04 -CAPITAL PROJ-ENTERPRISE
 CAPITAL PROJ-ENTERPRISE
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>I & S PAYMENTS</u>						
<u>PERSONNEL SERVICES</u>						
<u>CONTRACTUAL EXPENSES</u>						
<u>MISCELLANIOUS EXPENSES</u>						
<u>EXPENSES (Continued)</u>						
<u>CAPITAL EXPENSES</u>						
500940.01	NS INTERCEPTOR PHASE 1	0.00	0.00	45,878.87	0.00	(45,878.87)
500940.10	TIMBERBROOK EST DRAINAGE IMPR	0.00	0.00	22,157.50	0.00	(22,157.50)
500945	GRANT ADMINISTRATION	0.00	0.00	7,100.00	0.00	(7,100.00)
500950.06	WWTP-EXPAN & SANITARY SWR REP	1,000,000.00	78,960.95	669,800.74	66.98	330,199.26
500950.07	ENGINEERING-FM1488 UTIL RELOC	0.00	0.00	15,705.64	0.00	(15,705.64)
500950.08	HUD-GLO PHASE 2 NICHOLS SAWMI	550,000.00	0.00	80,288.51	14.60	469,711.49
500950.09	PROJECT-BUDDY RILEY EXP-USDA	1,000,000.00	0.00	20,061.75	2.01	979,938.25
500950.10	ENG:TIMBERBROOK DRAINAGE	0.00	0.00	11,174.75	0.00	(11,174.75)
500950.12	FM 1488 FORCE MAIN RELOCATION	270,000.00	0.00	412,622.64	152.82	(142,622.64)
500950.14	WATER PLANT # 3	0.00	48,097.16	3,249,888.72	0.00	(3,249,888.72)
500950.17	NICHOLS SAWMILL PHASE 3	1,200,000.00	0.00	1,509,714.25	125.81	(309,714.25)
500950.19	WATER PLANT #8	0.00	12,151.25	2,277,163.29	0.00	(2,277,163.29)
500950.20	BUDDY RILEY SEWER LINE/STAKIN	0.00	0.00	(20,061.75)	0.00	20,061.75
500950.21	WWTP PHASE III	0.00	0.00	1,986.68	0.00	(1,986.68)
500950.22	WATER PLANT #2	0.00	0.00	99,998.76	0.00	(99,998.76)
500950.23	WATER WELL #7	0.00	0.00	54,000.00	0.00	(54,000.00)
500950.24	WATER WELL #4	0.00	0.00	1,937.50	0.00	(1,937.50)
	TOTAL CAPITAL EXPENSES	4,020,000.00	139,209.36	8,459,417.85	210.43	(4,439,417.85)
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	TOTAL CAPITAL PROJ-ENTERPRISE	4,020,000.00	139,209.36	8,459,417.85	210.43	(4,439,417.85)
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	*** TOTAL EXPENDITURES ***	4,020,000.00	139,209.36	8,459,417.85	210.43	(4,439,417.85)
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	*** REVENUES OVER/(UNDER) EXPENDITURES	(3,520,000.00)	515,290.64	(7,617,275.51)	0.00	4,097,275.51

05 -DEBT SERVICE - GENERAL
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	REVENUE	783,735.00	3,986.57	1,297,041.44	165.49	(513,306.44)
	GENERAL AND ADMINISTRATIV	<u>2,500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,500.00</u>
***	TOTAL REVENUES ***	786,235.00	3,986.57	1,297,041.44	164.97	(510,806.44)
		=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>						
	DEBT SERVICE GENERAL	<u>785,718.00</u>	<u>654,500.00</u>	<u>785,827.50</u>	<u>100.01</u>	<u>(109.50)</u>
***	TOTAL EXPENDITURES ***	785,718.00	654,500.00	785,827.50	100.01	(109.50)
		=====	=====	=====	=====	=====
***	REVENUES OVER/(UNDER) EXPENDITURES *	517.00	(650,513.43)	511,213.94	880.84	(510,696.94)
		=====	=====	=====	=====	=====

05 -DEBT SERVICE - GENERAL
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
40001	AD VAL TAX REVENUE	781,935.00	3,523.94	1,292,490.53	165.29	(510,555.53)
40034	2014 G/O I&S INT EARNED	<u>1,800.00</u>	<u>462.63</u>	<u>4,550.91</u>	<u>252.83</u>	<u>(2,750.91)</u>
	TOTAL REVENUE	783,735.00	3,986.57	1,297,041.44	165.49	(513,306.44)
<u>GENERAL AND ADMINISTRATIV</u>						
40199	DELINQ PROP TAX/PENALTIES/INT	<u>2,500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,500.00</u>
	TOTAL GENERAL AND ADMINISTRATIV	2,500.00	0.00	0.00	0.00	2,500.00
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***	TOTAL REVENUE ***	786,235.00	3,986.57	1,297,041.44	164.97	(510,806.44)
		=====	=====	=====	=====	=====

05 -DEBT SERVICE - GENERAL
 DEBT SERVICE GENERAL
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>I & S PAYMENTS</u>						
500033	2014 G/O I&S PRINCIPAL PMT	91,500.00	0.00	94,500.00	103.28	(3,000.00)
500034	2014 G/O I&S INTEREST PMT	<u>39,218.00</u>	<u>0.00</u>	<u>36,327.50</u>	<u>92.63</u>	<u>2,890.50</u>
	TOTAL I & S PAYMENTS	130,718.00	0.00	130,827.50	100.08	(109.50)
<u>MISCELLANIOUS EXPENSES</u>						
500766	2014 G/O Bank Fees	<u>500.00</u>	<u>0.00</u>	<u>500.00</u>	<u>100.00</u>	<u>0.00</u>
	TOTAL MISCELLANIOUS EXPENSES	500.00	0.00	500.00	100.00	0.00
<u>EXPENSES (Continued)</u>						
<u>CAPITAL EXPENSES</u>						
500925	TRFR TO ENTERPRISE DEBT SVC	<u>654,500.00</u>	<u>654,500.00</u>	<u>654,500.00</u>	<u>100.00</u>	<u>0.00</u>
	TOTAL CAPITAL EXPENSES	654,500.00	654,500.00	654,500.00	100.00	0.00
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	TOTAL DEBT SERVICE GENERAL	785,718.00	654,500.00	785,827.50	100.01	(109.50)
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	*** TOTAL EXPENDITURES ***	785,718.00	654,500.00	785,827.50	100.01	(109.50)
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	*** REVENUES OVER/(UNDER) EXPENDITURES *	517.00	(650,513.43)	511,213.94	0.00	(510,696.94)
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06 -4B COMMUNITY DEV.
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	REVENUE	807,821.00	55,176.08	631,269.95	78.14	176,551.05
	GENERAL AND ADMINISTRATIV	<u>18,947.50</u>	<u>0.00</u>	<u>18,947.50</u>	<u>100.00</u>	<u>0.00</u>
***	TOTAL REVENUES ***	826,768.50	55,176.08	650,217.45	78.65	176,551.05
		=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>						
	4B COMMUNITY DEVELOPMENT	<u>775,321.00</u>	<u>11,916.98</u>	<u>481,606.12</u>	<u>62.12</u>	<u>293,714.88</u>
***	TOTAL EXPENDITURES ***	775,321.00	11,916.98	481,606.12	62.12	293,714.88
		=====	=====	=====	=====	=====
***	REVENUES OVER/(UNDER) EXPENDITURES *	51,447.50	43,259.10	168,611.33	327.73	(117,163.83)
		=====	=====	=====	=====	=====

06 -4B COMMUNITY DEV.
 REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
40014	4B 1/4 % Sales Tax Revenue	781,621.00	51,752.35	599,684.10	76.72	181,936.90
40022	4B Interest Earned	<u>26,200.00</u>	<u>3,423.73</u>	<u>31,585.85</u>	<u>120.56</u>	<u>(5,385.85)</u>
	TOTAL REVENUE	807,821.00	55,176.08	631,269.95	78.14	176,551.05
<u>GENERAL AND ADMINISTRATIV</u>						
40124	MISC. REVENUES	<u>18,947.50</u>	<u>0.00</u>	<u>18,947.50</u>	<u>100.00</u>	<u>0.00</u>
	TOTAL GENERAL AND ADMINISTRATIV	18,947.50	0.00	18,947.50	100.00	0.00
<hr/>						
***	TOTAL REVENUE ***	826,768.50	55,176.08	650,217.45	78.65	176,551.05
		=====	=====	=====	=====	=====

06 -4B COMMUNITY DEV.
 4B COMMUNITY DEVELOPMENT
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
500501	Salary & Benefit Reimbursemen	8,000.00	225.08	3,291.24	41.14	4,708.76
500543	Training & Travel	1,500.00	0.00	0.00	0.00	1,500.00
500550	Dues & Memberships	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>
TOTAL PERSONNEL SERVICES		10,500.00	225.08	3,291.24	31.35	7,208.76
<u>CONTRACTUAL EXPENSES</u>						
500605	Telephone	0.00	20.90	229.93	0.00	(229.93)
500632	Contract/Consultant Services	103,800.00	4,812.50	56,662.91	54.59	47,137.09
500632.01	OFFICE RENTAL	12,000.00	0.00	6,875.00	57.29	5,125.00
500640	Legal	5,000.00	1,268.50	3,575.00	71.50	1,425.00
500641	Auditing/Accounting Services	2,750.00	0.00	2,750.00	100.00	0.00
500643	Engineering	0.00	0.00	3,500.00	0.00	(3,500.00)
500673	Computer Software	10,000.00	0.00	10,015.94	100.16	(15.94)
500674	Posting & Advertising	5,350.00	0.00	0.00	0.00	5,350.00
500675	Promotions	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>
TOTAL CONTRACTUAL EXPENSES		139,900.00	6,101.90	83,608.78	59.76	56,291.22
<u>MISCELLANIOUS EXPENSES</u>						
500742	Magazines, Maps, & Books	8,000.00	0.00	2,217.50	27.72	5,782.50
500743	Copies / Admin.	5,000.00	0.00	0.00	0.00	5,000.00
500766	Office Supplies	<u>250.00</u>	<u>0.00</u>	<u>24.00</u>	<u>9.60</u>	<u>226.00</u>
TOTAL MISCELLANIOUS EXPENSES		13,250.00	0.00	2,241.50	16.92	11,008.50
<u>EXPENSES (Continued)</u>						
500824	Errors & Omissions Insurance	2,200.00	0.00	1,468.26	66.74	731.74
500825	Liability Insurance 4B - TML	1,300.00	0.00	774.24	59.56	525.76
500840	Eco Dev Bus Improvement Grant	60,000.00	2,900.00	6,797.00	11.33	53,203.00
500848	Park Maintenance	56,200.00	2,200.00	54,158.69	96.37	2,041.31
500851	Downtown Revitalization	<u>65,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>65,000.00</u>
TOTAL EXPENSES (Continued)		184,700.00	5,100.00	63,198.19	34.22	121,501.81
<u>CAPITAL EXPENSES</u>						
500924	2011 SIB Loan I&S Transfer	165,167.00	0.00	165,166.29	100.00	0.71
500925	2017 SIB Loan I&S Transfer	40,000.00	0.00	40,000.00	100.00	0.00
500926	2021 SIB Loan I&S Transfer	61,804.00	0.00	61,804.00	100.00	0.00
500955	COMMERCE ST PROJ	0.00	490.00	12,005.00	0.00	(12,005.00)
500976	CAPITAL EXPENSES	<u>160,000.00</u>	<u>0.00</u>	<u>50,291.12</u>	<u>31.43</u>	<u>109,708.88</u>
TOTAL CAPITAL EXPENSES		426,971.00	490.00	329,266.41	77.12	97,704.59
TOTAL 4B COMMUNITY DEVELOPMENT		775,321.00	11,916.98	481,606.12	62.12	293,714.88
*** TOTAL EXPENDITURES ***		775,321.00	11,916.98	481,606.12	62.12	293,714.88
*** REVENUES OVER/(UNDER) EXPENDITURES *		51,447.50	43,259.10	168,611.33	0.00	(117,163.83)

07 -4A ECONOMIC DEV.
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	REVENUE	1,402,000.00	117,094.97	1,327,395.86	94.68	74,604.14
	GENERAL AND ADMINISTRATIV	<u>0.00</u>	<u>0.00</u>	<u>183.00</u>	<u>0.00</u>	(<u>183.00</u>)
***	TOTAL REVENUES ***	1,402,000.00	117,094.97	1,327,578.86	94.69	74,421.14
		=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>						
	4A ECONOMIC DEVELOPMENT	<u>882,220.00</u>	<u>70,682.04</u>	<u>765,047.11</u>	<u>86.72</u>	<u>117,172.89</u>
***	TOTAL EXPENDITURES ***	882,220.00	70,682.04	765,047.11	86.72	117,172.89
		=====	=====	=====	=====	=====
***	REVENUES OVER/(UNDER) EXPENDITURES *	519,780.00	46,412.93	562,531.75	108.22	(42,751.75)
		=====	=====	=====	=====	=====

07 -4A ECONOMIC DEV.
 REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
40011	4A 1/2 % Sales Tax Revenue	1,300,000.00	103,504.69	1,199,368.14	92.26	100,631.86
40022	4A Interest Earned	<u>102,000.00</u>	<u>13,590.28</u>	<u>128,027.72</u>	<u>125.52</u>	<u>(26,027.72)</u>
	TOTAL REVENUE	1,402,000.00	117,094.97	1,327,395.86	94.68	74,604.14
<u>GENERAL AND ADMINISTRATIV</u>						
40124	Misc. Revenue	<u>0.00</u>	<u>0.00</u>	<u>183.00</u>	<u>0.00</u>	<u>(183.00)</u>
	TOTAL GENERAL AND ADMINISTRATIV	0.00	0.00	183.00	0.00	(183.00)
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***	TOTAL REVENUE ***	1,402,000.00	117,094.97	1,327,578.86	94.69	74,421.14
		=====	=====	=====	=====	=====

07 -4A ECONOMIC DEV.
 4A ECONOMIC DEVELOPMENT
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
500501	Salary & Benefit Reimbursemen	2,365.00	1,406.00	1,996.58	84.42	368.42
500543	Training & Travel	1,500.00	0.00	0.00	0.00	1,500.00
500550	Dues & Memberships	<u>800.00</u>	<u>0.00</u>	<u>110.00</u>	<u>13.75</u>	<u>690.00</u>
	TOTAL PERSONNEL SERVICES	4,665.00	1,406.00	2,106.58	45.16	2,558.42
<u>CONTRACTUAL EXPENSES</u>						
500605	Telephone	505.00	20.91	230.04	45.55	274.96
500632	Contract/Consultant Services	75,000.00	7,591.25	55,382.91	73.84	19,617.09
500632.02	OFFICE RENTAL	9,000.00	0.00	6,981.00	77.57	2,019.00
500640	Legal	5,000.00	(5,157.74)	5,188.00	103.76	(188.00)
500641	Auditing/Accounting Services	2,750.00	0.00	2,750.00	100.00	0.00
500673	Computer Software	10,200.00	0.00	10,015.94	98.20	184.06
500674	Posting & Advertising	<u>500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>500.00</u>
	TOTAL CONTRACTUAL EXPENSES	102,955.00	2,454.42	80,547.89	78.24	22,407.11
<u>MISCELLANIOUS EXPENSES</u>						
500742	Magazines, Maps & Books	8,500.00	0.00	3,315.00	39.00	5,185.00
500743	Copies / Admin.	500.00	0.00	0.00	0.00	500.00
500766	Office Supplies	1,500.00	0.00	142.00	9.47	1,358.00
500769	Office Equipment	<u>0.00</u>	<u>0.00</u>	<u>349.00</u>	<u>0.00</u>	(349.00)
	TOTAL MISCELLANIOUS EXPENSES	10,500.00	0.00	3,806.00	36.25	6,694.00
<u>EXPENSES (Continued)</u>						
500800	Bank Fees	0.00	0.00	403.15	0.00	(403.15)
500824	Error & Omissions Ins.- 4A-TM	2,500.00	0.00	1,468.26	58.73	1,031.74
500825	Liability Insurance 4A - TML	1,600.00	0.00	774.24	48.39	825.76
500838	Promotional Expense	<u>60,000.00</u>	<u>4,150.00</u>	<u>46,381.71</u>	<u>77.30</u>	<u>13,618.29</u>
	TOTAL EXPENSES (Continued)	64,100.00	4,150.00	49,027.36	76.49	15,072.64
<u>CAPITAL EXPENSES</u>						
500908.01	FM 1774 WATER/SEWER EXT PROJ	110,000.00	0.00	9,974.50	9.07	100,025.50
500908.02	MAG EAST TEMP WATER LINE	<u>590,000.00</u>	<u>62,671.62</u>	<u>619,584.78</u>	<u>105.01</u>	(29,584.78)
	TOTAL CAPITAL EXPENSES	700,000.00	62,671.62	629,559.28	89.94	70,440.72
<hr/>						
TOTAL 4A ECONOMIC DEVELOPMENT		882,220.00	70,682.04	765,047.11	86.72	117,172.89
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*** TOTAL EXPENDITURES ***		882,220.00	70,682.04	765,047.11	86.72	117,172.89
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*** REVENUES OVER/ (UNDER) EXPENDITURES *		519,780.00	46,412.93	562,531.75	0.00	(42,751.75)
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10 -ATS-RED LIGHT CAMERA
FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	REVENUE	0.00	0.00	0.29	0.00	(0.29)
	*** TOTAL REVENUES ***	0.00	0.00	0.29	0.00	(0.29)
<u>EXPENDITURE SUMMARY</u>						
	*** REVENUES OVER/ (UNDER) EXPENDITURES *	0.00	0.00	0.29	0.00	(0.29)

10 -ATS-RED LIGHT CAMERA
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
40020	Interest Earned	0.00	0.00	0.29	0.00	(0.29)
	TOTAL REVENUE	0.00	0.00	0.29	0.00	(0.29)
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*** TOTAL REVENUE ***		0.00	0.00	0.29	0.00	(0.29)
		=====	=====	=====	=====	=====

10 -ATS-RED LIGHT CAMERA
ATS-RED LIGHT CAMERA
DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
	<u>PERSONNEL SERVICES</u>	_____	_____	_____	_____	_____
	<u>CONTRACTUAL EXPENSES</u>	_____	_____	_____	_____	_____
	<u>MISCELLANIOUS EXPENSES</u>	_____	_____	_____	_____	_____
	<u>EXPENSES (Continued)</u>	_____	_____	_____	_____	_____
	<u>CAPITAL EXPENSES</u>	_____	_____	_____	_____	_____
		=====	=====	=====	=====	=====
*** REVENUES OVER/(UNDER) EXPENDITURES *		0.00	0.00	0.29	0.00	(0.29)
		=====	=====	=====	=====	=====

11 -HB 445 ROAD REPAIR
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	REVENUE	<u>662,000.00</u>	<u>65,332.94</u>	<u>724,384.87</u>	<u>109.42</u>	<u>(62,384.87)</u>
	*** TOTAL REVENUES ***	<u>662,000.00</u>	<u>65,332.94</u>	<u>724,384.87</u>	<u>109.42</u>	<u>(62,384.87)</u>
<u>EXPENDITURE SUMMARY</u>						
	HB 445 ROAD REPAIR	<u>450,000.00</u>	<u>2,368.75</u>	<u>47,497.68</u>	<u>10.56</u>	<u>402,502.32</u>
	*** TOTAL EXPENDITURES ***	<u>450,000.00</u>	<u>2,368.75</u>	<u>47,497.68</u>	<u>10.56</u>	<u>402,502.32</u>
	*** REVENUES OVER/ (UNDER) EXPENDITURES *	<u>212,000.00</u>	<u>62,964.19</u>	<u>676,887.19</u>	<u>319.29</u>	<u>(464,887.19)</u>

11 -HB 445 ROAD REPAIR
 REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
40009	HB 445 Sales Tax Revenue 1/4%	650,000.00	51,752.34	599,684.01	92.26	50,315.99
40020	HB 445 Interest Earned	<u>12,000.00</u>	<u>13,580.60</u>	<u>124,700.86</u>	<u>39.17</u>	(<u>112,700.86</u>)
TOTAL REVENUE		662,000.00	65,332.94	724,384.87	109.42	(62,384.87)
*** TOTAL REVENUE ***		662,000.00	65,332.94	724,384.87	109.42	(62,384.87)
		=====	=====	=====	=====	=====

11 -HB 445 ROAD REPAIR
 HB 445 ROAD REPAIR
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>EXPENSES (Continued)</u>						
500850	HB445 Road Repair	450,000.00	2,368.75	47,497.68	10.56	402,502.32
	TOTAL EXPENSES (Continued)	450,000.00	2,368.75	47,497.68	10.56	402,502.32
<u>CAPITAL EXPENSES</u>						
	TOTAL HB 445 ROAD REPAIR	450,000.00	2,368.75	47,497.68	10.56	402,502.32
*** TOTAL EXPENDITURES ***		450,000.00	2,368.75	47,497.68	10.56	402,502.32
*** REVENUES OVER/(UNDER) EXPENDITURES *		212,000.00	62,964.19	676,887.19	0.00	(464,887.19)

17 -HOTEL/MOTEL OCCUPANCY TAX
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	GENERAL AND ADMINISTRATIV	<u>50,000.00</u>	<u>3,527.85</u>	<u>50,101.85</u>	<u>100.20</u>	<u>(101.85)</u>
	*** TOTAL REVENUES ***	<u>50,000.00</u>	<u>3,527.85</u>	<u>50,101.85</u>	<u>100.20</u>	<u>(101.85)</u>
<u>EXPENDITURE SUMMARY</u>						
	HOTEL/MOTEL OCCUPANCY TX	<u>25,000.00</u>	<u>0.00</u>	<u>19,843.00</u>	<u>79.37</u>	<u>5,157.00</u>
	*** TOTAL EXPENDITURES ***	<u>25,000.00</u>	<u>0.00</u>	<u>19,843.00</u>	<u>79.37</u>	<u>5,157.00</u>
	*** REVENUES OVER/ (UNDER) EXPENDITURES *	<u>25,000.00</u>	<u>3,527.85</u>	<u>30,258.85</u>	<u>121.04</u>	<u>(5,258.85)</u>

17 -HOTEL/MOTEL OCCUPANCY TAX
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>GENERAL AND ADMINISTRATIV</u>						
40110	Hotel Occupancy Tax	50,000.00	3,527.85	50,101.85	100.20	(101.85)
	TOTAL GENERAL AND ADMINISTRATIV	50,000.00	3,527.85	50,101.85	100.20	(101.85)
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***	TOTAL REVENUE ***	50,000.00	3,527.85	50,101.85	100.20	(101.85)
		=====	=====	=====	=====	=====

17 -HOTEL/MOTEL OCCUPANCY TAX
 HOTEL/MOTEL OCCUPANCY TX
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
501560	Event Funding	25,000.00	0.00	19,843.00	79.37	5,157.00
	TOTAL PERSONNEL SERVICES	25,000.00	0.00	19,843.00	79.37	5,157.00
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	TOTAL HOTEL/MOTEL OCCUPANCY TX	25,000.00	0.00	19,843.00	79.37	5,157.00
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*** TOTAL EXPENDITURES ***		25,000.00	0.00	19,843.00	79.37	5,157.00
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*** REVENUES OVER/(UNDER) EXPENDITURES *		25,000.00	3,527.85	30,258.85	0.00	(5,258.85)
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18 -MC SECURITY FUND
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	COURTS	<u>7,000.00</u>	<u>1,127.40</u>	<u>12,671.19</u>	<u>181.02</u>	<u>(5,671.19)</u>
***	TOTAL REVENUES ***	<u>7,000.00</u>	<u>1,127.40</u>	<u>12,671.19</u>	<u>181.02</u>	<u>(5,671.19)</u>
<u>EXPENDITURE SUMMARY</u>						
	MC SECURITY	<u>5,000.00</u>	<u>561.84</u>	<u>8,735.84</u>	<u>174.72</u>	<u>(3,735.84)</u>
***	TOTAL EXPENDITURES ***	<u>5,000.00</u>	<u>561.84</u>	<u>8,735.84</u>	<u>174.72</u>	<u>(3,735.84)</u>
***	REVENUES OVER/ (UNDER) EXPENDITURES *	<u>2,000.00</u>	<u>565.56</u>	<u>3,935.35</u>	<u>196.77</u>	<u>(1,935.35)</u>

18 -MC SECURITY FUND
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>COURTS</u>						
40408	MC Security Fund Fees	<u>7,000.00</u>	<u>1,127.40</u>	<u>12,671.19</u>	<u>181.02</u>	<u>(5,671.19)</u>
	TOTAL COURTS	7,000.00	1,127.40	12,671.19	181.02	(5,671.19)
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*** TOTAL REVENUE ***		7,000.00	1,127.40	12,671.19	181.02	(5,671.19)
		=====	=====	=====	=====	=====

18 -MC SECURITY FUND
 MC SECURITY
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
504565	MC Security Expense	5,000.00	561.84	8,735.84	174.72	(3,735.84)
	TOTAL PERSONNEL SERVICES	5,000.00	561.84	8,735.84	174.72	(3,735.84)
<u>CONTRACTUAL EXPENSES</u>						
<u>CAPITAL EXPENSES</u>						
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	TOTAL MC SECURITY	5,000.00	561.84	8,735.84	174.72	(3,735.84)
		=====	=====	=====	=====	=====
<hr/>						
*** TOTAL EXPENDITURES ***		5,000.00	561.84	8,735.84	174.72	(3,735.84)
<hr/>						
*** REVENUES OVER/(UNDER) EXPENDITURES *		2,000.00	565.56	3,935.35	0.00	(1,935.35)
		=====	=====	=====	=====	=====

19 -MC TECHNOLOGY FUND
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	RESTRICTED ACCOUNTS	<u>9,000.00</u>	<u>1,186.81</u>	<u>14,011.05</u>	<u>155.68</u>	<u>(5,011.05)</u>
	*** TOTAL REVENUES ***	<u>9,000.00</u>	<u>1,186.81</u>	<u>14,011.05</u>	<u>155.68</u>	<u>(5,011.05)</u>
<u>EXPENDITURE SUMMARY</u>						
	MC TECHNOLOGY FUND	<u>8,100.00</u>	<u>859.07</u>	<u>13,648.61</u>	<u>168.50</u>	<u>(5,548.61)</u>
	*** TOTAL EXPENDITURES ***	<u>8,100.00</u>	<u>859.07</u>	<u>13,648.61</u>	<u>168.50</u>	<u>(5,548.61)</u>
	*** REVENUES OVER/ (UNDER) EXPENDITURES *	<u>900.00</u>	<u>327.74</u>	<u>362.44</u>	<u>40.27</u>	<u>537.56</u>

19 -MC TECHNOLOGY FUND
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>COURTS</u>						
<u>RESTRICTED ACCOUNTS</u>						
41190	MC Technology Fund Fee	9,000.00	1,186.81	14,011.05	155.68	(5,011.05)
	TOTAL RESTRICTED ACCOUNTS	9,000.00	1,186.81	14,011.05	155.68	(5,011.05)
<hr/>						
***	TOTAL REVENUE ***	9,000.00	1,186.81	14,011.05	155.68	(5,011.05)
		=====	=====	=====	=====	=====

19 -MC TECHNOLOGY FUND
 MC TECHNOLOGY FUND
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>PERSONNEL SERVICES</u>						
519570	MC Technology Fund Expenses	8,100.00	859.07	13,648.61	168.50	(5,548.61)
	TOTAL PERSONNEL SERVICES	8,100.00	859.07	13,648.61	168.50	(5,548.61)
<hr/>						
	TOTAL MC TECHNOLOGY FUND	8,100.00	859.07	13,648.61	168.50	(5,548.61)
<hr/>						
	*** TOTAL EXPENDITURES ***	8,100.00	859.07	13,648.61	168.50	(5,548.61)
<hr/>						
	*** REVENUES OVER/(UNDER) EXPENDITURES *	900.00	327.74	362.44	0.00	537.56
<hr/>						

27 -IN-KIND FRANCHISE FEES
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	GENERAL AND ADMINISTRATIV	0.00	0.00	8,126.60	0.00	(8,126.60)
	*** TOTAL REVENUES ***	0.00	0.00	8,126.60	0.00	(8,126.60)
<u>EXPENDITURE SUMMARY</u>						
	*** REVENUES OVER/(UNDER) EXPENDITURES *	0.00	0.00	8,126.60	0.00	(8,126.60)

27 -IN-KIND FRANCHISE FEES
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>GENERAL AND ADMINISTRATIV</u>						
40120	IN-KIND FRANCHISE INCOME	0.00	0.00	8,126.60	0.00	(8,126.60)
	TOTAL GENERAL AND ADMINISTRATIV	0.00	0.00	8,126.60	0.00	(8,126.60)
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***	TOTAL REVENUE ***	0.00	0.00	8,126.60	0.00	(8,126.60)
		=====	=====	=====	=====	=====

30 -CAPITAL PROJECTS
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	GENERAL AND ADMINISTRATIV	0.00	0.00	17,500.00	0.00	(17,500.00)
	*** TOTAL REVENUES ***	0.00	0.00	17,500.00	0.00	(17,500.00)
		=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>						
	NON-DEPARTMENTAL	0.00	0.00	70,569.50	0.00	(70,569.50)
	*** TOTAL EXPENDITURES ***	0.00	0.00	70,569.50	0.00	(70,569.50)
		=====	=====	=====	=====	=====
	*** REVENUES OVER/ (UNDER) EXPENDITURES *	0.00	0.00	(53,069.50)	0.00	53,069.50
		=====	=====	=====	=====	=====

30 -CAPITAL PROJECTS
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE</u>						
<u>GENERAL AND ADMINISTRATIV</u>						
40117	MISC INCOME	0.00	0.00	17,500.00	0.00	(17,500.00)
	TOTAL GENERAL AND ADMINISTRATIV	0.00	0.00	17,500.00	0.00	(17,500.00)
<hr/>						
*** TOTAL REVENUE ***		0.00	0.00	17,500.00	0.00	(17,500.00)
		=====	=====	=====	=====	=====

30 -CAPITAL PROJECTS
 NON-DEPARTMENTAL
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>CONTRACTUAL EXPENSES</u>						
<u>EXPENSES (Continued)</u>						
500850	PROJECT EXPENSE	0.00	0.00	70,569.50	0.00	(70,569.50)
	TOTAL EXPENSES (Continued)	0.00	0.00	70,569.50	0.00	(70,569.50)
<u>CAPITAL EXPENSES</u>						
<hr/>						
TOTAL NON-DEPARTMENTAL		0.00	0.00	70,569.50	0.00	(70,569.50)
		=====	=====	=====	=====	=====
*** TOTAL EXPENDITURES ***		0.00	0.00	70,569.50	0.00	(70,569.50)
*** REVENUES OVER/(UNDER) EXPENDITURES *		0.00	0.00	(53,069.50)	0.00	53,069.50
		=====	=====	=====	=====	=====

31 -2014 Tax Rev C/O Debt Srv
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<hr/>						
<u>REVENUE</u>						
<hr/>						
=====						

31 -2014 Tax Rev C/O Debt Srv
NON-DEPARTMENTAL
DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<hr/>						
	<u>I & S PAYMENTS</u>	_____	_____	_____	_____	_____
	<u>EXPENSES (Continued)</u>	_____	_____	_____	_____	_____
	<u>CAPITAL EXPENSES</u>	_____	_____	_____	_____	_____
		=====	=====	=====	=====	=====
		=====	=====	=====	=====	=====

32 -MAGNOLIA RIDGE - PID
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	GENERAL AND ADMINISTRATIV	<u>124,315.00</u>	<u>0.00</u>	<u>120,733.09</u>	<u>97.12</u>	<u>3,581.91</u>
***	TOTAL REVENUES ***	<u>124,315.00</u>	<u>0.00</u>	<u>120,733.09</u>	<u>97.12</u>	<u>3,581.91</u>
		=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>						
	MAGNOLIA RIDGE PID	<u>115,785.00</u>	<u>0.00</u>	<u>118,285.00</u>	<u>102.16</u>	<u>(2,500.00)</u>
***	TOTAL EXPENDITURES ***	<u>115,785.00</u>	<u>0.00</u>	<u>118,285.00</u>	<u>102.16</u>	<u>(2,500.00)</u>
		=====	=====	=====	=====	=====
***	REVENUES OVER/ (UNDER) EXPENDITURES *	<u>8,530.00</u>	<u>0.00</u>	<u>2,448.09</u>	<u>28.70</u>	<u>6,081.91</u>
		=====	=====	=====	=====	=====

32 -MAGNOLIA RIDGE - PID
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>GENERAL AND ADMINISTRATIV</u>						
40105	AD VALOREM TAX REVENUE	<u>124,315.00</u>	<u>0.00</u>	<u>120,733.09</u>	<u>97.12</u>	<u>3,581.91</u>
	TOTAL GENERAL AND ADMINISTRATIV	124,315.00	0.00	120,733.09	97.12	3,581.91
<hr/>						
***	TOTAL REVENUE ***	124,315.00	0.00	120,733.09	97.12	3,581.91
		=====	=====	=====	=====	=====

32 -MAGNOLIA RIDGE - PID
 MAGNOLIA RIDGE PID
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>I & S PAYMENTS</u>						
500033	2018 PID BOND PRINCIPAL PAY'T	30,000.00	0.00	30,000.00	100.00	0.00
500034	2018 PID BOND INTEREST PAY'T	<u>85,785.00</u>	<u>0.00</u>	<u>85,785.00</u>	<u>100.00</u>	<u>0.00</u>
	TOTAL I & S PAYMENTS	115,785.00	0.00	115,785.00	100.00	0.00
<u>CONTRACTUAL EXPENSES</u>						
<u>MISCELLANIOUS EXPENSES</u>						
<u>EXPENSES (Continued)</u>						
500800	BANK FEES	<u>0.00</u>	<u>0.00</u>	<u>2,500.00</u>	<u>0.00</u>	<u>(2,500.00)</u>
	TOTAL EXPENSES (Continued)	0.00	0.00	2,500.00	0.00	(2,500.00)
<hr/>						
	TOTAL MAGNOLIA RIDGE PID	115,785.00	0.00	118,285.00	102.16	(2,500.00)
		=====	=====	=====	=====	=====
*** TOTAL EXPENDITURES ***		115,785.00	0.00	118,285.00	102.16	(2,500.00)
*** REVENUES OVER/(UNDER) EXPENDITURES *		8,530.00	0.00	2,448.09	0.00	6,081.91
		=====	=====	=====	=====	=====

40 -SEIZED PROPERTY
 FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	POLICE	<u>0.00</u>	<u>4,375.92</u>	<u>1,196.22</u>	<u>0.00</u>	<u>(1,196.22)</u>
	*** TOTAL REVENUES ***	<u>0.00</u>	<u>4,375.92</u>	<u>1,196.22</u>	<u>0.00</u>	<u>(1,196.22)</u>
		=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>						
	SEIZED POLICE PROPERTY	<u>0.00</u>	<u>0.00</u>	<u>10,526.89</u>	<u>0.00</u>	<u>(10,526.89)</u>
	*** TOTAL EXPENDITURES ***	<u>0.00</u>	<u>0.00</u>	<u>10,526.89</u>	<u>0.00</u>	<u>(10,526.89)</u>
		=====	=====	=====	=====	=====
	*** REVENUES OVER/ (UNDER) EXPENDITURES *	<u>0.00</u>	<u>4,375.92</u>	<u>(9,330.67)</u>	<u>0.00</u>	<u>9,330.67</u>
		=====	=====	=====	=====	=====

40 -SEIZED PROPERTY
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>POLICE</u>						
40223	SEIZED PROPERTY INCOME	0.00	4,375.92	1,196.22	0.00	(1,196.22)
	TOTAL POLICE	0.00	4,375.92	1,196.22	0.00	(1,196.22)
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***	TOTAL REVENUE ***	0.00	4,375.92	1,196.22	0.00	(1,196.22)
		=====	=====	=====	=====	=====

40 -SEIZED PROPERTY
 SEIZED POLICE PROPERTY
 DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>CONTRACTUAL EXPENSES</u>						
500673	COMPUTER SOFTWARE	0.00	0.00	7,544.01	0.00	(7,544.01)
	TOTAL CONTRACTUAL EXPENSES	0.00	0.00	7,544.01	0.00	(7,544.01)
<u>MISCELLANIOUS EXPENSES</u>						
500700	GENERAL SUPPLIES	0.00	0.00	856.20	0.00	(856.20)
500744	MINOR EQUIPMENT	0.00	0.00	2,126.68	0.00	(2,126.68)
	TOTAL MISCELLANIOUS EXPENSES	0.00	0.00	2,982.88	0.00	(2,982.88)
<u>CAPITAL EXPENSES</u>						
<hr/>						
	TOTAL SEIZED POLICE PROPERTY	0.00	0.00	10,526.89	0.00	(10,526.89)
<hr/>						
*** TOTAL EXPENDITURES ***		0.00	0.00	10,526.89	0.00	(10,526.89)
<hr/>						
*** REVENUES OVER/(UNDER) EXPENDITURES *		0.00	4,375.92	(9,330.67)	0.00	9,330.67

50 -JUDICIAL EFFICIENCY
FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	RESTRICTED ACCOUNTS	200.00	67.19	1,598.30	799.15	(1,398.30)
	*** TOTAL REVENUES ***	200.00	67.19	1,598.30	799.15	(1,398.30)
<u>EXPENDITURE SUMMARY</u>						
	*** REVENUES OVER/(UNDER) EXPENDITURES *	200.00	67.19	1,598.30	799.15	(1,398.30)

50 -JUDICIAL EFFICIENCY
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>RESTRICTED ACCOUNTS</u>						
41190	JUDICIAL EFFICIENCY FUND FEE	200.00	67.19	1,598.30	799.15	(1,398.30)
	TOTAL RESTRICTED ACCOUNTS	200.00	67.19	1,598.30	799.15	(1,398.30)
<hr/>						
***	TOTAL REVENUE ***	200.00	67.19	1,598.30	799.15	(1,398.30)
		=====	=====	=====	=====	=====

50 -JUDICIAL EFFICIENCY
JUDICIAL EFFICIENCY FUND
DEPARTMENT EXPENDITURES

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>MISCELLANIOUS EXPENSES</u>						
=====						
*** REVENUES OVER/(UNDER) EXPENDITURES *						
		200.00	67.19	1,598.30	0.00	(1,398.30)
=====						

51 -LOCAL MUNICIPAL JURY FUND
FINANCIAL SUMMARY

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>REVENUE SUMMARY</u>						
	COURTS	0.00	42.91	247.82	0.00	(247.82)
*** TOTAL REVENUES ***		0.00	42.91	247.82	0.00	(247.82)
<u>EXPENDITURE SUMMARY</u>						
*** REVENUES OVER/(UNDER) EXPENDITURES *		0.00	42.91	247.82	0.00	(247.82)

51 -LOCAL MUNICIPAL JURY FUND
REVENUE

ACCT#	ACCOUNT NAME	ANNUAL BUDGET	CURRENT PERIOD	Y-T-D ACTUAL	% OF BUDGET	BUDGET BALANCE
<u>COURTS</u>						
40401	LOCAL MUNICIPAL JURY FUND	0.00	42.91	247.82	0.00	(247.82)
	TOTAL COURTS	0.00	42.91	247.82	0.00	(247.82)
<hr/>						
***	TOTAL REVENUE ***	0.00	42.91	247.82	0.00	(247.82)
		=====	=====	=====	=====	=====
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***	REVENUES OVER/ (UNDER) EXPENDITURES *	0.00	42.91	247.82	0.00	(247.82)
		=====	=====	=====	=====	=====

CITY OF MAGNOLIA
 STATEMENT OF EXPENDITURES - BUDGET vs ACTUAL
 AS OF: SEPTEMBER 30TH, 2023

% OF YEAR COMPLETED: 100.00

EXPENDITURES	PRIOR YEAR BUDGET	PRIOR YEAR Y-T-D	CURRENT BUDGET	CURRENT PERIOD	CURRENT YTD ACTUAL	BUDGET BALANCE	% OF BUDGET
01 -GENERAL FUND	5,001,365.78	5,155,753.76	6,197,697.00	457,647.91	5,774,566.67	423,130.33	93.17
02 -WATER	4,994,293.49	4,950,545.37	5,790,544.00	749,844.00	6,494,294.23 (	703,750.23)	112.15
04 -CAPITAL PROJ-ENTERPRI	3,596,622.00	(152,276.19)	4,020,000.00	139,209.36	8,459,417.85 (	4,439,417.85)	210.43
05 -DEBT SERVICE - GENERA	785,718.00	785,717.00	785,718.00	654,500.00	785,827.50 (	109.50)	100.01
06 -4B COMMUNITY DEV.	547,292.18	446,832.50	775,321.00	11,916.98	484,064.66	291,256.34	62.43
07 -4A ECONOMIC DEV.	400,397.00	471,887.44	882,220.00	70,682.04	765,047.11	117,172.89	86.72
10 -ATS-RED LIGHT CAMERA	50,000.00	69,581.66	0.00	0.00	0.00	0.00	0.00
11 -HB 445 ROAD REPAIR	300,000.00	17,363.25	450,000.00	2,368.75	47,497.68	402,502.32	10.56
17 -HOTEL/MOTEL OCCUPANCY	40,000.00	18,864.63	25,000.00	0.00	19,843.00	5,157.00	79.37
18 -MC SECURITY FUND	5,000.00	7,199.46	5,000.00	561.84	8,735.84 (	3,735.84)	174.72
19 -MC TECHNOLOGY FUND	8,100.00	9,874.92	8,100.00	859.07	13,648.61 (	5,548.61)	168.50
30 -CAPITAL PROJECTS	0.00	(34,786.00)	0.00	0.00	70,569.50 (	70,569.50)	0.00
32 -MAGNOLIA RIDGE - PID	117,495.00	151,953.14	115,785.00	0.00	118,285.00 (	2,500.00)	102.16
40 -SEIZED PROPERTY	0.00	2,922.99	0.00	0.00	10,526.89 (	10,526.89)	0.00
GRAND TOTAL EXPENDITURES	15,846,283.45	11,901,433.93	19,055,385.00	2,087,589.95	23,052,324.54	3,996,939.54	120.98
	=====	=====	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	7,964,456.27	10,530,501.32	4,310,273.18	539,484.84	(966,216.58)	5,276,489.76	22.42-