

Scott Shelburne, Chairman  
Anne Sundquist, Vice Chairman  
Josh Jakubik, Secretary  
Trevor Brown  
Holly Knee  
Tom Mayhew  
Robert Barker III



City Administrator, Don Doering  
City Secretary, Kandice Garrett  
City Attorney, Leonard Schneider  
City Engineer, Mike Kurzy  
Planning Coordinator, Christian Gable

## **NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION**

---

### **AGENDA**

#### **REGULAR MEETING**

**THURSDAY, NOVEMBER 17, 2022 - 4:30 P.M.**

Sewall Smith Council Chambers

18111 Buddy Riley Blvd., Magnolia, Texas 77354

---

#### **1. CALL TO ORDER**

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

#### **2. OPEN PUBLIC HEARING**

##### **NOTICE OF PUBLIC HEARING**

On November 17, 2022 at 4:30 pm., City of Magnolia Planning and Zoning Commission will hold a public hearing in the Council Chambers of Magnolia City Hall, 18111 Buddy Riley, Blvd., Magnolia, Texas 77354, giving all interested persons the right to appear and be heard, and to discuss the following text amendment(s) to the City of Magnolia Unified Development Code:

- Chapter 2 - Zoning Districts and Land Uses, Table 2-2-1.02 Land Uses concerning Day Care Centers in Auto-Urban Commercial zoning district.

#### **3. CLOSE PUBLIC HEARING AND CONVENE REGULAR MEETING**

#### **4. CONSENT AGENDA**

*This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.*

##### **a. CONSIDERATION – APPROVAL OF MINUTES**

Consideration and possible action to approve the minutes of the meeting held October 20, 2022.

**5. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC**

*(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).*

*Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:*

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

**6. ANNOUNCEMENTS**

*(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)*

**7. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)**

**8. CONSIDERATION AND POSSIBLE ACTION TO APPROVE TEXT AMENDMENT TO THE UNIFIED DEVELOPMENT CODE, CHAPTER 2 - ZONING DISTRICTS AND LAND USES, TABLE 2-2-1.02 LAND USES, CONCERNING DAY CARE CENTERS IN AUTO-URBAN COMMERCIAL DISTRICTS**

**9. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE WATER PLANT #3, PRELIMINARY PLAT, +/- 2.281 ACRES**

**10. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE WATER PLANT #3, FINAL PLAT, +/- 2.281 ACRES**

**11. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR CHRISTIAN BROTHERS AUTOMOTIVE**

**12. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MISTER CAR WASH**

**13. FUTURE AGENDA ITEMS**

**14. ADJOURN**

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

**CERTIFICATE**

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, [www.cityofmagnolia.com](http://www.cityofmagnolia.com), in compliance with Chapter 551, Texas Government Code.

DATE \_\_\_\_\_  
TIME \_\_\_\_\_  
TAKEN DOWN \_\_\_\_\_

\_\_\_\_\_  
Kandice Garrett, City Secretary



## Hearst Newspapers, LLC Order Confirmation

<b><u>Ad Order Number</u></b>	<b><u>Customer</u></b>	<b><u>Payor Customer</u></b>	<b><u>PO Number</u></b>
0034237254	CITY OF MAGNOLIA	CITY OF MAGNOLIA	
<b><u>Sales Rep.</u></b>	<b><u>Customer Account</u></b>	<b><u>Payor Account</u></b>	<b><u>Ordered By</u></b>
0630-HOU	20017370	20017370	Christian Gable
<b><u>Order Taker</u></b>	<b><u>Customer Address</u></b>	<b><u>Payor Address</u></b>	<b><u>Customer Fax</u></b>
jvega	18111 BUDDY RILEY BLVD MAGNOLIA TX 773545864 USA	18111 BUDDY RILEY BLVD MAGNOLIA TX 773545864 USA	
<b><u>Order Source</u></b>	<b><u>Customer Phone</u></b>	<b><u>Payor Phone</u></b>	<b><u>Customer EMail</u></b>
Rep	2813562266	2813562266	
			<b><u>Special Pricing</u></b>

<b><u>Tear Sheets</u></b>	<b><u>Proofs</u></b>	<b><u>Affidavits</u></b>	<b><u>Blind Box</u></b>	<b><u>Promo Type</u></b>	<b><u>Materials</u></b>
---------------------------	----------------------	--------------------------	-------------------------	--------------------------	-------------------------

1	0	1			
---	---	---	--	--	--

**Invoice Text**

Chapter 2 - Zoning Districts and Land Uses

**Ad Order Notes**

	<b><u>Gross Amount</u></b>	<b><u>Net Amount</u></b>	<b><u>Tax Amount</u></b>	<b><u>Total Amount</u></b>	<b><u>Payment Method</u></b>	<b><u>Payment Amount</u></b>	<b><u>Amount Due</u></b>
	76.25	\$76.25	\$0.00	\$76.25	Credit Card Pymt	\$0.00	\$76.25

<b><u>Ad Number</u></b>	<b><u>Ad Type</u></b>	<b><u>Production Method</u></b>	<b><u>Production Notes</u></b>
0034237254-01	Legal	AdBooker	

<b><u>External Ad Number</u></b>	<b><u>Ad Attributes</u></b>	<b><u>Ad Released</u></b>	<b><u>Pick Up</u></b>
		No	

<b><u>Ad Size</u></b>	<b><u>Color</u></b>
2 X 10 li	

**NOTICE OF PUBLIC HEARING**  
 On November 17, 2022 at 4:30 pm., City of Magnolia Planning and Zoning Commission will hold a public hearing in the Council Chambers of Magnolia City Hall, 18111 Buddy Riley, Blvd., Magnolia, Texas 77354, giving all interested persons the right to appear and be heard, and to discuss the following text amendment(s) to the City of Magnolia Unified Development Code:  
 Chapter 2 - Zoning Districts and Land Uses, Table 2-2-1.02 Land Uses concerning Day Care Centers in the Auto-Urban Commercial zoning district

<b><u>Product</u></b>	<b><u>Placement</u></b>	<b><u>Position</u></b>	<b><u>First Run Date</u></b>	<b><u>Last Run Date</u></b>
HCN Cypress Creek Champions	Legals	Legal Notices	Wednesday, November 2, 202	Wednesday, November 2, 202
HCN Cypress Creek Cypress	Legals	Legal Notices	Wednesday, November 2, 202	Wednesday, November 2, 202
HCN Tomball Potpourri	Legals	Legal Notices	Wednesday, November 2, 202	Wednesday, November 2, 202
HOU Online	Legals	Legal Notices	Wednesday, November 2, 202	Thursday, December 1, 2022

Scott Shelburne, Chairman  
Anne Sundquist, Vice Chairman  
Josh Jakubik, Secretary  
Trevor Brown  
Robert Franklin  
Holly Knee  
Tom Mayhew



City Administrator, Don Doering  
City Secretary, Kandice Garrett  
City Attorney, Leonard Schneider  
City Engineer, AEI, Mike Kurzy  
Planning Consultant, Tana Ross

## MINUTES OF THE PLANNING & ZONING COMMISSION PUBLIC HEARING AND SPECIAL MEETING OCTOBER 20, 2022

A meeting of the Planning & Zoning Commission was held on October 20, 2022, beginning at 4:30 p.m. in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

### 1. CALL TO ORDER

Chairman Scott Shelburne called the regular meeting to order at 4:30 pm.

#### a. INVOCATION

Tom Mayhew delivered the invocation.

#### b. PLEDGE OF ALLEGIANCE

Chairman Scott Shelburne led the Pledge of Allegiance.

#### c. ROLL CALL AND CERTIFICATION OF QUORUM

Chairman Scott Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Anne Sundquist, Josh Jakubik, Robert Barker III, Trevor Brown, Holly Knee, and Tom Mayhew.

Absent: None

Staff present: City Administrator Don Doering, and Finance Administrator Beverly Standley

### 2. CONSENT AGENDA

*This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.*

#### a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held September 29, 2022.

**MOTION:** Upon a motion to approve Consent Agenda made by Anne Sundquist and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 5-0.

### 3. REQUESTS / PETITIONS FROM THE PUBLIC

None

**4. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC**

*(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda). Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:*

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

None

**5. ANNOUNCEMENTS**

*(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)*

Chairman Scott Shelburne welcomed the newly appointed Commissioner, Robert Barker III and discussed his background.

**6. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS (Staff)**

City Administrator Don Doering reported that work on the new water well began yesterday.

Chairman Shelburne provided an update regarding the HEB Grand Opening on November 2 and progress of the development at Heritage Green.

**7. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MUSTANG RIDGE, SECTION 3, FINAL PLAT, +/-25.522 ACRES**

Chairman Shelburne presented this item and noted the City Engineer has issued a letter of no objection and the Planning Coordinator recommends approval.

**MOTION:** Upon a motion to approve Mustang Ridge, Section 3, Final Plat, +/-25.522 Acres made by Tom Mayhew and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 7-0.

**8. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MUSTANG RIDGE, SECTION 3, FINAL PLAT, +/-**

Chairman Shelburne presented this item and noted the City Engineer has issued a letter of no objection and the Planning Coordinator recommends approval.

**MOTION:** Upon a motion to approve Magnolia Ridge Forest, Section 17, Final Plat, +/-50.434 Acres made by Anne Sundquist and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 7-0.

**9. FUTURE AGENDA ITEMS**

None

**10. ADJOURN**

**MOTION:** Upon a motion to adjourn made by Josh Jakubik and seconded by Anne Sundquist, the Commission members present voted, the motion carried unanimously, 7-0 and Chairman Shelburne adjourned the meeting at 4:40 pm.

Planning & Zoning Commission

\_\_\_\_\_  
Scott Shelburne, Chairman

**CERTIFICATION**

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on October 20, 2022.

ATTEST:

\_\_\_\_\_  
Kandice Garrett, City Secretary

**City of Magnolia  
Planning & Zoning  
Agenda Item Summary**

**Date:** November 10, 2022

To: Planning & Zoning Commission  
From: Christian Gable, Planning Coordinator

**RE:** Planning and Zoning Commission Agenda **Item 8**

**Background/Information:**

A request to amend UDC Ch. 2 Land Use Table was received October 12 suggesting Day Care Centers to be conditionally permitable in Auto-Urban Commercial zoning districts.

**Comments:**

Day Care Centers are not permitable anywhere, unless conditionally approved in Suburban Village or Unity Plaza districts. Similarly to these two, Auto Urban Commercial is intended for office, retail, and commercial services.

**Action Requested:**

Amend UDC to allow Day Care Centers in Auto-Urban Commercial districts conditionally.

**Recommendation:**

Amend UDC to allow Day Care Centers in Auto-Urban Commercial districts conditionally.

**Attachments:**

Letter of Request

October 12, 2022

Don Doering  
City Manager  
City of Magnolia  
18111 Buddy Riley Blvd  
Magnolia, TX 77354

Dear Mr. Doering,

Thank you for taking time to discuss the city's land use code recently. The Code currently allows "public assembly" including "preschools" by right in the Auto-Urban Commercial Zoning District, but prohibits "day care centers". As described in Table 2-1-1.03 of the city's Unified Development Code, the Auto-Urban Commercial (AC) Zoning District "is intended for a broad range of commercial uses with on-site, surface parking." Day care centers are complementary to many of the uses permitted in this zoning district, such as grocery stores, shopping centers, libraries, and medical offices. Amending the UDC to allow day care centers as a **conditional** use ensures that the city retains the authority to determine where this use is best located to serve the community.

In accordance with Section 11-3-3.01 of the Unified Development Code, I am requesting that you recommend to the Planning and Zoning Commission that they consider amending the text of the UDC to allow daycare as a Conditional Use in the AC Zoning District. If I understand the process correctly, a proposed amendment to the UDC would require a public hearing and action by P&Z, followed by a public hearing and action by the City Council. Please let me know when these public hearings and meetings are scheduled.

Thank you for your consideration of this request.

Kind regards,

**Chessie Zimmerman**  
**Development Manager, Magnolia Place**  
STRATUS PROPERTIES  
212 Lavaca Street, Suite 300 | Austin, Texas 78701  
M: 512.708.0739  
<http://www.stratusproperties.com/>

# UNIFIED DEVELOPMENT CODE

Table 2-1-1.03  
Zoning Districts

District		Lot or Neighborhood Type or Function	Purpose
Name	Type/Use		
<b>Non-Residential Zoning Districts</b>			
Suburban Village (SV)	Commercial and Professional	Neighborhood Center	This district provides for neighborhood convenience uses, with a <u>building</u> scale and site design that is compatible and cohesive with <u>abutting</u> and <u>adjacent</u> neighborhoods. It may also accommodate upper floor residential and live-work units, as well as multiplexes.
Auto-Urban Commercial (AC)	Office, Retail, and Services	General commercial uses arranged on individual sites or in multi-tenant centers.	This district is intended for a broad range of commercial uses with on-site, surface parking.
Town Center (TC)	Retail	Pedestrian and tourism-oriented retail uses	This district is for the area along and around The Stroll, which is intended as a walkable retail shopping and entertainment area with a unique character.
Unity Plaza (UP)	Office, Retail, and Services	Higher intensity retail, professional, service, civic, and institutional uses in a pedestrian-oriented environment.	This district is intended as a focal point for the community, which would be a mixed use, walkable environment in a traditional downtown setting where buildings are oriented to the <u>street</u> with no or limited <u>setbacks</u> and parking is on-street, off-site, or in <u>structures</u> .
Public Use (PU)	Institutional, <u>Utility</u> , and Assembly	Public service, institutional, utility, and assembly uses, e.g., governmental and school buildings and facilities, utility stations, semi-public places of assembly, etc.	This district is for public and semi-public uses that are unique in the nature and scale and thus, not appropriately placed within any other district.

**City of Magnolia  
Planning & Zoning  
Agenda Item Summary**

**Date:** November 10, 2022

To: Planning & Zoning Commission  
From: Christian Gable, Planning Coordinator

**RE:** Planning and Zoning Commission Agenda **Item 9**

**Background/Information:**

A preliminary & final plat was received on August 8, 2022. Revisions were also made after this date and supplied to City Engineer for review.

**Comments:**

Letter of No Objection was issued by City Engineer on November 8, 2022.

**Action Requested:**

Approve preliminary plat for Water Plant #3.

**Recommendation:**

Approve preliminary plat for Water Plant #3.

**Attachments:**

Preliminary Plat



## Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

### CONTACT INFORMATION

#### Applicant

Windrose Land Services -Amber Whiting  
Name

11111 Richmond Ave, Suite 150  
Street Address

Houston, TX 77082  
City, State Zip

713-458-8821  
Phone

N/A  
Fax

amber.whiting@windroseservices.com  
E-mail

#### Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

#### Property Owner (if different)

City of Magnolia Texas  
Name

18111 Buddy Riley Blvd  
Street Address

Magnolia, TX 77354  
City, State Zip

281-356-2266  
Phone

N/A  
Fax

N/A  
E-mail

#### Engineer/Land Surveyor (if different)

AEI - Janice Noeldner  
Name

11450 Compaq Center Drive, Suite 660  
Street Address

Houston, TX 77070  
City, State Zip

281-350-7027  
Phone

N/A  
Fax

JNoeldner@baxterwoodman.com  
E-mail



STATE OF TEXAS  
COUNTY OF MONTGOMERY

We, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through \_\_\_\_\_ and \_\_\_\_\_, being officers of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, herein refer to as the owner of the property subdivided in the above and foregoing map of WATER PLANT NO. 3, do hereby make subdivision of said property for and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, according to the lines, streets, alleys, parks, building lines, and easements therein shown, and designate said subdivision as WATER PLANT NO. 3, in the J.B. RICHARDS SURVEY, ABSTRACT NO. 449, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever, and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through \_\_\_\_\_ and \_\_\_\_\_, being officers of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, owners of the property subdivided in the above and foregoing map of WATER PLANT NO. 3 have complied with or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

FURTHER, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through \_\_\_\_\_ and \_\_\_\_\_, do hereby dedicate forever to the public a strip of land a minimum of fifteen (15) feet wide on each side of the centerline of all gullies, ravines, draws, sloughs or other natural drainage courses located in said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easement at any and all times for the purpose of construction and/or maintaining drainage work and/or structure.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

1. The drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
2. Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

IN TESTIMONY WHEREOF, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas has caused these presents to be signed by \_\_\_\_\_, and \_\_\_\_\_, thereunto authorized, and its common seal hereunto affixed this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas

By: \_\_\_\_\_ Name \_\_\_\_\_ Title \_\_\_\_\_  
By: \_\_\_\_\_ Name \_\_\_\_\_ Title \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ and \_\_\_\_\_, of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas  
My Commission Expires: \_\_\_\_\_



ROBERT KNESS  
Registered Professional Land Surveyor  
Texas Registration No. 6486

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Scott A. Shelburne  
Planning and Zoning Chairperson  
Kandice Garrett  
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana  
Mayor

Kandice Garrett  
City Secretary

I, Mark Turnbull, Clerk of the County Court of Montgomery County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on \_\_\_\_\_, 20\_\_\_\_, at o'clock, \_\_\_\_M., and duly recorded on \_\_\_\_\_, 20\_\_\_\_, at o'clock, \_\_\_\_M., in Cabinet \_\_\_\_\_, Sheet \_\_\_\_\_, of record of \_\_\_\_\_ for said County.

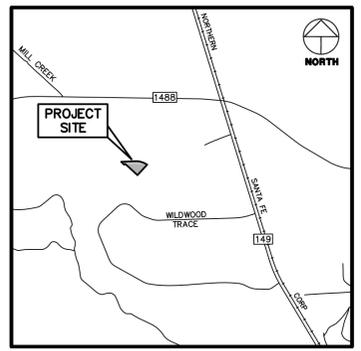
WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk, County Clerk  
Montgomery County, Texas

By: \_\_\_\_\_  
Deputy

GENERAL NOTES

1. BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
2. ALL COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES (NAD 83), AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999966245.
3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR MONTGOMERY COUNTY, TEXAS, MAP NO. 48330C480G REVISED/DATED AUGUST 18, 2014, THE SUBJECT TRACT APPEARS TO BE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES; THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
4. PLAT BENCHMARK IS A 3" BRASS DISK STAMPED "W3 7-21116" SET IN A CONCRETE BASE AT GROUND LEVEL LOCATED 34'-55" SOUTHEAST OF THE INTERSECTION OF GUILLEMONT LANE AND FUTURE MILL CREEK ROAD, AND +/- 8' EAST OF A CONCRETE STORM INLET ON THE EASTERLY RIGHT-OF-WAY OF GUILLEMONT LANE. ELEVATION = 211.16' (NAVD88, GEOID18)
5. THE CITY OF MAGNOLIA HAS ADOPTED ZONING. THIS PROPERTY FALLS UNDER A RESIDENTIAL ZONING DISTRICT: RURAL RESIDENTIAL (RU). THIS DISTRICT IS FOR THE PURPOSE OF PRESERVING THE AGRICULTURAL USE OF LAND IN THE PERIPHERAL AREAS OF THE CITY. GENERALLY, IT IS NOT INTENDED FOR URBAN DEVELOPMENT YET IT MAY ACCOMMODATE INDIVIDUAL HOMESTEADS.
6. PROPERTY IS SUBJECT TO THE ORDINANCES IF ANNEXATION EXECUTED BY THE CITY OF MAGNOLIA RECORDED UNDER COUNTY CLERK'S FILE NUMBERS 2014065510 AND 2014065511.
7. ACCORDING TO THE UNIFIED DEVELOPMENT CODE, THE MINIMUM OPEN SPACE RATIO FOR THIS ZONING IS 0%.



CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

VICINITY MAP  
SCALE: 1" = 2,000'

- ABBREVIATIONS
- FND - FOUND
  - M.C.C.F. - MONTGOMERY COUNTY CLERK FILE
  - M.C.D.R. - MONTGOMERY COUNTY DEED RECORDS
  - M.C.M.R. - MONTGOMERY COUNTY MAP RECORDS
  - IP - IRON PIPE
  - IR - IRON ROD
  - NO. - NUMBER
  - PG. - PAGE
  - R.O.W. - RIGHT-OF-WAY
  - SQ. FT. - SQUARE FEET
  - VOL. - VOLUME
  - B.L. - BUILDING LINE
  - W.L.E. - WATER LINE EASEMENT
  - S.S.E. - SANITARY SEWER EASEMENT
  - U.E. - UTILITY EASEMENT

PRELIMINARY PLAT OF  
WATER PLANT NO. 3  
A SUBDIVISION OF  
2.281 AC. / 99,358 SQ. FT.  
SITUATED IN THE J.B. RICHARDS SURVEY,  
ABSTRACT NO. 449, CITY OF MAGNOLIA,  
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE  
NOVEMBER 2022

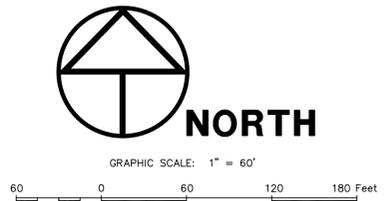
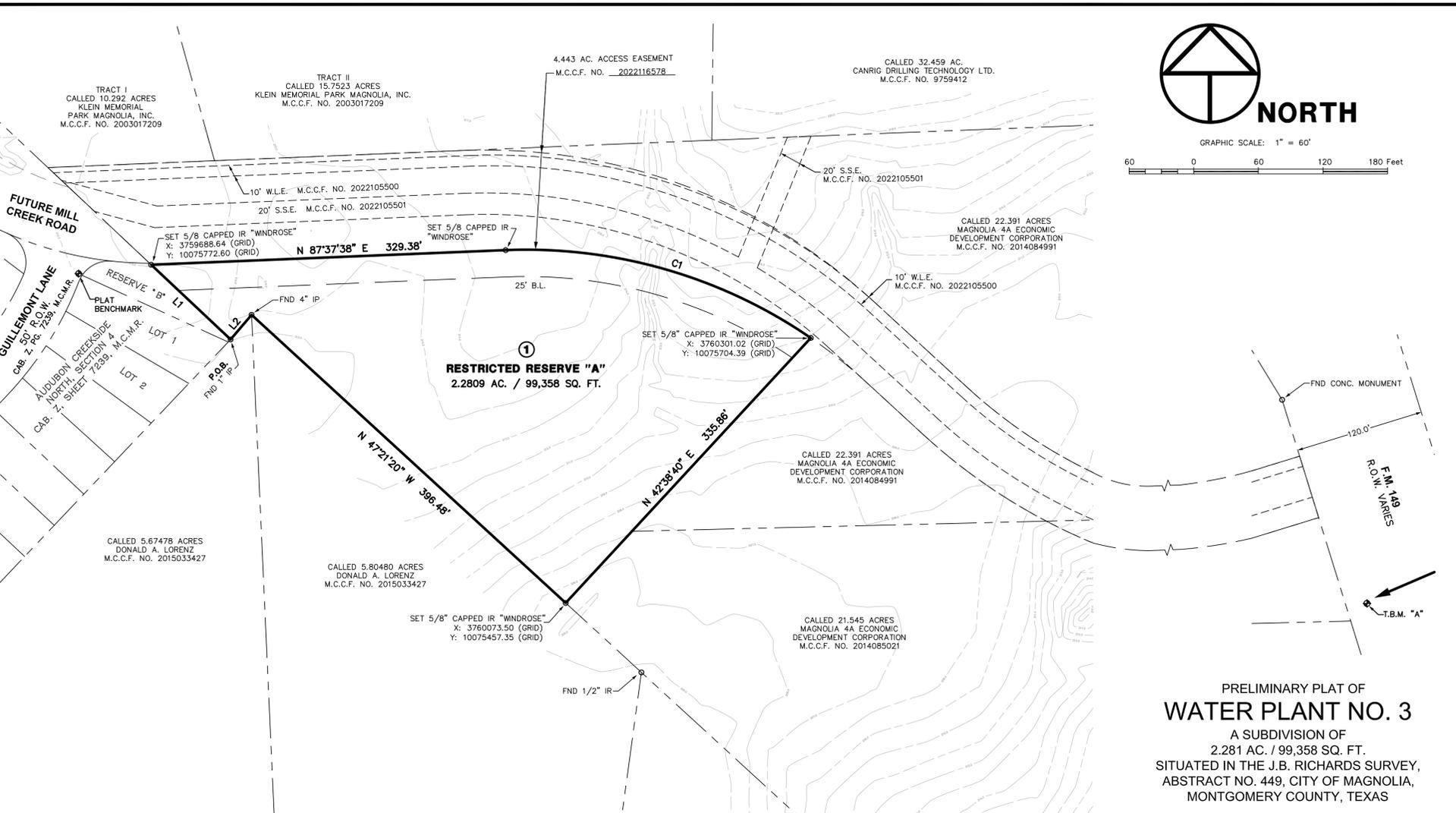
Owner  
City of Magnolia Texas  
a Type A municipal corporation  
in Montgomery County, the State of Texas

18111 Buddy Riley Blvd  
Magnolia, TX 77354

Surveyor



WINDROSE  
LAND SURVEYING | PLATTING  
11111 RICHMOND AVE., SUITE 150 | HOUSTON, TX 77082 | 713.458.2281  
FIRM REGISTRATION NO. 10168890 | WINDROSESERVICES.COM



PRELIMINARY PLAT OF  
WATER PLANT NO. 3  
A SUBDIVISION OF  
2.281 AC. / 99,358 SQ. FT.  
SITUATED IN THE J.B. RICHARDS SURVEY,  
ABSTRACT NO. 449, CITY OF MAGNOLIA,  
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE  
NOVEMBER 2022

Owner  
City of Magnolia Texas  
a Type A municipal corporation  
in Montgomery County, the State of Texas

18111 Buddy Riley Blvd  
Magnolia, TX 77354

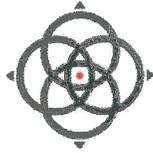
Surveyor



WINDROSE  
LAND SURVEYING | PLATTING  
11111 RICHMOND AVE., SUITE 150 | HOUSTON, TX 77082 | 713.458.2281  
FIRM REGISTRATION NO. 10168890 | WINDROSESERVICES.COM

Z:\57296-CITY OF MAGNOLIA-WATER PLANT SITE\PLAT\PRELIM VERSION\20221103-PLAT-CITY OF MAGNOLIA WATER PLANT NO. 3-57296-P116773.DWG

Z:\57296-CITY OF MAGNOLIA-WATER PLANT SITE\PLAT\PRELIM VERSION\20221103-PLAT-CITY OF MAGNOLIA WATER PLANT NO. 3-57296-P116773.DWG



# WINDROSE

LAND SURVEYING | PLATTING

**November 4, 2022**

**City of Magnolia  
18111 Buddy Riley Blvd  
Magnolia, Texas 77354**

**Re: City of Magnolia Water Plant No. 3 – Preliminary Plat Comment Response Letter**

The following revisions have been made based on the review letter from AEI Engineering:

1. The elevation has been updated to the set Subdivision Benchmark: Elevation 211.16'.
2. FEMA Map panel number has been updated: 48339C0480G, revision date August, 18, 2014.
3. Point of Beginning (P.O.B.) has been indicated on the plat.
4. A City Planning Letter has been included: Dated September 7, 2022.
5. Front Setback of 25' has been added to the plat. According to the Unified Development Code, the open space ratio for Rural Residential zoning is 0%.
6. Two newly recorded easements have been added to the plat within the proposed access easement: 10' WLE, M.C.C.F. No. 2022105500 & 20' SSE, M.C.C.F. No. 2022105501.
7. The access easement has been approved by City Council. The access easement has been recorded under Montgomery County Clerk File No. 2022116578.

If you have any questions regarding this property, or the platting of this property, please contact Amber Whiting at [amber.whiting@windroseservices.com](mailto:amber.whiting@windroseservices.com) or 346-998-4044.

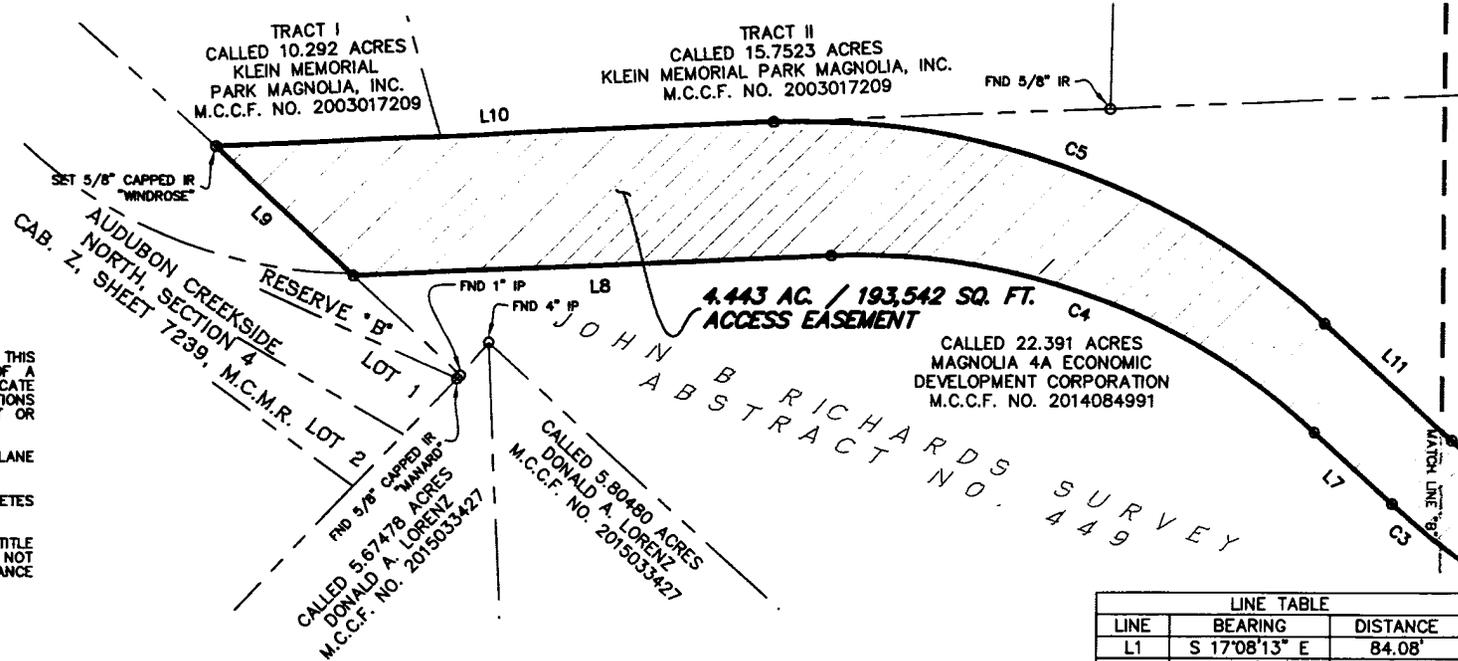
Thank you,

**AMBER WHITING**  
**PLATTING PROJECT MANAGER**  
WINDROSE LAND SURVEYING  
11111 RICHMOND AVE, STE 150 | HOUSTON, TX 77082  
O: (713) 458-2281 D: (346) 998-4044 [WINDROSESERVICES.COM](http://WINDROSESERVICES.COM)



**NORTH**

SCALE: 1" = 100'



**GENERAL NOTES**

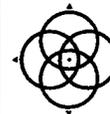
1. SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE AND WOULD BE SUBJECT TO ANY AND ALL CONDITIONS OR RESTRICTIONS THAT A CURRENT TITLE REPORT OR ABSTRACTORS CERTIFICATE MAY DISCLOSE.
2. BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. (NAD83)
3. THIS EXHIBIT IS ACCOMPANIED BY A SEPARATE METES AND BOUNDS DESCRIPTION.
4. THIS EXHIBIT DOES NOT IMPLY TO BE A LAND TITLE SURVEY OF THE SUBJECT PROPERTY AND IS NOT INTENDED TO BE USED FOR TITLE CONVEYANCE PURPOSES.

CURVE CHART					
CURVE	RADIUS	DELTA	LENGTH	BEARING	CHORD
C1	470.00'	7°09'54"	58.78'	S 69°15'23" W	58.74'
C2	530.00'	21°57'22"	203.10'	S 76°39'07" W	201.86'
C3	535.00'	45°04'02"	420.82'	N 69°50'11" W	410.05'
C4	465.00'	45°04'12"	365.78'	N 69°50'16" W	356.42'
C5	530.00'	45°04'12"	416.91'	S 69°50'16" E	406.24'
C6	475.00'	45°04'02"	373.62'	S 69°50'11" E	364.06'
C7	470.00'	21°57'22"	180.11'	N 76°39'07" E	179.01'
C8	530.00'	7°09'54"	66.28'	N 69°15'23" E	66.24'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 17°08'13" E	84.08'
L2	S 31°22'38" E	123.21'
L3	S 17°09'40" E	55.01'
L4	S 17°09'40" E	60.00'
L5	S 72°50'20" W	137.05'
L6	S 65°40'26" W	121.08'
L7	N 47°18'10" W	72.97'
L8	S 87°37'38" W	329.38'
L9	N 46°38'11" W	131.91'
L10	N 87°37'38" E	384.99'
L11	S 47°18'10" E	119.57'
L12	N 65°40'26" E	121.08'
L13	N 72°50'20" E	137.05'

EXHIBIT OF  
ACCESS EASEMENT  
4.443 AC. / 193,542 SQ. FT.  
SITUATED IN THE  
JOHN B RICHARDS SURVEY, A-449  
MONTGOMERY COUNTY, TEXAS

FILED BY: -	DATE: 04/04/2022
DRAWN BY: RO	REV:
CHECKED BY: MC	REV:
JOB NO. 57296-AXS-1	REV:
SHEET 3 OF 5	REV:



**WINDROSE**  
LAND SURVEYING | PLATTING

11111 RICHMOND AVE, STE 150 | HOUSTON, TX 77082 | 713.458.2281  
FIRM REGISTRATION NO. 10108800 | WINDROSESERVICES.COM



November 8, 2022

Mr. Don Doering  
City Administrator  
City of Magnolia  
18111 Buddy Riley Boulevard  
Magnolia, Texas 77354

**Reference:     *Water Plant No. 3 – Preliminary Plat Review Letter***  
***City of Magnolia***  
***AEI Job No. 221697.80-001***

Dear Mr. Doering:

We received the revised preliminary plat for the proposed Water Plant No. 3 on November 8, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Cristin Emshoff, MUP, ENV SP  
Urban Planner

AEI Engineering, a Baxter & Woodman Company  
TBPELS Registration No. F-21783

XC:     Ms. Christian Gable – City of Magnolia - Planning Coordinator  
          Mr. Burt Smith – City of Magnolia – Director of Public Works  
          Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company  
          Mr. Robel E. Giackero, PE. – AEI Engineering, a Baxter & Woodman Company  
          Ms. Amber Whiting, Windrose Services, Inc.

**City of Magnolia  
Planning & Zoning  
Agenda Item Summary**

**Date:** November 10, 2022

To: Planning & Zoning Commission  
From: Christian Gable, Planning Coordinator

**RE:** Planning and Zoning Commission Agenda **Item 10**

**Background/Information:**

A preliminary & final plat was received on August 8, 2022. Revisions were also made after this date and supplied to City Engineer for review.

**Comments:**

Letter of No Objection was issued by City Engineer on November 8, 2022.

**Action Requested:**

Approve final plat for Water Plant #3.

**Recommendation:**

Approve final plat for Water Plant #3.

**Attachments:**

Final Plat



# Final Plat Application Form

This form shall be submitted with each application for a final plat.

## CONTACT INFORMATION

### Applicant

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

### Architect (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

### Property Owner (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

### Engineer/Land Surveyor (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

**PROPERTY PROFILE**

---

Property ID # \_\_\_\_\_

Legal Description \_\_\_\_\_  
(Subdivision) (Lot) (Block)

Current Zoning \_\_\_\_\_

Present Use of Property  
\_\_\_\_\_  
\_\_\_\_\_

Proposed Use of the Property  
\_\_\_\_\_  
\_\_\_\_\_

Total Area of Site \_\_\_\_\_

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Description of proposed property change, including lot numbers, name, etc.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STATE OF TEXAS  
COUNTY OF MONTGOMERY

We, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through Todd Kana, Mayor, being officer of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, hereinafter referred to as the owner of the property subdivided in the above and foregoing map of WATER PLANT NO. 3, do hereby make subdivision of said property for and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, according to the lines, streets, alleys, parks, building lines, and easements therein shown, and designate said subdivision as WATER PLANT NO. 3, in the J.B. RICHARDS SURVEY, ABSTRACT NO. 449, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, and on behalf of said City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through Todd Kana, Mayor, being officer of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, owners of the property subdivided in the above and foregoing map of WATER PLANT NO. 3 have complied with or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

FURTHER, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, acting by and through Todd Kana, Mayor, do hereby dedicate forever to the public a strip of land a minimum of fifteen (15) feet wide on each side of the centerline of all gullies, ravines, draws, sloughs or other natural drainage courses located in said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easement at any and all times for the purpose of construction and/or maintaining drainage work and/or structure.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:

- The drainage of septic tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
- Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

IN TESTIMONY WHEREOF, WE, City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas has caused these presents to be signed by Todd Kana, Mayor, thereunto authorized, and its common seal hereunto affixed this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas

By: Todd Kana  
Mayor

STATE OF TEXAS  
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared Todd Kana, Mayor, of City of Magnolia Texas, a Type A municipal corporation in Montgomery County, the State of Texas, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas  
My Commission Expires:

I, ROBERT KNESS, a Registered Professional Land Surveyor, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods having a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner.



ROBERT KNESS  
Registered Professional Land Surveyor  
Texas Registration No. 6486

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Scott A. Shelburne  
Planning and Zoning Chairperson

Kandice Garrett  
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of WATER PLANT NO. 3 as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana  
Mayor

Kandice Garrett  
City Secretary

I, Mark Turnbull, Clerk of the County Court of Montgomery County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on \_\_\_\_\_, 20\_\_\_\_, at o'clock, \_\_\_\_M., and duly recorded on \_\_\_\_\_, 20\_\_\_\_, at o'clock, \_\_\_\_M., in Cabinet \_\_\_\_\_, Sheet \_\_\_\_\_, of record of \_\_\_\_\_ for said County.

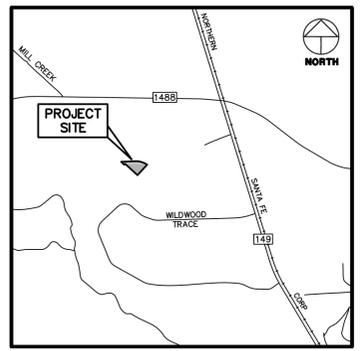
WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk, County Clerk  
Montgomery County, Texas

By: \_\_\_\_\_  
Deputy

GENERAL NOTES

- BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
- ALL COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES (NAD 83), AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999966245.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR MONTGOMERY COUNTY, TEXAS, MAP NO. 48330C480G REVISED/DATED AUGUST 18, 2014, THE SUBJECT TRACT APPEARS TO BE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
- PLAT BENCHMARK IS A 3" BRASS DISK STAMPED "W3 7-21116" SET IN A CONCRETE BASE AT GROUND LEVEL LOCATED 7' - 55" SOUTHEAST OF THE INTERSECTION OF GUILLEMONT LANE AND FUTURE MILL CREEK ROAD, AND +/- 8' EAST OF A CONCRETE STORM INLET ON THE EASTERLY RIGHT-OF-WAY OF GUILLEMONT LANE. ELEVATION = 211.16' (NAVD83, GEOID18)
- THE CITY OF MAGNOLIA HAS ADOPTED ZONING. THIS PROPERTY FALLS UNDER A RESIDENTIAL ZONING DISTRICT: RURAL RESIDENTIAL (RU). THIS DISTRICT IS FOR THE PURPOSE OF PRESERVING THE AGRICULTURAL USE OF LAND IN THE PERIPHERAL AREAS OF THE CITY. GENERALLY, IT IS NOT INTENDED FOR URBAN DEVELOPMENT YET IT MAY ACCOMMODATE INDIVIDUAL HOMESTEADS.
- PROPERTY IS SUBJECT TO THE ORDINANCES IF ANNEXATION EXECUTED BY THE CITY OF MAGNOLIA RECORDED UNDER COUNTY CLERK'S FILE NUMBERS 2014065510 AND 2014065511.
- ACCORDING TO THE UNIFIED DEVELOPMENT CODE, THE MINIMUM OPEN SPACE RATIO FOR THIS ZONING IS 0%



CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

VICINITY MAP  
SCALE: 1" = 2,000'

ABBREVIATIONS

- FND - FOUND
- M.C.C.F. - MONTGOMERY COUNTY CLERK FILE
- M.C.D.R. - MONTGOMERY COUNTY DEED RECORDS
- M.C.M.R. - MONTGOMERY COUNTY MAP RECORDS
- IP - IRON PIPE
- IR - IRON ROD
- NO. - NUMBER
- PG. - PAGE
- R.O.W. - RIGHT-OF-WAY
- SQ. FT. - SQUARE FEET
- VOL. - VOLUME
- B.L. - BUILDING LINE
- W.L.E. - WATER LINE EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- U.E. - UTILITY EASEMENT

FINAL PLAT OF  
WATER PLANT NO. 3  
A SUBDIVISION OF  
2.281 AC. / 99,358 SQ. FT.  
SITUATED IN THE J.B. RICHARDS SURVEY,  
ABSTRACT NO. 449, CITY OF MAGNOLIA,  
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE  
NOVEMBER 2022

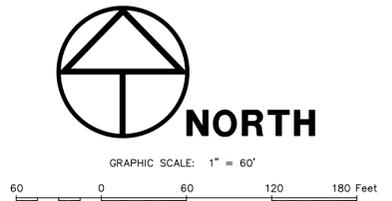
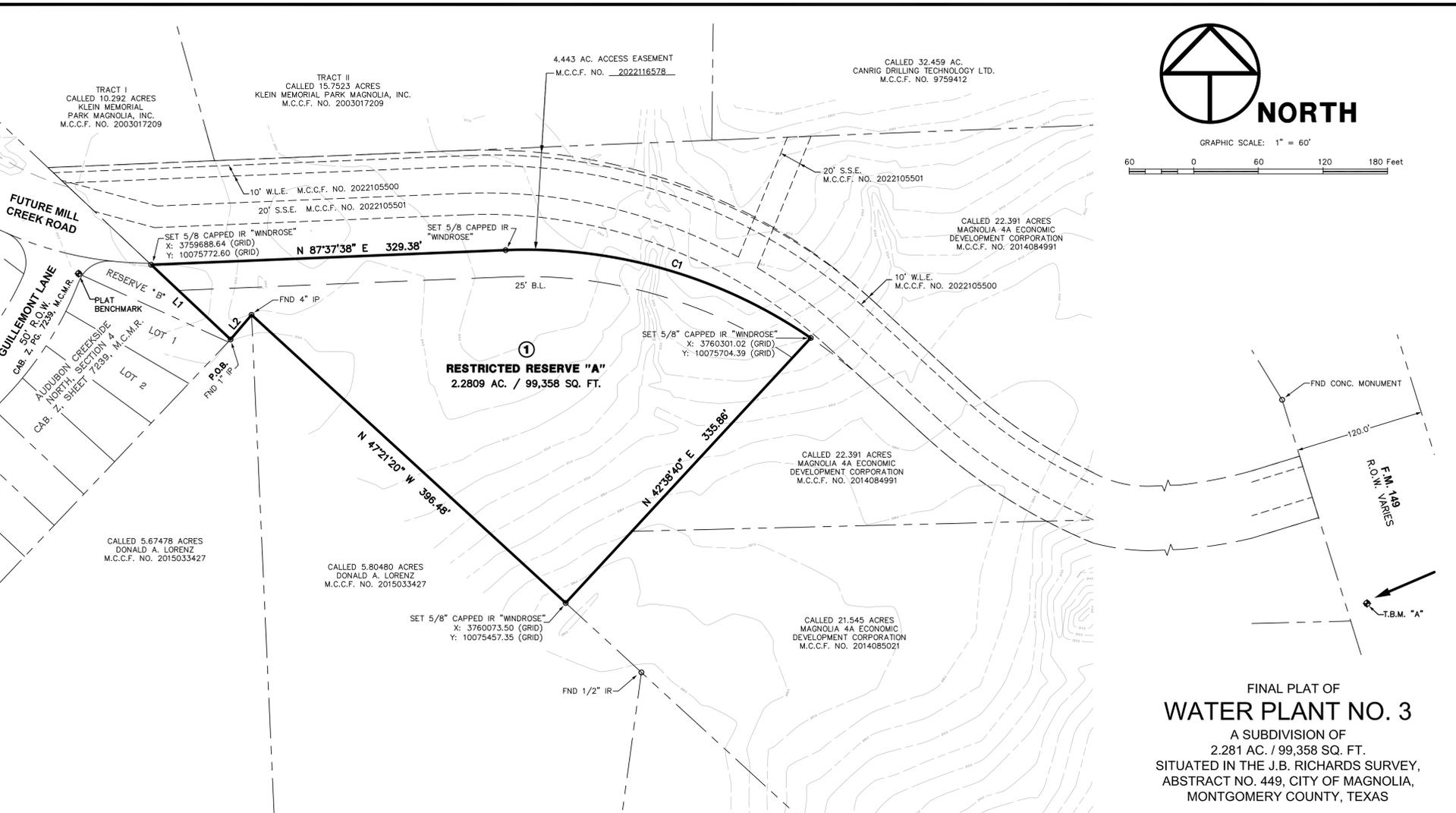
Owner  
City of Magnolia Texas  
a Type A municipal corporation  
in Montgomery County, the State of Texas

18111 Buddy Riley Blvd  
Magnolia, TX 77354

Surveyor



WINDROSE  
LAND SURVEYING & PLATTING  
11111 RICHMOND AVE., SUITE 150 | HOUSTON, TX 77082 | 713.458.2281  
FIRM REGISTRATION NO. 10168890 | WINDROSESERVICES.COM



FINAL PLAT OF  
WATER PLANT NO. 3  
A SUBDIVISION OF  
2.281 AC. / 99,358 SQ. FT.  
SITUATED IN THE J.B. RICHARDS SURVEY,  
ABSTRACT NO. 449, CITY OF MAGNOLIA,  
MONTGOMERY COUNTY, TEXAS

1 BLOCK 1 RESERVE  
NOVEMBER 2022

Owner  
City of Magnolia Texas  
a Type A municipal corporation  
in Montgomery County, the State of Texas

18111 Buddy Riley Blvd  
Magnolia, TX 77354

Surveyor



WINDROSE  
LAND SURVEYING & PLATTING  
11111 RICHMOND AVE., SUITE 150 | HOUSTON, TX 77082 | 713.458.2281  
FIRM REGISTRATION NO. 10168890 | WINDROSESERVICES.COM

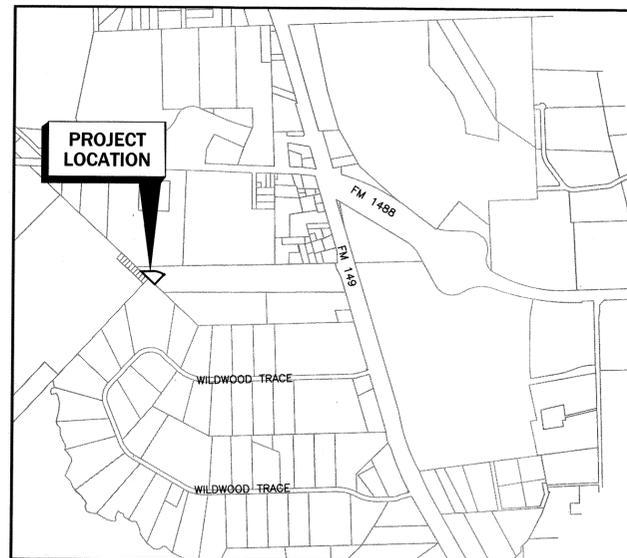
Z:\57296-CITY OF MAGNOLIA-WATER PLANT SITE\PLAT\FINAL VERSION\20221103-PLAT-CITY OF MAGNOLIA WATER PLANT NO. 3-57296-P116773.DWG

Z:\57296-CITY OF MAGNOLIA-WATER PLANT SITE\PLAT\FINAL VERSION\20221103-PLAT-CITY OF MAGNOLIA WATER PLANT NO. 3-57296-P116773.DWG

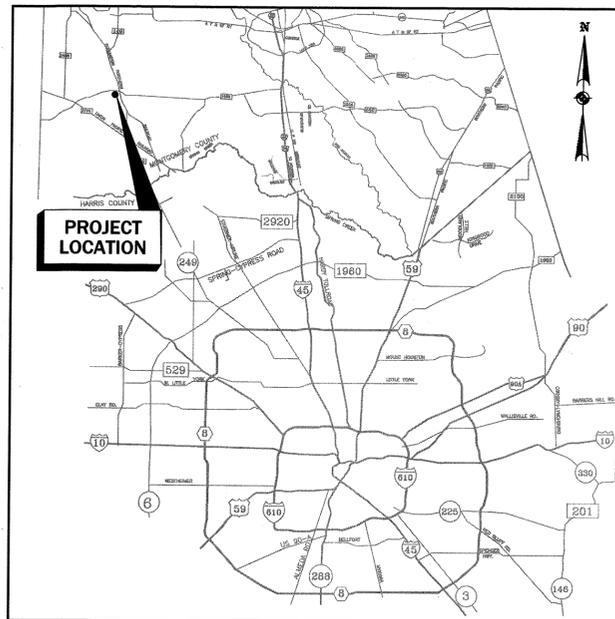
# CITY OF MAGNOLIA MONTGOMERY COUNTY, TEXAS

## PLANS OF PROPOSED WATER PLANT NO. 3 PHASE I

**FOR  
CONSTRUCTION**



VICINITY MAP  
NTS



KEY MAP No. 223 Y  
AEI JOB No. 211009.40  
AUGUST 2022

PROPOSED WATER PLANT NO. 3  
0 FM 149  
MAGNOLIA, TEXAS 77354

NO.	SHEET	INDEX
<b>GENERAL</b>		
1	COVER SHEET	
2	GENERAL NOTES	
<b>CIVIL</b>		
3	OVERALL SITE PLAN, ACCESS, AND SWPPP	
4	PROPOSED SITE PLAN	
5	WATER WELL NO 7 AND PIPING PROFILE	
6	HYDROPNEUMATIC TANK DETAILS	
7	CHEMICAL FACILITY DETAILS	
8	MISCELLANEOUS DETAIL SHEET 1 OF 2	
9	MISCELLANEOUS DETAIL SHEET 2 OF 2	
10	STORM WATER POLLUTION PREVENTION PLAN	
<b>ELECTRICAL</b>		
11	ELECTRICAL SYMBOLS & LEGENDS	
12	ELECTRICAL SITE PLAN	
13	ENLARGED ELECTRICAL SITE PLAN	
14	ELECTRICAL CONDUIT AND PANEL SCHEDULES	
15	ELECTRICAL DUCT BANK SCHEDULE	
16	ELECTRICAL ONE LINE DIAGRAM	
17	ELECTRICAL WIRING DIAGRAM	
18	ELECTRICAL MOUNTING DETAILS	
19	PROCESS INSTRUMENTATION DIAGRAM SYMBOLS & LEGENDS	
20	PROCESS AND INSTRUMENTATION DIAGRAM	
<b>STRUCTURAL</b>		
21	STRUCTURAL GENERAL NOTES & DETAILS	

### CITY OF MAGNOLIA

TODD KANA.....MAYOR

DON DOERING.....CITY ADMINISTRATOR

### COUNCIL MEMBERS

DANIEL MILLER.....POSITION #1

MATTHEW "DOC" DANTZER.....POSITION #2

RICHARD CARBY (MAYOR PRO-TEM).....POSITION #3

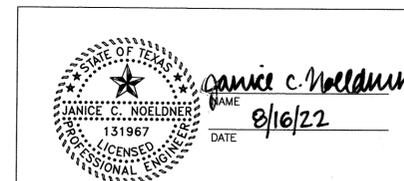
BRENDA HOPPE.....POSITION #4

JACK L. HUITT JR.....POSITION #5

PREPARED BY

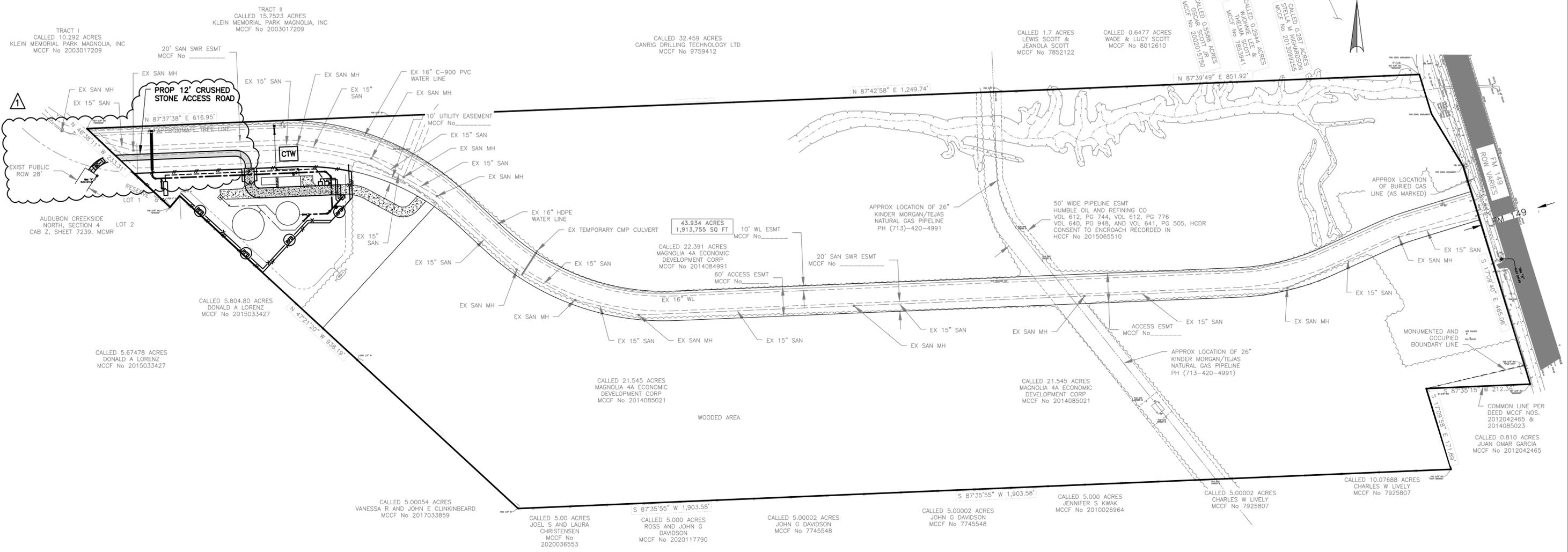


11450 COMPAQ CENTER DRIVE  
SUITE 660  
HOUSTON, TEXAS 77070  
(281)350-7027  
www.baxterwoodman.com  
TBPELS FIRM No. F-21783





NO.	REVISIONS	DATE	DRAWN BY	ENGR. CHK'D
1	ADDENDUM NO 3	8/29/22	HMM	JCN

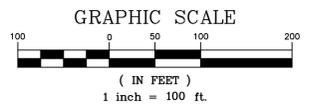


P:\MAGNO\211009-Water Plant No. 3\40-Design\CAD\WPS-Phase 1\01\_Plans\01\_Sheets\03\_Overall\_Site\_Plan\_and\_SWPPP.dwg, 8/29/2022, 1:47:30 PM, Holly Miller

**LEGEND**

\* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY

- |                                  |                                   |   |                                       |
|----------------------------------|-----------------------------------|---|---------------------------------------|
| • BO - BOLLARD                   | • PP - POWER POLE                 | □ UCS - UNDERGROUND CABLE SIGN          | FND - FOUND                           |
| ○ GM - GAS METER                 | • PP/T - POWER POLE W/TRANSFORMER | ○ CTL - CATHODIC TEST LEAD              | MCCF - MONTGOMERY COUNTY CLERK FILE   |
| ○ GV - GAS VALVE                 | • PP/LT - POWER POLE W/LIGHT      | • MW - MONITORING WELL                  | MCCR - MONTGOMERY COUNTY DEED RECORDS |
| • FH - FIRE HYDRANT              | • PP/CT - POWER POLE W/CONDUIT    | P - PIN FLAG/PAINT MARK                 | MCMR - MONTGOMERY COUNTY MAP RECORDS  |
| • WM - WATER METER               | • MP - METER POLE                 | TC - TOP OF CURB                        | IP - IRON PIPE                        |
| • WV - WATER VALVE               | • SP - SERVICE POLE               | G - GUTTER                              | IR - IRON ROD                         |
| • ICV - IRRIGATION CONTROL VALVE | GAC - GUY ANCHOR                  | TG - TOP OF GRATE                       | No - NUMBER                           |
| □ GI - GRATE INLET               | — P — OVERHEAD POWER LINE         | FL - FLOW LINE                          | PG - PAGE                             |
| □ GI - GRATE INLET               | — B — BARBED WIRE FENCE           | HB - HIGHBANK                           | ROW - RIGHT-OF-WAY                    |
| ○ M - MANHOLE                    | — W — WROUGHT IRON FENCE          | SAN - SANITARY SEWER                    | SQ FT - SQUARE FEET                   |
| ○ CO - CLEANOUT                  | — W — WOOD FENCE                  | STM - STORM SEWER                       | VOL - VOLUME                          |
| □ TP - TELEPHONE PEDESTAL        | — C — CHAINLINK FENCE             | CMP - CORRUGATED METAL PIPE             | FC - FILM CODE                        |
| □ EB - ELECTRIC BOX              | • GP - GATE POST                  | CPP - CORRUGATED PLASTIC PIPE           | BL - BUILDING LINE                    |
| □ TSB - TRAFFIC SIGNAL BOX       | (P) - PER PLANS                   | RCP - REINFORCED CONCRETE PIPE          | UE - UTILITY EASEMENT                 |
| • LP - LIGHT POLE                | APPROX. - APPROXIMATE             | TEL - TELEPHONE                         | — T — TREE/SHRUB                      |
| • TLP - TRAFFIC LIGHT POLE       | — H — HIGHBANK                    | SWBT - SOUTHWESTERN BELL TELEPHONE CO.  | — S — SWALE FLOW LINE                 |
| • GL - GROUND/SPOT LIGHT         | □ - SIGN                          | WTR - WATER                             | — F — FILTER FABRIC FENCE             |
|                                  | □ PLM - PIPELINE MARKER           | UG - UNDERGROUND                        |                                       |
|                                  |                                   | — S — SWALE FLOW LINE                   |                                       |
|                                  |                                   | — F — FILTER FABRIC FENCE               |                                       |
|                                  |                                   | □ CTW - CONCRETE TRUCK WASHOUT          |                                       |
|                                  |                                   | □ SC-1 - STABILIZED CONSTRUCTION ACCESS |                                       |
|                                  |                                   | □ RFD-1 - ROCK FILTER DAM               |                                       |



NAME: Janice C. Noeldner  
DATE: 8/16/22

**AEI ENGINEERING**  
11450 COMPAQ CENTER DRIVE SUITE 660 HOUSTON, TEXAS 77070 (281)350-7027 www.baxterwoodman.com TBPELS FIRM No. F-21783

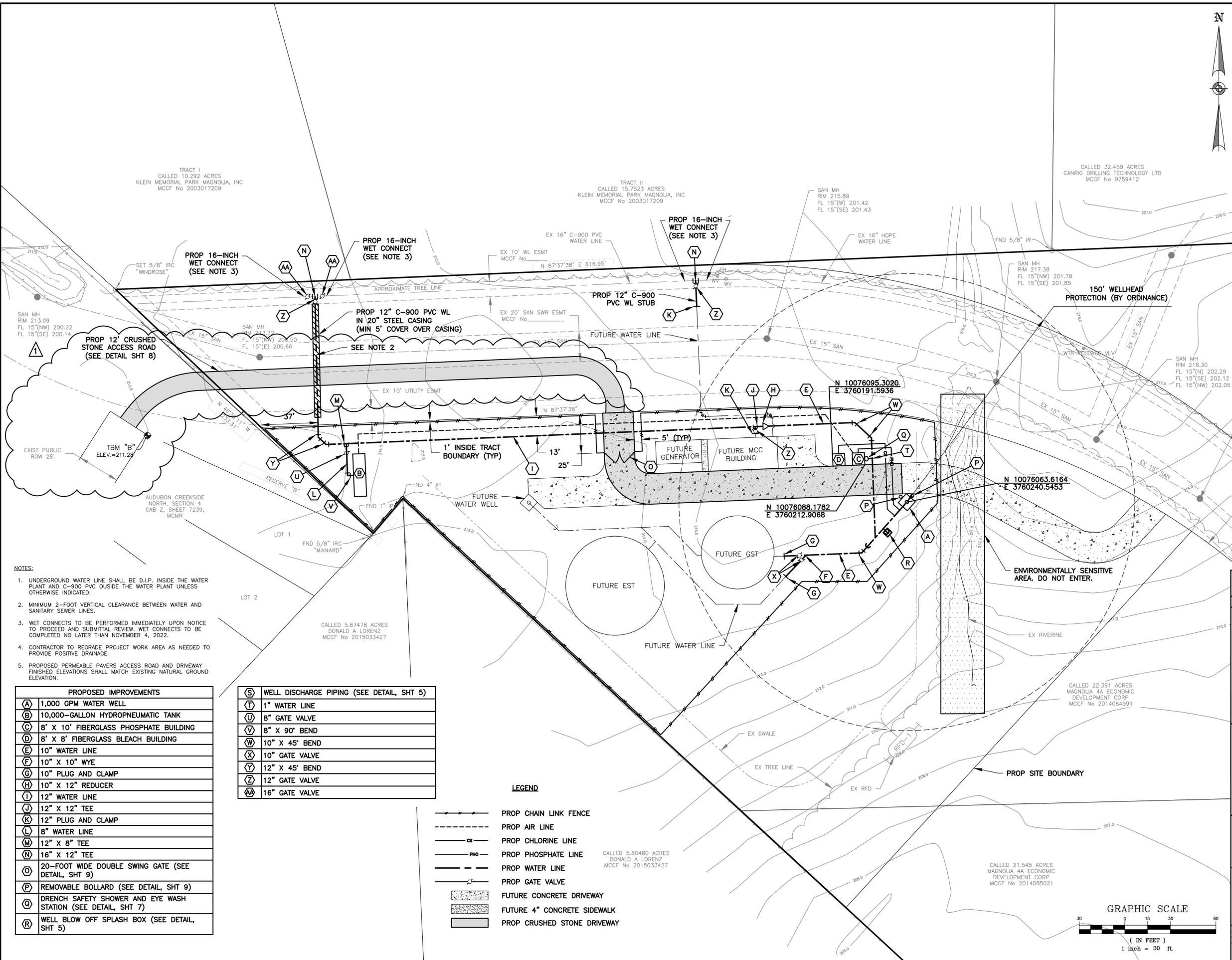
CITY OF MAGNOLIA WATER PLANT NO. 3 PHASE 1  
**OVERALL SITE PLAN, ACCESS, AND SWPPP**

DRAWN	HLS	DESIGN	DTM	CHK'D	JCN
DATE	AUGUST 2022	SCALE	1" = 100' H		
JOB No.	211009.40	SHEET	3 OF 21		

NO.	REVISIONS	DATE	DRAWN BY	ENGR. CHK'D
1	ADDENDUM NO 3	8/29/22	HMM	JCN

TEMPORARY BENCHMARK "A" ELEVATION - 241.65  
 BEING A CUT BOX SET ON TOP OF A CONCRETE FLUME HEADWALL LOCATED ON THE WEST R.O.W. LINE OF F.M. 149 ON THE NORTH SIDE OF A GRAVEL DRIVEWAY APPROXIMATELY 1,660 FEET NORTH FROM ITS INTERSECTION WITH WILDWOOD TRACE. (SHOWN HEREON)

TEMPORARY BENCHMARK "B" ELEVATION - 211.28  
 BEING A CUT BOX SET ON TOP OF A CONCRETE TYPE C INLET LOCATED APPROXIMATELY SOUTH 12'23'48" EAST, 98.20 FEET FROM THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT. (SHOWN HEREON)



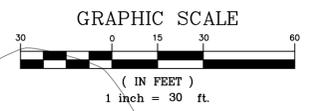
- NOTES:
- UNDERGROUND WATER LINE SHALL BE D.I.P. INSIDE THE WATER PLANT AND C-900 PVC OUTSIDE THE WATER PLANT UNLESS OTHERWISE INDICATED.
  - MINIMUM 2-FOOT VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINES.
  - WET CONNECTS TO BE PERFORMED IMMEDIATELY UPON NOTICE TO PROCEED AND SUBMITTAL REVIEW. WET CONNECTS TO BE COMPLETED NO LATER THAN NOVEMBER 4, 2022.
  - CONTRACTOR TO REGRADE PROJECT WORK AREA AS NEEDED TO PROVIDE POSITIVE DRAINAGE.
  - PROPOSED PERMEABLE PAVERS ACCESS ROAD AND DRIVEWAY FINISHED ELEVATIONS SHALL MATCH EXISTING NATURAL GROUND ELEVATION.

PROPOSED IMPROVEMENTS	
(A)	1,000 GPM WATER WELL
(B)	10,000-GALLON HYDROPNEUMATIC TANK
(C)	8' X 10' FIBERGLASS PHOSPHATE BUILDING
(D)	8' X 8' FIBERGLASS BLEACH BUILDING
(E)	10" WATER LINE
(F)	10" X 10" WYE
(G)	10" PLUG AND CLAMP
(H)	10" X 12" REDUCER
(I)	12" WATER LINE
(J)	12" X 12" TEE
(K)	12" PLUG AND CLAMP
(L)	8" WATER LINE
(M)	12" X 8" TEE
(N)	16" X 12" TEE
(O)	20-FOOT WIDE DOUBLE SWING GATE (SEE DETAIL, SHT 9)
(P)	REMOVABLE BOLLARD (SEE DETAIL, SHT 9)
(Q)	DRENCH SAFETY SHOWER AND EYE WASH STATION (SEE DETAIL, SHT 7)
(R)	WELL BLOW OFF SPLASH BOX (SEE DETAIL, SHT 5)

WELL DISCHARGE PIPING (SEE DETAIL, SHT 5)	
(S)	1" WATER LINE
(T)	8" GATE VALVE
(U)	8" X 90° BEND
(V)	10" X 45° BEND
(W)	10" GATE VALVE
(X)	12" X 45° BEND
(Y)	12" GATE VALVE
(Z)	16" GATE VALVE

LEGEND

	PROP CHAIN LINK FENCE
	PROP AIR LINE
	PROP CHLORINE LINE
	PROP PHOSPHATE LINE
	PROP WATER LINE
	PROP GATE VALVE
	FUTURE CONCRETE DRIVEWAY
	FUTURE 4" CONCRETE SIDEWALK
	PROP CRUSHED STONE DRIVEWAY



NOTICE:  
 FOR YOUR SAFETY, YOU ARE REQUIRED BY TEXAS LAW TO CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG SO THAT UNDERGROUND LINES CAN BE MARKED. THIS SIGNATURE DOES NOT FULFILL YOUR OBLIGATION TO CALL 811.

VERIFICATION OF PRIVATE UTILITY LINES	
	Date: 08-31-22
CENTERPOINT ENERGY NATURAL GAS UTILITIES SHOWN. (GAS SERVICE LINES ARE NOT SHOWN). THIS SIGNATURE NOT TO BE USED FOR CONFLICT VERIFICATION. SIGNATURE VALID FOR SIX MONTHS.	
	Date: 08-31-22
CENTERPOINT ENERGY/UNDERGROUND ELECTRICAL FACILITIES VERIFICATION ONLY. (THIS SIGNATURE VERIFIES EXISTING UNDERGROUND FACILITIES—NOT TO BE USED FOR CONFLICT VERIFICATION.) SIGNATURE VALID FOR SIX MONTHS.	
AT&T TEXAS/SWBT UTILITY LINES SHOWN	
Approved for AT&T Texas/SWBT underground conduit facilities only. Signature valid for one year.	

STATE OF TEXAS  
 JANICE C. NOELDMAN  
 131967  
 LICENSED PROFESSIONAL ENGINEER

DATE: 8/16/22

**AEI ENGINEERING**  
 11450 COMPAQ CENTER DRIVE SUITE 660  
 HOUSTON, TEXAS 77070  
 (281)350-7027  
 www.baileywoodman.com  
 TBPELS FIRM No. F-21783

CITY OF MAGNOLIA  
 WATER PLANT NO. 3 PHASE I  
**PROPOSED SITE PLAN**

DRAWN	HLS	DESIGN	DTM	CHK'D	JCN
DATE	AUGUST 2022	SCALE	1" = 30' H	SHEET	4 OF 21
JOB No.	211009-40				

F:\MAGNOLIA\211009-Water Plant No. 3\40-Design\CAD\WP3-Phase I\01\_Plans\01\_Sheets\04\_Prop\_Site\_Plan.dwg, 8/29/2022 1:53:21 PM, Haley Miller





November 8, 2022

Mr. Don Doering  
City Administrator  
City of Magnolia  
18111 Buddy Riley Boulevard  
Magnolia, Texas 77354

**Reference: Water Plant No. 3 - Final Plat Review Letter  
City of Magnolia  
AEI Job No. 221697.80-001**

Dear Mr. Doering:

We received the revised final plat for the proposed Water Plant No. 3 on November 8, 2022. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Final plat shall be signed and sealed by a Professional Surveyor licensed in Texas.
2. If that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.
3. Provide an electronic copy of the final recorded plat to the City Engineer when it becomes available.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP  
Urban Planner

AEI Engineering, a Baxter & Woodman Company  
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator  
Mr. Burt Smith – City of Magnolia – Director of Public Works  
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company  
Mr. Robel E. Giackero, PE. – AEI Engineering, a Baxter & Woodman Company  
Ms. Amber Whiting, Windrose Services, Inc.

**City of Magnolia  
Planning & Zoning  
Agenda Item Summary**

**Date:** November 10, 2022

To: Planning & Zoning Commission  
From: Christian Gable, Planning Coordinator

**RE:** Planning and Zoning Commission Agenda **Item 11**

**Background/Information:**

A site plan was received on October 26, 2022. Revisions were also made after this date and supplied to City Engineer for review.

**Comments:**

Letter of No Objection was issued by City Engineer on November 9, 2022.

**Action Requested:**

Approve site plan for Christian Brothers Automotive.

**Recommendation:**

Approve site plan for Christian Brothers Automotive.

**Attachments:**

Site Plan



## Site Plan Application Form

This form shall be submitted with each application for a site plan.

### CONTACT INFORMATION

#### Applicant

Christian Brothers Automotive

Name

Billy Green Jr.

Street Address

17725 Katy Freeway, Suite 200

City, State Zip

Houston, TX 77094

Phone

281-675-6192

Fax

billy.green@cbac.com

E-mail

#### Architect (if different)

Icon Architects

Name

Dana King

Street Address

703 San Ysidro Trail

City, State Zip

Mansfield, TX 76063

Phone

979-255-6927

Fax

dlk-architect@outlook.com

E-mail

#### Property Owner (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

#### Engineer/Land Surveyor (if different)

PEA Group

Name

Jacques Gilbert

Street Address

16060 Dillard Dr., Ste 250

City, State Zip

Houston, TX 77040

Phone

713-688-3530

Fax

jjgilbert@peagroup.com

E-mail

Project Name: Christian Brothers Automotive \_\_\_\_\_ Lot#: \_\_\_\_\_ Reviewer: \_\_\_\_\_

**PROPERTY PROFILE**

---

Site Address 14546 Red Creek Circle, Magnolia, TX 77354

Legal Description MAGNOLIA PLACE SECTION 1 LOT 0 BLOCK 1 RESERVE "A-1"  
(Subdivision) (Lot) (Block)

Current Zoning AC

**Present Use of Property**

UNDEVELOPED

---

**Proposed Use of the Property**

LIGHT CAR MAINTENANCE AND REPAIR FACILITY

---

Total Area of Site 1.184

Project Name: Christian Brothers Automotive Lot#: \_\_\_\_\_ Reviewer: \_\_\_\_\_

# National Flood Hazard Layer FIRMette



95°41'33"W 30°13'38"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |  |  |
|------------------------------------|--|--|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  |  | Without Base Flood Elevation (BFE)<br><i>Zone A, V, A99</i>  |
|                                    |  | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>   |
|                                    |  | Regulatory Floodway  |
| <b>OTHER AREAS OF FLOOD HAZARD</b> |  | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
|                                    |  | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>  |
|                                    |  | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>  |
|                                    |  | Area with Flood Risk due to Levee <i>Zone D</i>  |
| <b>OTHER AREAS</b>                 |  | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>   |
|                                    |  | Effective LOMRs  |
| <b>GENERAL STRUCTURES</b>          |  | Area of Undetermined Flood Hazard <i>Zone D</i>  |
|                                    |  | Channel, Culvert, or Storm Sewer   |
|                                    |  | Levee, Dike, or Floodwall  |
| <b>OTHER FEATURES</b>              |  | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation  |
|                                    |  | 17.5 Coastal Transect  |
|                                    |  | Base Flood Elevation Line (BFE)  |
|                                    |  | Limit of Study   |
|                                    |  | Jurisdiction Boundary  |
| <b>MAP PANELS</b>                  |  | Coastal Transect Baseline  |
|                                    |  | Profile Baseline   |
|                                    |  | Hydrographic Feature   |
|                                    |  | Digital Data Available   |
|                                    |  | No Digital Data Available  |
|                                    |  | Unmapped   |
|                                    |  | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.                                     |



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

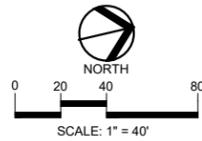
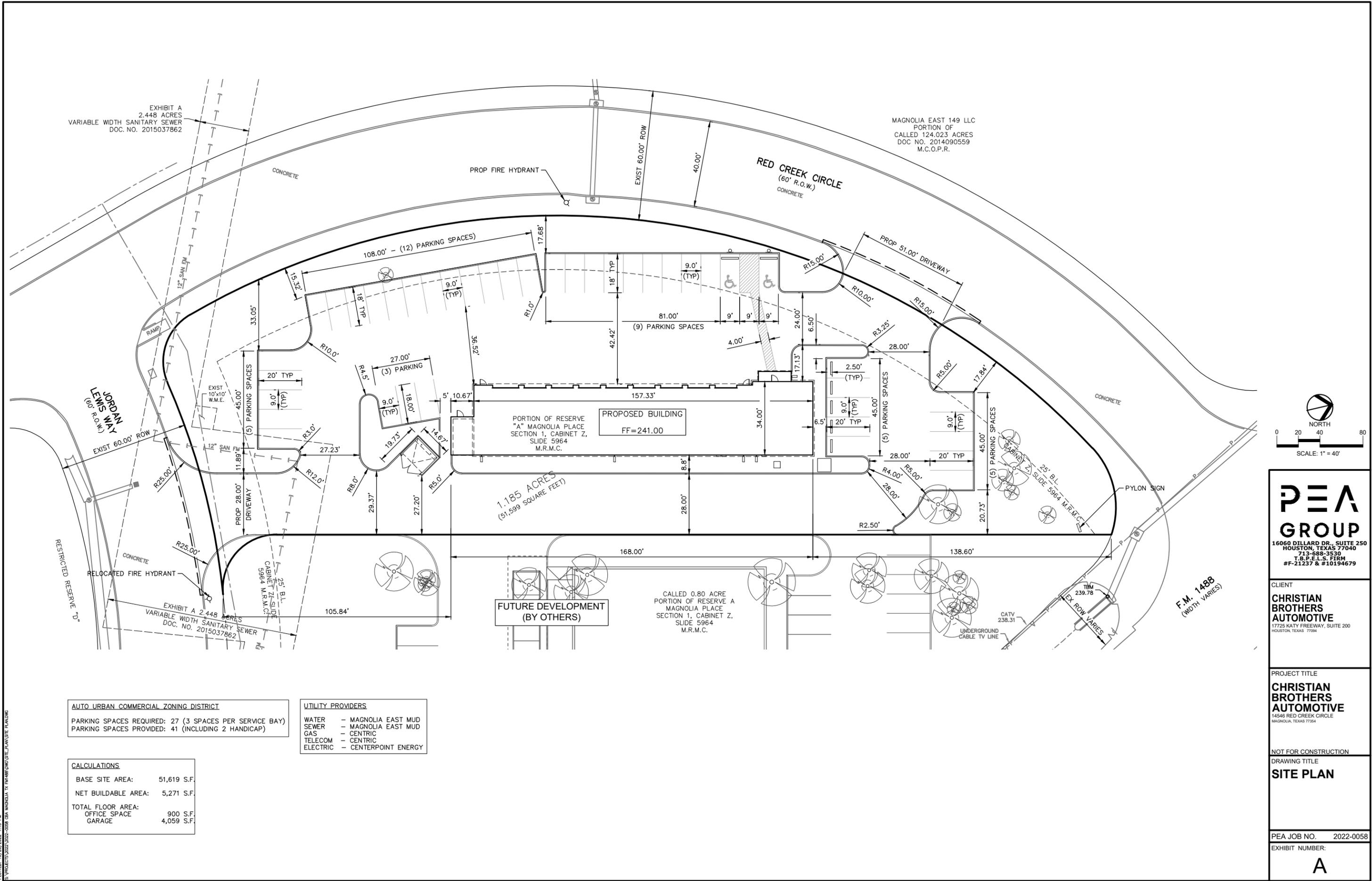
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/9/2022 at 7:50 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

95°40'56"W 30°13'6"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020



**PEA GROUP**  
16060 DILLARD DR., SUITE 250  
HOUSTON, TEXAS 77040  
713-688-3530  
T.B.P.E.L.S. FIRM  
#F-21237 & #10194679

CLIENT  
**CHRISTIAN BROTHERS AUTOMOTIVE**  
17725 KATY FREEWAY, SUITE 200  
HOUSTON, TEXAS 77044

PROJECT TITLE  
**CHRISTIAN BROTHERS AUTOMOTIVE**  
14546 RED CREEK CIRCLE  
MAGNOLIA, TEXAS 77054

NOT FOR CONSTRUCTION  
DRAWING TITLE  
**SITE PLAN**

PEA JOB NO. 2022-0058

EXHIBIT NUMBER:  
**A**

**AUTO URBAN COMMERCIAL ZONING DISTRICT**  
PARKING SPACES REQUIRED: 27 (3 SPACES PER SERVICE BAY)  
PARKING SPACES PROVIDED: 41 (INCLUDING 2 HANDICAP)

**UTILITY PROVIDERS**  
WATER - MAGNOLIA EAST MUD  
SEWER - MAGNOLIA EAST MUD  
GAS - CENTRIC  
TELECOM - CENTRIC  
ELECTRIC - CENTERPOINT ENERGY

**CALCULATIONS**  
BASE SITE AREA: 51,619 S.F.  
NET BUILDABLE AREA: 5,271 S.F.  
TOTAL FLOOR AREA:  
OFFICE SPACE 900 S.F.  
GARAGE 4,059 S.F.

PLOTTED: 10/24/2022 11:15 AM  
 PROJECT: 2022-0058 PEA MAGNOLIA TX 14546 RWC SITE PLAN SITE PLAN







November 9, 2022

Mr. Don Doering  
City Administrator  
City of Magnolia  
18111 Buddy Riley Boulevard  
Magnolia, Texas 77354

**Reference: Christian Brothers Automotive – Site Plan Review  
City of Magnolia Planning Department  
AEI Job No. 221654.80**

Dear Mr. Doering:

We received the revised site plan and signage plan sheets for Christian Brothers Automotive on November 8, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Final plat shall be signed and sealed by a Professional Surveyor licensed in Texas.
2. If any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes before initiating the change.
3. Provide an electronic copy of the final recorded plat to the City Engineer when it becomes available.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP  
Urban Planner

AEI Engineering, a Baxter & Woodman Company  
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia – Planning Coordinator  
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company  
Mr. Robel Giackero, PE, AEI Engineering, a Baxter & Woodman Company  
Mr. Tommy Cormier, AEI Engineering, a Baxter & Woodman Company  
Mr. Jacques M. Gilbert, P.E. – PEA Group  
Ms. Tiffany Staten – PEA Group

**City of Magnolia  
Planning & Zoning  
Agenda Item Summary**

**Date:** November 10, 2022

To: Planning & Zoning Commission  
From: Christian Gable, Planning Coordinator

**RE:** Planning and Zoning Commission Agenda **Item 12**

**Background/Information:**

A site plan was received on October 6, 2022. Revisions were also made after this date and supplied to City Engineer for review. Only minor comments from engineer review remain as of today 11/10.

**Comments:**

Letter of No Objection is expected to be issued upon receipt of minor adjustments from applicant the week of 11/14.

**Action Requested:**

Approve site plan for Mister Car Wash.

**Recommendation:**

Approve site plan for Mister Car Wash under the condition that City Engineer issues Letter of No Objection before P&Z meeting 11/17.

**Attachments:**

Site Plan



# Site Plan Application Form

This form shall be submitted with each application for a site plan.

## CONTACT INFORMATION

---

### Applicant

### Property Owner (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

### Architect (if different)

### Engineer/Land Surveyor (if different)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
City, State Zip

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Fax

\_\_\_\_\_  
E-mail

\_\_\_\_\_  
E-mail

Project Name: \_\_\_\_\_ Lot#: \_\_\_\_\_ Reviewer: \_\_\_\_\_

**PROPERTY PROFILE**

---

Site Address \_\_\_\_\_

Legal Description \_\_\_\_\_  
(Subdivision) (Lot) (Block)

Current Zoning \_\_\_\_\_

Present Use of Property

---

---

Proposed Use of the Property

---

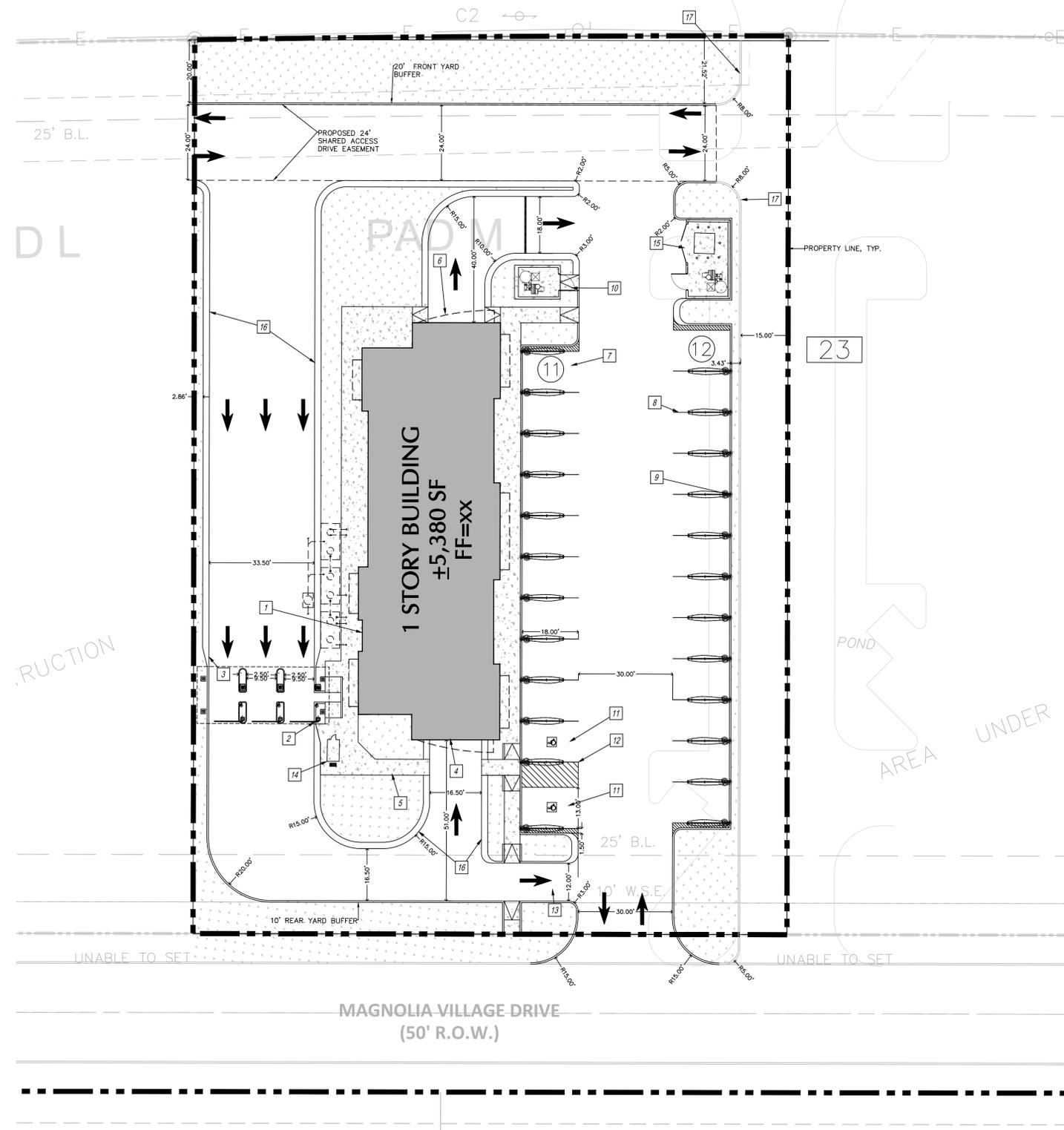
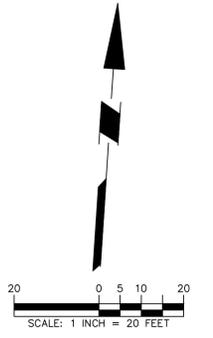
---

Total Area of Site \_\_\_\_\_

Project Name: \_\_\_\_\_ Lot#: \_\_\_\_\_ Reviewer: \_\_\_\_\_



F.M. 1488  
(WIDTH VARIES)  
VOL. 523, PGS. 113 & 117  
M.C.D.R.



SITE DATA	
ADDRESS:	13526 FARM TO MARKET RD 1488
PARCEL ID:	S710900 (7109-00-00200)
LOT AREA:	52,707 SF (1.21 AC)
CURRENT ZONING:	CITY OF MAGNOLIA
EXISTING USE:	VACANT TRACT OF LAND
PROPOSED USE:	MISTER CAR WASH
BUILDING AREA:	5,380 SF
BUILDING LOT COVERAGE:	5,380 SF/52,707 SF = 10.2%
BUILDING HEIGHT:	12.8' (1 STORY)
MINIMUM LOT WIDTH:	60'
MINIMUM LOT DEPTH:	100'
MINIMUM FRONT YARD BUFFER:	20'
MINIMUM SIDE YARD SETBACK:	0'
MINIMUM CORNER YARD SETBACK:	10'
MINIMUM REAR YARD SETBACK:	10'
PARKING REQUIRED:	3 PARKING SPACES FOR EACH BAY OR STALL FOR STACKING SPACE PLUS 1 SPACE PER 2 STALLS IF ATTENDED
PARKING PROVIDED:	23
HANDICAP PARKING REQUIRED:	1
HANDICAP PARKING PROVIDED:	2

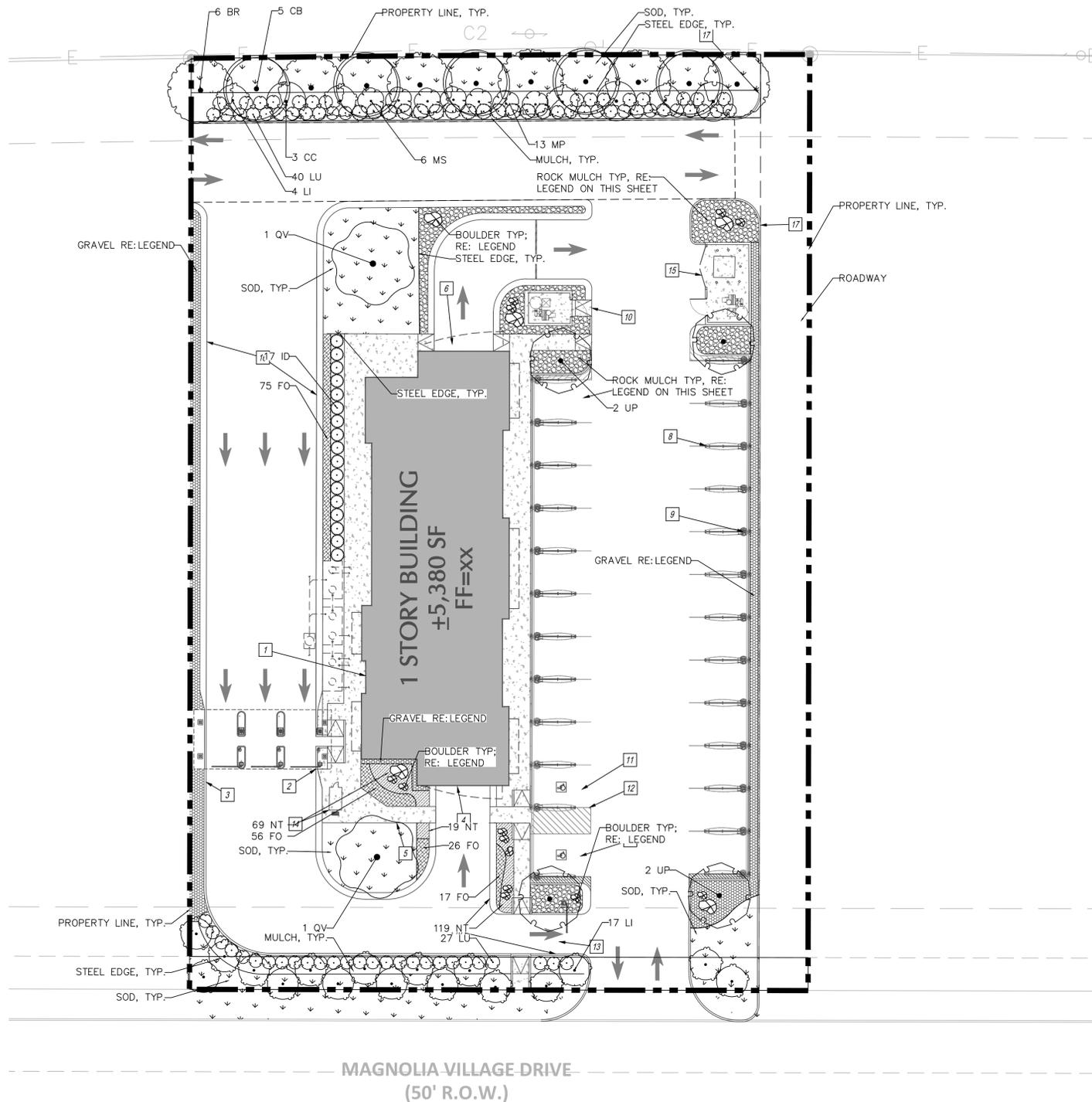
SITE DATA	
AREA OF PARCEL PROPOSED FOR DEVELOPMENT	100%
REQ. AND PROV. OPEN SPACE RATIO OR LANDSCAPE SURFACE RATIO:	REFER TO LANDSCAPE PLAN
NET BUILDABLE AREA:	43,494 SF (1.00 AC)
MAXIMUM AND ACTUAL GROSS AND NET DENSITY:	N/A
PROVIDER FOR:	CITY OF MAGNOLIA
SANITARY SEWER:	CITY OF MAGNOLIA
POTABLE WATER:	CITY OF MAGNOLIA
TELEPHONE:	AT&T
GAS UTILITIES:	CENTERPOINT

- | SITE NOTES |  |
|------------|--|
| 1.         | ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MISTER CAR WASH SPECIFICATIONS AND/OR CITY OF MAGNOLIA SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.   |
| 2.         | ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH CITY OF MAGNOLIA STANDARD SPECIFICATIONS.   |
| 3.         | PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL PERMITTING AUTHORITIES. |
| 4.         | THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.  |
| 5.         | IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.   |
| 6.         | ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.  |
| 7.         | REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.  |
| 8.         | ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/ APPLICABLE GOVERNING AUTHORITIES.   |
| 9.         | ALL FIRE LANES SHALL BE STRIPED ACCORDING TO CITY OF MAGNOLIA REQUIREMENTS.  |
| 10.        | REFER TO THE MCW SITE PLAN STANDARDS FOR CRITICAL DIMENSIONS AND WHERE TO PROPOSE VERTICAL AND ROLLED CURBS.   |
| 11.        | NO ASPHALT ON-SITE   |

- | LAYOUT NOTES |   |
|--------------|---|
| 1            | FACE OF BUILDING                                    |
| 2            | P.O.S (POINT OF SALE STATION)                       |
| 3            | TAPERED CURB TRANSITION TO ROLLED CURB              |
| 4            | TUNNEL ENTRANCE WITH ADA RAMP                       |
| 5            | MECHANICAL ROOM ACCESS WITH ADA RAMP                |
| 6            | TUNNEL EXIT WITH ADA RAMP                           |
| 7            | VACUUM STALL WITH CURB                              |
| 8            | VACUUM STALL TYP.                                   |
| 9            | SIDEWALK CLEARANCE AT VACUUM STALLS                 |
| 10           | VACUUM ENCLOSURE                                    |
| 11           | ADA PARKING SPACE                                   |
| 12           | ADA AISLE WITH RAMP                                 |
| 13           | BAIL OUT LANE                                       |
| 14           | CUSTOMER SERVICE ATTENDANT HUT, DESIGN BY ARCHITECT |
| 15           | COMBINED VACUUM AND TRASH ENCLOSURE                 |
| 16           | ROLLED CURB   |
| 17           | CONNECT TO PROPOSED PRIVATE DRIVE, TYP.             |

<p><b>FOR REVIEW ONLY</b></p>	<p><b>LANGAN</b> Langan Engineering and Environmental Services, Inc. 17220 Katy Freeway, First Floor, Suite 125 Houston, TX 77094 T: 281.675.7900 F: 281.675.7901 www.langan.com TBPE FIRM REG. #F-13709</p>	<p>Project <b>MISTER CAR WASH MAGNOLIA</b> MONTGOMERY MAGNOLIA TEXAS</p>	<p>Drawing Title <b>SITE PLAN</b></p>	Project No. <b>510057201</b>	<p>Drawing No. <b>CS101</b></p>
				Date <b>06/23/2022</b>	
Signature W. KYLE BOGARDUS	Checked By <b>CS</b>				
Revisions	Checked By <b>CB</b>				

F.M. 1488  
(WIDTH VARIES)  
VOL. 523, PGS. 113 & 117  
M.C.D.R.



CITY OF MAGNOLIA COMPLIANCE CHART			
ORDINANCE SECTION	DESCRIPTION	REQUIRED/PROPOSED	COMPLIANCE
Chapter 8 Landscaping and Buffering	Section 8-3-1 Bufferyards	Rear of building: Min of a noncanopy tree every 8 LF max and a shrub every 5 LF max @132.5 LF  REQUIRED: 17 noncanopy trees and 27 shrubs PROPOSED: 17 noncanopy trees and 27 shrubs	COMPLIES
		Parking lot landscape: Each parking lot island shall be planted with 1 canopy trees or 2 noncanopy trees.  REQUIRED: 4 Parking lot corners= 4 canopy trees or 8 ornamental trees PROPOSED: 4 canopy trees	COMPLIES
	Section 8-2-1.03 Development Landscaping	Landscape Buffer along F.M. (Farm to Market) 1488 must be Type B at 20' wide.  REQUIRED: 20' landscape buffer PROPOSED: 20' landscape buffer	COMPLIES
	F.M. (Farm to Market) 1488 buffer must contain a min of 6 Canopy trees, 3 evergreen trees, 4 noncanopy trees, and 30 shrubs every 100 LF @ 174 LF	REQUIRED: 11 Canopy trees, 6 evergreen trees, 7 noncanopy trees, and 53 shrubs PROPOSED: 11 canopy trees, 6 evergreen trees, 7 ornamental trees, and 53 shrubs	COMPLIES

PLANT SCHEDULE

TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
	BR	6	BETULA NIGRA / RIVER BIRCH	3" CAL	B&B	
	CB	5	CATALPA BIGNONIODES / SOUTHERN CATALPA	3" CAL	B&B	
	CC	3	CERCIS CANADENSIS / EASTERN REDBUD	2.5" CAL	B&B	
	LI	21	LAGERSTROEMIA INDICA / GRAPE MYRTLE	10' HT.	B&B	MULTI TRUNK
	MS	7	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA	6' HT.	B&B	
	QV	2	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	3" CAL	B&B	
	UP	4	ULMUS PUMILA / CHINESE ELM	3" CAL	B&B	
	NT	69	NASSELLA TENUSSIMA / MEXICAN FEATHER GRASS	1 GAL.	CONTAINER	18" o.c.
	LU	56	LOROPETALUM CHINENSE RUIBRUM 'PILC-II' / PURPLE DAYDREAM DWARF LOROPETALUM	5 GAL.	CONTAINER	
	MP	13	MYRICA CERIFERA 'PUMILA' / DWARF WAX MYRTLE	5 GAL.	CONTAINER	
	FO	150	FESTUCA OVINA GLAUCA 'ELIJAH BLUE' / ELIJAH BLUE FESCUE	1 GAL.	CONTAINER	18" o.c.
	NT	197	NASSELLA TENUSSIMA / MEXICAN FEATHER GRASS	1 GAL.	CONTAINER	12" o.c.

BOULDER AND MULCH TYPES

- 6" DEPTH MIX OF 75% 2-3" DIAMETER NOLYA COBBLESTONE AND 25% 1-1/2" DIAMETER SILVER MIST GRAVEL OVER COMMERCIAL-GRADE WEED BARRIER FABRIC. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT. COBBLE AREAS SHALL BE EDGED WITH DURA-EDGE 1/2"x4" BROWN STEEL EDGING.
- 3" LAYER OF 1-1/2" SILVER MIST WITH STEEL EDGING OVER COMMERCIAL-GRADE WEED BARRIER FABRIC. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT. COBBLE AREAS SHALL BE EDGED WITH DURA-EDGE 1/2"x4" BROWN STEEL EDGING.
- 24"-48" MOSS ROCK BOULDERS PARTIALLY BURIED AND PLACED TO APPEAR AS NATURAL OUTCROPPINGS. BOULDER SIZES TO BE APPROXIMATELY AS SCALED ON THE PLAN.

NOTE:  
1) ALL NEWLY PLANTED AREAS TO BE IRRIGATED  
2) REFERENCE LP501 FOR LANDSCAPING NOTES AND DETAILS

Date	Description	No.
Revisions		

INTERIM REVIEW ONLY

DOCUMENT IS NOT FINAL:  
NOT INTENDED FOR  
CONSTRUCTION OR PERMIT  
RELEASE. SPECIFIC  
LIC. No. 3031  
Date: 9/27/2022  
Langan Engineering and  
Environmental Services, Inc.  
TBPE Firm Registration No. T-13709

**LANGAN**  
Langan Engineering and  
Environmental Services, Inc.

17220 Katy Freeway, First Floor, Suite 125  
Houston, TX 77094  
T: 281.675.7900 F: 281.675.7901 www.langan.com  
TBPE FIRM REG. #F-13709

Project

**MISTER CAR WASH  
MAGNOLIA**

MONTGOMERY MAGNOLIA TEXAS

Drawing Title

**LANDSCAPING  
PLANTING PLAN**

Project No.

510057201

Date

06/23/2022

Drawn By

DH

Checked By

TTJS

Drawing No.

**LP101**