

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Holly Knee
Tom Mayhew
Robert Franklin



City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Planning Coordinator, Christian Gable

NOTICE OF PUBLIC MEETING PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, JULY 21, 2022 - 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

- a. INVOCATION
- b. PLEDGE OF ALLEGIANCE
- c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the Joint Public Hearing with City Council and Planning & Zoning Commission Meeting held June 14, 2022.

b. CONSIDERATION – APPROVAL OF MINUTES

Consideration and possible action to approve the minutes of the meeting held June 16, 2022.

3. STAFF REPORTS

4. CITIZENS COMMENTS, REQUESTS OR PETITIONS FROM THE PUBLIC

(This agenda item provides an opportunity for citizens to address the City Council on any matter not on the agenda).

Comments shall be limited to three (3) minutes per person. Comments by the governing body shall be limited to:

- a. Statements of specific factual information given in response to an inquiry;*
- b. A recitation of existing policy in response to an inquiry;*
- c. A proposal to place the subject on a future agenda.*

5. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

- 6. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA PLACE, SECTION 1, PRELIMINARY PLAT, +/-33.6 ACRES.**
- 7. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE 15-ACRE 1486 TRACT, WILLIAM T. DUNLAVY SURVEY, ABSTRACT 168, PRELIMINARY PLAT**
- 8. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MYRTLE GARDENS, FINAL PLAT, +/-27.794 ACRES**
- 9. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MUSTANG RIDGE, SECTION 3, +/-25.522 ACRES**
- 10. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MUSTANG RIDGE, SECTION 3, FINAL PLAT, +/-25.522 ACRES**
- 11. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MAGNOLIA RIDGE, SECTION 15, +/-20.232 ACRES**
- 12. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE, SECTION 15, FINAL PLAT, +/-20.232 ACRES**
- 13. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MAGNOLIA RIDGE FOREST, SECTION 17, +/-50.434 ACRES**
- 14. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 17, FINAL PLAT, +/-50.434 ACRES**
- 15. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 18, FINAL PLAT, +/-27.589 ACRES**
- 16. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 19, FINAL PLAT, +/-33.709 ACRES**

17. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA RIDGE FOREST, SECTION 20, PRELIMINARY PLAT, +/-41.3 ACRES**
18. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR WATER AND SANITARY SEWER UTILITIES AT ESCONDIDO ALONG PRADOO CROSSING.**
19. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 5, PRELIMINARY PLAT, +/-29.567 ACRES**
20. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR ESCONDIDO, SECTION 5, +/-29.567 ACRES**
21. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 5, FINAL PLAT, +/-29.567 ACRES**
22. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 7, PRELIMINARY PLAT, +/-32.206 ACRES**
23. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 7, FINAL PLAT, +/-32.206 ACRES**
24. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE ESCONDIDO, SECTION 9, PRELIMINARY PLAT, +/-13.114 ACRES**
25. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MILL CREEK ESTATES SEC 6, +/-43.7 ACRES**
26. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR MILL CREEK ESTATES SEC 8, +/-19.2 ACRES**
27. **CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE SITE PLAN FOR WINDMILL ESTATES, +/-8.164 ACRES**
28. **FUTURE AGENDA ITEMS**

29. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____
TIME _____
TAKEN DOWN _____

Kandice Garrett, City Secretary

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Robert Franklin
Holly Knee
Tom Mayhew



City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, AEI, Mike Kurzy
Planning Coordinator, Christian Gable

**MINUTES OF THE JOINT PUBLIC HEARING WITH CITY COUNCIL AND
PLANNING & ZONING COMMISSION
REGULAR MEETING
JUNE 14, 2022**

A joint meeting of the Magnolia City Council and Planning & Zoning Commission was held on June 14, 2022, beginning at 6:30 p.m. in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL MEETING TO ORDER

Mayor Todd Kana convened the meeting at 6:30 p.m.

a. INVOCATION

Councilmember Dantzer delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Mayor Todd Kana led the Pledge of Allegiance to the U.S.A. and Texas flags.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Mayor Todd Kana called roll, certified that a quorum was present with the following Council members in attendance: Todd Kana, Daniel Miller, Matthew Dantzer, Brenda Hoppe and Jack L Huitt Jr.

Absent: Richard Carby

Chairman Shelburne called roll for the Planning & Zoning Commission members and declared a quorum present with the following members in attendance: Scott Shelburne, Anne Sundquist, Trevor Brown, and Holly Knee.

Absent: Josh Jakubik, Tom Mayhew, and Robert Franklin

Staff present: City Administrator Don Doering, City Secretary Kandice Garrett, and Planning Coordinator Christian Gable

2. PUBLIC COMMENTS *(Generally limited to three minutes per person; in accordance with state law, the time may be reduced if there is a high number of speakers or other considerations.)*

None

3. OPEN JOINT PUBLIC HEARING WITH CITY COUNCIL AND PLANNING & ZONING COMMISSION FOR CONDITIONAL USE PERMIT

Mayor Todd Kana opened the Joint Public Hearing at 6:32 p.m.

NOTICE OF PUBLIC HEARING

On June 14, 2022 at 6:00 p.m. City of Magnolia Planning and Zoning Commission and City Council will hold a joint public hearing in the Council Chambers of Magnolia City Hall, 18111 Buddy Riley, Blvd., Magnolia, Texas 77354, giving all interested persons the right to appear and be heard, and to discuss:

- Conditional Use Permit for Magnolia ISD Williams Elementary School at 18101 FM 1488 concerning use of preconstructed buildings in a nonresidential, Public Use (PU) zoned district.

Mayor Kana read aloud the Notice of Public Hearing.

Planning & Zoning Chairman Scott Shelburne provided an overview of the item and recommendation for approval.

Tim Bruner, Executive Director of Facilities for Magnolia ISD, addressed the Council and provided additional information.

4. CLOSE JOINT PUBLIC HEARING WITH CITY COUNCIL AND PLANNING & ZONING COMMISSION AND CONVENE JOINT OPEN MEETING WITH CITY COUNCIL AND PLANNING & ZONING COMMISSION

Mayor Todd Kana closed the Joint Public Hearing and convened the Joint Open Meeting at 6:33 p.m.

5. CONSIDERATION AND POSSIBLE ACTION BY PLANNING & ZONING COMMISSION REGARDING CONDITIONAL USE PERMIT FOR MAGNOLIA ISD WILLIAMS ELEMENTARY SCHOOL AT 18101 FM 1488

MOTION: Upon a motion to approve the Conditional Use Permit for Magnolia ISD Williams Elementary School at 18101 FM 1488 made by Trevor Brown and seconded by Anne Sundquist, the Commission members present voted and the motion carried unanimously, 4-0.

6. ADJOURN JOINT PUBLIC HEARING WITH CITY COUNCIL AND PLANNING & ZONING COMMISSION AND RECONVENE OPEN REGULAR CITY COUNCIL MEETING

Mayor Todd Kana closed the Joint Public Hearing at 6:45 p.m. and convened the Joint Open Meeting at 7:00 p.m.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on June 14, 2022.

ATTEST:

Kandice Garrett, City Secretary

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Robert Franklin
Holly Knee
Tom Mayhew



City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, AEI, Mike Kurzy
Planning Consultant, Tana Ross

MINUTES OF THE PLANNING & ZONING COMMISSION PUBLIC HEARING AND REGULAR MEETING JUNE 16, 2022

A meeting of the Planning & Zoning Commission was held on June 16, 2022, beginning at 4:30 p.m. in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Vice Chairman Anne Sundquist called the regular meeting to order at 4:30 pm.

a. INVOCATION

Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE

Vice Chairman Anne Sundquist led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM

Vice Chairman Anne Sundquist called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Anne Sundquist, Josh Jakubik, Trevor Brown, Holly Knee, and Tom Mayhew. Scott Shelburne arrived after the start of the meeting.

Absent: Josh Jakubik

Staff present: City Administrator Don Doering, and Planning Coordinator Christian Gable.

2. OPEN PUBLIC HEARING

Vice Chairman Anne Sundquist opened the Public Hearing at 4:31 p.m., read the Notice of Public hearing aloud and asked for any public comments.

NOTICE OF PUBLIC HEARING

On June 16, 2022 at 4:30 pm., City of Magnolia Planning and Zoning Commission will hold a public hearing in the Council Chambers of Magnolia City Hall, 18111 Buddy Riley Blvd., Magnolia, Texas 77354, giving all interested persons the right to appear and be heard to discuss a rezoning to the City of Magnolia Official Zoning Map for 0.9183 acres of land being

Reserve "A" and the east 55.25 feet of Reserve "D" of Magnolia Business Center, Gamble Dawson Survey, Abstract Number 177, of MONTGOMERY County, Texas, from Neighborhood Conservation 2 to Suburban Village.

Frank Parker, 31602 Hanks Rd., Magnolia, TX 77355, spoke in opposition to this item.

Marcy Parker, 31602 Hanks Rd., Magnolia, TX 77355, spoke in opposition to this item.

James Elmore, 212 W 33rd St., Houston, TX 77018, spoke in favor of this item.

Charlotte Harris, 19603 Timber Ridge, Magnolia, TX 77355 spoke in regard to Keep Magnolia Beautiful and the widening of Nichols Sawmill Rd.

Cathy Yowell, 215 Dogwood Trail., Magnolia, TX 77354 spoke in regard to the UDC and the roles and responsibilities of the Commission as it relates to making decisions.

3. **CLOSE PUBLIC HEARING AND CONVENE REGULAR MEETING**

Chairman Shelburne closed the Public Hearing and convened the Regular Meeting at 5:26 p.m.

4. **CONSENT AGENDA**

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. **CONSIDERATION – APPROVAL OF MINUTES**

Consideration and possible action to approve the minutes of the Joint Public Hearing with City Council and Planning & Zoning Commission Meeting held May 10, 2022.

b. **CONSIDERATION – APPROVAL OF MINUTES**

Consideration and possible action to approve the minutes of the meeting held May 19, 2022.

MOTION: Upon a motion to approve Consent Agenda made by Anne Sundquist and seconded by Robert Franklin, the Commission members present voted and the motion carried unanimously, 6-0.

5. **REQUESTS/ PETITIONS FROM THE PUBLIC**

None

6. **PUBLIC COMMENTS**

*(For matters not on the agenda. Comments shall be limited to **three (3) minutes per person**. Comments by the Commission members shall be limited to:*

- a. *Statements of specific factual information given in response to an inquiry;*
- b. *A recitation of existing policy in response to an inquiry;*
- c. *A proposal to place the subject on a future agenda.*

None

7. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

None

8. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS

City Administrator Don Doering provided a brief summary of developments.

9. CONSIDERATION AND POSSIBLE ACTION TO APPROVE REZONING TO THE CITY OF MAGNOLIA OFFICIAL ZONING MAP FOR SM DADA ENTERPRISES LLC FROM NEIGHBORHOOD CONSERVATION 2 (NC 2) TO SUBURBAN VILLAGE (SV)

Consideration and possible action to review and approve rezoning to the City of Magnolia Official Zoning Map for 0.9183 acres of land being Reserve "A" and the east 55.25 feet of Reserve "D" of Magnolia Business Center, Gamble Dawson Survey, Abstract Number 177, of MONTGOMERY County, Texas, from Neighborhood Conservation 2 (NC 2) to Suburban Village (SV).

Chairman Franklin and Planning Coordinator Christian Gable provided comments. Frank Parker, Marcy Parker and James Elmore also provided additional comments. There was further discussion.

MOTION: Upon a motion to approve rezoning to the City of Magnolia Official Zoning Map for SM Dada Enterprises LLC from Neighborhood Conservation 2 (NC 2) to Suburban Village (SV) made by Robert Franklin and seconded by Anne Sundquist, the Commission members present voted and the motion carried unanimously, 6-0.

10. PRESENTATION AND DISCUSSION – MAGNOLIA TRACE, PROPOSED MIXED-USE DEVELOPMENT

Katy Harris and Abby Martinez, with LJA Engineering (Planning) and Lindsey Adams, Director of Development with BCS Capital Group, presented this item located south of FM 1488 and east of Spur 149 to the Commission. The intent is to annex some of the property into the City of Magnolia.

11. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MILL CREEK ESTATES, SECTION 6A, FINAL PLAT, +/-30.239 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommends approval.

MOTION: Upon a motion to approve Mill Creek Estates, Section 6A, Final Plat, +/-30.239 acres made by Anne Sundquist and seconded by Trevor Brown, the Commission members present voted and the motion carried unanimously, 6-0.

12. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MILL CREEK ESTATES, SECTION 6B, FINAL PLAT, +/-8.706 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommends approval.

MOTION: Upon a motion to approve Mill Creek Estates, Section 6B, Final Plat, +/-8.706 acres made by Robert Franklin and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 6-0.

13. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MILL CREEK ESTATES, SECTION 6C, FINAL PLAT, +/-13.110 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommends approval.

MOTION: Upon a motion to approve Mill Creek Estates, Section 6C, Final Plat, +/-13.110 acres made by Trevor Brown and seconded by Anne Sundquist, the Commission members present voted and the motion carried unanimously, 6-0.

14. CONSIDERATION AND POSSIBLE ACTION TO APPROVE SITE PLAN FOR MAGNOLIA VILLAGE RETAIL RESERVE A (13370, 13380 AND 13396 FM 1488)

Daniel Grimaldi, with LJA Engineering, presented this item. There was further discussion. The Commission decided that the approval includes the 7' encroachment into the buffer yard with the condition that it meets UDC landscaping requirements.

MOTION: Upon a motion to approve Site Plan for Magnolia Village Retail Reserve A (13370, 13380, and 13396 FM 1488) with condition that it meets UDC landscaping requirements made by Anne Sundquist and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 6-0.

15. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MAGNOLIA PLACE SECTION 1, PARTIAL REPLAT OF RESERVE A NO. 1, +/-1.184 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommends approval.

MOTION: Upon a motion to approve Magnolia Place Section 1, Partial Replat of Reserve A No. 1, +/-1.184 acres made by Holly Knee and seconded by Robert Franklin, the Commission members present voted and the motion carried unanimously, 6-0.

16. CONSIDERATION AND POSSIBLE ACTION TO REVIEW AND APPROVE MUSTANG RIDGE, SECTION 3, FINAL PLAT, +/-25.522 ACRES

Planning Coordinator Christian Gable stated the plat has been reviewed by City Engineer, and there are outstanding comments that need to be addressed so this item will be brought back to the Commission. No action taken.

17. FUTURE AGENDA ITEMS

None

18. ADJOURN

MOTION: Upon a motion to adjourn made by Robert Franklin and seconded by Trevor Brown, the Commission members present voted, the motion carried unanimously, 6-0 and Chairman Shelburne adjourned the meeting at 6:29 pm.

Planning & Zoning Commission

Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on June 16, 2022.

ATTEST:

Kandice Garrett, City Secretary

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 6**

Background/Information:

An application for a preliminary plat was received on June 3, 2022.

Comments:

Lot standards were approved through Variance granted by City Council on July 12. As of July 18, this project is pending a Letter of No Objection given the re-submittal requested by City Engineer addressing the lot size approval on the plans.

Action Requested:

Approve preliminary plat for Magnolia Place Section 1.

Recommendation:

Approve preliminary plat for Magnolia Place Section 1.

Attachments:

Preliminary Plat



Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

CONTACT INFORMATION

Applicant

Katy Harris
Name

3600 W Sam Houston Pkwy Ste. 600
Street Address

Houston TX 77042
City, State Zip

713-358-8536
Phone

N/A
Fax

kharris@lja.com
E-mail

Architect (if different)

N/A
Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Meritage Homes
Name

3250 Briarpark Drive, Ste. 100
Street Address

Houston, TX 77042
City, State Zip

972-768-1876
Phone

N/A
Fax

ryan.day@meritagehomes.com
E-mail

Engineer/Land Surveyor (if different)

N/A
Name

Street Address

City, State Zip

Phone

Fax

E-mail

Project Name: Magnolia Place Subdivision: Section 1 Reviewer: _____

PROPERTY PROFILE

Legal Description Richards John B Survey, A-449
(Subdivision) (Lot) (Block)

Current Zoning SU - Semi-Urban Residential

Present Use of Property
Undeveloped Acreage

Proposed Use of the Property
Single-family residential

Total Area of Site 33.6

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:
Undeveloped Acreage

2. Description of proposed property change, including lot numbers, name, etc.
Single family residential with 124 lots

Required Information

- Three (3) copies of the preliminary plat; minimum 20 in. x 24 in. size in blue or black line
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Title opinion (title search) from a title guaranty company not more than 30 days old
- Three (3) original copies of a letter of transmittal
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions of right-of-ways, lots, utility easements, open spaces, and buffers
- Required justifications for cul-de-sacs, if cul-de-sacs are proposed
- Three (3) copies of blue or black line prints of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Location and size of proposed parks, playgrounds, civic (including church) or school sites or other special uses of land to be considered for dedication to public use, provided on a separate attached description
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including location of proposed culverts and bridge, provided on a separate utility sheet
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)

Project Name: Magnolia Place Subdivision: Section 1 Reviewer: _____

I, Katy Harris (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.

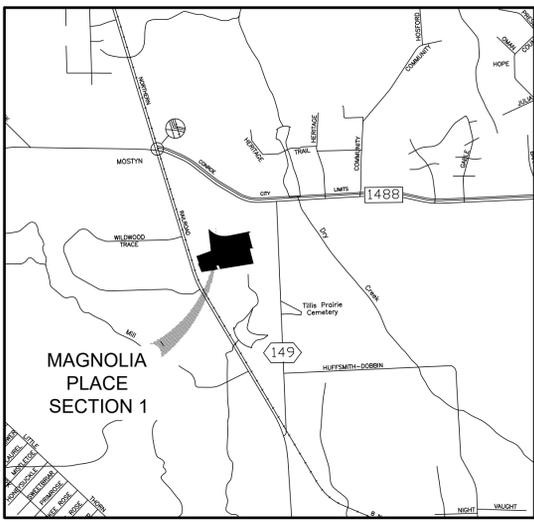
Katy Harris

6-3-2022

Signature of Applicant

Date

Project Name: Magnolia Place Subdivision: Section 1 Reviewer: _____



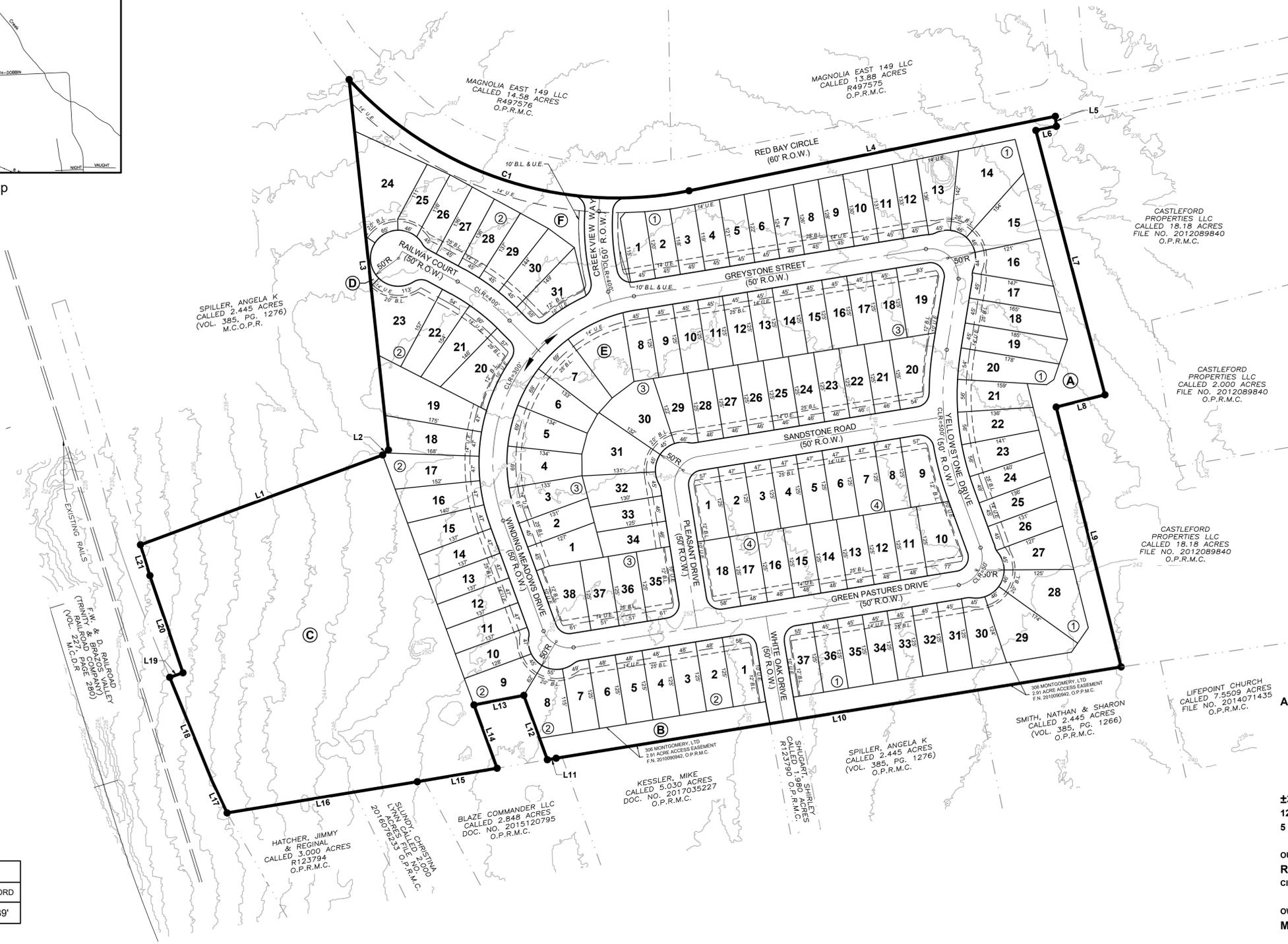
Vicinity Map
(Not to scale)

BOUNDARY LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 69°43'51" W	462'
L2	S 49°41'15" W	14'
L3	S 06°05'09" E	663'
L4	S 78°33'35" W	668'
L5	N 06°13'53" W	18'
L6	N 78°33'52" E	37'
L7	N 14°42'22" W	487'
L8	N 75°52'27" E	90'
L9	N 14°06'28" W	477'
L10	N 80°51'43" E	1024'
L11	N 80°26'33" E	16'
L12	S 20°08'14" E	122'
L13	N 79°09'48" E	91'
L14	N 20°09'40" W	120'
L15	N 80°26'33" E	145'
L16	N 80°44'10" E	345'
L17	S 25°16'18" E	62'
L18	S 22°19'40" E	200'
L19	S 71°08'48" W	25'
L20	S 18°51'40" E	183'
L21	S 17°09'40" E	57'

BOUNDARY CURVE TABLE				
CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	650'	669'	N 71°58'30" W	639'

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER LJA ENGINEERING, INC., NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR SUITABILITY TO THE PURPOSES INTENDED, OR ANY UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY PROVIDER. ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.



- GENERAL NOTES:
- ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
 - ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
 - ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
 - ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
 - SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
 - EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

- LEGEND
- RES. INDICATES RESERVE
 - B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - O.P.R.M.C. INDICATES OFFICIAL PUBLIC RECORDS MONTGOMERY COUNTY
 - M.C.D.R. MONTGOMERY COUNTY DEED RECORDS
 - R.O.W. INDICATES RIGHT-OF-WAY
 - DOC. NO. INDICATES DOCUMENT NUMBER
 - INDICATES STREETNAME CHANGE
 - INDICATES ZERO LOT

RESERVE TABLE		
RESERVE	ACRES	TYPE
A	±2.05Ac.	Landscape / Open Space / Utility Easement
B	±0.37Ac.	Landscape / Open Space / Utility Easement
C	±6.01Ac.	Drill Site
D	±0.02Ac.	Landscape / Open Space
E	±0.23Ac.	Landscape / Open Space / Utility Easement / Park
F	±0.53Ac.	Landscape / Open Space / Utility Easement

A PRELIMINARY PLAT OF
MAGNOLIA PLACE
SECTION 1

±33.6 ACRES
124 LOTS (45' x 120' TYP.) AND
5 RESTRICTED RESERVES IN 4 BLOCKS

OUT OF THE
RICHARD JOHN B SURVEY, A-449
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:
MERITAGE HOMES

PLANNER:



Land & Master Planning
Land Use/Feasibility Studies
Sustainable Design
Urban Design
Landscape Architecture

3600 W Sam Houston Pkwy S
Suite 600
Houston, Texas 77042
713.953.5200 - F 713.953.5026



LJA# 2040-07010

06.03.2022

Charter Title Company

609 Main Street, Suite 4325, Houston, Texas 77002
(713) 222-6060

CITY PLANNING SEARCH REPORT

June 1, 2022

**City of Magnolia Planning Commission
18111 Buddy Riley Blvd.
Magnolia, Texas 77534**

We, Charter Title Company duly incorporated and doing business under the laws of the State of Texas, hereby certify that we have made a careful search of the Real Property Records MONTGOMERY County, Texas, through an effective date of May 18, 2022, insofar as they pertain to:

MAGNOLIA PLACE SEC 1

33.6 acres of land in the John B. Richards Survey, Abstract No. 449 Montgomery County, Texas. Said 33.6 acre tract being more particularly described by metes and bounds in Exhibit "A" attached hereto:

And find the following:

RECORD TITLE APPEARS TO BE VESTED IN:

Magnolia East 149, L.L.C., a Texas limited liability company

EASEMENTS AND OTHER ENCUMBRANCES:

Memorandum Regarding Order issued by the Railroad Commission of Texas Designating Drilling/Operation Sites and Easements dated September 30, 2010, recorded October 12, 2010 under Montgomery County Clerk's File No. 2010090942, depicting therein a 2.91 acre proposed access easement together with a 6.01-acre proposed drillsite, as amended by Memorandum Regarding Order issued by the Railroad Commission of Texas Designating Drilling/Operation Sites and Easements dated August 20, 2014, recorded August 21, 2014 under Montgomery County Clerk's File No. 2014081756.

Terms, conditions and stipulations contained in that certain Declaration Easements, Covenants, Conditions and Restrictions as set forth in instrument recorded under Montgomery County Clerk's File No. 2014092222, , as amended by Montgomery County Clerk's File No. 2016020130, as amended and restated in Montgomery County Clerk's File No. 2021113438 (Amended and Restated Declaration).

Terms, conditions and stipulations contained in that certain Memorandum of Purchase Option Agreement as set forth in instrument recorded under Montgomery County Clerk's File No. 2014092223 as Amended under Montgomery County Clerk's File No. 2016020129.

All oil, gas and other minerals, together with all rights relating thereto, express or implied, reserved in instrument recorded under Montgomery County Clerk's File No. 2014090559. Said mineral estate not traced further herein.

All oil, gas and other minerals, together with all rights relating thereto, express or implied, conveyed in instrument recorded under Montgomery County Clerk's File No. 2015099153. Said mineral estate not traced further herein.

Memorandum Regarding Order Issued by the Railroad Commission of Texas Designating Drilling/Operation Sites and Easement as set forth in instrument recorded under Montgomery County Clerk's File No. 2010090942.

10 foot Water Line Easement, and 16 foot Utility Easement as shown on plat recorded under Cabinet Z, Sheet 5964 of the Map Records of Montgomery County, Texas.

RESTRICTIONS:

Restrictive covenants recorded under Montgomery County Clerk's File No. 2014092222, 2016020130 and 2021113438.

LIENS:

Deed of Trust, Security Agreement, dated August 12, 2021, filed on August 17, 2021 recorded under Montgomery County Clerk's File No. 2021113555, executed by MAGNOLIA EAST 149, L.L.C., to Clay Riebe, Trustee, securing the payment of a Note in the principal sum of \$14,840,000.00, and other indebtedness as provided therein, payable to the order of Veritex Community Bank.

Assignment of Leases and Rents dated August 12, 2021, filed on August 17, 2021, recorded under Montgomery County Clerk's File No. 2021113556.

No examination has been made as to Abstract of Judgments, state or federal tax liens, the status of taxes, tax suits, or paving assessments.

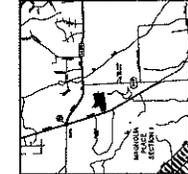
This certificate is issued for the use of and shall inure to the benefit of City of Magnolia; and liability of Charter Title Company hereunder for mistakes and/or errors in this certificate is limited to the cost of said certificate.

This company does not undertake to give or express any opinion as to the validity of the title to the property above described, nor the validity or effect of the instruments listed, and this certificate is neither a guaranty nor warranty of title.

**Prepared by:
Charter Title Company**

BY: *Yolanda Mercado*
Yolanda Mercado, Examiner

June 1, 2022

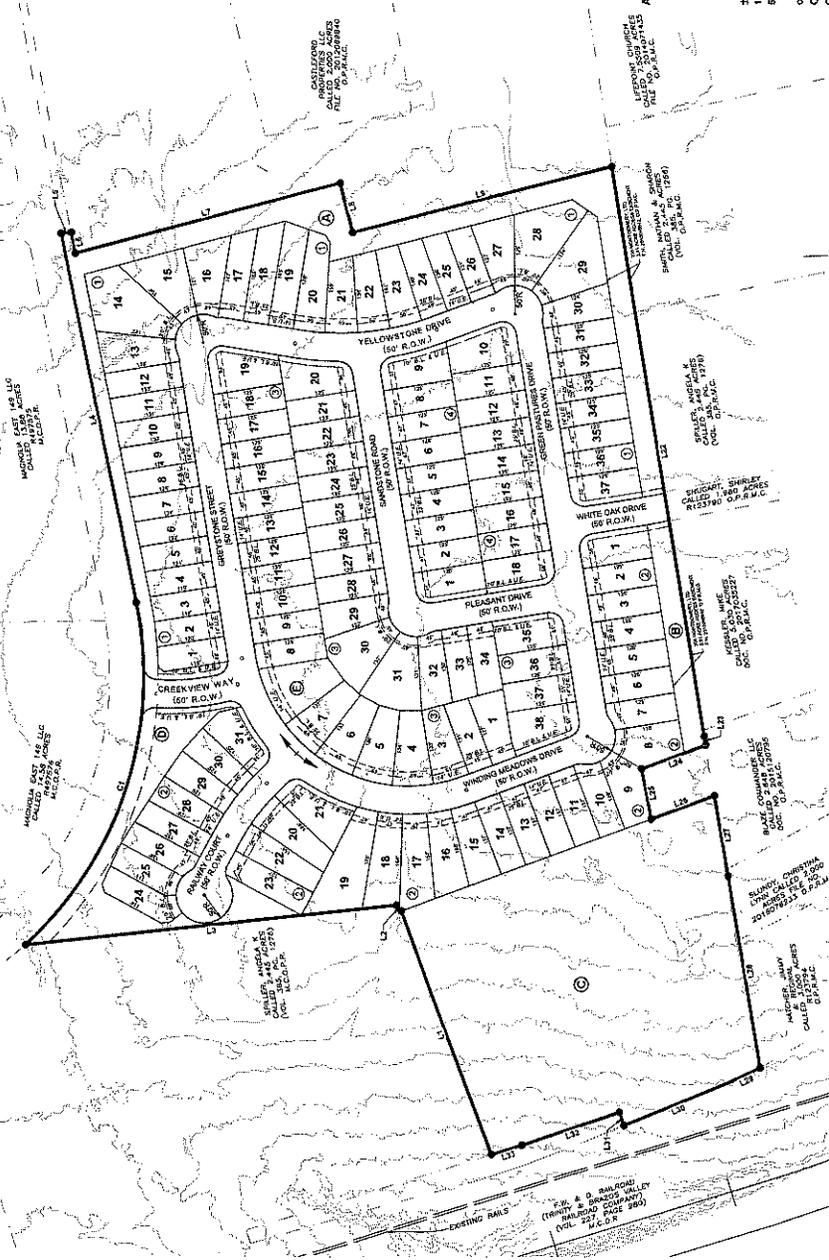


LINE	BEARING	DISTANCE
L1	S 88°43'51" N	482'
L2	S 49°41'12" W	14'
L3	S 86°05'09" E	663'
L4	S 73°32'36" N	658'
L5	N 65°19'52" W	18'
L6	N 78°33'52" E	37'
L7	N 14°42'27" N	487'
L8	N 75°42'27" E	507'
L9	N 44°06'20" W	477'
L10	N 80°14'42" E	1024'
L11	N 80°28'39" E	18'
L12	S 30°05'14" E	122'
L13	N 79°02'41" E	81'
L14	N 20°08'40" W	137'
L15	N 80°24'42" E	145'
L16	N 35°15'18" E	345'
L17	S 21°18'40" E	200'
L18	S 77°08'48" W	25'
L19	S 19°51'40" E	183'
L20	S 17°08'40" E	57'

THE PRELIMINARY CADDRESSES PLANNED HEREIN ARE PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF AMERICA COMPROMISES OF THE SUBDIVISION ACT AND THE TEXAS PROPERTY CODE. THE PLANNING AND ARCHITECTURE FIRM HAS CONDUCTED A VISUAL ANALYSIS OF THE PROPOSED DEVELOPMENT AND HAS DETERMINED THAT THE PROPOSED DEVELOPMENT IS IN ACCORDANCE WITH THE CITY OF AMERICA COMPROMISES OF THE SUBDIVISION ACT AND THE TEXAS PROPERTY CODE. THE PLANNING AND ARCHITECTURE FIRM HAS CONDUCTED A VISUAL ANALYSIS OF THE PROPOSED DEVELOPMENT AND HAS DETERMINED THAT THE PROPOSED DEVELOPMENT IS IN ACCORDANCE WITH THE CITY OF AMERICA COMPROMISES OF THE SUBDIVISION ACT AND THE TEXAS PROPERTY CODE.

LEGEND

- REL. INDICATES RESERVE
- BL. INDICATES BOUNDARY LINE
- MC/CP/L. INDICATES MONTEGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- R.O.W. INDICATES RIGHT-OF-WAY
- DOC. NO. INDICATES DOCUMENT NUMBER
- INDICATES STREETNAME CHANGE
- INDICATES ZERO LOT



RESERVE	ACRES	TYPE
A	±0.05Ac.	Landscape / Open Space / Utility Easement
B	±0.07Ac.	Landscape / Open Space / Utility Easement
C	±6.07Ac.	Drill Site
D	±0.05Ac.	Landscape / Open Space / Utility Easement
E	±0.23Ac.	Landscape / Open Space / Utility Easement / Park

MAGNOLIA PLACE SECTION 1

A PRELIMINARY PLAT OF
 353.6 ACRES
 (353.6 ACRES TYP.) AND
 5 RESTRICTED RESERVES IN 4 BLOCKS
 OUT OF THE
 COLIN MCRAE SURVEY, A-449
 CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

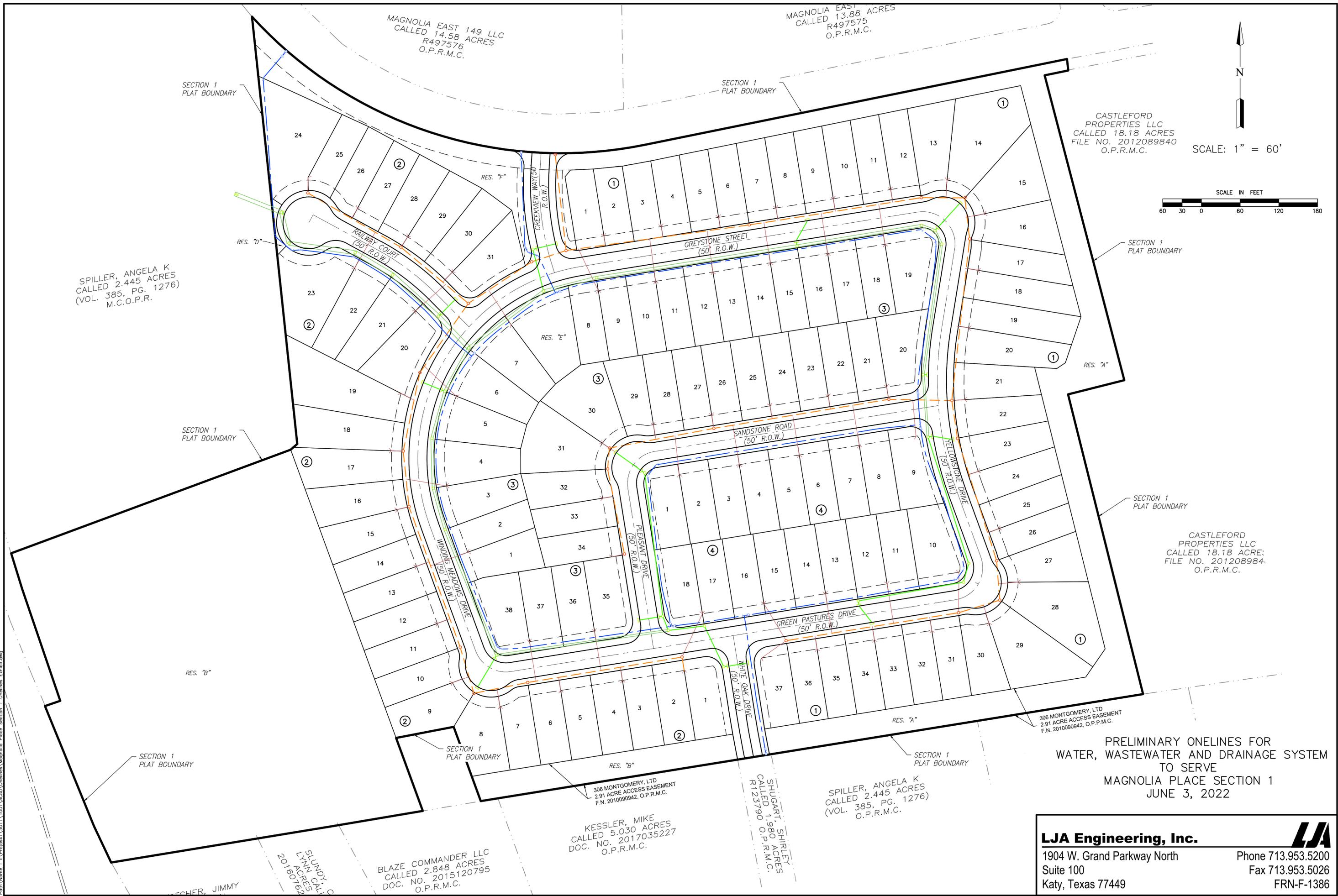
OWNER:
 HERITAGE HOMES

PLANNER:
LJA
 PLANNING &
 ARCHITECTURE

Land & Market Planning
 Land Use/Community Studies
 Surveying
 Urban Design
 Landscape Architecture
 1000 West Loop West, Suite 200
 Houston, Texas 77028
 281.462.1111
 LJA 2540-0787
 06.07.2023

CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	650'	669'	N 71°33'37" W	630'

Plot Title: Pl. 03, Jun. 2022 - 3:05pm
User Name: jshenoy
Path Name: L:\Projects\2011\1001\ACD\Onlines\Magnolia Place Section 1 Onlines Exhibit.dwg



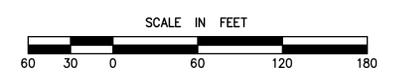
MAGNOLIA EAST 149 LLC
CALLED 14.58 ACRES
R497576
O.P.R.M.C.

MAGNOLIA EAST
CALLED 13.88 ACRES
R497575
O.P.R.M.C.

SPILLER, ANGELA K
CALLED 2.445 ACRES
(VOL. 385, PG. 1276)
M.C.O.P.R.

CASTLEFORD
PROPERTIES LLC
CALLED 18.18 ACRES
FILE NO. 2012089840
O.P.R.M.C.

SCALE: 1" = 60'



SECTION 1
PLAT BOUNDARY

CASTLEFORD
PROPERTIES LLC
CALLED 18.18 ACRES
FILE NO. 201208984
O.P.R.M.C.

RES. "B"

SECTION 1
PLAT BOUNDARY

SECTION 1
PLAT BOUNDARY

306 MONTGOMERY, LTD
2.91 ACRE ACCESS EASEMENT
F.N. 2010090942, O.P.R.M.C.

KESSLER, MIKE
CALLED 5.030 ACRES
DOC. NO. 2017035227
O.P.R.M.C.

SHUGART, SHIRLEY
CALLED 1.980 ACRES
R123790 O.P.R.M.C.

SPILLER, ANGELA K
CALLED 2.445 ACRES
(VOL. 385, PG. 1276)
O.P.R.M.C.

306 MONTGOMERY, LTD
2.91 ACRE ACCESS EASEMENT
F.N. 2010090942, O.P.R.M.C.

PRELIMINARY ONELINES FOR
WATER, WASTEWATER AND DRAINAGE SYSTEM
TO SERVE
MAGNOLIA PLACE SECTION 1
JUNE 3, 2022

LJA Engineering, Inc. 
1904 W. Grand Parkway North Phone 713.953.5200
Suite 100 Fax 713.953.5026
Katy, Texas 77449 FRN-F-1386

BLAZE COMMANDER LLC
CALLED 2.848 ACRES
DOC. NO. 2015120795
O.P.R.M.C.

SLUNDY, CALL
LYNN
CALLED 1.980 ACRES
R123790 O.P.R.M.C.

ETCHER, JIMMY

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 7**

Background/Information:

An application for a preliminary plat was received on May 5, 2022.

Comments:

Letter of No Objection from City Engineer was received May 16, 2022.

Action Requested:

Approve preliminary plat for 15-acre 1486 Tract, William T. Dunlavy Survey, Abstract 168.

Recommendation:

Approve preliminary plat for 15-acre 1486 Tract, William T. Dunlavy Survey, Abstract 168.

Attachments:

Preliminary Plat



Preliminary Plat Application Form

This form shall be submitted with each application for a preliminary plat.

CONTACT INFORMATION

Applicant

META Planning & Design - Jennifer Curtis

Name

24275 Katy Freeway, Suite 200

Street Address

Katy, TX 77494

City, State Zip

281-810-1422

Phone

Fax

jcurtis@meta-pd.com

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Wan Bridge Land, LLC - Andrew Loessin

Name

5847 San Felipe Street, #2800

Street Address

Houston, TX 77057

City, State Zip

832-295-1056

Phone

Fax

andrew@wlanddevelopment.com

E-mail

Engineer/Land Surveyor (if different)

BGE Inc. - T. Jeremy Thomas, P.E.

Name

10777 Westheimer Rd #400

Street Address

Houston, TX 77042

City, State Zip

281-558-8700

Phone

Fax

JThomas@bgeinc.com

E-mail

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

property is not previously platted; metes and bounds are included with the plat

2. Description of proposed property change, including lot numbers, name, etc.

undeveloped property to be developed as townhome and duplex dwellings, platted as multi-family reserves under single ownership

Required Information

- N/A Three (3) copies of the preliminary plat; minimum 20 in. x 24 in. size in blue or black line
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Title opinion (title search) from a title guaranty company not more than 30 days old
- N/A Three (3) original copies of a letter of transmittal
- Vicinity map
- North arrow
- Revision date
- Legal description of the parcel proposed for subdivision
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions of right-of-ways, lots, utility easements, open spaces, and buffers
- N/A Required justifications for cul-de-sacs, if cul-de-sacs are proposed
- N/A Three (3) copies of blue or black line prints of the preliminary plans for the furnishings of water, sanitary sewer facilities, and provisions for storm sewers and general drainage facilities
- Proposed generalized use of lots (e.g., mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- N/A Location and size of proposed parks, playgrounds, civic (including church) or school sites or other special uses of land to be considered for dedication to public use, provided on a separate attached description
- N/A If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- Statement of proposed plans for drainage and sewage disposal/outfall, including location of proposed culverts and bridge, provided on a separate utility sheet
- N/A If the proposed subdivision is one of several phases, conceptual plans for the other phases
- N/A Traffic study (if necessary)

I, Jennifer Curtis (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.

Jennifer Curtis

Signature of Applicant

5/5/2022

Date

Plat Name: 15-acre FM 1486 Tract – Preliminary Plat

Date: May 5th, 2022

Applicant: META Planning + Design LLC

Proposed generalized use of lots (e.g., mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description:

The application proposes a residential community with public streets. The dwellings will be platted as multi-family reserves under single ownership, but will appear as a mix of townhomes and duplexes. There will be landscaping surrounding the dwelling units, similar to traditional multi-family structures, but the structures will appear visually like single- or two-family homes with their own driveways, garages, privacy fences, and exterior front doors.

Plat Name: 15-acre FM 1486 Tract – Preliminary Plat

Date: May 5th, 2022

Engineer: BGE Inc.

Proposed plans for drainage and sewage disposal/outfall, including location of proposed culverts and bridge:

The ±15 acres site will outfall in a proposed detention pond on the property directly south of the site. Culverts will be required along the eastern side of FM 1486 where the two proposed roadways will intersect with FM 1486. Regarding wastewater, sanitary sewage will drain via a 10-inch sanitary sewer line along the western property line to the existing 12 sanitary sewer in FM 1774.

Charter Title Company

609 Main Street, Suite 4325, Houston, Texas 77002
(713) 222-6060

CITY PLANNING SEARCH REPORT

May 3, 2022

City of Magnolia

We, Charter Title Company duly incorporated and doing business under the laws of the State of Texas, hereby certify that we have made a careful search of the Real Property Records MONTGOMERY County, Texas, as of April 27, 2022, insofar as they pertain to:

Being 15.00 acres (653,400 square feet) of land in the William T. Dunlavy Survey, Abstract No. 168 in Montgomery County, Texas, and being a portion of the residue of the called 30.137 acre tract described in the deed from AFFILIATED CROWN DEVELOPMENS, LTD., to TODD MISSION CORNER,LLC recorded in File Number 2008-117803 of the Official Public Records of Real property of Montgomery County, Texas, and more particularly described by metes and bounds in Exhibit "A" attached hereto:

And find the following:

RECORD TITLE APPEARS TO BE VESTED IN:

PARKSIDE 1774, LLC a Texas limited partnership

EASEMENTS AND OTHER ENCUMBRANCES:

Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to State of Texas acting through the State Highway Commission, for drainage, recorded on May 22, 1953, as Document No. Volume 348, Page 297 (53087485) Deed Records Montgomery County, Texas, affects a strip of land 50 feet wide as described by metes and bounds therein.

A lease as set forth in Volume 323,Page 374 (5107985) Deed Records of Montgomery County, Texas.

Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the document:

Recording No.: Volume 455, Page 464 Deed Records Montgomery County, Texas, which document contains the following language: "together with the rights of ingress and egress at all times for the purposes of mining, exploring, drilling, producing, treating and removing the same therefrom"

Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the document:

Recording No.: Volume 455, Page 465 Deed Records Montgomery County, Texas, which document contains the following language: "together with the rights of ingress and egress at all times for the purposes of mining, exploring, drilling, producing, treating and removing the same therefrom"

Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the document:

Recording No.: Volume 656, Page 100 Deed Records Montgomery County, Texas, which document contains the following language: "together with the rights of ingress and egress at all times for the purpose of prospecting for, mining, exploring, drilling, producing, and removing any of said minerals from the land or any part thereof"

Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the document:

Recording No.: Volume 656, Page 103 Deed Records Montgomery County, Texas, which document contains the following language: "together with the rights of ingress and egress for the purpose of prospecting, mining, exploring, drilling for, and producing and removing any and each of said minerals from the land or any part thereof."

Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the document:

Recording No.: Montgomery County Clerk's File No. 8131803, which document contains the following language: provided, however, that in conducting operations for the exploration, drilling, taking, storing and saving of said mineral interest herein reserved, that Grantor herein, his heirs and assigns shall not use or occupy any portion of the surface of the premises herein conveyed for such purposes and does hereby waive the rights of ingress and egress in, on, over and across the surface of said premises in connection with said mineral interest herein reserved. Provided, however, that nothing herein shall be construed as waiving, releasing or relinquishing any rights of the Grantor herein, his heirs or assigns, in and to the mineral interest herein reserved or the rights of said grantor, his heirs or assigns, in and to the mineral interest herein reserved or the rights of said grantor, his heirs or assigns, to exploit, develop and/or produce said oil, gas and other minerals with wells drilled at such locations off the above described premises, including but not limited to, directional wells bottomed beneath thereof.

Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the document:

Recording No.: Montgomery County Clerk's File No. 8145063, which document contains the following language: provided, however, that in conducting operations for the exploration, drilling, taking, storing and saving of said mineral interest herein reserved, that Grantor herein, his heirs and assigns shall not use or occupy any portion of the surface of the premises herein conveyed for such purposes and does hereby waive the rights of ingress and egress in, on, over and across the surface of said premises in connection with said mineral interest herein reserved. Provided, however, that nothing herein shall be

construed as waiving, releasing or relinquishing any rights of the Grantor herein, his heirs or assigns, in and to the mineral interest herein reserved or the rights of said grantor, his heirs or assigns, in and to the mineral interest herein reserved or the rights of said grantor, his heirs or assigns, to exploit, develop and/or produce said oil, gas and other minerals with wells drilled at such locations off the above described premises, including but not limited to, directional wells bottomed beneath thereof.

Waiver of Special Appraisal for the benefit of Montgomery County Municipal Utility District No. 174, as recorded under Montgomery County Clerk's File No. 2021160695.

RESTRICTIONS:

None of Record.

LIENS:

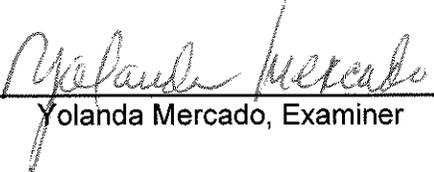
None of Record.

No examination has been made as to Abstract of Judgments, state or federal tax liens, the status of taxes, tax suits, or paving assessments.

This certificate is issued for the use of and shall inure to the benefit of City of Magnolia; and liability of Charter Title Company hereunder for mistakes and/or errors in this certificate is limited to the cost of said certificate.

This company does not undertake to give or express any opinion as to the validity of the title to the property above described, nor the validity or effect of the instruments listed, and this certificate is neither a guaranty nor warranty of title.

Prepared by:
Charter Title Company

BY: 
Yolanda Mercado, Examiner

May 3, 2022

WILLIAM T. DUNLAVY SURVEY, A-168

METES AND BOUNDS DESCRIPTION
OF 15,000 ACRES (653,400 SQUARE FEET) OF LAND
IN THE WILLIAM T. DUNLAVY SURVEY, A-168
MONTGOMERY COUNTY, TEXAS

Being 15,000 acres (653,400 square feet) of land in the William T. Dunlavy Survey, Abstract 168, Montgomery County, Texas, and being a portion of the residue of a called 0.535 acre tract described in the deed from AFFILIATED CROWN DEVELOPMENTS, LTD. to TODD MISSION CORNER, LLC recorded in File Number 2008-117803 of the Official Public Records of Real Property of Montgomery County, Texas, and more particularly described by metes and bounds as follows with bearings based on the Texas Coordinate System of 1983, Central Zone:

BEGINNING at a 5/8-inch iron rod with cap stamped "HUYER SURVEYING" found for the northeast corner of the herein described tract and of said called 0.535 acre tract, being an angle corner of the called 78.760 acre tract of land described in the deed from JAMES EDWARD WARE, et al. to MAGNOLIA INDEPENDENT SCHOOL DISTRICT recorded in File Number 2002-131656 of the Official Public Records of Real Property of Montgomery County, Texas;

THENCE South 09° 01' 27" East - 1170.82 feet, with the line common to said called 0.535 acre tract and said 78.760 acre tract, to a 5/8-inch iron rod with cap stamped "IS" set for the southeast corner of the herein described tract;

THENCE South 88° 35' 09" West - 579.25 feet, across said called 0.535 acre tract, to a 5/8-inch iron rod with cap stamped "IS" set for the southwest corner of the herein described tract and being on the east right-of-way line of F. M. 1466 (width varies) as described in Volume 217, Page 68 of the Montgomery County Deed Records;

THENCE North 01° 24' 51" West - 1549.96 feet, with the east right-of-way line of F. M. 1466 and the west line of the herein described tract, to a 5/8-inch iron rod with cap stamped "IS" found for the northwest corner of the herein described tract and the southwest corner of a called 0.535 acre tract described in the deed to MAGNOLIA ISD recorded in Document Number 200609153 of the Official Public Records of Real Property of Montgomery County, Texas, from which a found 5/8-inch iron rod with 4-inch aluminum cap bears North 02° 16' 50" West - 58.77 feet;

THENCE North 86° 18' 09" East - 424.70 feet, with the line common to the herein described tract and said 0.535 acre tract to a 5/8-inch iron rod with cap stamped "IS" found for an angle corner;

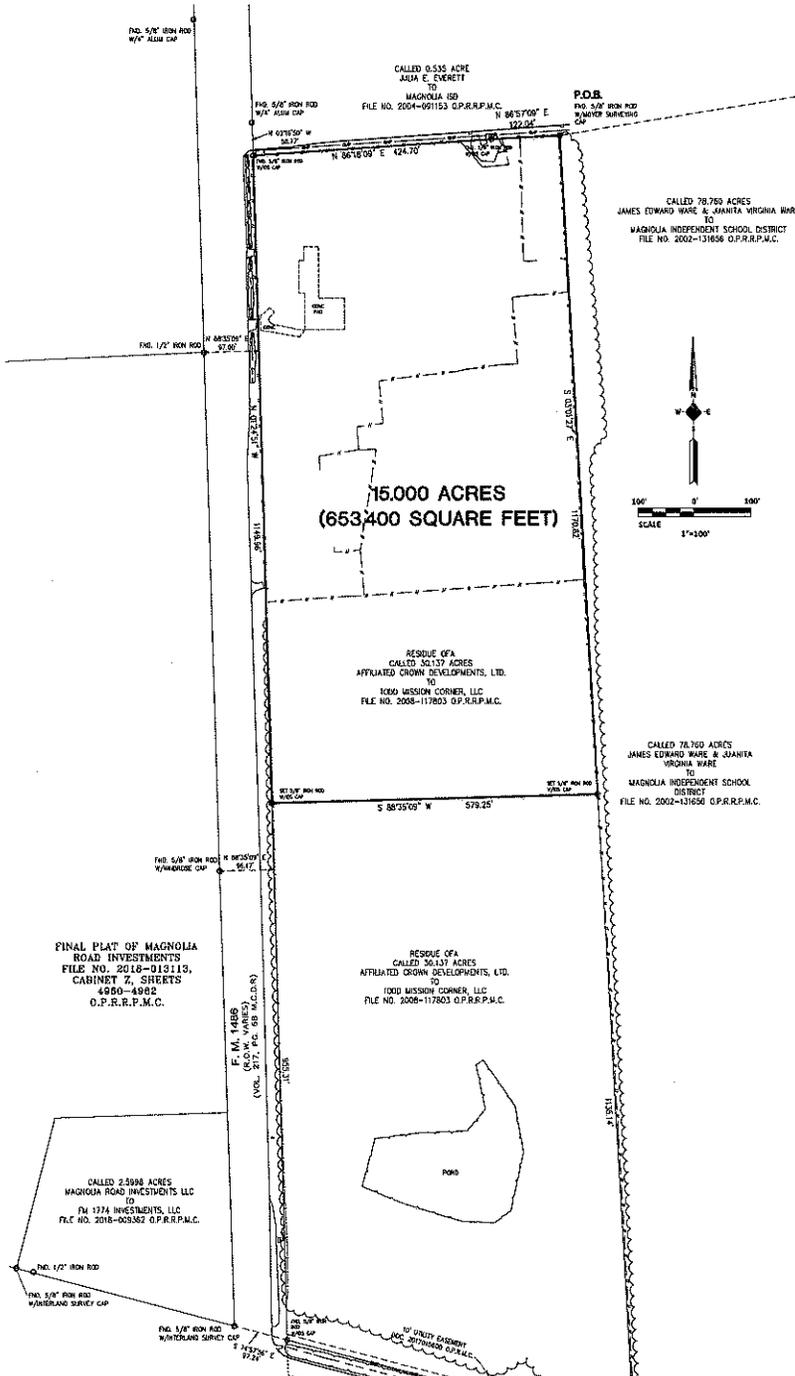
THENCE North 86° 57' 09" East - 122.04 feet, continuing with the north line of the herein described tract to the **POINT OF BEGINNING** and containing 15,000 acres (653,400 square feet) of land.

SCHEDULE B-K EXCEPTIONS:

10. The following matters and all terms of the documents creating or affecting evidence of the matters (We must insert metes and bounds in the documents):
- Rights of parties in possession. (Seller to sign an affidavit as closing to deliver)
 - Intentionally Omitted.
 - Essentials for the acquisition and rights incidental thereto, as printed in a document, granted to State of Texas acting through the State Highway Commission, for drainage, recorded on May 1951, as Document No. Volume 348, Page 297 (2007480) Deed Records Montgomery County, Texas, affects a strip of land 50 feet wide as described by metes and bounds therein. (Not Platiable)
 - Intentionally Omitted.
 - Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the documents.
Recording No: Volume 455, Page 464 Deed Records Montgomery County, Texas
Which document contains the following language: "together with the rights of ingress and egress at all times for the purposes of mining, exploring, drilling, producing, treating and removing the same therefrom" (Not Platiable)
Said mineral interest not traced subsequent to the date of the above-cited instrument.
 - Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the documents.
Recording No: Volume 455, Page 465 Deed Records Montgomery County, Texas
Which document contains the following language: "together with the rights of ingress and egress at all times for the purposes of mining, exploring, drilling, producing, treating and removing the same therefrom" (Not Platiable)
Said mineral interest not traced subsequent to the date of the above-cited instrument.
 - Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the documents.
Recording No: Volume 456, Page 202 Deed Records Montgomery County, Texas
Which document contains the following language: "together with the right of ingress and egress for the purposes of prospecting, mining, drilling for, and producing and removing any and each of said minerals from the land or any part thereof" (Not Platiable)
Said mineral interest not traced subsequent to the date of the above-cited instrument.
 - Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the documents.
Recording No: Volume 524, Page 129 Deed Records Montgomery County, Texas
Which document contains the following language: "together with the right of ingress and egress at all times for the purposes of prospecting, mining, drilling for, and producing and removing any and each of said minerals from the land or any part thereof" (Not Platiable)
Said mineral interest not traced subsequent to the date of the above-cited instrument.
 - Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the documents.
Recording No: Montgomery County Clerk's File No. 831802
Which document contains the following language: provided, however, that in conducting operations for the exploration, drilling, mining, storing and hauling of said mineral interest herein reserved, that Grantor herein, his heirs and assigns shall not use or occupy any portion of the surface of the premises herein conveyed for such purposes and does hereby waive the rights of ingress and egress in, on, over and across the surface of said premises in connection with said mineral interest herein reserved. Provided, however, that nothing herein shall be construed as waiving, relinquishing or relinquishing any rights of the Grantor herein, his heirs or assigns, in and to the mineral interest herein reserved or the right of said grantor, his heirs or assigns, to explore, develop and/or produce said oil, gas and other minerals with wells drilled at such locations on the above described premises, including but not limited to, directional wells bottomed beneath the land. (Not Platiable)
Said mineral interest not traced subsequent to the date of the above-cited instrument.
 - Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the documents.
Recording No: Montgomery County Clerk's File No. 834203
Which document contains the following language: provided, however, that in conducting operations for the exploration, drilling, mining, storing and hauling of said mineral interest herein reserved, that Grantor herein, his heirs and assigns shall not use or occupy any portion of the surface of the premises herein conveyed for such purposes and does hereby waive the rights of ingress and egress in, on, over and across the surface of said premises in connection with said mineral interest herein reserved. Provided, however, that nothing herein shall be construed as waiving, relinquishing or relinquishing any rights of the Grantor herein, his heirs or assigns, in and to the mineral interest herein reserved or the right of said grantor, his heirs or assigns, to explore, develop and/or produce said oil, gas and other minerals with wells drilled at such locations on the above described premises, including but not limited to, directional wells bottomed beneath the land. (Not Platiable)
Said mineral interest not traced subsequent to the date of the above-cited instrument.
 - A lease with certain terms, covenants, conditions and provisions set forth therein, dated December 17, 1955, Thomas F. Gilson, Jr., Trust, 20th of Texas, Trustee, recorded on December 21, 1955, in Document No. Volume 225, Page 174 (207185) Deed Records Montgomery County, Texas. (Not Platiable)
 - A portion of the proposed loan under the Owner's Title Policy coverage amount includes funds for immediately contemplated improvements, the following exceptions will appear on Schedule B of any policy issued hereunder:
Owner's and Lender Policy: Any and all items arising by reason of unpaid bills or claims for work performed or materials furnished in connection with improvements created, or to be placed, upon the subject land, however, the Company does issue the named exact tool, if any, installed by the borrower under this policy which funds have been paid with the County Clerk of Montgomery County, Texas, prior to the date hereof.
Owner's Policy Only: Liability hereunder at the date hereof is limited to 5. Liability shall increase as contemplated improvements are made, so that any loss payable hereunder shall be limited to said sum plus the amount actually expended by the insured in improvements at the time the loss occurs. An endorsement made for improvements, subsequent to the date of this policy, will be deemed made as of the date of this policy, in so far as it relates to the liability of the Company hereunder except the face amount of this policy. Nothing contained in this paragraph shall be construed as limiting any exception under Schedule B, or any printed provision of this policy.
 - Waiver of Special Approval for the Benefit of Montgomery County Municipal Utility District No. 874 recorded on November 19, 2022 under Montgomery County Clerk's File No. 20221856.

NOTES:

- This map is the result of an on the ground survey made under my supervision and depicts the conditions found on the ground at the time of the survey. The field work was completed on January 19, 2022.
- Additional information is shown per the Texas Board of Professional Land Surveying Rules and is shown for informational purposes only.
- The bearings shown hereon are referenced to the Texas Coordinate System of 1983, Central Zone.
- The recorded easements, setbacks and encroachments shown hereon are from Schedule B of the commitment for title insurance issued by Fidelity National Title Insurance Company, of No. 710-B-Fidelity Drive, effective date January 26, 2022, issue date February 4, 2022. The surveyor has relied upon the accuracy and completeness of the information described above and has made no independent investigation or search for this information.
- By stating the surveyed tract onto the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) No. 483030212C, effective date August 18, 2013, the subject property appears to be in ZONE X (unshaded), defined as areas determined to be outside the 0.2% annual chance floodplain. The surveyor makes no representation as to the accuracy of said FIRM or that it is the most current published flood map.
- The utility appearances shown hereon include those visible at the time of the survey and are for general location purposes only. In providing this boundary survey, although there may be utility lines or other items shown that are not depicted, defined as areas determined to be outside the 0.2% annual chance floodplain. The surveyor makes no representation as to the accuracy of said FIRM or that it is the most current published flood map.
- The utility appearances shown hereon include those visible at the time of the survey and are for general location purposes only. In providing this boundary survey, although there may be utility lines or other items shown that are not depicted, defined as areas determined to be outside the 0.2% annual chance floodplain. The surveyor makes no representation as to the accuracy of said FIRM or that it is the most current published flood map.
- The buildings and other improvements shown hereon represent the outline at ground level. The surveyor has not located any underground buildings, overhead structures or improvements not obvious and located at ground level unless otherwise noted.
- Surveyor has not identified any geological or environmental conditions in connection with the subject property and Surveyor fully disclaims any and all responsibility related to issues or claims related thereto or resulting therefrom.



METES AND BOUNDS DESCRIPTION
OF 15,000 ACRES (653,400 SQUARE FEET) OF LAND
IN THE WILLIAM T. DUNLAVY SURVEY, A-168
MONTGOMERY COUNTY, TEXAS

BEING 15,000 acres (653,400 square feet) of land in the William T. Dunlavy Survey, Abstract 168, Montgomery County, Texas, and being a portion of the residue of the called 30.137 acre tract described in the deed from AFFILIATED CROWN DEVELOPMENTS, LTD. to TODD MISSION CORNER, LLC recorded in File Number 2008-117803 of the Official Public Records of Real Property of Montgomery County, Texas, and more particularly described by metes and bounds as follows with bearings based on the Texas Coordinate System if 1983, Central Zone:

BEGINNING at a 5/8-inch rod with cap stamped "MOYER SURVEYING" found for the northeast corner of the herein described tract and of said called 30.137 acre tract, being an angle corner of the called 78.760 acre tract of land described in the deed from JAMES EDWARD WARE, et al. to MAGNOLIA INDEPENDENT SCHOOL DISTRICT RECORDED IN FILE NUMBER 2002-131656 of the OFFICIAL PUBLIC RECORDS of Real Property of Montgomery County, Texas;

THENCE South 03° 01' 27" East - 1170.82 feet, with the line common to said called 30.137 acre tract and said 78.760 acre tract, to a 5/8-inch iron rod with cap stamped "IDS" set for the southeast corner of herein described tract;

THENCE South 88° 35' 09" West - 579.25 feet, across said called 30.137 acre tract, to a 5/8-inch iron rod with cap stamped "IDS" set for the southwest corner of the herein described tract and being on the east right-of-way line of F.M. 1486 (width varies) as described in Volume 217, Page 68 of the Montgomery County Deed Records;

THENCE North 01° 24' 51" West - 1149.96 feet, with the east right-of-way line of F.M. 1486 and the west line of the herein described tract, to a 5/8-inch iron rod with cap stamped "IDS" found for the northwest corner of the herein described tract and the southwest corner of a called 0.535 acre tract described in the deed to MAGNOLIA ISD recorded in Document Number 2004091153 of the Official Public Records of Real Property of Montgomery County, Texas, from which a found 5/8-inch iron rod with 4-inch aluminum cap bears North 02° 16' 50" West - 58.77 feet;

THENCE North 86° 18' 09" East - 424.70 feet, with the line common to the herein described tract and said 0.535 acre tract to a 5/8-inch iron rod with cap stamped "IDS" found for an angle corner;

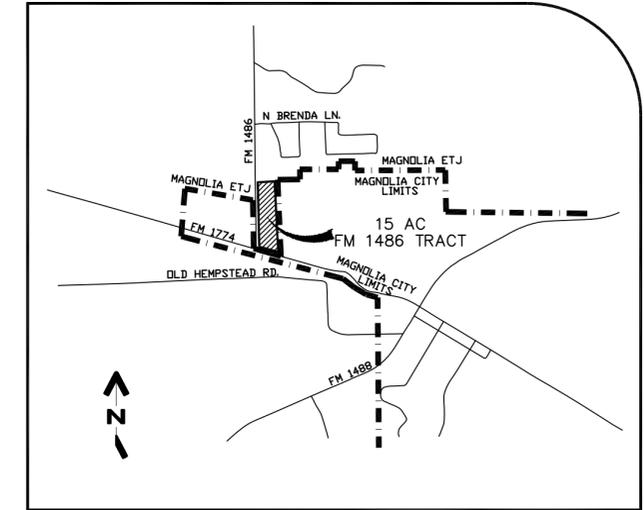
THENCE North 86° 57' 09" East - 122.04 feet, continuing with the north line of the herein described tract to the POINT OF BEGINNING and containing 15,000 acres (653,400 square feet) of land.

CALLER 0.535 ACRE
JULIA E. EVERETT
TO
MAGNOLIA ISD
FILE NO. 2004-091153
O.P.R.R.P.M.C.

CALLER 78.760 ACRES
JAMES EDWARD WARE
&
JUANITA VIRGINIA WARE
MAGNOLIA ISD
FILE NO. 2002-131656
O.P.R.R.P.M.C.

CALLER 78.760 ACRES
JAMES EDWARD WARE
&
JUANITA VIRGINIA WARE
MAGNOLIA ISD
FILE NO. 2002-131656
O.P.R.R.P.M.C.

RESIDUE OF A
CALLED 30.137 ACRES
AFFILIATED CROWN
DEVELOPMENTS, LTD.
TO
TODD MISSION CORNER, LLC
FILE NO. 2008-117803
O.P.R.R.P.M.C.



Vicinity Map
(NOT TO SCALE)

NOTE:

- A** RESTRICTED RESERVE "A"
MULTI-FAMILY
±6.04 ACRE
- B** RESTRICTED RESERVE "B"
MULTI-FAMILY
±0.96 ACRE
- C** RESTRICTED RESERVE "C"
MULTI-FAMILY
±0.87 ACRE
- D** RESTRICTED RESERVE "D"
MULTI-FAMILY
±1.57 ACRE
- E** RESTRICTED RESERVE "E"
MULTI-FAMILY
±0.95 ACRE

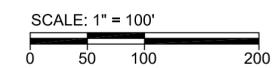
15 AC FM 1486 TRACT

BEING 15.00 ACRES OF LAND
FIVE RESERVES IN FIVE BLOCKS.

OUT OF THE
WILLIAM T. DUNLAVY SURVEY, A-168
MONTGOMERY COUNTY, TEXAS

OWNER:
WAN BRIDGE LAND, LLC
A TEXAS LIMITED LIABILITY COMPANY
6847 SAN FELIPE STREET, SUITE 2800
HOUSTON, TEXAS 77057
PHONE: (832) 298-1058
EMAIL: ANDREW@WLANDDEVELOPMENT.COM

ENGINEER:
BGE INC.
10777 WESTHEIMER, SUITE 400
HOUSTON, TEXAS 77042
PHONE: (281) 668-8700



APRIL 27, 2022
MTA# 53018

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE MONTGOMERY COUNTY SUBDIVISION REGULATIONS IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MONTGOMERY COUNTY COMMISSIONERS COURT. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC, NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

FINAL PLAT OF MAGNOLIA
ROAD INVESTMENTS
FILE NO. 2018-013113,
CABINET Z, SHEETS
4960-4962
O.P.R.R.P.M.C.

F.M. 1486
(R.O.W. VARIES)
VOL. 217, PG. 68 M.C.D.R.

MAGNOLIA ETJ
MAGNOLIA CITY LIMIT

MAGNOLIA ETJ
MAGNOLIA CITY LIMIT

ULTIMATE WIDTH
180'

1150'

1150'

1150'

1150'

1150'

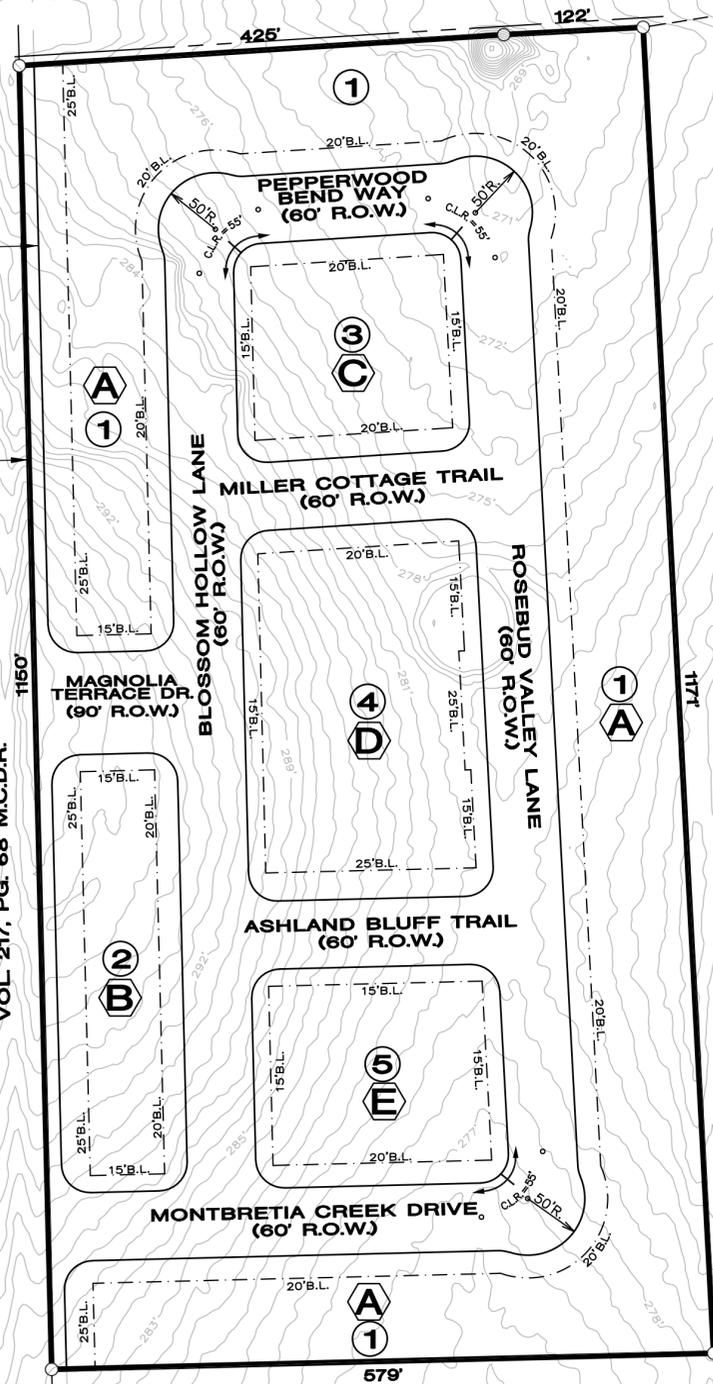
1150'

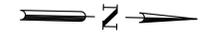
1150'

1150'

1150'

1150'



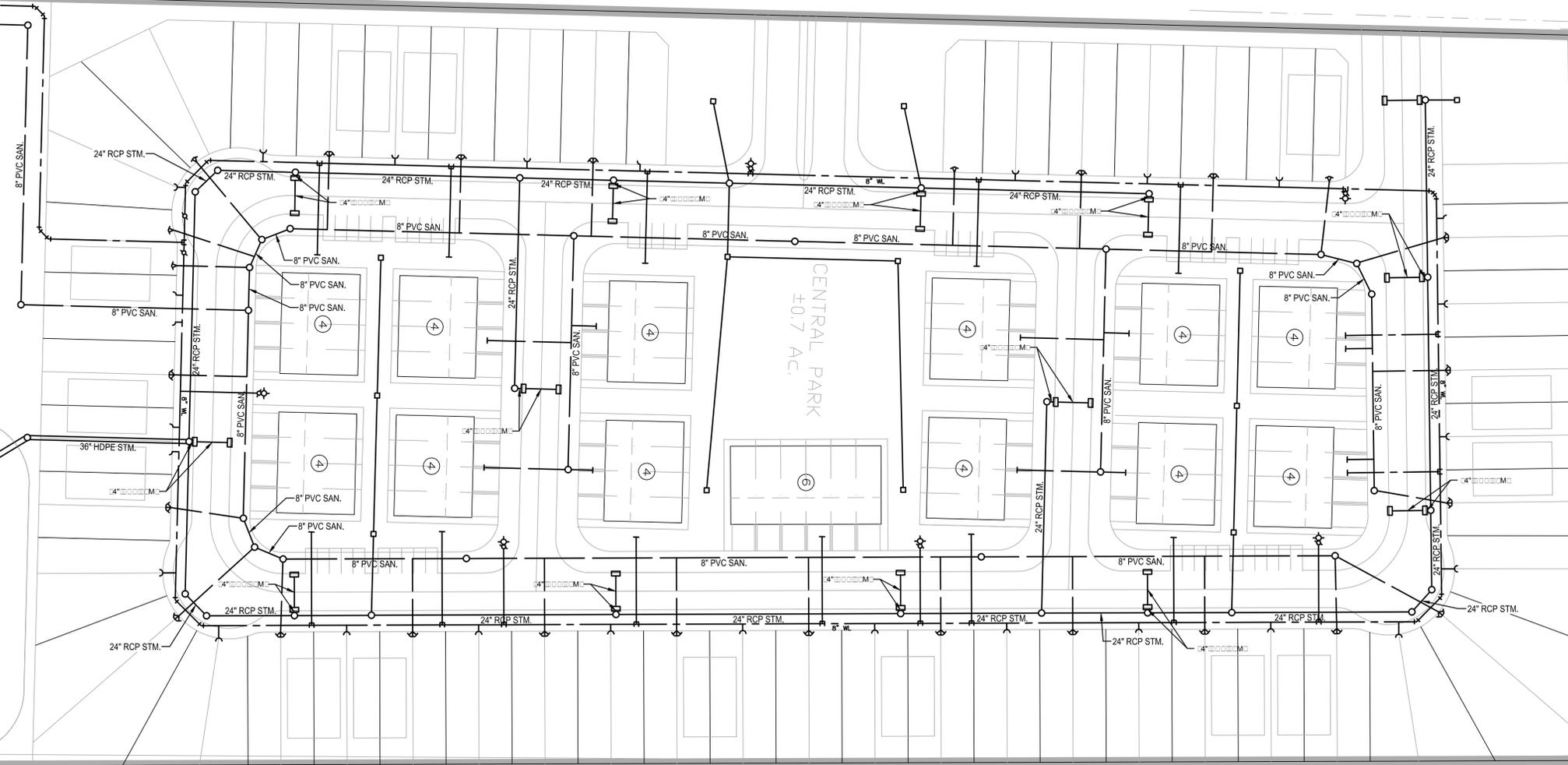
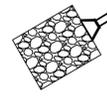


FM 1486
(R.O.W. VARIES)

MATCH LINE

10" PVC SAN.

DETENTION POND
BY OTHERS

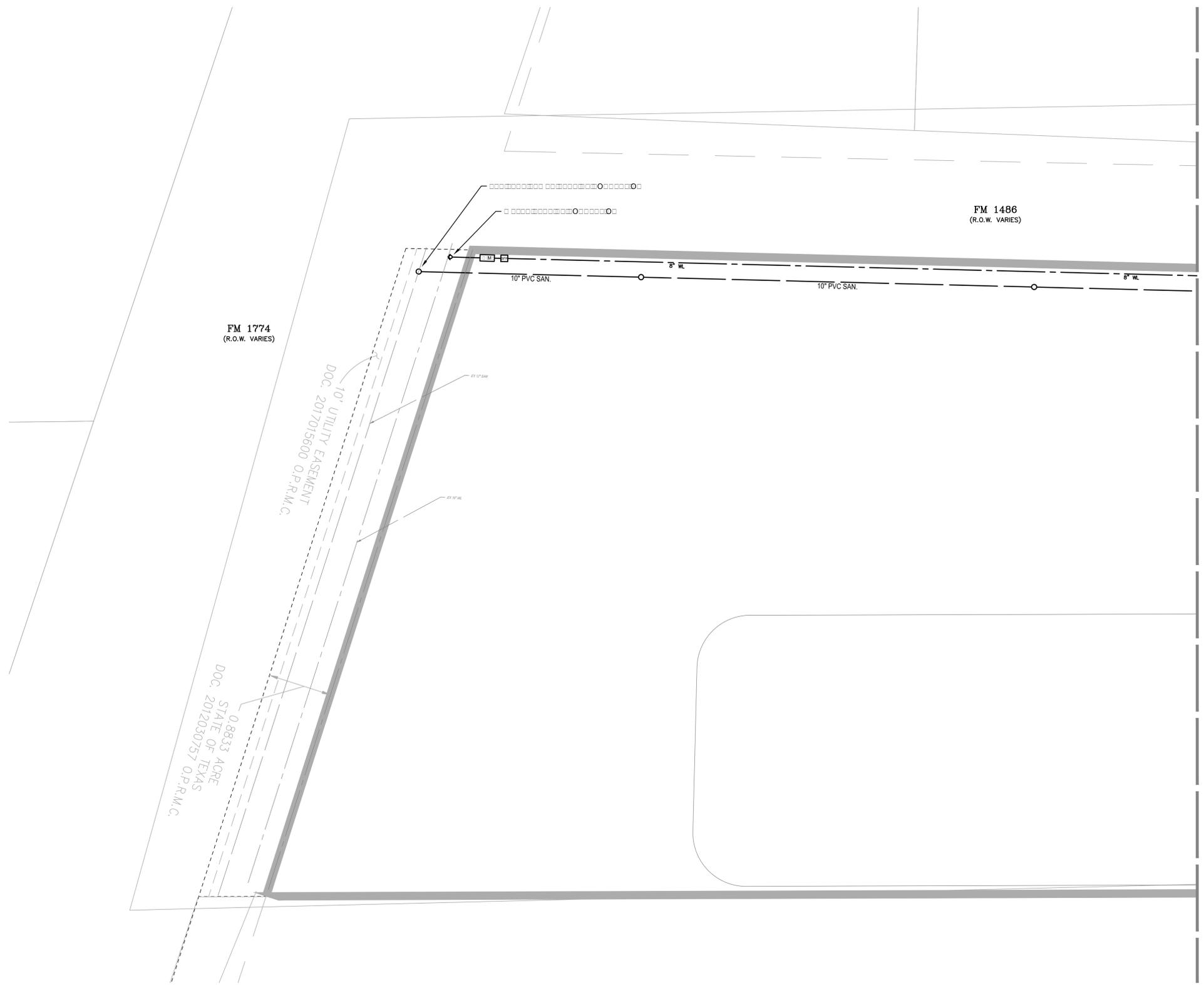


C:\TKA\Projects\W_Land_Development\1868-02_Parkside_Magnolia_00\SA\01_CADD\05_Exhibit\1868-02_Parkside_Magnolia_00_One-Line-Exhibit-PLB.dwg 1:0

BCE BGE, Inc.
10777 Westheimer, Suite 400, Houston, TX 77042
TBPPE Registration No. F-1046

**PARKSIDE MAGNOLIA
ONE-LINE LAYOUT EXHIBIT**

Scale:	Job No.:	Date:	Exhibit:
1"=100'	1868-02	05/14/2014	4



MATCH LINE

BCE BGE, Inc.
10777 Westheimer, Suite 400, Houston, TX 77042
TBPPE Registration No. F-1046

PARKSIDE MAGNOLIA ONE-LINE LAYOUT EXHIBIT

Scale: 1"=100'	Job No.: 000000	Date: 00/00/00	Exhibit: 0000004
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May 16, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: 15 AC FM 1486 Tract Preliminary Plat – Letter of No Objection
City of Magnolia
AEI Job No. 220969.80-001**

Dear Mr. Doering:

We received the revised preliminary plat for the proposed 15 AC FM 1486 Tract development on May 16, 2022. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Final plat shall be signed and sealed by a Professional Surveyor licensed in the State of Texas.
2. Provide approval for proposed street names from Montgomery County Emergency Communication District.
3. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Robel E. Giackero'.

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Ms. Jennifer Curtis – META Planning + Design

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 8**

Background/Information:

An application for a final plat was received on June 8, 2022.

Comments:

Letter of No Objection from City Engineer was received June 30, 2022.

Action Requested:

Approve final plat for Myrtle Gardens.

Recommendation:

Approve final plat for Myrtle Gardens.

Attachments:

Final Plat



June 7, 2022

City of Magnolia
18111 Buddy Riley Blvd.
Magnolia, Texas 77354

Reference: Myrtle Gardens Final Plat ("Tract")
IDS Project No. 0653-033-03

Transmitted herewith please find:

1. Final Plat Application Form
2. Myrtle Gardens Final Plat
3. Metes and Bounds Description
4. Plans and specifications for development improvements
5. City Planning Letter
6. Montgomery County, Magnolia ISD, and MCMUD 108 Tax Certificates

This letter serves to provide a more comprehensive understanding of the development for Myrtle Gardens. IDS Engineering Group is responsible for the platting of the development. The Tract was purchased from BBQ Equity Partners and is located adjacent to Spur 149, south of FM 1488, and north of Dobbin-Huffsmith Road. The Tract is to be subdivided into 2 blocks, 122 lots, and 9 restricted reserves in accordance with the City of Magnolia Unified Development Code and the Development Agreement between the City of Magnolia and BBQ Equity Partners, LLC, a Texas limited liability company.

Sincerely,

A handwritten signature in blue ink that reads "Eleuterio Duran".

Eleuterio Duran,
CAD Manager

X:\2000\202401403 FM1488-Spur149 Plat\Plat Submittal\00 Transmittal-LOE Magnolia Village Plat.docx



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Property Owner (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

EDuran@idseg.com

E-mail

Brian.Williams@PulteGroup.com

Architect (if different)

Engineer/Land Surveyor (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____

PROPERTY PROFILE

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

Proposed Use of the Property

Total Area of Site _____

Project Name: _____ Subdivision: _____ Reviewer: _____

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

2. Description of proposed property change, including lot numbers, name, etc.

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

Project Name: _____ Subdivision: _____ Reviewer: _____

STATE OF TEXAS
COUNTY OF MONTGOMERY

That PULTE HOMES OF TEXAS, L.P., a Texas limited partnership, owner of the property subdivided in the above and foregoing map of MYRTLE GARDENS, acting by and through its authorized officer, LINDY OLIVA, DIVISION PRESIDENT, HOUSTON DIVISION, does hereby make subdivision of said property, according to lines, streets, lots, alleys, parks, building lines, and easements therein shown, and designates said subdivision as MYRTLE GARDENS, located in the Hampton Tillons Survey, A-556, Montgomery County, Texas; and dedicates to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and does hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and does hereby bind itself, its successors and assigns to warrant and forever defend the title to the land so dedicated.

FURTHER, Owner has dedicated and by these presents does dedicate to the use of the public for public utility purposes forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11'-6") for ten feet (10'-0") perimeter ground easements, seven feet, six inches (7'-6") for fourteen feet (14'-0") perimeter ground easements, or five feet six inches (5'-6") for sixteen feet (16'-0") perimeter ground easements, from a plane sixteen feet (16'-0") above ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. & A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21'-6") in width.

FURTHER, Owner has dedicated and by these presents does dedicate to the use of the public for public utility purposes forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10'-0") for ten feet (10'-0") back-to-back ground easements, eight feet (8'-0") for fourteen feet (14'-0") back-to-back ground easements, or seven feet (7'-0") for sixteen feet (16'-0") back-to-back ground easements, from a plane sixteen feet (16'-0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. & A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30'-0") in width.

We have also complied with all regulations hereto before adopted by the city council of the City of Magnolia, located in Montgomery County, Texas.

FURTHER, Owner does hereby certify that they are the owner of all property immediately adjacent to the boundaries of the above and foregoing subdivision of MYRTLE GARDENS where building setback lines or public utility easements are to be established outside the boundaries of the above and foregoing subdivision and do hereby make and establish all building setback lines and dedicate to the use of the public, all public utility easements shown in said adjacent acreage.

IN TESTIMONY WHEREOF, the PULTE HOMES OF TEXAS, L.P., a Texas limited partnership, has caused these presents to be signed by LINDY OLIVA, DIVISION PRESIDENT, HOUSTON DIVISION thereunto authorized, this the 16th day of MAY, 2022.

BY: PULTE HOMES OF TEXAS, L.P.,
a Texas limited partnership

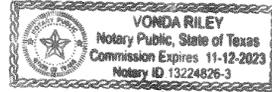
BY: Lindy Oliva
LINDY OLIVA, DIVISION PRESIDENT, HOUSTON DIVISION

STATE OF TEXAS
COUNTY OF MONTGOMERY

Before me, the undersigned authority, on this day personally appeared LINDY OLIVA, DIVISION PRESIDENT, HOUSTON DIVISION, PULTE HOMES OF TEXAS, L.P., a Texas limited partnership, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purposes and consideration therein expressed, and in the capacity therein and herein set out, and as the act and deed of said entity.
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 16th DAY OF MAY, 2022.

Vonda Riley
Notary Public in and for the State of Texas.

My Commission expires: Nov 12, 2023



NOTES:

- M.R.M.C.T. indicates Map Records Montgomery County Texas
B.L. indicates a building line
U.E. indicates a utility easement
A.E. indicates an aerial easement
STM. S.E. indicates a storm sewer easement
W.L.E. indicates a water line easement
S.S.E. indicates a sanitary sewer easement
VOL., PG. indicates Volume, Page
M.C.M.R. indicates Montgomery County Map Records
M.C.R.P.R. indicates Montgomery County Real Property Records
M.C.O.P.R.R.P. indicates Montgomery County Official Public Records of Real Property
ESMT. Indicates easement
F.H.E. indicates a fire hydrant easement
R.O.S.R. indicates a Restricted Open Space Reserve
R.C.O.S.R. indicates a Restricted Compensating Open Space Reserve
D.E. indicates a drainage easement
E.T.J. indicates Extraterritorial jurisdiction
I.R. indicates Iron Rod
FND. I.R. indicates Found Iron Rod
P.A.E. indicates Permanent Access Easement
P.U.E. indicates Public Utility Easement
(P.V.T.) indicates Private Street
D.R.M.C.T. indicates Deed Records Montgomery County Texas.
R.P.R.M.C. indicates Real Property Records Montgomery County
 - indicates found 5/8" iron rod (unless otherwise noted)
 - indicates found 5/8" iron rod w/cap stamped "HOVIS"
 - indicates set 5/8" iron rod with plastic cap stamped "IDS" (unless otherwise noted)
- All bearings based on the the Texas Coordinate System of 1983, Central Zone.
- The coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Surface Coordinates (NAD83) and may be brought to grid by applying the combined scale factor of 0.99997000.
- All non-perimeter easements on property lines are centered unless otherwise noted.
- According to Flood Insurance Rate Map No. 48339C0485 G, dated August 18, 2014, published by the Federal Emergency Management Agency, the property shown on this plat lies within Zone X, defined as areas determined to be outside the 500-year floodplain.
- All public easements denoted on this plat are hereby dedicated to the use of the public. Any public utility, including the City of Magnolia, shall have the right at all times of ingress and egress to and from and upon said easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity, at any time, of procuring the permission of the property owner. Any public utility including the City of Magnolia shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, other growths or improvements that in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of the easements shown on this plat. Neither the City of Magnolia nor any public utility shall be responsible for replacing or reimbursing the property owner due to removal or relocation of any obstructions in the public easement.
- The tract shown hereon is subject to the Short Form Blanket Easement as Recorded under File No. 2021162739 in the Official Public Records, Montgomery County, Texas.

I, Michael L. Swan, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron pipe or rods having a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner and NAD83 state plane projections.

Michael L. Swan

Michael L. Swan
Registered Professional Land Surveyor
Texas Registration No. 5551



This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of MYRTLE GARDENS as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the _____th day of _____, 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Robert Franklin, Chairman

Kandice Garrett, City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of MYRTLE GARDENS as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the _____th day of _____, 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

Todd Kana, Mayor

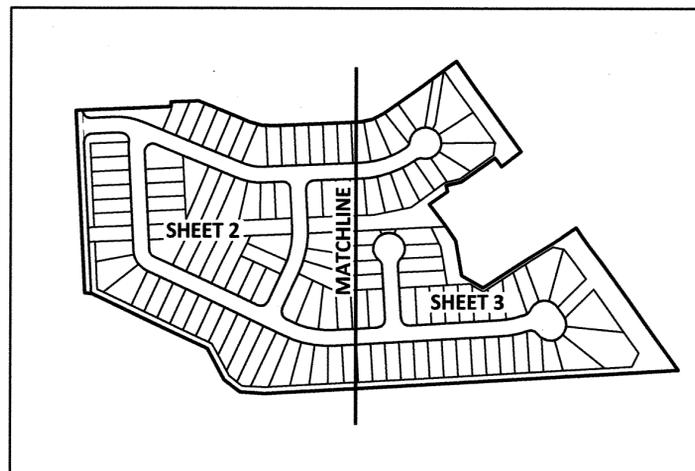
Kandice Garrett, City Secretary

I, Mark Turnbull, Clerk of the County Court of Montgomery County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 2022, at _____ o'clock, _____M., and duly recorded on _____, 2022, at _____ o'clock, _____M., in Cabinet _____, Sheet _____, of record of _____ for said County.

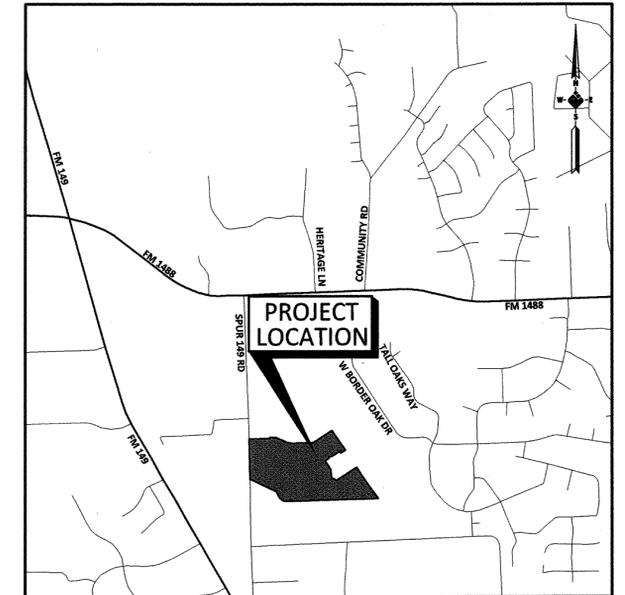
WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk of the County Court
Montgomery County, Texas.

Issued _____ By: _____
Deputy



SHEET INDEX
N.T.S.



LOCATION MAP
N.T.S.
(KEY MAP # 213L)

MYRTLE GARDENS

A SUBDIVISION OF
27.794 ACRES
OUT OF
HAMPTON TILLONS SURVEY, A-556
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

**2 BLOCKS 122 LOTS &
9 RESERVES (4.701 AC.)**

OWNER: PULTE HOMES OF TEXAS, L.P.
a Texas limited partnership
1311 BROADFIELD, SUITE 100, HOUSTON, TX 77084 PHONE: 832-421-5512

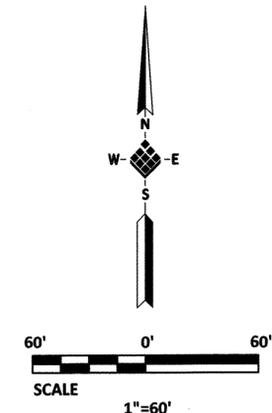
ENGINEER:



13430 NW. Freeway
Suite 700
Houston, TX. 77040
713.462.3178
TxEng Firm 2726
TxSurv Firm 1011700

MAY 2022 PROJECT No. 0653-033-01

SHEET 1 OF 4



MATCH LINE SEE SHEET 3

8.066 ACRES
LIFPOINT CHURCH
M.C.C.F. No. 2014071435

SEE INSET 'A'
SHEET 4

RESIDUE OF
107.715 ACRES
BBQ EQUITY PARTNERS, LLC
FILE NO. 2017015767
M.C.C.F.

15.004 ACRES
LCP MAGNOLIA COTTAGE 146 PROP, LLC
FILE NO. 2021173712
M.C.C.F.

THIS 0.02 ACRES / 1,019 SQ FT
IS HEREBY DEDICATED
TO THE PUBLIC
FOR R.O.W. PURPOSES

WILLIAMS-FRITZ ROAD
(30' R.O.W.)

3.255 ACRES
MARK E. RIGBY DVM PLLC
M.C.C.F. No. 20180825707

SPUR 149
(60' WIDTH AS MONUMENTED AND OCCUPIED)
(NO RECORD INFORMATION FOR R.O.W. FOUND)

0.986 ACRES
MARK E. RIGBY DVM PLLC
M.C.C.F. No. 2019054241

THIS 0.25 ACRES / 10,732 SQ FT
IS HEREBY DEDICATED
TO THE PUBLIC
FOR R.O.W. PURPOSES

9.063 ACRES
PARAGON FARMS LLC
M.C.C.F. No. 7836496

3.275 ACRES
J.C. DAVIS
M.C.C.F. No. 7836496

HAMPTON TILLONS SURVEY, A-556
CYRUS WICKSON SURVEY, A-600

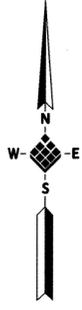
81.69 ACRES
GARRY WELBORN and
Wife, JAMIE WELBORN
M.C.C.F. No. 9543197

OWNER:
PULTE HOMES OF TEXAS, L.P.
a Texas limited partnership
1311 BROADFIELD, SUITE 100 HOUSTON, TEXAS 77084

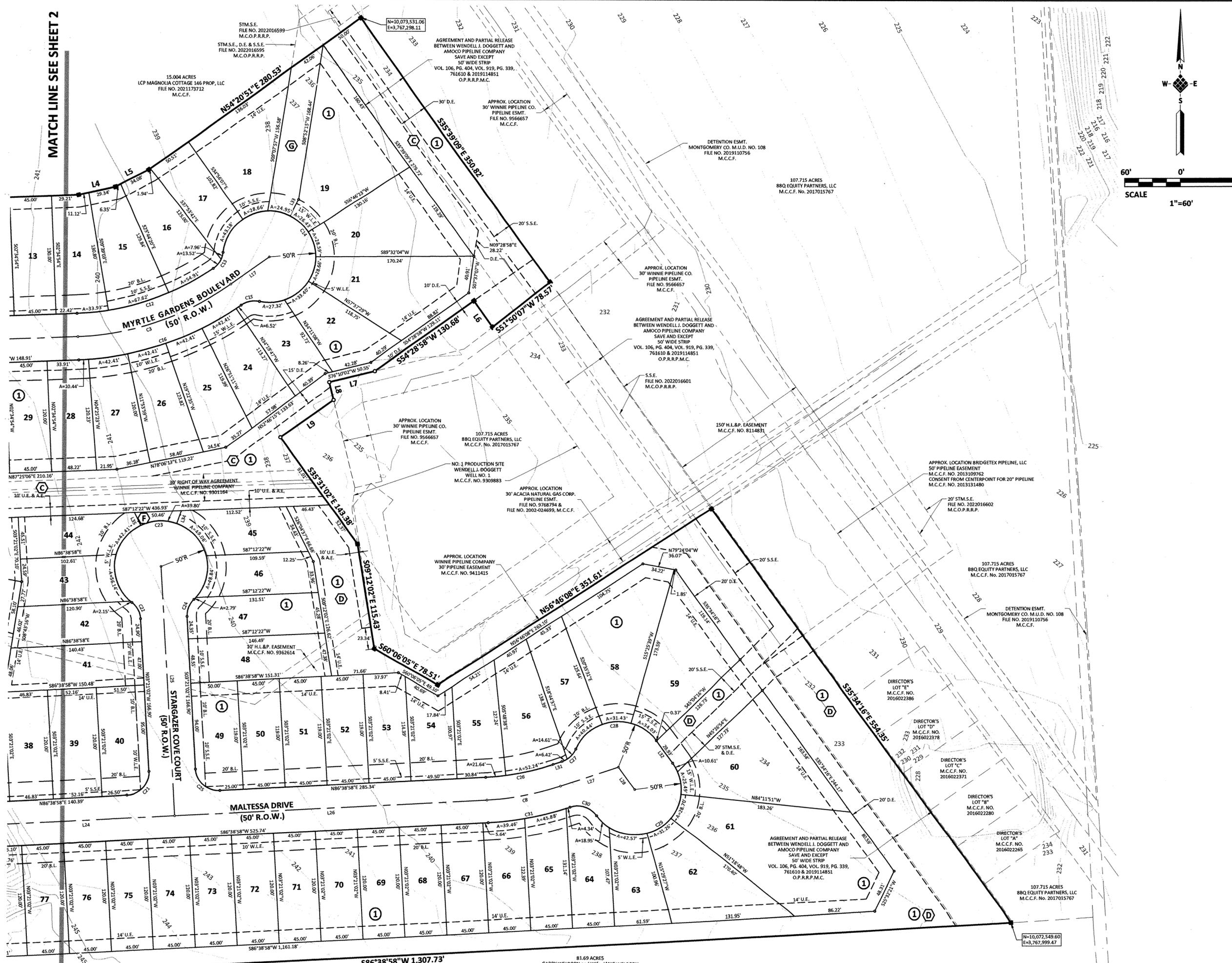
**MYRTLE GARDENS
SHEET 2 OF 4**

X:\0600\055303301_myrtle_gardens_pp\CAD\DWG\WG\PLAT.dwg [Sheet 2 of 4] Printed Jun 02, 2022 at 8:26am by rtdell (Last Saved by: rtdell)

MATCH LINE SEE SHEET 2



60' 0' 60'
SCALE
1"=60'



X:\0600\06303031 myrtle gardens ppt\CAD\DWG\WG PLAT.dwg [Sheet 3 of 3] Plotted Jun 02, 2022 at 8:26am by taylor (Last Saved by: taylor)

OWNER:
PULTE HOMES OF TEXAS, L.P.
a Texas limited partnership
1311 BROADFIELD, SUITE 100 HOUSTON, TEXAS 77084

**MYRTLE GARDENS
SHEET 3 OF 4**

BLOCK 1	
LOT	Area IN SQ. FT.
B1-1	5,024.08
B1-2	5,717.29
B1-3	5,850.00
B1-4	5,850.00
B1-5	5,850.00
B1-6	5,894.36
B1-7	7,457.79
B1-8	5,874.30
B1-9	5,850.00
B1-10	5,850.00
B1-11	5,850.00
B1-12	5,850.00
B1-13	5,850.00
B1-14	6,286.36
B1-15	6,724.99
B1-16	6,719.27
B1-17	5,246.49
B1-18	8,913.91
B1-19	11,993.49
B1-20	10,021.29
B1-21	10,686.96
B1-22	5,798.18
B1-23	5,003.28
B1-24	5,796.87
B1-25	6,287.46
B1-26	6,102.70
B1-27	6,063.21
B1-28	5,555.21
B1-29	5,400.00
B1-30	5,400.00
B1-31	5,865.87
B1-32	6,215.41
B1-33	5,745.16
B1-34	6,558.88
B1-35	7,853.00
B1-36	7,900.14
B1-37	6,530.31
B1-38	5,619.12
B1-39	6,258.91
B1-40	6,045.87
B1-41	6,836.51
B1-42	6,041.78
B1-43	5,435.40
B1-44	5,274.69
B1-45	5,673.41
B1-46	5,300.09
B1-47	6,421.89
B1-48	7,121.54
B1-49	5,815.87
B1-50	5,355.00
B1-51	5,355.00

BLOCK 1	
LOT	Area IN SQ. FT.
B1-52	5,355.00
B1-53	5,338.80
B1-54	5,006.33
B1-55	5,726.49
B1-56	7,138.68
B1-57	5,967.75
B1-58	12,002.30
B1-59	10,311.76
B1-60	12,527.42
B1-61	19,706.25
B1-62	8,955.20
B1-63	5,084.06
B1-64	5,662.18
B1-65	5,679.76
B1-66	5,431.35
B1-67	5,400.00
B1-68	5,400.00
B1-69	5,400.00
B1-70	5,400.00
B1-71	5,400.00
B1-72	5,400.00
B1-73	5,400.00
B1-74	5,400.00
B1-75	5,400.00
B1-76	5,400.00
B1-77	5,400.00
B1-78	5,684.57
B1-79	6,248.48
B1-80	6,922.89
B1-81	8,174.80
B1-82	8,698.11
B1-83	8,845.19
B1-84	8,521.77
B1-85	7,274.91
B1-86	5,818.23
B1-87	5,400.00
B1-88	5,400.00
B1-89	5,400.00
B1-90	5,400.00
B1-91	5,400.00
B1-92	5,400.00
B1-93	8,248.58
B1-94	9,273.85
B1-95	6,857.39
B1-96	5,400.00
B1-97	5,400.00
B1-98	5,400.00
B1-99	5,400.00
B1-100	5,400.00
B1-101	5,410.88

BLOCK 2	
LOT	Area IN SQ. FT.
B2-1	10,087.36
B2-2	8,499.65
B2-3	7,538.77
B2-4	7,787.93
B2-5	6,722.89
B2-6	5,668.96
B2-7	5,874.36
B2-8	7,679.88
B2-9	6,572.21
B2-10	5,865.87
B2-11	5,400.00
B2-12	5,400.00
B2-13	8,131.34
B2-14	7,083.16
B2-15	6,034.97
B2-16	5,184.10
B2-17	5,040.00
B2-18	5,040.00
B2-19	5,040.00
B2-20	5,040.00
B2-21	7,349.39

LINE TABLE		
LINE	BEARING	LENGTH
L1	N02°47'38"W	15.48'
L2	S74°48'22"E	41.02'
L3	S89°33'41"E	42.41'
L4	N77°35'19"E	40.46'
L5	N62°05'32"E	40.43'
L6	N35°31'02"W	34.76'
L7	S76°10'02"W	50.39'
L8	S13°38'28"E	20.06'
L9	S54°28'58"W	70.02'
L10	N86°27'16"W	78.91'
L11	N51°47'29"W	63.84'
L12	N83°55'54"W	23.16'
L13	S87°12'22"W	95.73'
L14	N67°24'33"W	337.86'
L15	S87°25'06"W	108.84'
L16	S84°25'06"W	198.91'
L17	S53°43'51"W	51.11'
L18	S22°35'27"W	15.89'
L19	S02°47'38"E	331.03'
L20	S64°55'08"E	411.80'
L21	N02°34'54"W	174.68'
L22	N25°04'52"E	168.58'
L23	N64°55'08"W	68.38'
L24	S86°38'58"W	190.39'
L25	S03°21'02"E	272.80'
L26	S86°38'58"W	335.34'
L27	S71°15'23"W	65.78'
L28	N35°34'16"W	30.30'
L29	S02°47'38"E	0.87'
L30	S64°55'08"E	18.38'
L31	N71°15'23"E	9.88'
L32	S35°34'16"E	30.30'
L33	S26°29'21"W	20.00'
L34	N19°27'13"E	14.82'
L35	S26°09'18"E	15.35'

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DISTANCE
C1	25°23'05"	200.00'	88.61'	45.04'	N80°06'06"W	87.89'
C2	25°10'21"	175.00'	76.89'	39.07'	N79°59'44"W	76.27'
C3	33°41'15"	300.00'	176.39'	90.83'	S70°34'28"W	173.86'
C4	25°23'05"	100.00'	44.30'	22.52'	S09°53'54"W	43.94'
C5	62°07'30"	50.00'	54.21'	30.12'	S33°51'23"E	51.60'
C6	27°39'46"	300.00'	144.84'	73.86'	N11°14'59"E	143.44'
C7	28°25'54"	300.00'	148.87'	76.00'	N79°08'05"W	147.35'
C8	15°23'35"	300.00'	80.60'	40.54'	S78°57'10"W	80.36'
C9	90°00'00"	25.00'	39.27'	25.00'	S47°47'38"E	35.36'
C10	25°23'05"	225.00'	99.69'	50.67'	S80°06'06"E	98.87'
C11	25°10'21"	150.00'	65.90'	33.49'	S79°59'44"E	65.37'
C12	32°35'54"	275.00'	156.46'	80.41'	N71°07'09"E	154.36'
C13	49°13'57"	25.00'	21.48'	11.45'	N30°12'13"E	20.83'
C14	276°22'02"	50.00'	241.18'	44.73'	S36°13'45"E	66.67'
C15	47°26'04"	25.00'	20.70'	10.98'	S78°14'14"W	20.11'
C16	32°53'53"	325.00'	186.61'	95.96'	S47°58'09"W	184.06'
C17	90°00'00"	25.00'	39.27'	25.00'	S70°58'09"W	35.36'
C18	27°39'46"	325.00'	156.91'	80.02'	S11°14'59"W	155.39'
C19	90°00'00"	25.00'	39.27'	25.00'	S19°55'08"E	35.36'
C20	28°25'54"	275.00'	136.46'	69.67'	S79°08'05"E	135.07'
C21	90°00'00"	25.00'	39.27'	25.00'	N41°38'58"E	35.36'
C22	48°11'23"	25.00'	21.03'	11.18'	N27°26'44"W	20.41'
C23	276°22'46"	50.00'	241.19'	44.72'	N86°38'58"E	66.67'
C24	48°11'23"	25.00'	21.03'	11.18'	S20°44'39"W	20.41'
C25	90°00'00"	25.00'	39.27'	25.00'	S48°21'02"E	35.36'
C26	15°23'35"	275.00'	73.88'	37.16'	N78°57'10"E	73.66'
C27	48°11'23"	25.00'	21.03'	11.18'	N47°09'41"E	20.41'
C28	121°21'44"	50.00'	105.91'	89.03'	N83°44'52"E	87.19'
C29	180°34'46"	50.00'	157.59'	9,887.04'	S54°43'07"W	100.00'
C30	74°10'07"	25.00'	32.36'	18.90'	N72°04'34"W	30.15'
C31	15°48'35"	325.00'	89.68'	45.13'	S78°44'40"W	89.39'
C32	28°25'54"	325.00'	161.27'	82.33'	N79°08'05"W	159.62'
C33	62°07'30"	75.00'	81.32'	45.18'	N33°51'23"W	77.40'
C34	9°35'45"	125.00'	20.94'	10.49'	N02°00'14"E	20.91'
C35	91°24'18"	25.00'	39.88'	25.62'	N38°54'02"W	35.79'
C36	8°11'27"	175.00'	25.02'	12.53'	N88°41'55"W	25.00'
C37	89°59'57"	25.00'	39.27'	25.00'	S42°12'23"W	35.36'
C38	115°23'05"	25.00'	50.35'	39.53'	S54°53'54"W	42.26'
C39	25°10'21"	200.00'	87.87'	44.65'	N79°59'44"W	87.16'
C40	90°00'00"	25.00'	39.27'	25.00'	N47°34'54"W	35.36'
C41	27°39'46"	275.00'	132.77'	67.71'	N11°14'59"E	131.49'
C42	90°00'00"	25.00'	39.27'	25.00'	N70°04'52"E	35.36'
C43	62°07'30"	25.00'	27.11'	15.06'	S33°51'23"E	25.80'

**MYRTLE GARDENS
METES AND BOUNDS DESCRIPTION
OF 27.794 ACRES OF LAND
IN THE HAMPTON TILLONS SURVEY, A-556
MONTGOMERY COUNTY, TEXAS**

Being 27.794 acres of land in the Hampton Tillons Survey, Abstract 556, Montgomery County, Texas, being the same 27.794 acres of land described in the deed from BBQ EQUITY PARTNERS, LLC to PULTE HOMES OF TEXAS, L.P. recorded in Document No. 2021078030 of the Official Public Records of Real Property of Montgomery County, Texas, and being a portion of the called 107.715 acre tract described in the deed from DIANNE ELIZABETH DOGGETT and MARTHA L. BURT to BBQ EQUITY PARTNERS, LLC recorded in Document No. 2017-015767 of the Official Public Records of Real Property of Montgomery County, Texas, and more particularly described by metes and bounds as follows with bearings based on the Texas Coordinate System of 1983, Central Zone:

COMMENCING at the southeast corner of said called 107.715 acre tract and being on the north line of the called 81.69 acre tract of land described in the deed from PERRY F. WINSLOW and Wife, MARY J. WINSLOW to GARRY WELBORN and Wife, JANIE WELBORN recorded in Document No. 9543197 of the Official Public Records of Real Property of Montgomery County, Texas, from which a found 5/8-inch iron rod with "HOVIS" cap bears South 84° 45' 47" West - 0.60 feet;

THENCE South 86° 38' 58" West - 88.24 feet, with the line common to said called 107.715 acre tract and said called 81.69 acre tract, to a 5/8-inch iron rod with "HOVIS" cap found for the southeast corner and **POINT OF BEGINNING** of the herein described tract;

THENCE South 86° 38' 58" West - 1307.73 feet, with the line common to said called 107.715 acre tract and said called 81.69 acre tract, to a 5/8-inch iron rod with "HOVIS" cap found for the most easterly corner of a cemetery tract;

THENCE with lines common to said called 107.715 acre tract and said cemetery tract the following courses and distances:

North 86° 27' 16" West - 78.91 feet to a 5/8-inch iron rod with "HOVIS" cap found for an angle corner;

North 51° 47' 29" West - 63.84 feet to a 5/8-inch iron rod with "HOVIS" cap found for an angle corner;

North 28° 17' 24" West - 111.81 feet to a 5/8-inch iron rod with "HOVIS" cap found for an angle corner;

North 64° 55' 08" West - 402.43 feet to a 5/8-inch iron rod with "HOVIS" cap found for an angle corner;
North 83° 55' 54" West - 23.16 feet to a 5/8-inch iron rod with "HOVIS" cap found for the most westerly southwesterly corner of said called 107.715 acre tract and the herein described tract, and the northwest corner of said cemetery tract, and being on the east right-of-way line of Spur 149 (60-foot wide at this point) (as occupied - no recording information found);

THENCE North 02° 47' 38" West - 586.03 feet, with the east right-of-way line of said Spur 149 to a 5/8-inch iron rod with "HOVIS" cap found for the northwest corner of the herein described tract;

THENCE across said called 107.715 acre tract the following courses and distances:

North 87° 35' 31" East - 300.01 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 02° 47' 38" West - 15.48 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 87° 35' 31" East - 87.73 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 67° 24' 33" East - 175.00 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 74° 48' 22" East - 41.02 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 89° 33' 41" East - 42.41 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 87° 25' 06" East - 269.00 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 77° 35' 19" East - 40.46 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 62° 05' 32" East - 40.43 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 54° 20' 51" East - 280.53 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 35° 39' 09" East - 350.82 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 51° 50' 07" West - 78.57 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 35° 31' 02" West - 34.76 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 54° 28' 58" West - 130.68 feet to a 5/8-inch iron rod with cap stamped "IDS" found for an angle corner;

South 76° 10' 02" West - 50.39 feet to a 5/8-inch iron rod with cap stamped "IDS" found for an angle corner;

South 13° 38' 28" East - 20.06 feet to a 5/8-inch iron rod with cap stamped "IDS" found for an angle corner;

South 54° 28' 58" West - 70.02 feet to a 5/8-inch iron rod with cap stamped "IDS" found for an angle corner;

South 35° 31' 02" East - 143.38 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

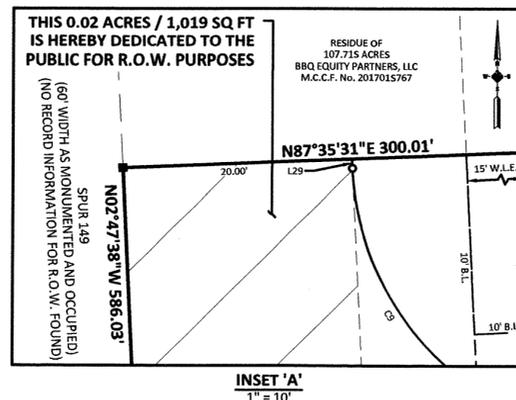
South 09° 12' 02" East - 115.43 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 60° 06' 05" East - 78.51 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

North 56° 46' 08" East - 351.61 feet to a 5/8-inch iron rod with cap stamped "HOVIS" found for an angle corner;

South 35° 34' 16" East - 554.35 feet to the **POINT OF BEGINNING** of the herein described tract and containing 27.794 acres of land.

RESERVE TABLE			
RESERVE NAME	RESTRICTION	SQ. FT.	ACRES
A	UTILITIES, LANDSCAPE AND OPEN SPACE	10,087	0.232
B	UTILITIES, LANDSCAPE AND OPEN SPACE	9,550	0.219
C	PIPELINES, LANDSCAPE AND OPEN SPACE	47,307	1.086
D	UTILITIES, LANDSCAPE AND OPEN SPACE	97,661	2.242
E	PARK, LANDSCAPE AND OPEN SPACE	6,819	0.157
F	UTILITIES, LANDSCAPE AND OPEN SPACE	519	0.012
G	UTILITIES, LANDSCAPE AND OPEN SPACE	5,137	0.118
H	PIPELINES, LANDSCAPE AND OPEN SPACE	6,256	0.144
I	PIPELINES, LANDSCAPE AND OPEN SPACE	21,694	0.498



OWNER

CITY PLANNING LETTER

Re: Our File No.: TX-005315-ANC
Property Address: Proposed Myrtle Gardens, Magnolia, TX
Property: Being 27.794 acres of land in the Hampton Tillons Survey, Abstract 556, Montgomery County, Texas, and being a portion of the called 107.715 acre tract described in the deed from DIANNE ELIZABETH DOGGETT and MARTHA L. BURT to BBQ EQUITY PARTNERS, LLC recorded in Document No. 2017-015767 of the Official Public Records of Real Property of Montgomery County, Texas, and more particularly described by metes and bounds attached hereto.

Gentlemen:

Examiners for PGP Title, Inc. have examined the Records in the Offices of the County Clerk of Montgomery County, Texas, to the above Property as of the February 1, 2022, at 8:00 A.M., and find Title apparently to be good in Pulte Homes of Texas, L.P., a Texas limited partnership

By virtue of Special Warranty Deed recorded in Clerk's File No. 2021078030, Official Public Records, Montgomery County, Texas.

SUBJECT TO THE FOLLOWING:

1. RESTRICTIONS: None of record.
2. EASEMENTS:
 - a. Right of Way Contract granted to Sinclair Pipe Line Company recorded in Volume 106, Page 404, Deed Records, Montgomery County, Texas.

As affected by Agreement and Partial Release between Wendell J. Doggett and Amoco Pipeline Company recorded in Clerk's File No. 761610, Official Public Records, Montgomery County, Texas.

As affected by Partial Release of Easement and Pipeline Bill of Sale recorded in Clerk's File No. 2019114851, Official Public Records, Montgomery County, Texas.
 - b. Agreement and Partial Release between Wendell J. Doggett and Amoco Pipeline Company recorded in Clerk's File No. 761610, Official Public Records, Montgomery County, Texas.
 - c. Drillsite, Pipeline Easement and Road Right-of-Way granted to Mitchell Energy Corporation recorded in Clerk's File No. 9213310, as amended in Clerk's File No. 9309883, Official Public Records, Montgomery County, Texas.
 - d. Right-of-Way Agreement granted to Winnie Pipeline Company recorded in Clerk's File No. 9301164, Official Public Records, Montgomery County, Texas.
 - e. Easement granted to Houston Lighting & Power Company recorded in Clerk's File No. 9362614, Official Public Records, Montgomery County, Texas.

- f. Right-of-Way Agreement granted to Winnie Pipeline Company recorded in Clerk's File No. 9566657, Official Public Records, Montgomery County, Texas.
- g. Drillsite, Subsurface, Pipeline and Road Right-of-Way Easements granted to Mitchell Energy Corporation recorded in Clerk's File No. 9701672, as amended in Clerk's File No. 2019114852, Official Public Records, Montgomery County, Texas.
- h. Right-of-Way Agreement granted to Acacia Natural Gas Corporation recorded in Clerk's File No. 9768794, Official Public Records, Montgomery County, Texas.

As affected by Supplemental Right-of-Way Agreement recorded in Clerk's File No. 2002-024699, Official Public Records, Montgomery County, Texas.
- i. Right of Way Agreement granted to Acacia Natural Gas Corporation recorded in Clerk's File No. 2002-024700, Official Public Records, Montgomery County, Texas.
- j. Right of Way Agreement granted to Acacia Natural Gas Corporation recorded in Clerk's File No. 2002-024701, Official Public Records, Montgomery County, Texas.
- k. Short Form Blanket Easement granted to CenterPoint Energy Houston Electric, LLC, recorded in Clerk's File No. 2021162739, Official Public Records, Montgomery County, Texas.

3. LIENHOLDERS: None of record.

4. OTHER:

- a. Ordinance No. O-2016-015 Annexing Territory into the City of Magnolia recorded in Clerk's File No. 2016034429, Official Public Records, Montgomery County, Texas.
- b. Assignment of Development Rights recorded in Clerk's File No. 2021078031, Official Public Records, Montgomery County, Texas.
- c. Partial Assignment of Development Agreement recorded in Clerk's File No. 2021078032, Official Public Records, Montgomery County, Texas.

DISCLAIMER: This report contains information from the public land records and is not to be construed as an opinion of title, title commitment or guarantee, or title insurance policy. PGP Title, Inc. represents only that the information contained in this report has been accurately reported from the public land records. PGP Title, Inc. will not be held responsible for any indexing errors or omissions. In no event shall PGP Title, Inc.'s liability for any error or omission associated with this report exceed the cost of the report.

PGP Title, Inc. assumes and shall incur no liability for any loss or damage arising as the result of errors in the information provided to PGP Title, Inc. by the party(ies) ordering the report. No assurance is given that the title is "good" in any Grantee named in any Conveyance listed in this report. No ad valorem tax information has been investigated or reported, and if any property tax information is included, such information is not guaranteed or warranted in any way.

CONFIDENTIALITY: This report is privileged and intended for the use of the addressee only. Any disclosure, copying, distributing or taking of action by third parties in reliance on the information contained in this report is expressly prohibited.

PGP Title, Inc.



TITLE EXAMINER

TAX CERTIFICATE



TAMMY J. MCRAE
MONTGOMERY COUNTY TAX ASSESSOR-COLLECTOR
400 N. SAN JACINTO
CONROE, TX 77301-2823

Issued To:

IDS ENGINEERING GROUP
13430 NORTHWEST FWY STE 700
HOUSTON, TX 77040

Legal Description

A0556 - TILLONS HAMPTON, TRACT 2, ACRES
104.49

Fiduciary Number: 24446969

Parcel Address:

Legal Acres: 104.4900

<---

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Account Number: 00.0556.00.00210

Print Date: 05/12/2022 03:09:29 PM

Certificate No: 247621353

Paid Date: 05/12/2022

Certificate Fee: \$10.00 CASH

Issue Date: 05/12/2022

Operator ID: LDOREMUS

TAX CERTIFICATES ARE ISSUED WITH THE MOST CURRENT INFORMATION AVAILABLE. ALL ACCOUNTS ARE SUBJECT TO CHANGE PER SECTION 26.15 AND 11.43(i) OF THE TEXAS PROPERTY TAX CODE. THIS IS TO CERTIFY THAT ALL TAXES DUE ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN EXAMINED, UP TO AND INCLUDING THE YEAR 2021. TAXES THRU 2021 ARE PAID IN FULL. TAXES HAVE NOT BEEN CREATED FOR YEAR(S): 2022.

Exemptions:

OPEN SPACE 1-D-1

Certified Owner:

BBQ EQUITY PARTNERS LLC
176 S HOLLYLAUREL CIR
SPRING, TX 77382-1345

Table with 2 columns: Description and Amount. Rows include 2021 Value (1,567,350), 2021 Levy (\$153.71), 2021 Levy Balance (\$0.00), Prior Year Levy Balance (\$0.00), Total Levy Due (\$0.00), P&I + Attorney Fee (\$0.00), and Total Amount Due (\$0.00).

Certified Tax Unit(s):

- 1 MONTGOMERY COUNTY
2 MONTGOMERY CO HOSPITAL DIST
202 MAGNOLIA ISD
302 CITY OF MAGNOLIA
810 MONTGOMERY CO ESD 10
901 LONE STAR COLLEGE

PROPERTY OMITTED FROM THE APPRAISAL ROLL AS DESCRIBED UNDER TAX ROLL SECTION 25.21 IS NOT INCLUDED IN THE CERTIFICATE [TAX ROLL SECTION 31.08(B)]. DUE TO ITS ASSIGNED USAGE, THE ABOVE LEGAL PROPERTY MAY HAVE RECEIVED SPECIAL VALUATION, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE BASED ON THE PROVISIONS OF THE SPECIAL VALUATION.

Reference (GF) No: N/A

Issued By:

TAMMY J. MCRAE
MONTGOMERY COUNTY TAX ASSESSOR-COLLECTOR
(936) 539-7897

#5 Oaktree
P.O. Box 1368
Friendswood, TX 77549-1368



Phone (281) 482-0216
Fax (281) 482-5285
www.aswtax.com

May 19, 2022

IDS Engineering
13430 Northwest Freeway, STE 700,
Houston, TX 77040

Re: Request for Tax Certificates
Acct: 0556-00-00205

Dear Vonda Riley:

Please be advised that Montgomery County MUD No. 108 cannot issue tax certificates on the above referenced account numbers for the tax year 2021 and prior, because this is a new property account for the 2022 Tax Year.

If you have any questions, please contact me at the number above.

Sincerely,

A handwritten signature in blue ink, appearing to read "Cameron Brown", is written over a light blue horizontal line.

Cameron Brown
Deputy Tax Assessor-Collector
Montgomery County MUD #108

ID: R000466560

TAX CERTIFICATE

REF:

MONTGOMERY CO. MUD NO. 108
P.O. BOX 1368
FRIENDSWOOD TX, 77549-1368
PHONE: 281-482-0216
EMAIL: ASWMAIL@ASWTAX.COM

Owner Information
BBQ EQUITY PARTNERS LLC 176 S HOLLYLAUREL CIR SPRING, TX 77382-1345

Amount Due	\$0.00
-------------------	---------------

IF PAID IN MAY 2022

Paid in Month	*Addn Fees	Tax Due
June 2022	0.00	0.00
July 2022	0.00	0.00
August 2022	0.00	0.00

Mail to **IDS ENGINEERING GROUP**
13430 NORTHWEST FRWY
SUITE 700
HOUSTON, TX 77040

IF THIS PROPERTY RECEIVED OR IS RECEIVING SPECIAL VALUATION BASED ON ITS USE, ADDITIONAL ROLLBACK TAXES MAY BECOME DUE AS PROVIDED BY TAX CODE CHAPTER 23.

Property Information	Legal Information	Market Values	Summary
ID: R000466560 GEOID: I105560000210 OWNER INTEREST: 1.0	LEGAL: A0556 - TILLONS HAMPTON, TRACT 2, ACRES 104.49 ACRES: 104.490	Production 1,567,350	Total Market 1,567,350 Prod Loss 1,560,560 Total Assessed 6,790

Tax Year	Taxing Entities	Base Tax	Paid	Balance	Penalty & Interest	Attorney Fee	Other Fees	Total Due
2019	181 MONTGOMERY CO. MUD	59.66	59.66	0.00	0.00	0.00	0.00	0.00
	TOTAL FOR 2019	59.66	59.66	0.00	0.00	0.00	0.00	0.00
2020	181 MONTGOMERY CO. MUD	54.16	54.16	0.00	0.00	0.00	0.00	0.00
	TOTAL FOR 2020	54.16	54.16	0.00	0.00	0.00	0.00	0.00
2021	181 MONTGOMERY CO. MUD	70.45	70.45	0.00	0.00	0.00	0.00	0.00
	TOTAL FOR 2021	70.45	70.45	0.00	0.00	0.00	0.00	0.00
		184.27	184.27	0.00	0.00	0.00	0.00	0.00

Quick Link:



Amount Due	\$0.00
-------------------	---------------

IF PAID IN MAY 2022

This certifies that after checking the tax records of this office the following taxes, penalties and interest, attorney fees and late fees are due for this property for the following taxing units.


 Signature of Collections Officer

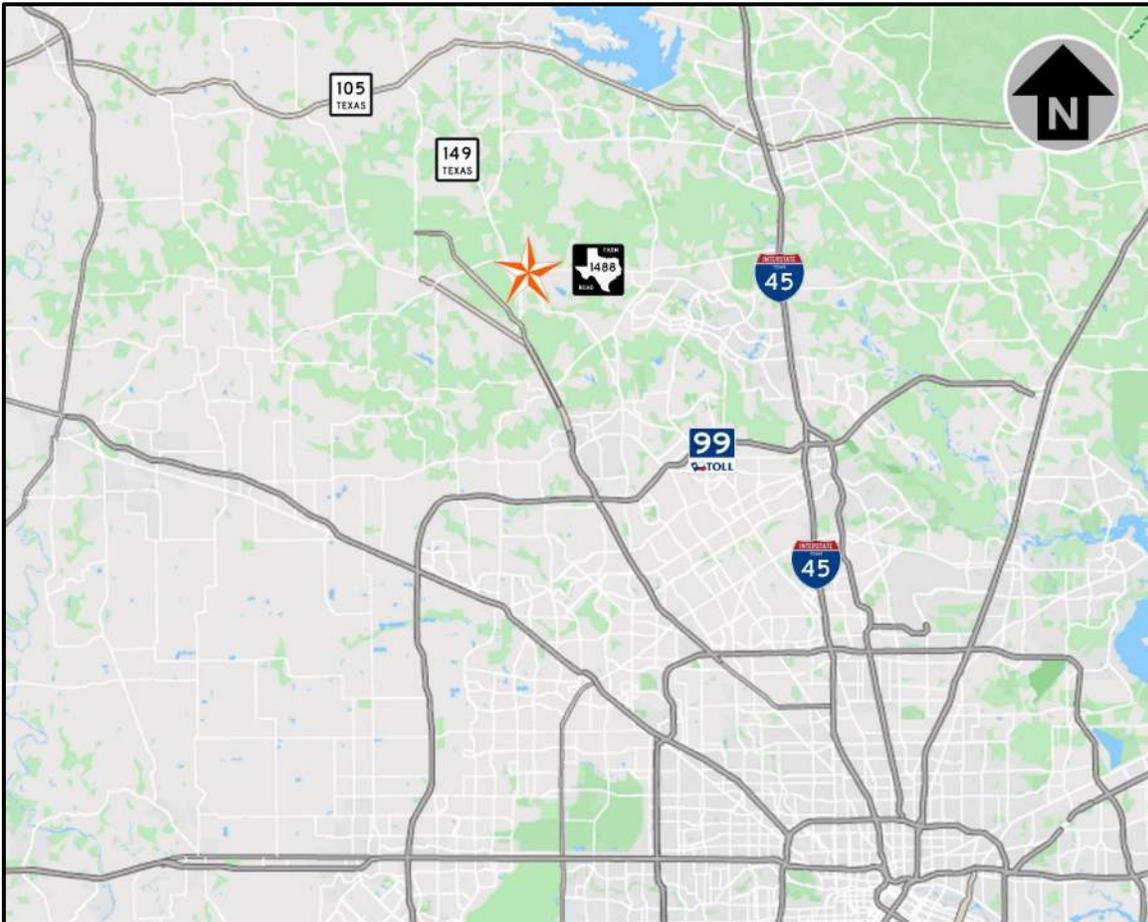
5/24/2022
 Date of Tax Certificate

INTRODUCTION

Pulte Homes of Texas, LP requested a traffic impact analysis for the proposed Myrtle Gardens development located on the east side of Spur 149 near William-Fritz Road in City of Magnolia, Texas. A traffic impact analysis was prepared to determine the impact of traffic generated by the proposed development on the traffic operations in the site vicinity. A site map of the study area is illustrated in **Figure 1**.

Data collected for the study includes geometry of the intersections in the site vicinity, field photographs of intersections and land use in the site vicinity, traffic counts, intersection turning movement counts, and proposed development plans. This report documents the findings of the study.

Figure 1: *Site Map*



AREA CONDITIONS

The area conditions portion of the report describes the proposed development, the existing roadway system, and the recorded traffic volumes in the study area.

Proposed Site Development

The Myrtle Gardens development is proposed to be developed in one phase.

The development is proposed to consist of 122 single family homes accessible via Myrtle Gardens Boulevard.

The proposed site for the Myrtle Gardens development is currently undeveloped.

A depiction of the overall proposed development is illustrated in **Figure 2** and included in the **Appendix**.

Figure 2: *Proposed Myrtle Gardens Development*





March 30, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: Myrtle Gardens WSDP – Letter of No Objection
City of Magnolia
AEI Job No. 212039.80-001**

Dear Mr. Doering:

We received the revised construction plans and supporting documents for the proposed Myrtle Gardens Subdivision on March 23, 2022. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to approval of this project, subject to the following comments:

1. The developer shall be responsible for all aspects of this project and will provide final certification that all improvements have been constructed in conformance with the approved plans and specification.
2. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.
3. Obtain all applicable utility company and governmental agency signatures.
4. Construction shall not commence until final agency approvals are secured.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Robel E. Giackero'.

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia - Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Andrew D. Williams, P.E. – IDS Engineering
Ms. Eve Blakemore – IDS Engineering

MONTGOMERY COUNTY MUNICIPAL UTILITY DISTRICT NO. 108

PLANS

FOR CONSTRUCTION OF

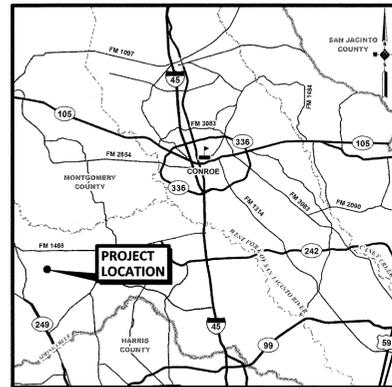
WATER DISTRIBUTION, SANITARY SEWER, DRAINAGE FACILITIES

TO SERVE

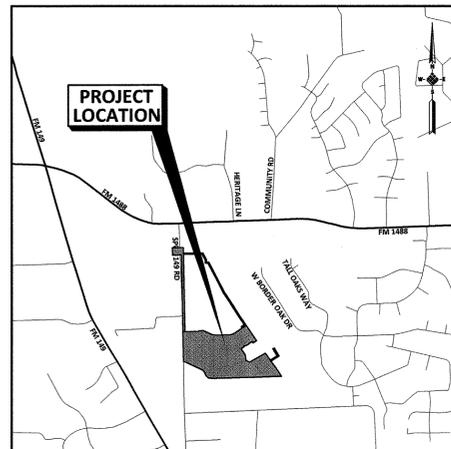
MYRTLE GARDENS SUBDIVISION

CITY OF MAGNOLIA, TX.

DESIGN JOB NO. 0653-033-00 CONTRACT NO. 1



VICINITY MAP
N.T.S.

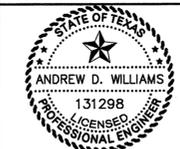


LOCATION MAP
N.T.S.
(KEY MAP # 213L)

Sheet Number	Sheet Title	Sheet Number	Sheet Title
1	COVER SHEET	21	PLAN AND PROFILE BLUE PLUM LANE
2	CONSTRUCTION NOTES	22	PLAN AND PROFILE STARGAZER COVE CT
3	WATER DISTRIBUTION AND SANITARY SEWER INDEX	23	PLAN AND PROFILE OFFSITE SANITARY SEWER
4	WATER DISTRIBUTION AND SANITARY SEWER INDEX	24	PLAN AND PROFILE OFFSITE SANITARY SEWER
5	WATER DISTRIBUTION AND SANITARY SEWER INDEX	25	PLAN AND PROFILE OFFSITE SANITARY SEWER
6	WATER DISTRIBUTION AND SANITARY SEWER INDEX	26	PLAN AND PROFILE OFFSITE SANITARY SEWER
7	PAVING AND STORM SEWER INDEX	27	PLAN AND PROFILE OFFSITE WATER
8	PAVING AND STORM SEWER INDEX	28	PLAN AND PROFILE OFFSITE WATER
9	PAVING AND STORM SEWER INDEX	29	PLAN AND PROFILE OFFSITE UTILITIES
10	SIGNAGE INDEX (NOT IN THIS CONTRACT)	30	PLAN AND PROFILE OFFSITE UTILITIES
11	SIGNAGE INDEX (NOT IN THIS CONTRACT)	31	WATERLINE DETAILS
12	DRAINAGE AREA MAP AND POLLUTION PREVENTION PLAN	32	WATERLINE DETAILS
13	DRAINAGE AREA MAP AND POLLUTION PREVENTION PLAN	33	SANITARY SEWER DETAILS
14	DRAINAGE CALCULATIONS	34	STORM SEWER DETAILS
15	DRAINAGE CALCULATIONS	35	STORM SEWER DETAILS
16	PLAN AND PROFILE MYRTLE GARDENS BLVD	36	STORM SEWER DETAILS
17	PLAN AND PROFILE MYRTLE GARDENS BLVD	37	STORMWATER POLLUTION PREVENTION DETAILS AND NOTES
18	PLAN AND PROFILE PEARL ROSE DRIVE	38	PAVING DETAILS (NOT IN THIS CONTRACT)
19	PLAN AND PROFILE MALTESSA DRIVE	39	LOT GRADING
20	PLAN AND PROFILE MALTESSA DRIVE	40	LOT GRADING

IDS
Engineering Group

13430 NW Freeway
Suite 700
Houston, TX 77040
713.462.3178
TxEng Firm 2726
TxSurv Firm 18110700



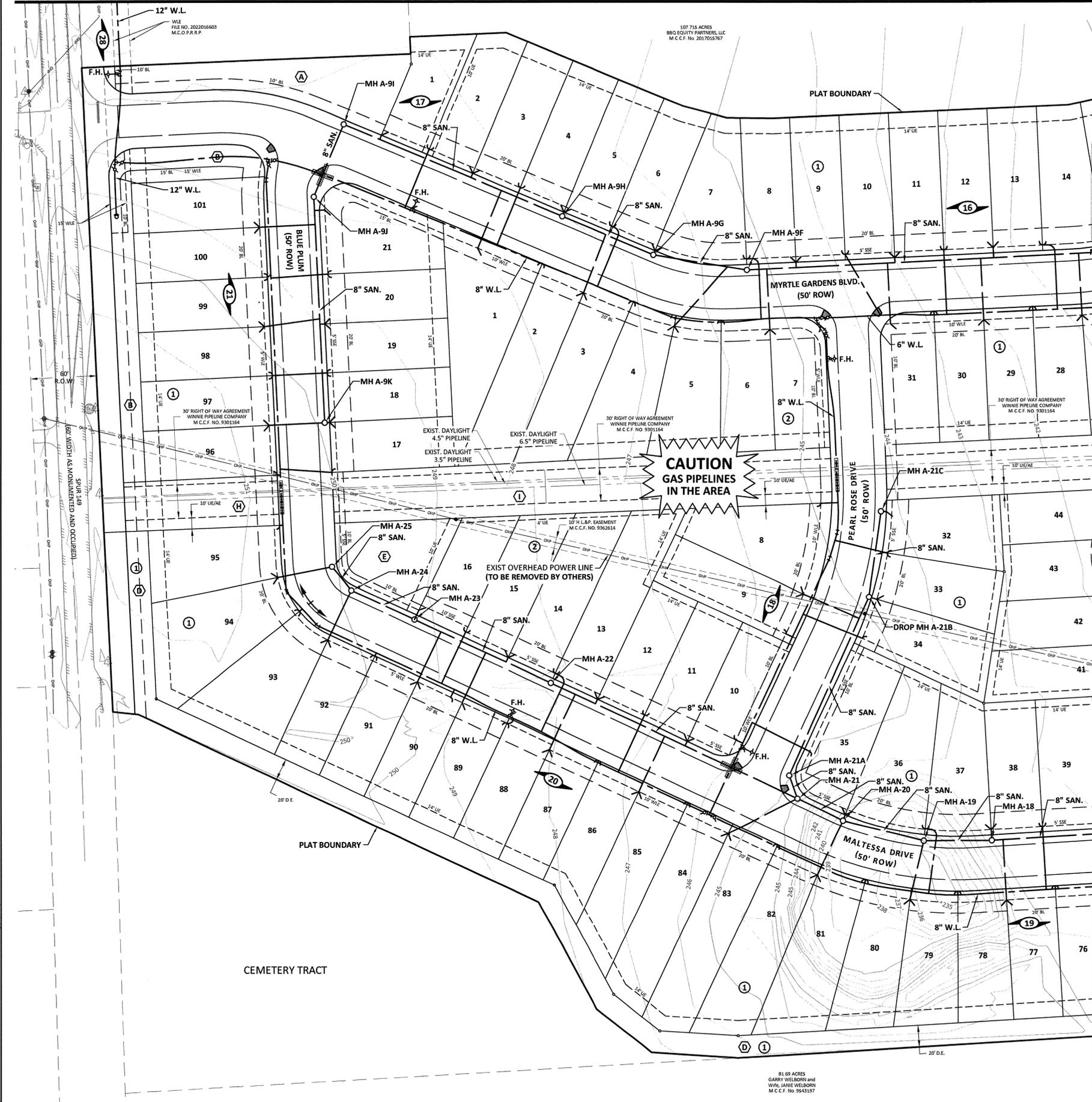
Andrew D. Williams
3/7/22

SURVEYED BY: FB NO.:
SHEET NO 1 OF 40 SHEETS

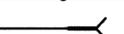
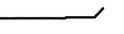
\\fs3\Projects\0653-033-001_Myrtle_Gardens_Plan\CAD\DWG\Civil\Sheet_1.dwg [Plot] at 5.14mm by andrew.williams on 3/7/22

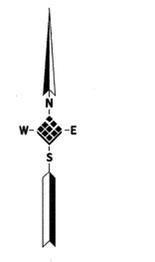
MYRTLE GARDENS IDS PROJECT NO. 0653-033-00

MATCHLINE SEE SHEET 5



LEGEND

-  SHEET INDEX
-  EXIST. CONTOUR
-  PROP. SANITARY SEWER
-  PROP. SANITARY MANHOLE
- PROP. 6" LEAD w/WYE & CLEANOUT TO SERVE 2 LOTS (UNLESS NOTED OTHERWISE)
-  CENTER ONE FULL JOINT OF SANITARY SEWER LINE UNDER OR OVER WATER LINE
- PROP. 6" LEAD w/CLEANOUT TO SERVE 1 LOT (UNLESS NOTED OTHERWISE)
-  PROP. WATERLINE
-  PROP. FIRE HYDRANT w/GATE VALVE
-  PROP. REDUCER
- PROP. 2" BLOW OFF VALVE w/PLUG
- PROP. 3/4" WATERLINE LEAD TO SERVE 1 LOT
- PROP. 1" WATERLINE LEAD TO SERVE 2 LOT
-  CENTER ONE FULL JOINT OF WATER LINE OVER OR UNDER SANITARY SEWER



MATCHLINE SEE SHEET 4



Andrew D. Williams
131298
Professional Engineer
3/10/22



13430 NW Freeway
Suite 700
Houston, Tx. 77040
713.462.3178
TXSurr Firm 2726
TXSurr Firm 0310700

APPROVED	A.D.W.	DATE	SEPTEMBER 2021
DESIGNED BY	E.B.	DRAWN BY	K.K.
		JOB NO	0653-033-00

BENCHMARK:
NGS Mon: A 1281
Stainless Steel rod w/o sleeve stamped: A 1281 1978 - In Magnolia.
Proceed 0.1 mile southwest of Fifth Street from crossing of Magnolia
Conroe Road and the Missouri Pacific Railroad in Magnolia, thence 0.15
mile southeast along commerce street, thence 0.75 mile south along
Nichols Saw Mill Rd. Set at the second pole south of a line crossing the
road, 46.5 feet west of the centerline of Nichols Saw Mill Road, 2 feet
north of the power pole, and 1.0 foot east of the westerly right of way
fence.
NAVD88 Elevation = 231.8

TO ARRANGE FOR LINES TO BE TURNED OFF OR MOVED, CALL
CENTERPOINT ENERGY AT 713-207-2222.
NOTICE: For your safety, you are required by Texas Law to call 811 at
least 48 hours before you dig so that underground lines can be marked.
This Verification does not fulfill your obligation to call 811.

VERIFICATION OF PRIVATE UTILITY LINES

Date: CenterPoint Energy/Natural Gas Facilities Verification ONLY. (This Signature verifies that you have shown CNP Natural Gas lines correctly not to be used for conflict verification.) (Gas service lines are not shown.) Signature Valid for six months.	Date:
Date: Energy/Electric Facilities. (Approved only for crossing underground ductlines, unless otherwise noted.) Valid at time of review only.	Date:
Date: Approved for Consolidated Communications underground conduit facilities only. Signature valid for one year.	Date:

MYRTLE GARDENS

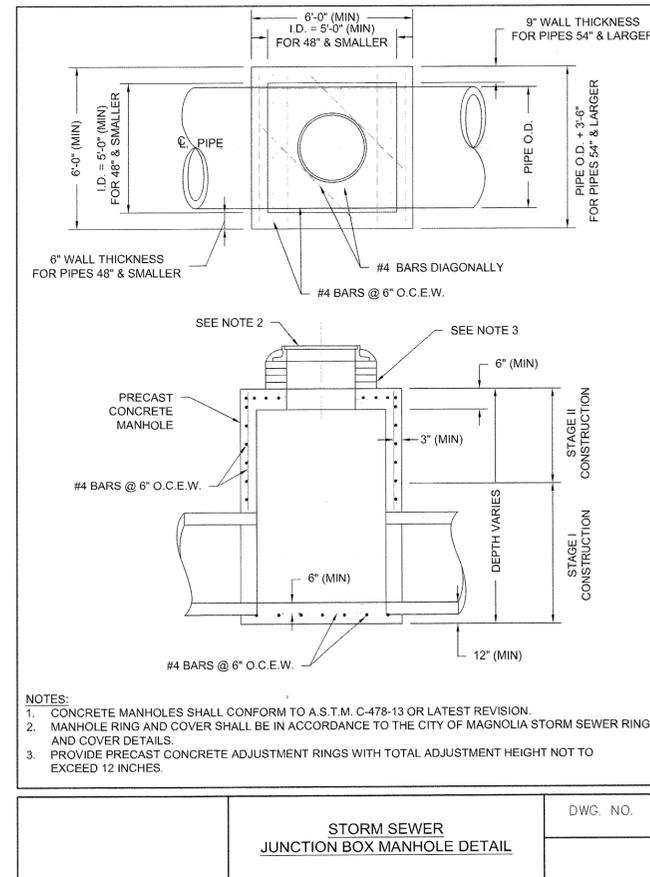
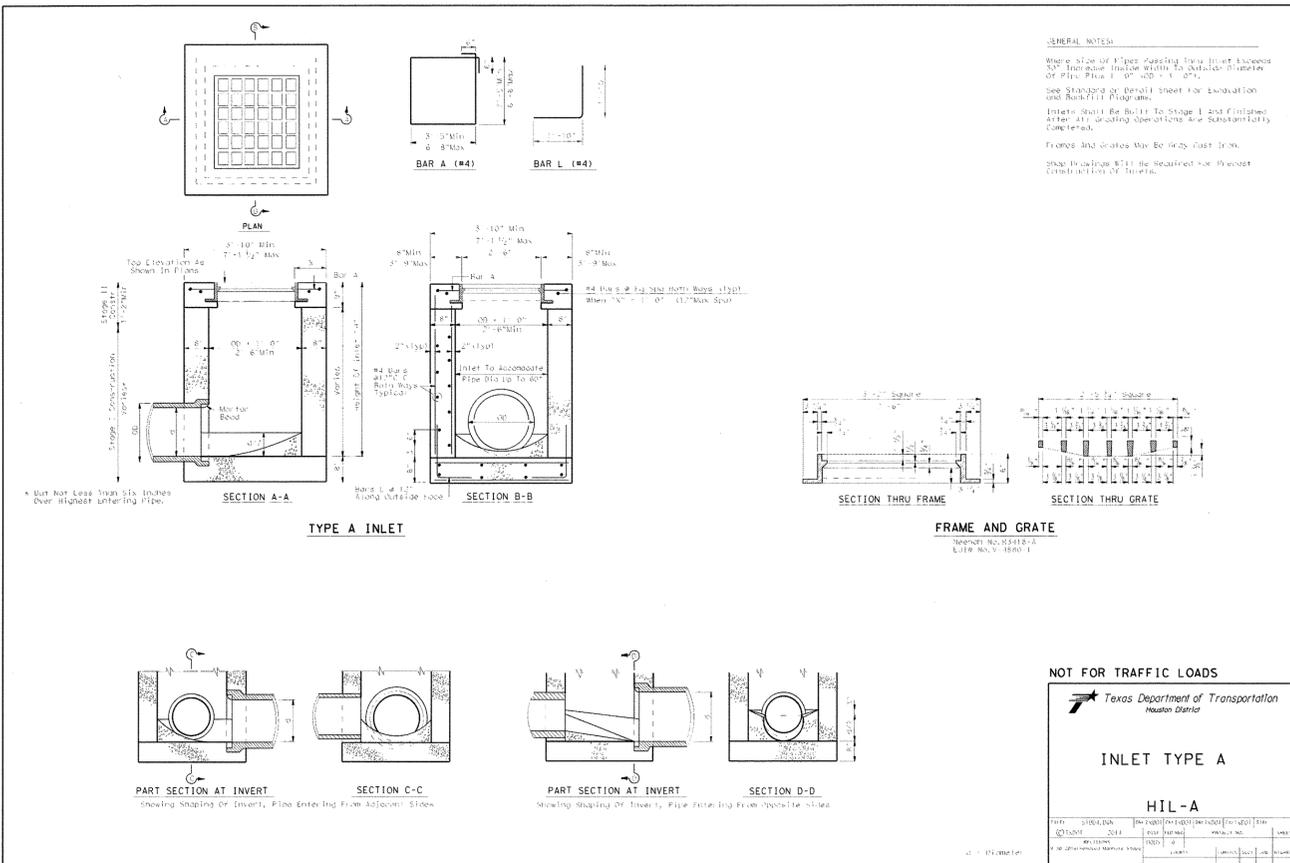
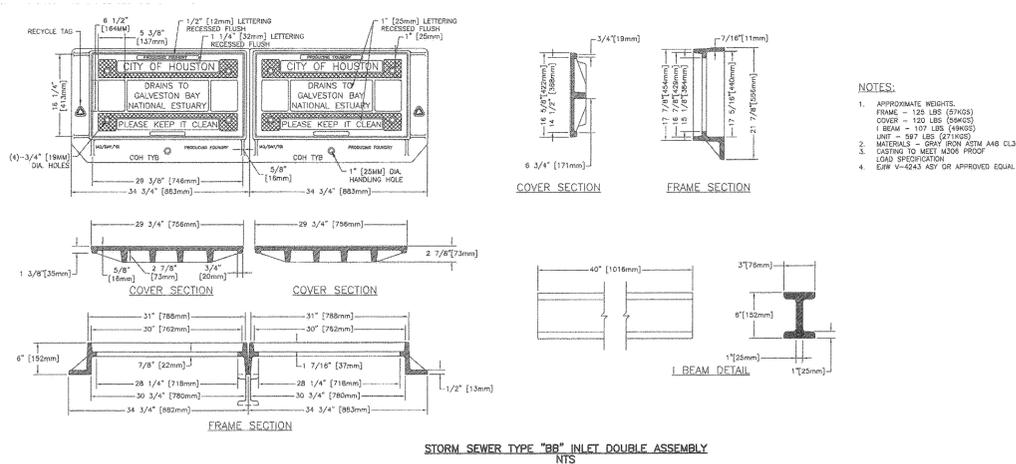
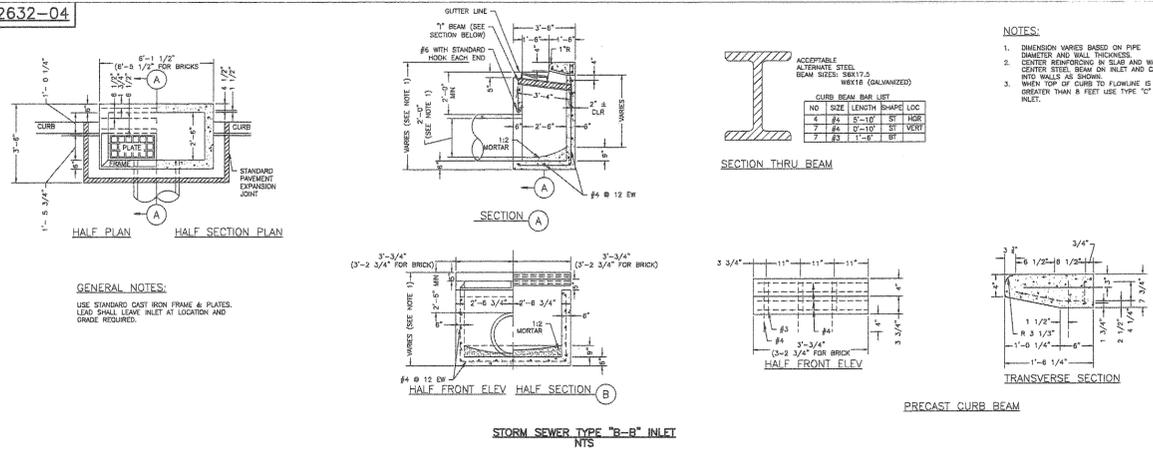
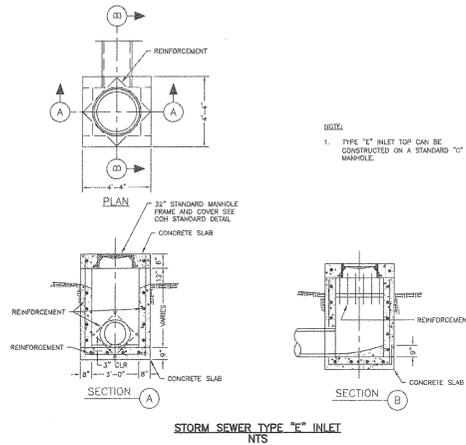
**WATER DISTRIBUTION AND
SANITARY SEWER INDEX**

FILE NO:

DRAWING SCALE	SHEET
HORIZ: 1" = 50'	No: 3 OF 40
VERT: N/A	

\\s3\projects\0600\065303301_Myrtle Gardens\PP\CAD\DWG\C-MIDW\SSDI.dwg [Layout] Plotted: Mar 09, 2022 at 10:41am by: [User Name] (Last Saved by: [User Name])

81.69 ACRES
GARRY WELBORN and
Wife, JANE WELBORN
M.C.C.F. No. 9543197



IDS Engineering Group
13430 NW, Freeway Suite 700
Houston, TX 77040
713.462.3178
TxDwg Firm 2726
TxDwg Firm 10110700

APPROVED: A.D.W. DATE: SEPTEMBER 2021
DESIGNED BY: E.B. DRAWN BY: K.K. JOB NO: 0653-033-00

BENCHMARK:
NGS Mon: A 1281
Stainless Steel rod w/o sleeve stamped: A 1281 1978 - in Magnolia.
Proceed 0.1 mile southwest of Fifth Street from crossing of Magnolia Corroze Road and the Missouri Pacific Railroad in Magnolia, thence 0.15 mile southeast along commerce street, thence 0.75 mile south along Nichols Saw Mill Rd. Set at the second pole south of a line crossing the road, 46.5 feet west of the centerline of Nichols Saw Mill Road, 2 feet north of the power pole, and 1.0 foot east of the westerly right of way fence.

NAVD88 Elevation = 231.8
TO ARRANGE FOR LINES TO BE TURNED OFF OR MOVED, CALL CENTERPOINT ENERGY AT 713-207-2222.
NOTICE: For your safety, you are required by Texas Law to call 811 at least 48 hours before you dig to that underground line can be marked. This Verification does not fulfill your obligation to call 811.

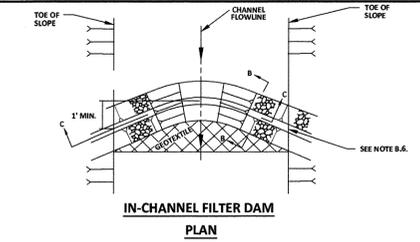
VERIFICATION OF PRIVATE UTILITY LINES
Date: _____
CenterPoint Energy/Natural Gas Facilities Verification ONLY.
(This Signature verifies that you have shown CNP Natural Gas lines correctly - not to be used for conflict verification.) (Gas service lines are not shown.)
Signature Valid for six months.
Date: _____

Energy/Electric Facilities
(Approved only for crossing underground ductlines, unless otherwise noted.)
Valid at time of review only.
Date: _____
Approved for Consolidated Communications underground conduit facilities only.
Signature valid for one year.

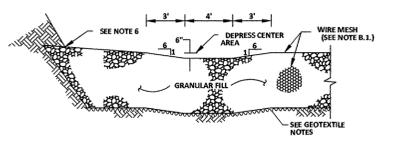
MYRTLE GARDENS

STORM SEWER DETAILS

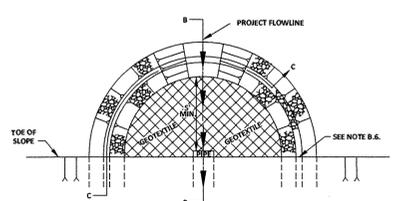
FILE NO:
DRAWING SCALE
SHEET NO: **36** OF **40**
HORIZ: N/A
VERT: N/A



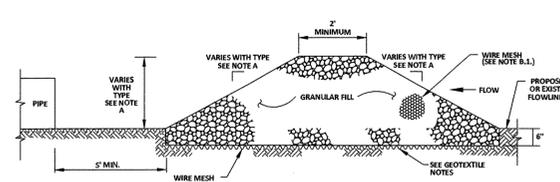
IN-CHANNEL FILTER DAM
PLAN



SECTION C-C



FILTER DAM AT DETENTION BASIN OUTFALL PIPE
PLAN



SECTION B-B

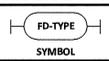
GEOTEXTILE NOTES:

MIN. AOS	SIEVE NO.	120 MIN
MAX. AOS	SIEVE NO.	50 MAX
WEIGHT	OZ/SY	4 OZ. MIN

FILTER DAM NOTES:

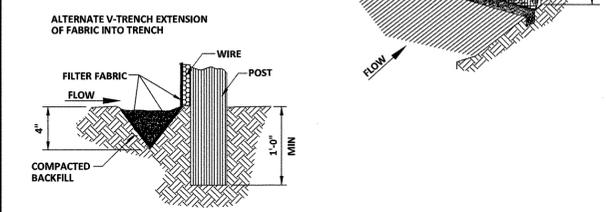
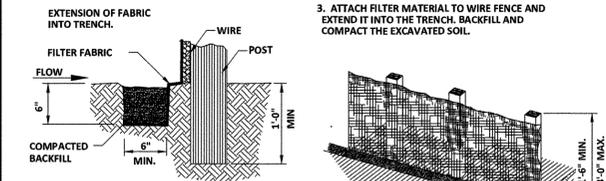
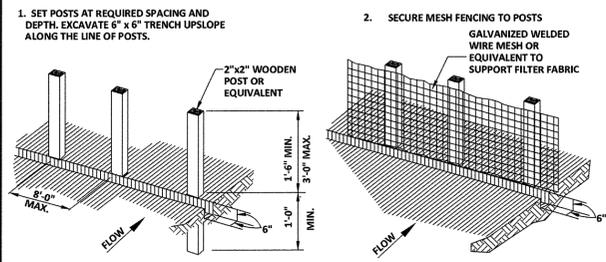
- A. TYPES OF FILTER DAMS
 1. TYPE 1 (NON-REINFORCED)
 - a. HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM)
 - c. SLOPES - 2:1 (MAXIMUM).
 2. TYPE 2 (REINFORCED).
 - a. HEIGHT - 18-36 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 2:1 (MAXIMUM).
 3. TYPE 3 (REINFORCED)
 - a. HEIGHT - 36-48 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 3:1 (MAXIMUM).
 4. TYPE 4 (GRABON)
 - a. HEIGHT - 30 INCHES (MINIMUM). MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 5. TYPE 5. AS SHOWN ON THE PLANS.
- B. CONSTRUCT FILTER DAMS ACCORDING TO THE FOLLOWING CRITERIA UNLESS SHOWN OTHERWISE ON THE PLANS.
 1. TYPE 2 AND 3 FILTER DAMS: SECURE WITH 20 GAUGE GALVANIZED WOVEN WIRE MESH WITH 1 INCH DIAMETER HEXAGONAL OPENINGS.
 2. GRANULAR FILL:
 - a. PLACE ON MESH TO HEIGHT AND SLOPES SHOWN ON PLANS OR AS SPECIFIED BY THE ENGINEER.
 - b. 3-5 INCHES FOR ROCK FILTER DAM TYPES 1,2, AND 4 AND 4-8 INCHES FOR ROCK FILTER DAM TYPE 3. REFER TO GRANULAR FILL IN SPECIFICATION SECTION NO. 02378-RIPRAP AND GRANULAR FILL.
 3. WIRE MESH: FOLD AT UPSTREAM SIDE OVER GRANULAR FILL AND TIGHTLY SECURED TO ITSELF ON THE DOWNSTREAM SIDE USING WIRE TIES OR HOG RINGS.
 4. IN STREAMS: SECURE OR STAKE MESH TO STREAM BED PRIOR TO AGGREGATE PLACEMENT.
 5. SEE SPECIFICATION SECTION NO. 02364-FILTER DAMS.
 6. EMBED ONE FOOT MINIMUM INTO SLOPE AND RAISE ONE FOOT HIGHER THAN CENTER OF DEPRESSED AREA AT SLOPE.

FILTER DAM



ROCK FILTER DAM DETAIL (H.C.F.C.D.)

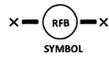
Scale: N.T.S.
File: STABCNST



GENERAL NOTES:

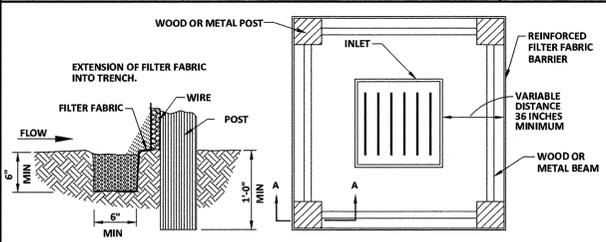
1. SECURELY FASTEN MESH FENCING TO POSTS WITH STAPLES OR TIE WIRES.
2. SECURELY FASTEN FILTER FABRIC TO MESH FENCING.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, OVERLAP 6 INCHES AT A POST, FOLD TOGETHER, AND ATTACH TO A POST.
4. REMOVE SEDIMENT DEPOSITS WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.

REINFORCED FILTER FABRIC BARRIER



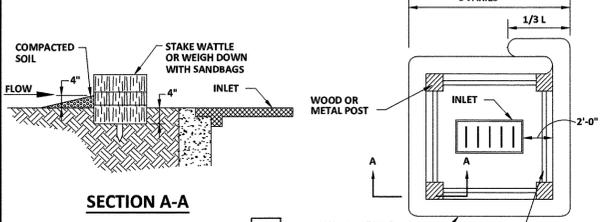
REINFORCED FILTER FABRIC BARRIER

Scale: N.T.S.
File: FLTAFABN



SECTION A-A

PLAN



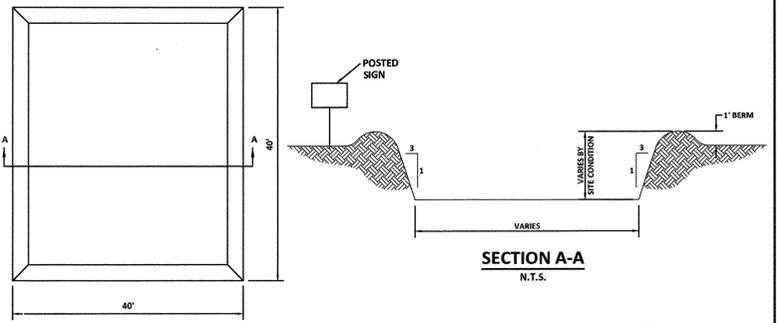
SECTION A-A

PLAN

NOTE: STRAW BALES ARE NOT TO BE USED FOR INLET PROTECTION BARRIERS.

REINFORCED FILTER FABRIC INLET PROTECTION BARRIER

Scale: N.T.S.
File: STABCNST



SECTION A-A
N.T.S.

GENERAL NOTES:

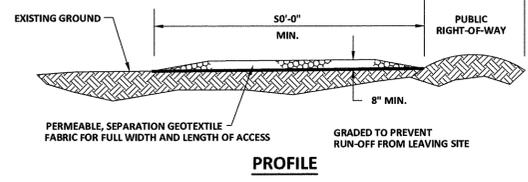
1. POST A SIGN READING "CONCRETE WASH OUT PIT" NEXT TO THE PIT.
2. VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASH OUT THEIR TRUCKS IN THE PIT AND NO WHERE ELSE.
3. UPON THE CONCRETE SETTING UP (CURING, DRYING OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASH OUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACTED TO IN-SITU CONDITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.
4. CONCRETE WASH OUT PITS SHALL NOT BE LOCATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE, DITCH, OR WATERWAY.
5. CONSTRUCT ENTRY ROAD AND BOTTOM OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.



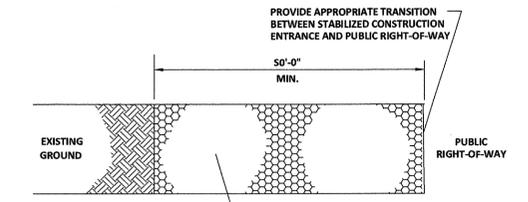
CTW
SYMBOL

CONCRETE TRUCK WASHOUT AREA

Scale: N.T.S.
File:



PROFILE



PLAN VIEW

COARSE AGGREGATE - 3" TO 5" GRANULAR FILL (BROKEN CONCRETE IS NOT PERMITTED)

GENERAL NOTES:

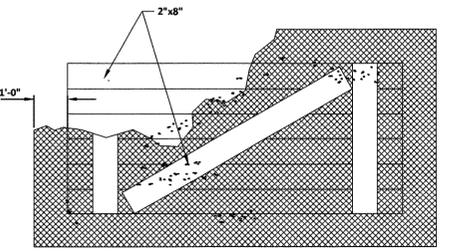
1. MINIMUM LENGTH IS AS SHOWN ON CONSTRUCTION DRAWINGS OR 50 FEET, WHICHEVER IS MORE.
2. CONSTRUCT AND MAINTAIN CONSTRUCTION ACCESS WITH CONSTANT WIDTH ACROSS ITS LENGTH, INCLUDING ALL POINTS OF INGRESS OR EGRESS.
3. UNLESS SHOWN ON THE CONSTRUCTION DRAWINGS, STABILIZATION FOR OTHER AREAS WILL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION ACCESS.
4. WHEN SHOWN ON THE CONSTRUCTION DRAWINGS, WIDEN OR LENGTHEN STABILIZED AREA TO ACCOMMODATE A TRUCK WASHING AREA. PROVIDE OUTLET SEDIMENT TRAP FOR THE TRUCK WASHING AREA.
5. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL COARSE AGGREGATE TO MAINTAIN THE REQUIRED DEPTH OR WHEN SURFACE BECOMES PACKED WITH MUD.
6. PERIODICALLY TURN AGGREGATE TO EXPOSE A CLEAN DRIVING SURFACE.
7. ALTERNATIVE METHODS OF CONSTRUCTION INCLUDE
 - CEMENT STABILIZED SOIL: COMPACTED CEMENT STABILIZED SOIL, LIMESTONE AGGREGATE, OR OTHER FILL MATERIAL IN AN APPLICATION OF THICKNESS OF 8 INCHES.
 - WOOD MATS: OAK OR OTHER HARDWOOD TIMBERS PLACED EDGE TO EDGE AND ACROSS SUPPORT WOODEN BEAMS WHICH ARE PLACED ON TOP OF EXISTING SOIL IN AN APPLICATION THICKNESS OF 6 INCHES.
 - STEEL MATS: PERFORATED MATS PLACED ACROSS PERPENDICULAR SUPPORT MEMBERS.



SC
SYMBOL

STABILIZED CONSTRUCTION ACCESS

Scale: N.T.S.
File: FLTAFABN



PLAN

INSTALLATION NOTES:

1. PLACE 2"X8"X8" TREATED OAK OVER STAGE ONE INLETS. ALLOW 2" SPACING BETWEEN BOARDS.
2. COVER 2X8s WITH FILTER FABRIC EXTENDED 1'-0" BEYOND EDGE, ALL AROUND AND TACK.
3. PLACE 2X8s OVER FABRIC, ACROSS 2X8X8s AS SHOWN, NAIL TO SECURE.



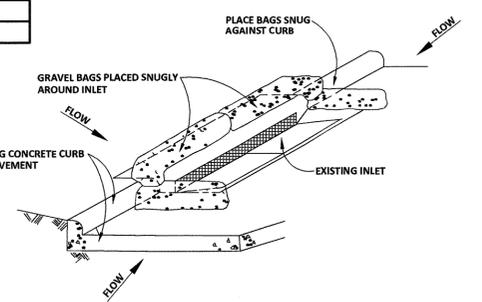
IPB
SYMBOL

PROTECTION BARRIER FOR STAGE I CURB INLETS

Scale: N.T.S.
File:

CONCRETE TRUCK WASHOUT AREA

Scale: N.T.S.
File:



GENERAL NOTES:

1. BAGS OR WATTLES CAN BE USED FOR THIS APPLICATION.
2. PROVIDE WOVEN OR UNWOVEN GEOTEXTILE FILTER FABRIC FOR BAGS.
3. REMOVE SEDIMENT DEPOSIT WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BARRIER.



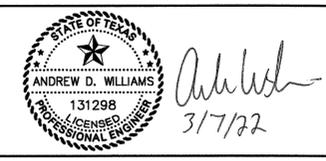
IPB
SYMBOL

INLET PROTECTION BARRIERS FOR STAGE II INLETS

Scale: N.T.S.
File: FLTAFABN

EROSION AND SEDIMENTATION CONTROL NOTES:

1. PROVISIONS SHALL BE MADE TO PROTECT DOWNSTREAM WATERCOURSES (I.E. STORM SEWER SYSTEMS, DITCHES, WETLANDS, ETC.) FROM SEDIMENT RUNOFF DEVELOPED FROM THE CONSTRUCTION PROCESS. PROVISIONS INCLUDE, BUT ARE NOT LIMITED TO, STRUCTURAL CONTROLS SUCH AS SILT FENCING, GEOTEXTILE FABRIC PROTECTION OF STORM SEWERS, HAY BALES, DIKES, AND SANDBAG BARRIERS; AND / OR VEGETATION CONTROLS SUCH AS SEEDING OR EXISTING VEGETATIVE BUFFER STRIPS (MINIMUM 25 FEET WIDE).
2. PRIOR TO START OF CONSTRUCTION, THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATIONS SHOWN ON PLANS.
3. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR SHALL PERFORM DAILY STREET CLEANING ON ROADS AND STREETS ADJACENT TO THE PROJECT WHICH ARE USED AS ACCESS ROUTES FOR CONSTRUCTION TRAFFIC IF DIRT AND MUD IS NOT ADEQUATELY REMOVED FROM VEHICLES AT THE STABILIZED CONSTRUCTION ACCESS LOCATIONS.
4. LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORMWATER CONVEYANCE SYSTEMS. USE A MINIMUM 60 MIL POLYETHYLENE LINER UNDER ABOVE GROUND STORAGE TANKS. USE 2 FOOT HIGH BERMS AROUND FUEL STORAGE AREAS.
5. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR WILL ADVISE OWNER IMMEDIATELY, VERBALLY, AND IN WRITING, OF ANY FUEL SPILLS ONTO THE PROJECT/CONSTRUCTION AREA AND THE ACTIONS TAKEN TO REMEDY THE PROBLEM.
6. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL ENVIRONMENTAL LAWS.
7. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF FUELS, MATERIALS, AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.
8. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR SHALL INSPECT ALL STRUCTURAL CONTROLS WITHIN 24 HOURS AFTER ANY STORM EVENT THAT MEETS OR EXCEEDS 0.5 INCHES OF RAINFALL IN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL EVENTS, CONTRACTOR SHALL INSPECT STRUCTURAL CONTROLS ON A DAILY BASIS. AT A MINIMUM, STRUCTURAL CONTROLS SHOULD BE INSPECTED ONCE EVERY 14 CALENDAR DAYS. A QUALIFIED REPRESENTATIVE OF THE CONTRACTOR, AS APPROVED BY THE OWNER, SHALL PROVIDE THESE INSPECTIONS. SHOULD CONTROLS BECOME INEFFECTIVE, NECESSARY REPAIRS SHALL BE PERFORMED TO RETURN THE INTEGRITY OF THE STRUCTURAL CONTROLS. REMOVE ALL SEDIMENT IF IT ACCUMULATES TO 1/3 THE HEIGHT OF THE SILT FENCE. MATERIAL MAY BE SPREAD ON ADJACENT PROPERTY.
9. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEMS THROUGHOUT THE DURATION OF THE CONTRACT.
10. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR WILL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER POTENTIALLY TOXIC MATERIALS.
11. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATELY MAINTAINED SANITARY FACILITIES.
12. EQUIPMENT STAGING AREA TO BE DESIGNATED BY THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.
13. AT COMPLETION OF THE CONTRACT, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE EROSION AND SEDIMENTATION CONTROL SYSTEMS BEFORE RELIEVING THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR OF HIS MAINTENANCE RESPONSIBILITIES. PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF SEDIMENTATION CONTROL SYSTEMS AFTER THE PROJECT HAS BEEN ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
14. IF EROSION AND SEDIMENTATION CONTROL SYSTEMS ARE EXISTING FROM PRIOR CONTRACTS, OWNER AND/OR OWNER'S REPRESENTATIVE WITH THE CONTRACTOR SHALL EXAMINE THE EXISTING EROSION AND SEDIMENTATION CONTROL SYSTEMS FOR DAMAGE PRIOR TO THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR STARTING CONSTRUCTION OF THE CONTRACT. ANY DAMAGE NOTED AT THIS TIME SHALL BE REPAIRED AT OWNER'S EXPENSE.
15. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR SHALL PROVIDE STAGE I INLET PROTECTION BARRIERS AT ALL PROPOSED INLETS AS PER DETAILS SHOWN ON THIS SHEET.
16. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR SHALL PROVIDE STAGE II INLET PROTECTION BARRIERS AT ALL PROPOSED INLETS AS PER DETAILS SHOWN ON THIS SHEET.
17. THE OWNER'S EROSION CONTROL CONSULTANT AND/OR CONTRACTOR SHALL PROVIDE HYDROMULCH SEEDING FOR ALL DISTURBED AREAS BETWEEN CURB AND R.O.W.



DESIGNED BY: A.D.W.	DRAWN BY: E.B.	DATE: SEPTEMBER 2021
FILE NO: 0653-033-00	JOB NO: 0653-033-00	

BENCHMARK:
NGS Mark: A 1281
Stainless Steel rod w/o sleeve stamped: A 1281 1978 - in Magnolia. Proceed 0.1 mile southwest of Fifth Street from crossing of Magnolia Comroe Road and the Missouri Pacific Railroad in Magnolia, thence 0.15 mile southeast along commerce street, thence 0.75 mile south along Nichols Saw Mill Rd. Set at the second pole south of a line crossing the road, 46.5 feet west of the centerline of Nichols Saw Mill Road, 2 feet north of the power pole, and 1.0 foot east of the westerly right of way fence.
NAVD88 Elevation = 231.8

TO ARRANGE FOR LINES TO BE TURNED OFF OR MOVED, CALL CENTERPOINT ENERGY AT 713-207-2222.
NOTICE: For your safety, you are required by Texas Law to call 811 at least 48 hours before you dig so that underground lines can be marked. This Verification does not fulfill your obligation to call 811.

VERIFICATION OF PRIVATE UTILITY LINES

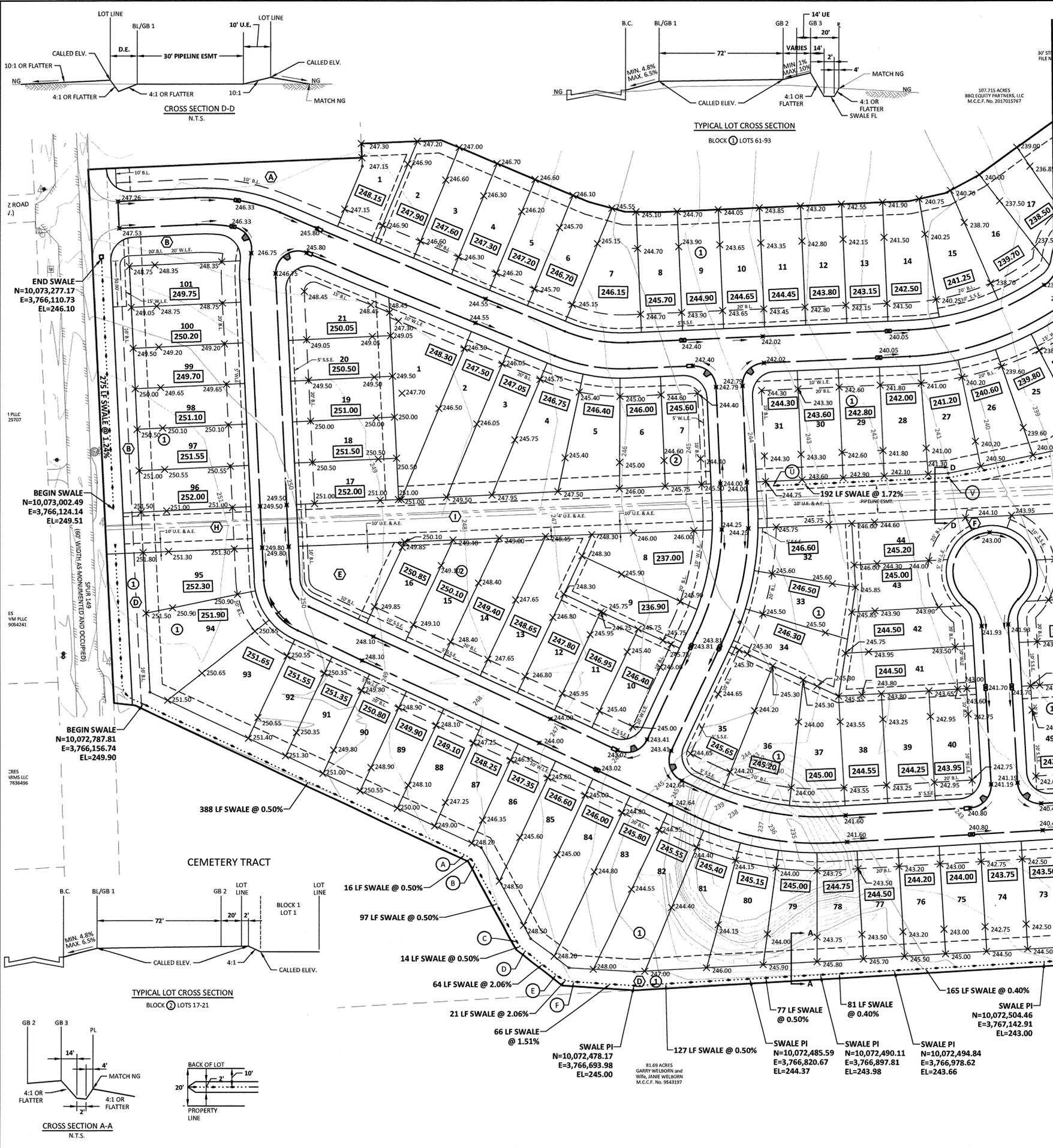
Date: _____
CenterPoint Energy/Natural Gas Facilities Verification ONLY.
(This Signature verifies that you have shown CNP/Natural Gas lines correctly not to be used for conflict verification.) (Gas service lines are not shown.)
Signature Valid for six months.
Date: _____
Energy/Electric Facilities
(Approved only for crossing underground ductlines, unless otherwise noted.)
Valid at time of review only.
Date: _____
Approved for Consolidated Communications underground conduit facilities only.
Signature valid for one year.

MYRTLE GARDENS

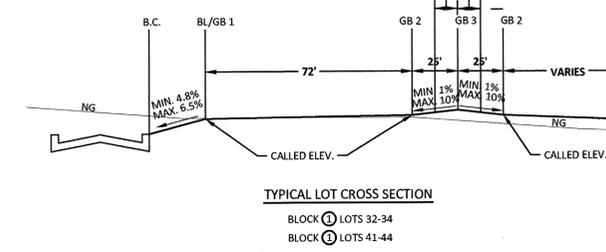
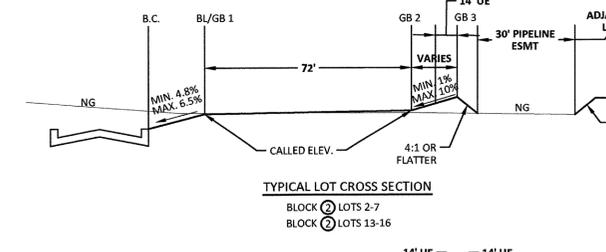
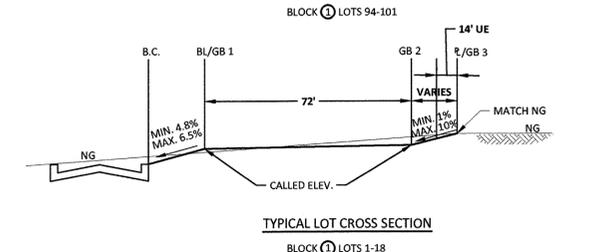
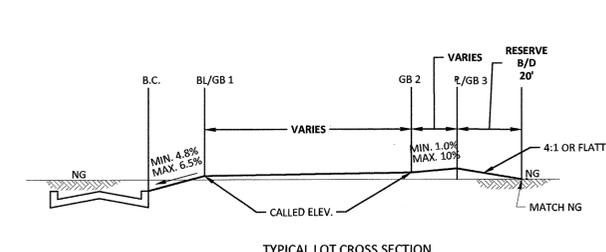
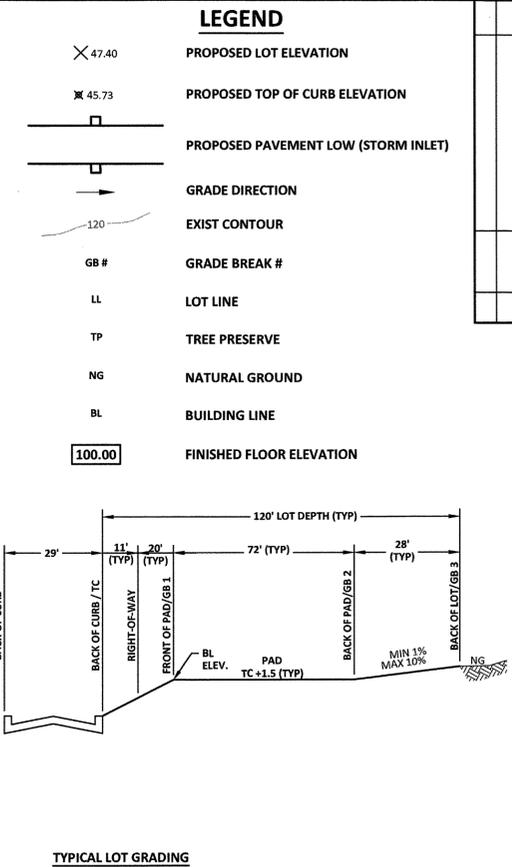
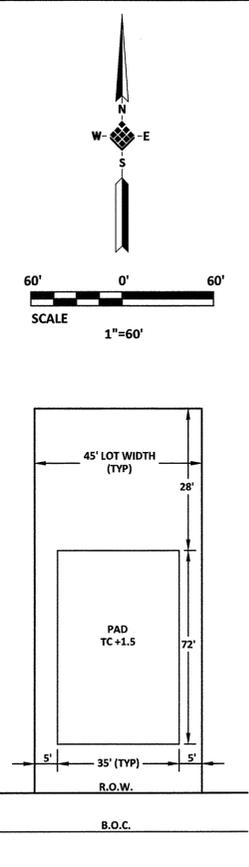
STORMWATER POLLUTION PREVENTION DETAILS AND NOTES

FILE NO:

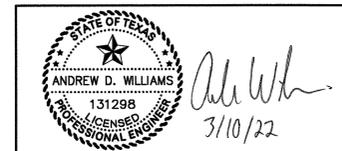
DRAWING SCALE	SHEET No. 37 OF 40
HORIZ: N/A	VERT: N/A



- (A) SWALE PC N=10,072,623.32 E=3,766,508.18 EL=247.96
- (B) SWALE PT N=10,072,612.53 E=3,766,519.60 EL=247.88
- (C) SWALE PC N=10,072,527.23 E=3,766,565.51 EL=247.40
- (D) SWALE PT N=10,072,516.31 E=3,766,574.68 EL=247.32
- (E) SWALE PC N=10,072,489.70 E=3,766,608.50 EL=246.44
- (F) SWALE PT N=10,072,482.26 E=3,766,627.98 EL=246.00
- (G) SWALE PC N=10,072,545.40 E=3,767,842.29 EL=235.00
- (H) SWALE PT N=10,072,565.25 E=3,767,871.82 EL=234.78
- (I) SWALE PC N=10,072,587.54 E=3,767,882.47 EL=234.63
- (J) SWALE PT N=10,072,622.94 E=3,767,879.39 EL=234.40
- (K) SWALE PI N=10,072,942.72 E=3,767,644.55 EL=232.00
- (L) SWALE PI N=10,072,945.18 E=3,767,604.22 EL=232.70
- (M) SWALE PC N=10,072,805.31 E=3,767,388.19 EL=236.62
- (N) SWALE PT N=10,072,805.01 E=3,767,377.73 EL=236.68
- (O) SWALE PC N=10,072,858.72 E=3,767,284.32 EL=237.22
- (P) SWALE PT N=10,072,888.49 E=3,767,273.96 EL=237.38
- (Q) SWALE PC N=10,072,940.60 E=3,767,265.52 EL=237.64
- (R) SWALE PT N=10,072,951.22 E=3,767,261.26 EL=237.70
- (S) SWALE PI N=10,073,141.75 E=3,767,262.30 EL=234.11
- (T) SWALE PC N=10,073,154.21 E=3,767,311.20 EL=233.86
- (U) BEGIN SWALE N=10,073,027.92 E=3,766,846.49 EL=243.50
- (V) SWALE PI N=10,073,036.58 E=3,767,038.50 EL=240.20



LEGEND	
	PROPOSED LOT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED PAVEMENT LOW (STORM INLET)
	GRADE DIRECTION
	EXIST CONTOUR
	GRADE BREAK #
	LOT LINE
	TREE PRESERVE
	NATURAL GROUND
	BUILDING LINE
	FINISHED FLOOR ELEVATION



IDS Engineering Group
 13430 NW Freeway Suite 700
 Houston, TX 77040
 713.462.3178
 TxDwg Firm 2726
 TxDwg Firm 0000009

APPROVED: A.D.W. DATE: SEPTEMBER 2021
 DESIGNED BY: E.B. DRAWN BY: K.K. JOB NO: 0653-033-00

BENCHMARK:
 NGS Mon: A 1281
 Stainless Steel rod w/o sleeve stamped: A 1281 1978 - in Magnolia
 Proceed 0.1 mile southeast of Fifth Street from crossing of Magnolia
 Conroy Road and the Missouri Pacific Railroad in Magnolia, thence 0.15
 mile southeast along commerce street, thence 0.75 mile south along
 Nichols Saw Mill Rd. Set at the second pole south of a line crossing the
 road, 46.5 feet west of the centerline of Nichols Saw Mill Road, 2 feet
 north of the power pole, and 1.0 foot east of the westerly right of way
 fence.
 NAVD88 Elevation = 231.8

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 CENTERPOINT ENERGY AT 713-207-2222.
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 least 48 hours before you dig so that underground lines can be marked.
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VERIFICATION OF PRIVATE UTILITY LINES

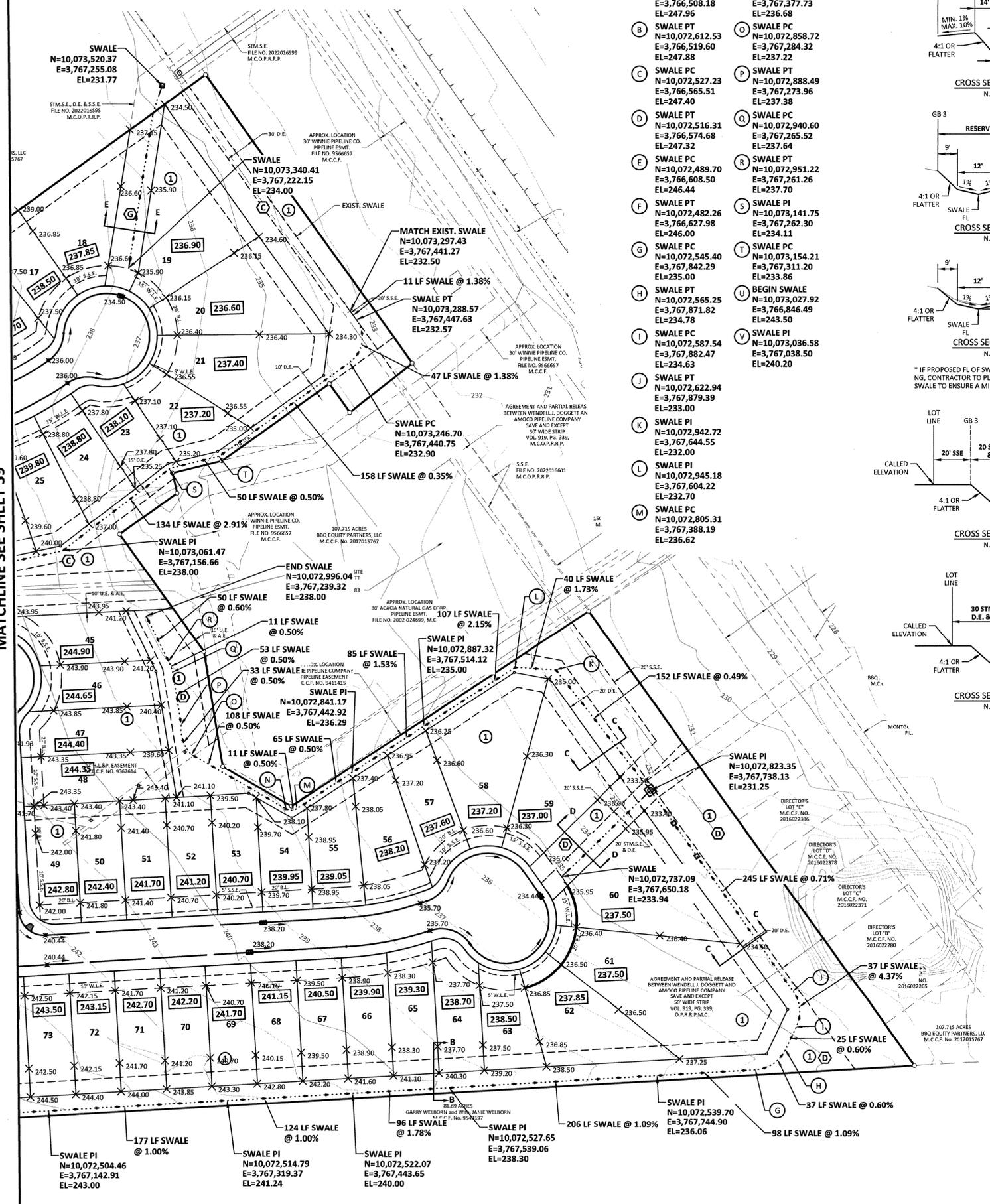
Date: _____
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 (This Signature verifies that you have shown CNP Natural Gas lines correctly
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 Signature Valid for six months.

Date: _____
 Energy/Electric Facilities
 (Approved only for crossing underground ductlines, unless otherwise noted.)
 Valid at time of review only.

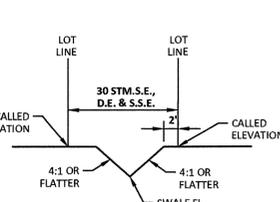
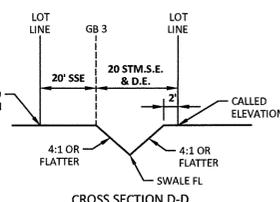
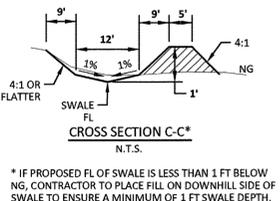
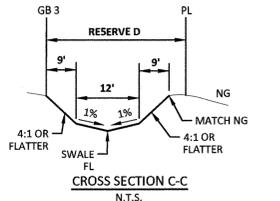
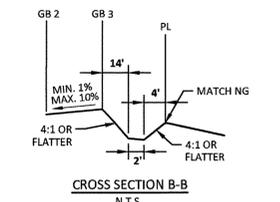
Date: _____
 Approved for Consolidated Communications underground conduit facilities only.
 Signature valid for one year.

MYRTLE GARDENS	
LOT GRADING	
FILE NO:	
DRAWING SCALE:	
HORIZ: 1" = 60'	SHEET No: 39 OF 40
VERT: N/A	

MATCHLINE SEE SHEET 39

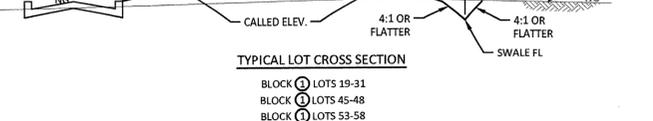
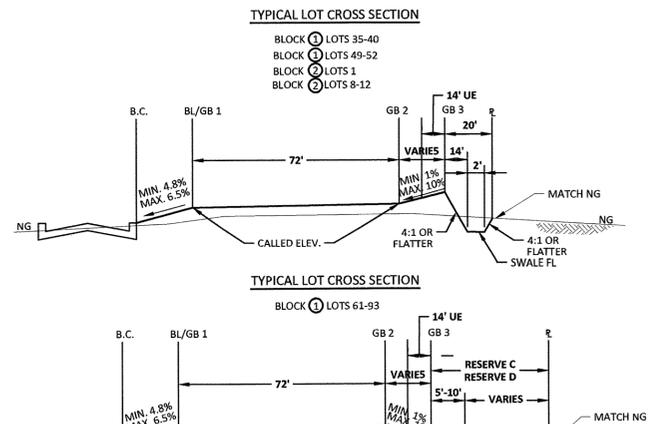
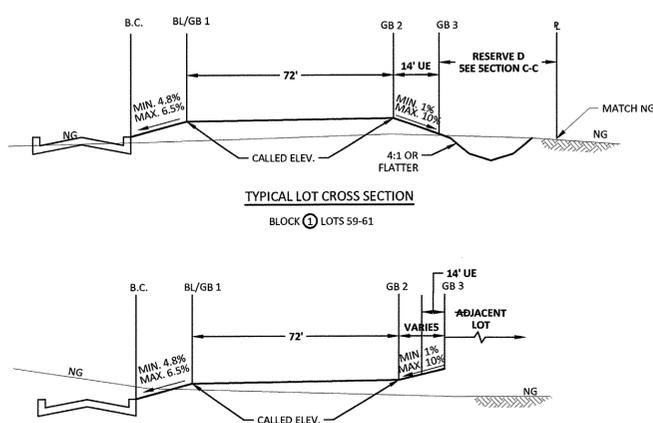
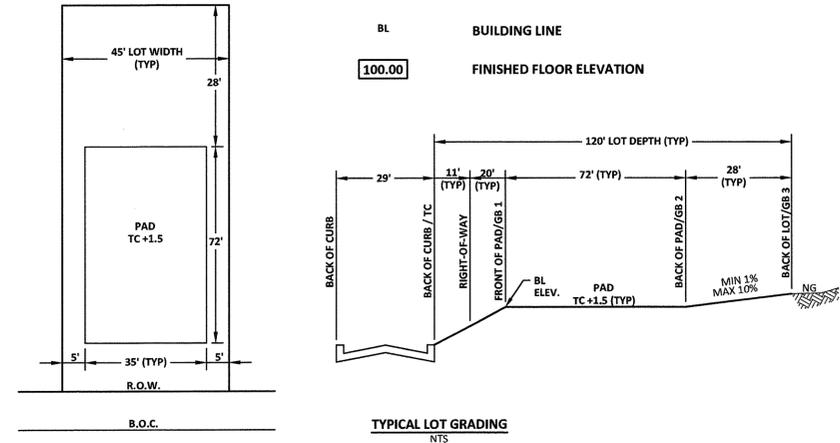
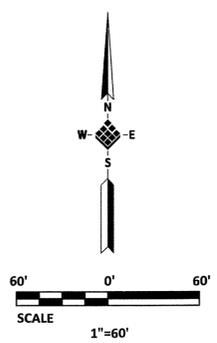


- (A) SWALE PC
N=10,072,623.32
E=3,766,508.18
EL=247.96
- (B) SWALE PT
N=10,072,612.53
E=3,766,519.60
EL=247.88
- (C) SWALE PC
N=10,072,527.23
E=3,766,565.51
EL=247.40
- (D) SWALE PT
N=10,072,516.31
E=3,766,574.68
EL=247.32
- (E) SWALE PC
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E=3,766,608.50
EL=246.44
- (F) SWALE PT
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E=3,766,627.98
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- (G) SWALE PC
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E=3,767,842.29
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- (H) SWALE PT
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EL=232.00
- (L) SWALE PI
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E=3,767,604.22
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- (M) SWALE PC
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- (N) SWALE PT
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- (O) SWALE PC
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EL=237.22
- (P) SWALE PT
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E=3,767,273.96
EL=237.38
- (Q) SWALE PC
N=10,072,940.60
E=3,767,265.52
EL=237.64
- (R) SWALE PT
N=10,072,951.22
E=3,767,261.26
EL=237.70
- (S) SWALE PI
N=10,073,141.75
E=3,767,262.30
EL=234.11
- (T) SWALE PC
N=10,073,154.21
E=3,767,311.20
EL=233.86
- (U) BEGIN SWALE
N=10,073,027.92
E=3,766,846.49
EL=243.50
- (V) SWALE PI
N=10,073,036.58
E=3,767,038.50
EL=240.20



LEGEND

- ✕ 47.40 PROPOSED ELEVATION
- ✕ 45.73 PROPOSED TOP OF CURB ELEVATION
- ▭ PROPOSED PAVEMENT LOW (STORM INLET)
- GRADE DIRECTION
- EXIST CONTOUR
- GB # GRADE BREAK #
- LL LOT LINE
- TP TREE PRESERVE
- NG NATURAL GROUND
- BL BUILDING LINE
- 100.00 FINISHED FLOOR ELEVATION



APPROVED: A.D.W. DATE: SEPTEMBER 2021
 DESIGNED BY: E.B. DRAWN BY: K.K. JOB NO: 0653-033-00

BENCHMARK:
 NGS Mon: A 1281
 Stainless Steel rod w/o sleeve stamped: A 1281 1978 - in Magnolia.
 Proceed 0.1 mile southwest of Fifth Street from crossing of Magnolia
 Canrose Road and the Missouri Pacific Railroad in Magnolia, thence 0.15
 mile southeast along commerce street, thence 0.75 mile south along
 Nichols Saw Mill Rd. Set at the second pole south of a line crossing the
 road, 46.5 feet west of the centerline of Nichols Saw Mill Road, 2 feet
 north of the power pole, and 1.0 foot east of the westerly right of way
 fence.

NAVDS8 Elevation = 231.8

TO ARRANGE FOR LINES TO BE TURNED OFF OR MOVED, CALL
 CENTERPOINT ENERGY AT 713-207-2222.

NOTICE: For your safety, you are required by Texas Law to call 811 at
 least 48 hours before you dig so that underground lines can be marked.
 This Verification does not fulfill your obligation to call 811.

VERIFICATION OF PRIVATE UTILITY LINES

Date: _____
 CenterPoint Energy/Natural Gas Facilities Verification ONLY.
 (This Signature verifies that you have shown CIP Natural Gas lines correctly
 not to be used for conflict verification.) (Gas service lines are not shown.)
 Signature valid for six months.

Date: _____
 Energy/Electric Facilities (Approved only for crossing underground ductlines, unless otherwise noted.)
 Valid at time of review only.

Date: _____
 Approved for Consolidated Communications underground conduit facilities only.
 Signature valid for one year.

MYRTLE GARDENS

LOT GRADING

FILE NO: _____

DRAWING SCALE: _____

HORZ: 1" = 60'

VERT: N/A

SHEET No: **40** OF 40

IDS Drawing No. _____

\\GIS\Projects\0601065303301_Myrtle Gardens_Plan\DWG\CAD\DWG\CAD-LOTGRADING.dwg, Layout1 (2) Plotted: Mar 09, 2022 at 10:27am by rsheld (Last Saved by rsheld)



June 30, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: *Myrtle Gardens Final Plat – Letter of No Objection
City of Magnolia
AEI Job No. 221272.80-001***

Dear Mr. Doering:

We received the revised final plat for the proposed Myrtle Gardens on June 29, 2022. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.
2. Provide an electronic copy of the final recorded plat to the City Engineer when it becomes available.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Robel E. Giackero'.

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Ms. Cristin Emshoff, MUP, ENV SP – AEI Engineering, a Baxter & Woodman Company
Mr. Eleuterio Duran – IDS Engineering Group

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 9**

Background/Information:

An application for a site plan was received on June, 2022.

Comments:

Review letter from City Engineer was sent to applicant June 14, 2022. As of July 18, application is pending replies to engineer comments.

Action Requested:

Approve site plan for Mustang Ridge Section 3.

Recommendation:

Approve site plan for Mustang Ridge Section 3 upon receipt of Letter of No Objection from City Engineer.

Attachments:

Site Plan

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, MARK EUBANKS, VICE PRESIDENT OF FINANCE AND RYAN HAWKINS, SENIOR LAND DEVELOPMENT MANAGER, RESPECTIVELY OF KB HOME LONE STAR INC., A TEXAS CORPORATION, OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MUSTANG RIDGE SECTION 3, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID KB HOME LONE STAR INC., A TEXAS CORPORATION, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MUSTANG RIDGE SECTION 3, LOCATED IN THE WILLIAM T. DUNLAVY SURVEY, ABSTRACT 168, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID KB HOME LONE STAR INC., A TEXAS CORPORATION; AND DEDICATE TO THE PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF MUSTANG RIDGE SECTION 3 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE KB HOME LONE STAR INC., A TEXAS CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY MARK EUBANKS, ITS VICE PRESIDENT OF FINANCE, THEREUNTO AUTHORIZED, BY ITS SENIOR LAND DEVELOPMENT MANAGER, RYAN HAWKINS, THIS DAY OF _____, 2022.

KB HOME LONE STAR INC.
A TEXAS CORPORATION

BY: _____
MARK EUBANKS, VICE PRESIDENT OF FINANCE

ATTEST: _____
RYAN HAWKINS, SENIOR LAND DEVELOPMENT MANAGER

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARK EUBANKS, VICE PRESIDENT OF FINANCE OF KB HOME LONE STAR INC., A TEXAS CORPORATION, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN HAWKINS, SENIOR LAND DEVELOPMENT MANAGER OF KB HOME LONE STAR INC., A TEXAS CORPORATION, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KEITH W. MONROE, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN FIVE-EIGHTHS OF AN INCH (5/8") AND A LENGTH OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KEITH W. MONROE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4797

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MUSTANG RIDGE SECTION 3 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

SCOTT SHELburne, CHAIRMAN

KANDICE GARRETT, CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MUSTANG RIDGE SECTION 3 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

KANDICE GARRETT, CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, MARK TURNBULL, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2022, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2022, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

MARK TURNBULL, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

OWNER: KB HOME LONE STAR INC.
A TEXAS CORPORATION
11314 RICHMOND AVENUE
HOUSTON, TEXAS 77042

DEVELOPER: KB HOME LONE STAR INC.
A TEXAS CORPORATION
11314 RICHMOND AVENUE
HOUSTON, TEXAS 77042

DIR: _____
MYLAR CHECK: COORD. _____
Date\Time : Tue, 10 May 2022 2:53pm
Path\Name : C:\Users\lzorras\AppData\Local\Temp\AcPublish_6936\Mustang Ridge_3.dwg

LEGEND

- B.L. INDICATES BUILDING LINE
- STM.S.E. INDICATES STORM SEWER EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- U.E. INDICATES UTILITY EASEMENT
- EXIST. INDICATES EXISTING
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- R.O.W. INDICATES RIGHT-OF-WAY
- DOC. NO. INDICATES DOCUMENT NUMBER
- F.N. INDICATES FILE NUMBER
- CAB. INDICATES CABINET
- SHT. INDICATES SHEET
- VOL. INDICATES VOLUME
- PG. INDICATES PAGE
- FND. INDICATES FOUND
- I.R. INDICATES IRON ROD
- INDICATES STREET NAME CHANGE

CALLED 5.00 ACRES
CYNTHIA A. DUKE-HOBBS
DOC. NO. 9516850
M.C.O.P.R.R.P.

CALLED 5.100 ACRES
CYNTHIA A. DUKE-HOBBS
DOC. NO. 2015085138
M.C.O.P.R.

CALLED 4.00 ACRES
JOSH & ASHLEY STEPP
DOC. NO. 2012102991
M.C.O.P.R.

CALLED 16.032 ACRES
RAYMON D. & GWEN SMITH
DOC. NO. 9818328
M.C.O.P.R.R.P.

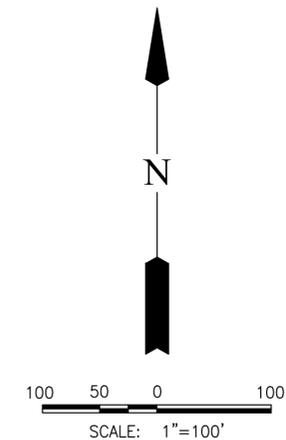
CALLED 78.760 ACRES
MAGNOLIA INDEPENDENT
SCHOOL DISTRICT
F.N. 2002131656
M.C.O.P.R.

CALLED 16.032 ACRES
JON E MADSEN BYPASS TRUST
DOC. NO. 2015096802
M.C.O.P.R.

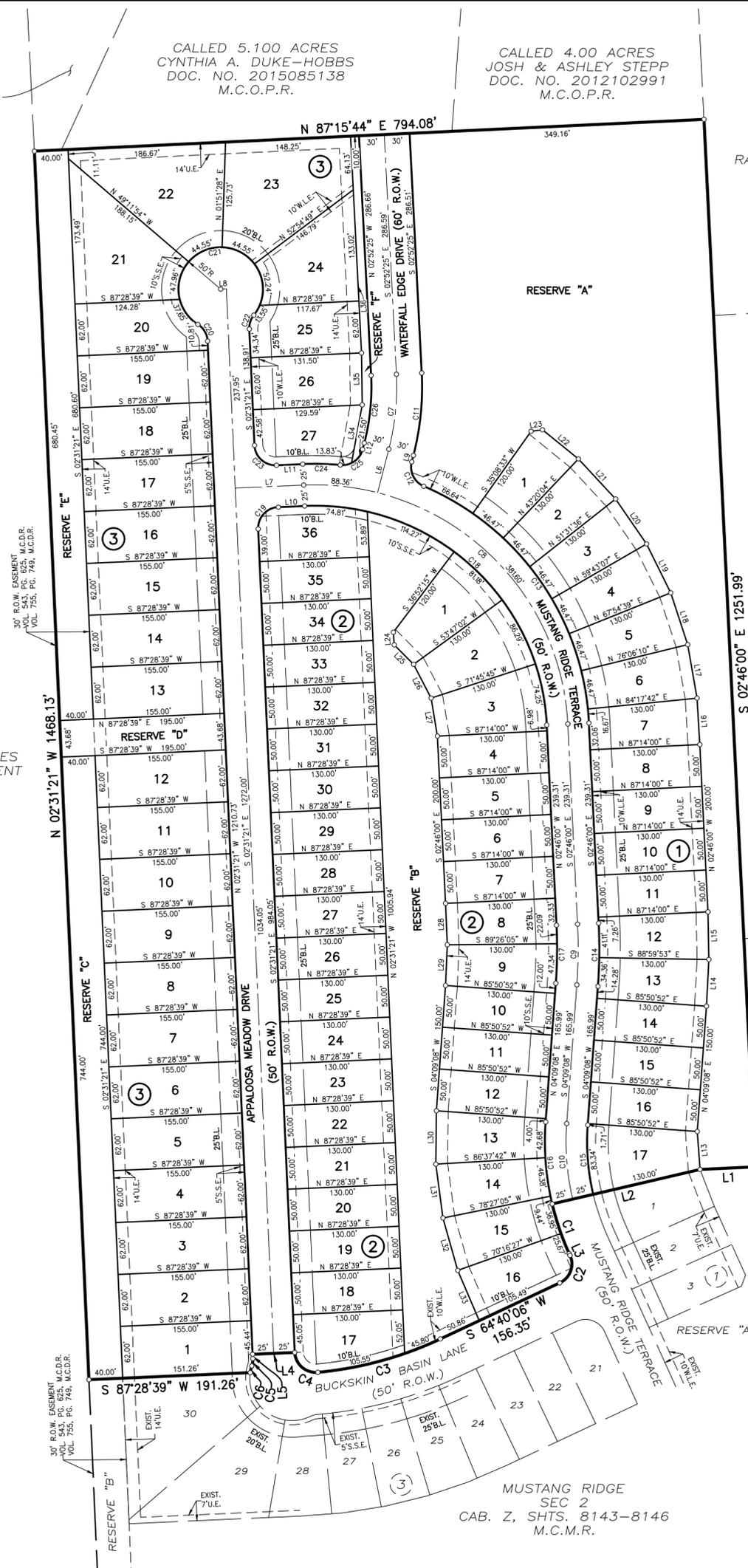
CALLED 16.068 ACRES
ALICE G. READ
DOC. NO. 2008004890
M.C.O.P.R.R.P.

OWNER: KB HOME LONE STAR INC.
A TEXAS CORPORATION
11314 RICHMOND AVENUE
HOUSTON, TEXAS 77042

DEVELOPER: KB HOME LONE STAR INC.
A TEXAS CORPORATION
11314 RICHMOND AVENUE
HOUSTON, TEXAS 77042



RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	4.436	193,220	RESTRICTED TO LANDSCAPE/OPEN SPACE/ DETENTION/LIFT STATION
B	1.426	62,138	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE
C	0.683	29,760	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE
D	0.196	8,518	RESTRICTED TO LANDSCAPE/OPEN SPACE/EMERGENCY ACCESS
E	0.625	27,221	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE
F	0.091	3,956	RESTRICTED TO LANDSCAPE/OPEN SPACE
TOTAL	7.457	324,813	



Date: Tue, 10 May 2022 - 2:54pm
Path: Name : C:\Users\zzarese\AppData\Local\Temp\AcPublish_6936\Mustang Ridge_3.dwg
MYLAR CHECK: COORD.
DIR:

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 87°14'00" W	65.15'
L2	S 76°47'17" W	180.00'
L3	S 24°15'04" E	2.43'
L4	S 87°28'39" W	50.00'
L5	S 02°31'21" E	5.21'
L6	S 14°21'11" W	53.59'
L7	N 87°28'39" E	81.11'
L8	N 87°28'39" E	6.75'
L9	S 14°21'11" W	7.94'
L10	S 87°28'39" W	31.11'
L11	N 87°28'39" E	31.11'
L12	N 14°21'11" E	7.94'
L13	N 04°12'14" W	45.47'
L14	N 02°58'49" E	55.78'
L15	N 01°07'21" W	56.90'
L16	N 03°23'08" W	55.38'
L17	N 09°48'04" W	65.00'
L18	N 17°59'35" W	65.00'
L19	N 26°11'07" W	65.00'
L20	N 34°22'39" W	65.00'
L21	N 42°34'10" W	65.00'
L22	N 50°45'42" W	55.00'
L23	S 82°11'26" W	13.63'
L24	S 03°54'03" E	15.15'
L25	S 44°40'21" E	32.65'
L26	S 27°13'36" E	45.31'
L27	S 09°19'49" E	45.96'
L28	S 02°23'09" E	49.42'
L29	S 02°22'31" W	48.62'
L30	S 00°37'34" W	63.69'
L31	S 07°27'37" E	64.88'
L32	S 15°38'14" E	64.88'
L33	S 23°00'25" E	65.33'
L34	N 10°18'53" E	70.47'
L35	N 00°45'19" W	62.03'
L36	N 02°52'25" W	259.15'

CURVE TABLE						
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD	
C1	325.00'	11°02'21"	62.62'	S 18°43'54" E	62.52'	
C2	25.00'	88°55'09"	38.80'	S 20°12'31" W	35.02'	
C3	435.00'	19°56'06"	151.35'	S 74°38'09" W	150.59'	
C4	25.00'	92°52'27"	40.52'	N 48°57'35" W	36.23'	
C5	25.00'	20°14'43"	8.83'	S 07°36'00" W	8.79'	
C6	50.00'	9°24'58"	8.22'	S 13°00'52" W	8.21'	
C7	300.00'	17°13'36"	90.20'	S 05°44'23" W	89.86'	
C8	300.00'	89°45'22"	469.96'	S 47°38'40" E	423.36'	
C9	600.00'	6°55'08"	72.45'	S 00°41'34" W	72.41'	
C10	300.00'	17°21'51"	90.92'	S 04°31'48" E	90.57'	
C11	330.00'	17°13'36"	99.22'	S 05°44'23" W	98.85'	
C12	25.00'	80°57'32"	35.32'	S 26°07'35" E	32.46'	
C13	325.00'	63°50'21"	362.12'	S 34°41'10" E	343.67'	
C14	625.00'	6°55'08"	75.47'	S 00°41'34" W	75.43'	
C15	275.00'	17°21'51"	83.34'	S 04°31'48" E	83.02'	
C16	325.00'	17°21'51"	98.50'	N 04°31'48" W	98.12'	
C17	575.00'	6°55'08"	69.43'	N 00°41'34" E	69.39'	
C18	275.00'	89°45'22"	430.80'	N 47°38'40" W	388.08'	
C19	25.00'	90°00'00"	39.27'	S 42°28'39" W	35.36'	
C20	25.00'	54°47'01"	23.90'	N 29°54'52" W	23.00'	
C21	50.00'	275°36'44"	240.52'	N 80°30'00" E	67.16'	
C22	25.00'	40°49'44"	17.81'	S 17°53'31" W	17.44'	
C23	25.00'	90°00'00"	39.27'	S 47°31'21" E	35.36'	
C24	325.00'	7°50'04"	44.44'	S 88°36'19" E	44.41'	
C25	25.00'	80°57'32"	35.32'	N 54°49'57" E	32.46'	
C26	270.00'	17°13'36"	81.18'	N 05°44'23" E	80.87'	

BLOCK 1	
LOT NO.	SQ.FT.
1	7,149
2	7,199
3	7,199
4	7,199
5	7,199
6	7,199
7	6,756
8	6,500
9	6,500
10	6,500
11	6,500
12	6,824
13	6,772
14	6,500
15	6,500
16	6,500
17	8,551

BLOCK 2	
LOT NO.	SQ.FT.
1	8,054
2	8,620
3	8,332
4	6,500
5	6,500
6	6,500
7	6,500
8	6,756
9	7,037
10	6,500
11	6,500
12	6,500
13	7,130
14	7,186
15	7,186
16	7,511
17	8,262
18	6,500

BLOCK 2	
LOT NO.	SQ.FT.
19	6,500
20	6,500
21	6,500
22	6,500
23	6,500
24	6,500
25	6,500
26	6,500
27	6,500
28	6,500
29	6,500
30	6,500
31	6,500
32	6,500
33	6,500
34	6,500
35	6,500
36	7,939

BLOCK 3	
LOT NO.	SQ.FT.
1	9,584
2	9,610
3	9,610
4	9,610
5	9,610
6	9,610
7	9,610
8	9,610
9	9,610
10	9,610
11	9,610
12	9,610
13	9,610
14	9,610

BLOCK 3	
LOT NO.	SQ.FT.
15	9,610
16	9,610
17	9,610
18	9,610
19	9,610
20	8,824
21	14,456
22	16,197
23	17,087
24	10,775
25	7,995
26	8,094
27	8,185

NOTES:

- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE (4203), NAD83 GEOID 12B.
- THE COORDINATES SHOWN HEREON ARE TEXAS COORDINATE SYSTEM, CENTRAL ZONE (4203) NAD83 GEOID 12B AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE FACTOR 0.9999668177.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 2021-_____, DATED MAY ____, 2021. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "LJA SURVEY" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0475G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "LJA DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- THERE ARE NO PIPELINES OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT
- THIS TRACT LIES WHOLLY WITHIN MONTGOMERY COUNTY MUD 108.

OWNER: KB HOME LONE STAR INC.
A TEXAS CORPORATION
11314 RICHMOND AVENUE
HOUSTON, TEXAS 77042

DEVELOPER: KB HOME LONE STAR INC.
A TEXAS CORPORATION
11314 RICHMOND AVENUE
HOUSTON, TEXAS 77042

MUSTANG RIDGE
SECTION 3

SHEET 4 OF 4



June 14, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Mustang Ridge Section 3 – WSDP – Plan Review Letter*
City of Magnolia
AEI Job No. 221226.80-001

Dear Mr. Doering:

We received the construction plans for the proposed Water, Sanitary Sewer, Drainage Facilities, and Paving Appurtenances to serve Mustang Ridge Section 3 on June 4, 2022. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and are providing the following comments for your consideration:

1. Plans shall be signed and sealed by a Texas Registered Professional Engineer.
2. There are two interim seals shown on the cover sheet but all inner sheets have interim seals by one engineer. Verify.
3. Provide approval from Montgomery County Municipal Utility District No. 108.
4. Show crossing protection on plan view throughout plans per City of Magnolia Code of Ordinance Appendix B, Section 02660
5. Sheets 13 – 5’ S.S.E. lead points to pavement edge. Revise.
6. Sheet 15 – It appears the 10’ W.L.E. should be labelled as S.S.E. Revise.
7. Sheets 13 – 5’ S.S.E. at cul-de-sac appears to be a 10’ easement. Revise.
8. Sheets 10, 12, 13 – Revise callouts from flushing valve to fire hydrant.
9. As a reminder, all construction activities with a disturbance of 5 acres or more must develop and implement a Storm Water Pollution Prevention Plan (SWPPP) in accordance with Texas Pollution Discharge Elimination System (TPDES) permit per the City’s Code of Ordinance Spec 01560.
10. Obtain all applicable utility company and governmental agency signatures.
11. Construction shall not commence until final agency approvals are secured.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.



Sincerely,

Robel E. Giackero

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Justin L. Graham, P.E – LJA Engineering, Inc.

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 10**

Background/Information:

An application for a final plat was received on May 9, 2022.

Comments:

Review letter from City Engineer was sent to applicant May 31, 2022. As of July 18, application is pending replies to engineer comments.

Action Requested:

Approve final plat for Mustang Ridge Section 3.

Recommendation:

Approve final plat for Mustang Ridge Section 3 upon receipt of Letter of No Objection from City Engineer.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Property Owner (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Architect (if different)

Engineer/Land Surveyor (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____

PROPERTY PROFILE

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

Proposed Use of the Property

Total Area of Site _____

Project Name: _____ Subdivision: _____ Reviewer: _____

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

2. Description of proposed property change, including lot numbers, name, etc.

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

Project Name: _____ Subdivision: _____ Reviewer: _____

- The outer boundary lines of the parcel proposed for subdivision, with accurate distances, angles, and true bearings if available, and the exact location width of all recorded streets and ways intersecting the boundaries of the parcel being platted
- Distances and angles, or true bearings if available, to the established street lines or official monuments, which shall be accurately described on the plat
- Proposed names of streets
- Linear footage of proposed new right-of-way
- All block indications, if any; lot numbers; all individual areas designated by number or letter, and lots in new subdivision, numbered consecutively
- The accurate location, material, type and description of all permanent control monuments. Where no established bench mark exists, show permanent bench marks that have been established on the property based on mean sea level datum and shown on the plat
- Delineation and area of special use areas, including the location and size of proposed parks, playgrounds, protected resources and open spaces, sites for places of public assembly (including schools) or other special uses of land to be considered for dedication to public use, and of all property that may be granted by deed and covenants for the common use of the property owners in the subdivision, along with statements for responsibility for maintenance. Actual use descriptions must be provided on a separate attached description
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Proposed location, size, and linear footage of proposed potable water lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of natural gas lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of sanitary sewer lines and sewerage facilities, except individual treatment systems provided on utility and street construction plans
- Proposed location of fire hydrants, provided on utility and street construction plans
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)
- All required notes, certifications, and signatures

I, _____ (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.



Signature of Applicant

Date

Project Name: _____ Subdivision: _____ Reviewer: _____

DESCRIPTION OF
25.522 ACRES
MUSTANG RIDGE SEC 3

Being 25.522 acres of land located in the William T. Dunlavy Survey, Abstract Number 168, Montgomery County, Texas, City of Magnolia, said 25.522 acre tract being a portion of that certain called 71.258 acre tract (described as Exhibit "A") conveyed to KB Home Lone Star, Inc. by an instrument of record under Document Number 2019118008, of the Official Public Records of Montgomery County, Texas (M.C.O.P.R.), said 25.522 acre tract being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, Central Zone, NAD 83):

COMMENCING for reference at a 5/8-inch iron rod marking an angle point on the easterly line of said 71.258 acres, same being the northwest corner of Reserve "D" of Mustang Ridge Section 1, a subdivision of record in Cabinet Z, Sheets 6827-6830, of the Map Records of said Montgomery County (M.C.M.R.), same being the southeast corner of Reserve "A" of Mustang Ridge Section 2, a subdivision of record in Cabinet Z, Sheets 8143-8146, M.C.M.R., same being the southwest corner of that certain called 16.068 acre tract conveyed to Alice G. Read by instrument of record under File Number 2008004890, M.C.O.P.R.;

Thence, North $02^{\circ} 46' 00''$ West, along the east line of said 71.258 acre tract, the east line of said Reserve "A", and the west line of said 16.068 acre tract, 469.90 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for the northeast corner of said Reserve "A", and the southeast corner and POINT OF BEGINNING of the herein described tract;

Thence, departing said common line and along the north line of said Mustang Ridge Section 2 the following thirteen (13) courses:

1. South $87^{\circ} 14' 00''$ West, 65.15 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner

2. South $76^{\circ} 47' 17''$ West, 180.00 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a curve;
3. 62.62 feet along the arc of a non-tangent curve to the left, having a radius of 325.00 feet, a central angle of $11^{\circ} 02' 20''$, and a chord which bears South $18^{\circ} 43' 53''$ East, 62.52 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;
4. South $24^{\circ} 15' 04''$ East, 2.43 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a curve;
5. 38.80 feet along the arc of a tangent curve to the right, having a radius of 25.00 feet, a central angle of $88^{\circ} 55' 09''$, and a chord which bears South $20^{\circ} 12' 31''$ West, 35.02 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;
6. South $64^{\circ} 40' 06''$ West, 156.35 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a curve;
7. 151.35 feet along the arc of a tangent curve to the right, having a radius of 435.00 feet, a central angle of $19^{\circ} 56' 06''$, and a chord which bears South $74^{\circ} 38' 09''$ West, 150.59 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a compound curve;
8. 40.52 feet along the arc of a tangent curve to the right, having a radius of 25.00 feet, a central angle of $92^{\circ} 52' 27''$, and a chord which bears North $48^{\circ} 57' 35''$ West, 36.23 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;
9. South $87^{\circ} 28' 39''$ West, 50.00 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;
10. South $02^{\circ} 31' 21''$ East, 5.21 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a curve;

11. 8.83 feet along the arc of a tangent curve to the right, having a radius of 25.00 feet, a central angle of $20^{\circ} 14' 43''$, and a chord which bears South $07^{\circ} 36' 00''$ West, 8.79 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner, the beginning of a reverse curve;
12. 8.22 feet along the arc of a tangent curve to the left, having a radius of 50.00 feet, a central angle of $09^{\circ} 24' 58''$, and a chord which bears South $13^{\circ} 00' 52''$ West, 8.21 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for corner;
13. South $87^{\circ} 28' 39''$ West, 191.26 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" set for the northwest corner of said Mustang Ridge Section 2, said point being on the westerly line of aforementioned 71.258 acres, same being on the easterly line of that certain called 78.760 acre tract conveyed to Magnolia Independent School District by instrument of record under File Number 2002-131656, of the Official Public Records of Real Property of said Montgomery County (M.C.O.P.R.R.P.);

Thence, North $02^{\circ} 31' 21''$ West, along the common line of said 71.258 acres and said 78.760 acres, 1,468.13 feet to a 5/8-inch iron rod found marking the northwest corner of said 71.258 acre tract, common to the southwest corner of that certain called 5.0 acre tract conveyed to Cynthia A. Duke by an instrument of record under File Number 9516850, M.C.O.P.R.R.P.;

Thence, North $87^{\circ} 15' 44''$ East, departing the east line of said 78.760 acre tract and along the north line of said 71.258 acre tract, at 32.08 feet pass the common south corner of said 5.0 acre tract and that certain called 5.1 acre tract conveyed to Cynthia A. Duke by an instrument of record under File Number 2015085138, M.C.O.P.R.R.P., at 184.13 feet pass a 1/2-inch iron rod found for reference, at 495.05 feet pass a 5/8-inch iron rod found marking the common south corner of said 5.1 acre tract and that certain called 4.000 acre tract conveyed to Calvin C. Mann, Jr. by an instrument of record under Document Number 2012102991, M.C.O.P.R., continuing in all for a total distance of 794.08 feet to a 14-inch wood post found for the northeast corner of said 71.258 acre tract and the southeast corner of said 4.000 acre tract, said point lying on the west line of that certain called 16.103 acre tract

25.522 Acres

April 29, 2022
Job No. LJAS001-1750-5102

conveyed to Raymond D. Smith, et ux by an instrument of record under File Number 9818327, M.C.O.P.R.R.P.;

Thence, South 02° 46' 00" East, along the east line of said 71.258 acre tract common to the west line of said 16.103 acre tract, at 234.53 feet pass the common west corner of said 16.103 acre tract and that certain called 16.032 acre tract conveyed to Margot Teague Madsen by an instrument of record under Document Number 2015096802, M.C.O.P.R., at 979.23 feet pass a 3/4-inch iron pipe found marking the common west corner of said 16.032 acre tract and the aforementioned 16.068 acre tract, continuing in all for a total distance of 1,251.99 feet to the POINT OF BEGINNING and containing 25.522 acres (1,111,729 square feet) of land.



LJA Surveying, Inc.



May 31, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: Mustang Ridge Section 3 Final Plat – 2nd Plat Review Letter
City of Magnolia
AEI Job No. 220991.80-001**

Dear Mr. Doering:

We received the revised final plat for the proposed Mustang Ridge Section 3 development on May 17, 2022. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and are providing the following comments for your consideration:

1. Final plat shall be signed and sealed by a Professional Surveyor licensed in the State of Texas.
2. Provide Title Report from a title guarantee company not more than 30 days old. This comment was previously provided on the May 16, 2022 review letter. A title report has not been provided yet.
3. Provide documentation showing Texas Commission on Environmental Quality approval of the Mustang Ridge Section 3 plans, per City’s Code of Ordinance Appendix A, Chapter 5, Section 504.2. This comment was previously provided on the May 16, 2022 review letter. The response provided by LJA states “Waiting on approval from City of Magnolia”. However, the TCEQ review is independent of the City’s review. Provide TCEQ approval.
4. Final plat shall not be approved until the Mustang Ridge Section 3 Detention plan and Mustang Ridge Section 3 WSDP plans are approved by the City. Provide approval. This comment was previously provided on the May 16, 2022 review letter. The response provided states “Waiting on approval from City of Magnolia”. The detention plans were submitted for the City’s review on May 23, 2022. The WSDP approval has not been provided yet. Provide approval for both detention and WSDP plans.
5. Mustang Ridge Section 3 WSDP plans was not provided. As such, easements for utilities was not verified. Provide approved WSDP plans. This comment was previously provided on the May 16, 2022 review letter. Provide approved plans.
6. Provide approval for proposed street names from Montgomery County Emergency Communication District. This comment was previously provided on the May 16, 2022 review letter. Provide MCECD approval.
7. Obtain all applicable governmental agency signatures.



Please make all the revisions as requested and submit a revised set of plans to this office for final approval. Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Robel E. Giackero'.

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Ms. Christian Gable – City of Magnolia - Planning Coordinator
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Zachary Zarse – LJA Engineering, Inc.

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 11**

Background/Information:

An application for a site plan was received on May, 2022.

Comments:

Letter of No Objection was issued by City Engineer on June 13, 2022.

Action Requested:

Approve site plan for Magnolia Ridge Section 15.

Recommendation:

Approve site plan for Magnolia Ridge Section 15.

Attachments:

Site Plan



June 13, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: Magnolia Ridge Section 15 WSDP – Letter of No Objection
City of Magnolia
AEI Job No. 212570.80-001**

Dear Mr. Doering:

We received the Montgomery County MUD No. 108 approval letter on June 13, 2022. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. The Developer shall be responsible for all aspects of this project and will provide final certification that all improvements have been constructed in conformance with the approved plans and specifications.
2. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.
3. Obtain all applicable utility company and governmental agency signatures.
4. Construction shall not commence until final agency approvals are secured.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Robel E. Giackero'.

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia – Planning Coordinator
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Chance Vinklerek, P.E., CFM – LJA Engineering, Inc.

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 12**

Background/Information:

An application for a final plat was received on June 6, 2022.

Comments:

Letter of No Objection was issued by City Engineer on June 16, 2022.

Action Requested:

Approve final plat for Magnolia Ridge Section 15.

Recommendation:

Approve final plat for Magnolia Ridge Section 15.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

LJA Engineering, Inc.- Zach Zarse

Name

3600 W Sam Houston Parkway S Suite 600

Street Address

Houston, TX 77042

City, State Zip

713-580-4100

Phone

Fax

zzarse@lja.com

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

Houston LD, LLC, A Texas Limited Liability Company

Name

4058 North College, Suite 300, Box 9

Street Address

Fayetteville, Arizona 72703

City, State Zip

479-455-9090

Phone

Fax

zzarse@lja.com

E-mail

Engineer/Land Surveyor (if different)

LJA Surveying, Inc.- Kieth Monroe

Name

3600 W Sam Houston Parkway S, Suite 175

Street Address

Houston, TX 77042

City, State Zip

713-953-5272

Phone

Fax

kmonroe@ljasurvey.com

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

N/A

2. Description of proposed property change, including lot numbers, name, etc.

Magnolia Ridge Section 15, 112 Lots, 3 Blocks, 4 Reserves (0.966 acres)

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

Project Name: _____ Subdivision: _____ Reviewer: _____

- The outer boundary lines of the parcel proposed for subdivision, with accurate distances, angles, and true bearings if available, and the exact location width of all recorded streets and ways intersecting the boundaries of the parcel being platted
- Distances and angles, or true bearings if available, to the established street lines or official monuments, which shall be accurately described on the plat
- Proposed names of streets
- Linear footage of proposed new right-of-way
- All block indications, if any; lot numbers; all individual areas designated by number or letter, and lots in new subdivision, numbered consecutively
- The accurate location, material, type and description of all permanent control monuments. Where no established bench mark exists, show permanent bench marks that have been established on the property based on mean sea level datum and shown on the plat
- Delineation and area of special use areas, including the location and size of proposed parks, playgrounds, protected resources and open spaces, sites for places of public assembly (including schools) or other special uses of land to be considered for dedication to public use, and of all property that may be granted by deed and covenants for the common use of the property owners in the subdivision, along with statements for responsibility for maintenance. Actual use descriptions must be provided on a separate attached description
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Proposed location, size, and linear footage of proposed potable water lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of natural gas lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of sanitary sewer lines and sewerage facilities, except individual treatment systems provided on utility and street construction plans
- Proposed location of fire hydrants, provided on utility and street construction plans
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)
- All required notes, certifications, and signatures

I, Zach Zarse (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.

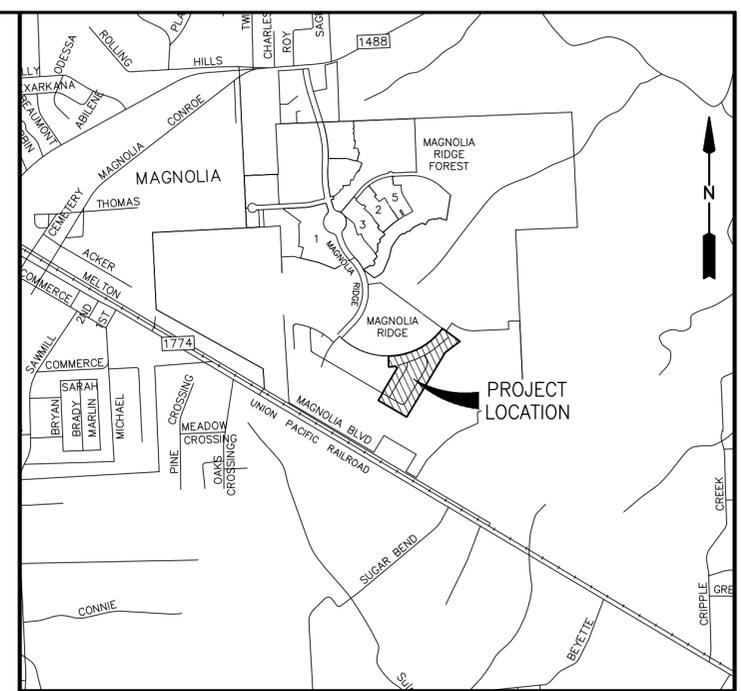
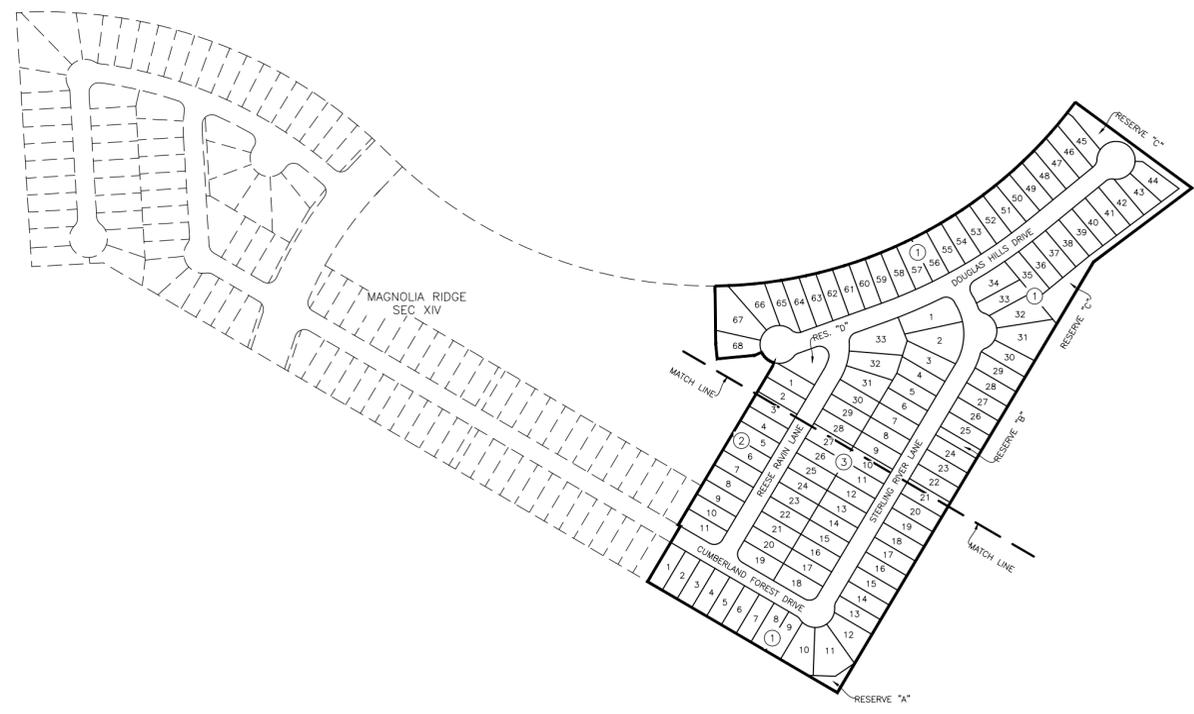
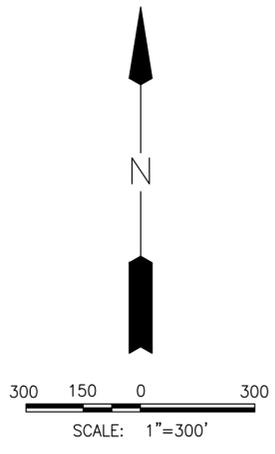


Signature of Applicant

06/06/2022

Date

Project Name: _____ Subdivision: _____ Reviewer: _____



VICINITY MAP
SCALE: 1" = 2000'
KEY MAP NO. 255E

FINAL PLAT OF MAGNOLIA RIDGE SECTION XV

A SUBDIVISION OF 20.232 ACRES OF LAND SITUATED IN THE
EDWARD TAYLOR SURVEY, ABSTRACT 554, CITY OF MAGNOLIA,
MONTGOMERY COUNTY, TEXAS.
BEING A PARTIAL REPLAT OF UNRESTRICTED RESERVE "A" OF
MAGNOLIA RIDGE SECTION XIII, A SUBDIVISION RECORDED IN
CABINET "Z", SHEETS 1427-1429, MAP RECORDS OF
MONTGOMERY COUNTY, TEXAS.

OWNER: HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY
4058 NORTH COLLEGE, SUITE 300, BOX 9
FAYETTEVILLE, AR 72703
PH. (479) 455-9090

DEVELOPER: HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY
4058 NORTH COLLEGE, SUITE 300, BOX 9
FAYETTEVILLE, AR 72703
PH. (479) 455-9090

DATE: JUNE 9, 2022

112 LOTS
3 BLOCKS
4 RESERVES
0.966 ACRES IN RESERVES

SURVEYOR:
LJA Surveying, Inc.
3600 W Sam Houston Parkway S Suite 175
Houston, Texas 77042
Phone 713.953.5200
Fax 713.953.5026
T.B.P.E.L.S. Firm No. 10194382

ENGINEER:
LJA Engineering, Inc.
3600 W Sam Houston Parkway S Suite 600
Houston, Texas 77042
Phone 713.953.5200
Fax 713.953.5026
FRN - F-1386

Date: 09 Jun 2022 1:50pm
Path: I:\Projects\PLATTING\2537\PLATS\MagnoliaRidge_15.dwg
CAD: NM/ZZ MYLAR CHECK: SUR: _____

STATE OF TEXAS
COUNTY OF MONTGOMERY

WE, STEPHEN LIEUX, MANAGER AND WENDY MARTINEZ, PROJECT MANAGER RESPECTIVELY OF HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY, OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MAGNOLIA RIDGE SECTION XV DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MAGNOLIA RIDGE SECTION XV, LOCATED IN THE EDWARD TAYLOR SURVEY, ABSTRACT 554, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

IN TESTIMONY WHEREOF, THE HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY STEPHEN LIEUX, ITS MANAGER AND ATTESTED BY WENDY MARTINEZ, ITS PROJECT MANAGER, THEREUNTO AUTHORIZED, THIS DAY OF _____, 2022.

HOUSTON LD, LLC,
A TEXAS LIMITED LIABILITY COMPANY

BY: _____
STEPHEN LIEUX, MANAGER

BY: _____
WENDY MARTINEZ, PROJECT MANAGER

STATE OF ARKANSAS
COUNTY OF WASHINGTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STEPHEN LIEUX, MANAGER OF HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF ARKANSAS

STATE OF ARKANSAS
COUNTY OF WASHINGTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WENDY MARTINEZ, PROJECT MANAGER OF HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF ARKANSAS

THIS IS TO CERTIFY THAT I, KEITH W. MONROE, A LICENSED SURVEYOR OF THE STATE OF TEXAS, HAVE PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND; AND THAT ALL BLOCK, LOT CORNERS, ANGLE POINTS AND POINTS OF CURVE ARE PROPERLY MARKED WITH ONE-HALF INCH (1/2") IRON RODS WITH PLASTIC CAP MARKED "LJA SURVEY", THREE FEET (3') LONG, SET WITH THE HEAD FLUSH WITH THE GROUND OR SIDEWALKS AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME.

KEITH W. MONROE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4797

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE SECTION XV AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

SCOTT SHELburne, CHAIRMAN

KANDICE GARRETT, CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE SECTION XV AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

KANDICE GARRETT, CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, MARK TURNBULL, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2022, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2022, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

MARK TURNBULL, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

NOTES:

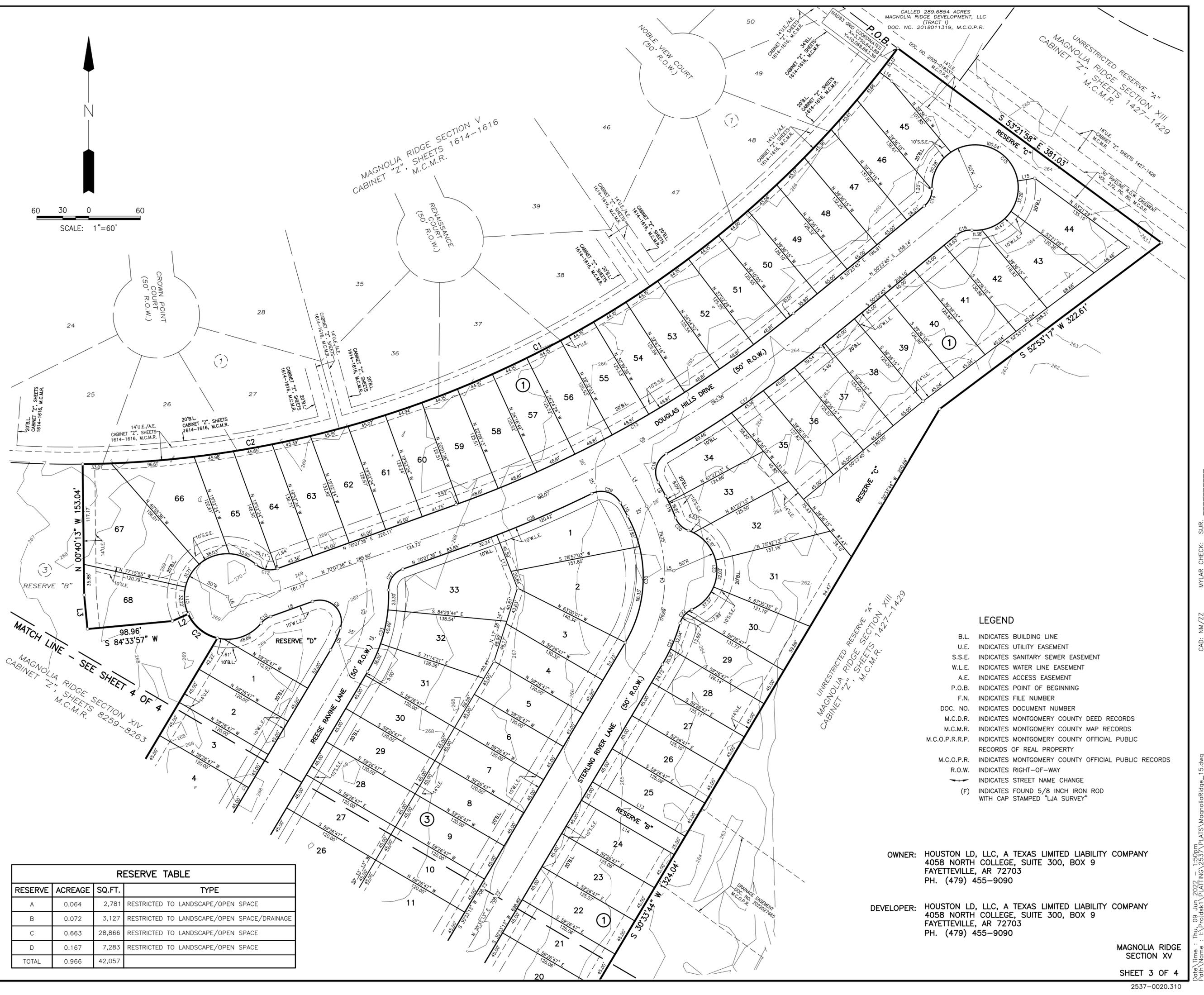
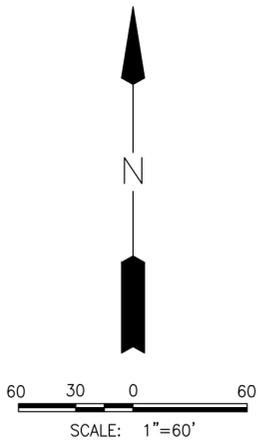
- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 TEXAS COORDINATE SYSTEM, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE 0.99997177219.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 2021-_____, DATED _____, 2021. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "LJA SURVEY" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0480G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (SHADED), ZONE "X" (UNSHADED), AND ZONE "AE". LJA DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS.
- PIPELINES OR PIPELINE EASEMENTS WITHIN THE LIMITS OF THE SUBDIVISION ARE AS SHOWN.

OWNER: HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY
4058 NORTH COLLEGE, SUITE 300, BOX 9
FAYETTEVILLE, AR 72703
PH. (479) 455-9090

DEVELOPER: HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY
4058 NORTH COLLEGE, SUITE 300, BOX 9
FAYETTEVILLE, AR 72703
PH. (479) 455-9090

MAGNOLIA RIDGE
SECTION XV

SHEET 2 OF 4



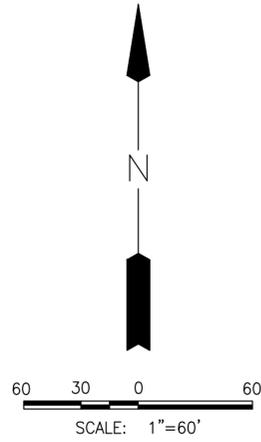
- LEGEND**
- B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
 - W.L.E. INDICATES WATER LINE EASEMENT
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 - R.O.W. INDICATES RIGHT-OF-WAY
 - INDICATES STREET NAME CHANGE
 - (F) INDICATES FOUND 5/8 INCH IRON ROD WITH CAP STAMPED "LJA SURVEY"

OWNER: HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY
 4058 NORTH COLLEGE, SUITE 300, BOX 9
 FAYETTEVILLE, AR 72703
 PH. (479) 455-9090

DEVELOPER: HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY
 4058 NORTH COLLEGE, SUITE 300, BOX 9
 FAYETTEVILLE, AR 72703
 PH. (479) 455-9090

RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	0.064	2,781	RESTRICTED TO LANDSCAPE/OPEN SPACE
B	0.072	3,127	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE
C	0.663	28,866	RESTRICTED TO LANDSCAPE/OPEN SPACE
D	0.167	7,283	RESTRICTED TO LANDSCAPE/OPEN SPACE
TOTAL	0.966	42,057	

CAD: NM/JZ MYLAR CHECK: SUR. Date: Time: Thu 09 Jun 2022 1:50pm Path: I:\proj\sk\PEATING\2537\PLATS\MagnoliaRidge_15.dwg



RESERVE TABLE				
RESERVE	ACREAGE	SQ.FT.	TYPE	
A	0.064	2,781	RESTRICTED TO LANDSCAPE/OPEN SPACE	
B	0.072	3,127	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE	
C	0.663	28,866	RESTRICTED TO LANDSCAPE/OPEN SPACE	
D	0.167	7,283	RESTRICTED TO LANDSCAPE/OPEN SPACE	
TOTAL	0.966	42,057		

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 59°26'47" W	6.89'
L2	S 65°48'59" W	20.00'
L3	N 05°26'03" W	40.00'
L4	N 28°20'32" W	67.41'
L5	N 87°36'15" E	10.50'
L6	S 19°52'24" E	14.00'
L7	N 39°36'15" W	4.00'
L8	S 70°07'36" W	51.73'
L9	S 28°20'32" E	18.31'
L10	S 28°20'32" E	18.31'
L11	S 88°03'06" E	72.54'
L12	N 55°36'37" E	62.68'
L13	S 59°26'47" E	125.09'
L14	N 59°26'47" W	125.08'
L15	S 81°03'25" W	20.00'
L16	N 53°23'09" W	17.51'
L17	S 21°13'35" E	66.43'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	1189.35'	53°05'42"	1102.15'	N 62°46'44" E	1063.14'
C2	50.00'	52°22'02"	45.70'	N 50°22'02" W	44.12'
C3	50.00'	90°00'00"	78.54'	N 75°33'13" E	70.71'
C4	175.00'	58°53'46"	179.89'	N 01°06'20" E	172.07'
C5	150.00'	46°13'53"	121.03'	N 07°26'17" E	117.78'
C6	1340.00'	19°43'51"	461.45'	N 60°15'41" E	459.18'
C7	25.00'	90°00'00"	39.27'	N 75°33'13" E	35.36'
C8	125.00'	12°51'23"	28.05'	N 24°07'32" E	27.99'
C9	25.00'	127°34'14"	55.66'	N 46°05'17" W	44.86'
C10	25.00'	31°25'26"	13.71'	S 54°24'53" W	13.54'
C11	50.00'	272°44'19"	238.01'	N 04°55'41" W	69.00'
C12	25.00'	61°18'53"	26.75'	S 79°12'58" E	25.50'
C13	1315.00'	19°43'51"	452.84'	N 60°15'41" E	450.61'
C14	25.00'	52°10'09"	22.76'	N 24°18'41" E	21.98'
C15	50.00'	276°06'53"	240.96'	S 43°42'57" E	66.84'
C16	25.00'	43°56'44"	19.17'	S 72°22'07" W	18.71'
C17	1365.00'	9°12'01"	219.19'	S 54°59'46" W	218.95'
C18	25.00'	87°56'19"	38.37'	S 15°37'37" W	34.71'
C19	200.00'	7°59'34"	27.90'	S 24°20'45" E	27.88'
C20	25.00'	49°40'35"	21.68'	S 45°11'16" E	21.00'
C21	50.00'	135°15'37"	118.04'	S 02°23'45" E	92.47'
C22	25.00'	49°40'35"	21.68'	S 40°23'46" W	21.00'
C23	200.00'	14°59'45"	52.34'	S 23°03'21" W	52.20'
C24	25.00'	34°18'42"	14.97'	S 13°23'52" W	14.75'
C25	50.00'	150°02'29"	130.94'	S 71°15'46" W	96.60'
C26	25.00'	25°43'48"	11.23'	N 46°34'53" W	11.13'
C27	25.00'	72°14'59"	31.52'	N 34°00'07" E	29.48'
C28	1365.00'	6°24'27"	152.65'	N 66°55'22" E	152.57'
C29	25.00'	87°56'19"	38.37'	S 72°18'42" E	34.71'
C30	150.00'	58°53'46"	154.19'	S 01°06'20" W	147.49'
C31	25.00'	90°00'00"	39.27'	S 75°33'13" W	35.36'
C32	25.00'	90°00'00"	39.27'	N 14°26'47" W	35.36'
C33	175.00'	32°40'36"	99.81'	N 14°12'55" E	98.46'

RESERVE "B"
MAGNOLIA RIDGE SECTION XIV
CABINET "Z", SHEETS 8259-8263
M.C.M.R.



UNRESTRICTED RESERVE "A"
MAGNOLIA RIDGE SECTION XIII
CABINET "Z", SHEETS 1427-1429
M.C.M.R.

UNRESTRICTED RESERVE "A"
MAGNOLIA RIDGE SECTION XIII
CABINET "Z", SHEETS 1427-1429
M.C.M.R.

- LEGEND**
- B.L. INDICATES BUILDING LINE
 - U.E. INDICATES UTILITY EASEMENT
 - S.S.E. INDICATES SANITARY SEWER EASEMENT
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 - INDICATES STREET NAME CHANGE
 - (F) INDICATES FOUND 5/8 INCH IRON ROD WITH CAP STAMPED "LJA SURVEY"

BLOCK 1		BLOCK 1		BLOCK 1		BLOCK 1	
LOT NO.	SQ.FT.						
1	5,400	18	5,627	35	5,817	52	5,836
2	5,400	19	5,627	36	5,691	53	5,835
3	5,400	20	5,627	37	5,633	54	5,835
4	5,400	21	5,628	38	5,625	55	5,835
5	5,400	22	5,628	39	5,669	56	5,835
6	5,400	23	5,628	40	5,757	57	5,835
7	5,400	24	5,629	41	5,845	58	5,834
8	5,400	25	5,629	42	5,799	59	5,834
9	5,343	26	5,629	43	6,230	60	5,671
10	7,752	27	5,630	44	6,324	61	5,729
11	9,707	28	5,637	45	5,645	62	5,877
12	7,238	29	5,839	46	6,316	63	6,103
13	5,516	30	6,293	47	6,072	64	6,407
14	5,626	31	10,512	48	5,856	65	6,051
15	5,626	32	7,084	49	5,718	66	8,155
16	5,626	33	5,709	50	5,709	67	11,562
17	5,626	34	6,222	51	5,836	68	6,593

BLOCK 2		BLOCK 3		BLOCK 3		BLOCK 3	
LOT NO.	SQ.FT.						
1	5,389	1	9,024	13	5,400	25	5,400
2	5,400	2	9,948	14	5,400	26	5,400
3	5,400	3	6,359	15	5,400	27	5,400
4	5,400	4	5,632	16	5,400	28	5,400
5	5,400	5	5,400	17	5,400	29	5,400
6	5,400	6	5,400	18	6,166	30	5,400
7	5,400	7	5,400	19	6,166	31	6,533
8	5,400	8	5,400	20	5,400	32	7,419
9	5,400	9	5,400	21	5,400	33	10,239
10	5,400	10	5,400	22	5,400		
11	5,926	11	5,400	23	5,400		
		12	5,400	24	5,400		

OWNER: HOUSTON LD, LLC, A TEXAS LIMITED LIABILITY COMPANY
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PH. (479) 455-9090

Date: 09 Jun 2022 10:51 PM
 Path: I:\Projects\PLATTING\2537\PLATS\MagnoliaRidge_15.dwg
 CAD: NM/JZ
 MYLAR CHECK: SUR.

DESCRIPTION OF
20.232 ACRES
MAGNOLIA RIDGE SECTION XV

Being 20.232 acres of land located in the Edward Taylor Survey, Abstract 554, Montgomery County, Texas, more particularly being a portion of that certain called 50.475 acre tract described in the deed to Houston LD, LLC, by an instrument of record under Document Number 2021025022 of the Official Public Records of Montgomery County, Texas (M.C.O.P.R.), said 50.475 acres being a portion of Unrestricted Reserve "A" of Magnolia Ridge Section XIII, a subdivision of record in Cabinet Z, Sheets 1427-1429 of the Map Records of Montgomery County, Texas (M.C.M.R.), said 20.232 acres being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, Central Zone, NAD83 (NA2011)(Epoch 2010.00));

BEGINNING at a 5/8-inch iron rod with cap stamped "Town & Country" found for the most northerly northeast corner of aforementioned 50.475 acre tract and an angle point on the northerly line of aforementioned Reserve "A" of Magnolia Ridge Section XIII, same being the southeast corner of Magnolia Ridge Section V, a subdivision of record in Cabinet Z, Sheets 1614-1616, M.C.M.R.;

Thence, South 53° 21' 58" East, along the northeast line of said 50.475 acre tract, 381.03 feet to a 5/8-inch iron rod with cap stamped "GBI" found for corner at the most easterly northeast corner of said 50.475 acre tract;

Thence, South 52° 53' 17" West, along the easterly line of said 50.475 acre tract, 322.61 feet to a found 5/8-inch iron rod with cap;

Thence, South 30° 33' 44" West, continuing along said easterly line, 1,324.04 feet to a point for corner for the southeast corner of said 50.475 acre tract, from which a found 5/8-inch iron rod with cap stamped "GBI", bears South 42°46'00" East, 0.60 feet

Thence, North 59° 26' 47" West, along the southerly line of said 50.475 acre tract, 578.09 feet to a point for corner;

Thence, North 30° 33' 13" East, departing said southerly line, 170.00 feet to a point for corner;

Thence, North 59° 26' 47" West, 6.89 feet to a point for corner;

Thence, North 30° 33' 13" East, 497.72 feet to a point for corner, the beginning of a curve;

Thence, 45.70 feet along the arc of a non-tangent curve to the right, having a radius of 50.00 feet, a central angle of 52° 22' 02", and a chord which bears North 50° 22' 02" West, 44.12 feet to a point for corner;

Thence, South 65° 48' 59" West, 20.00 feet to a point for corner;

Thence, South 84° 33' 57" West, 98.96 feet to a point for corner;

Thence, North 05° 26' 03" West, 40.00 feet to a point for corner;

Thence, North 00° 40' 13" West, 153.04 feet to a point for corner on the arc of a curve on the southerly line of aforementioned Magnolia Ridge Section V, same being the northerly line of aforementioned 50.475 acres;

20.232 Acres

May 4, 2022
Job No. 2537-0020

Thence, with the common line of said Magnolia Ridge Section V and said 50.475 acres, and 1,102.15 feet along the arc of a non-tangent curve to the left, having a radius of 1,189.35 feet, a central angle of $53^{\circ} 05' 42''$, and a chord which bears North $62^{\circ} 46' 44''$ East, 1,063.14 feet to the POINT OF BEGINNING and containing 20.232 acres of land.



LJA Surveying, Inc.



June 16, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: *Magnolia Ridge Section 15 Final Plat – Letter of No Objection
City of Magnolia
AEI Job No. 221271.80-001***

Dear Mr. Doering:

We received the revised final plat for the proposed Magnolia Ridge Section 15 on June 14, 2022. On behalf of City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Final plat shall be signed and sealed by a Professional Surveyor licensed in the State of Texas.
2. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.
3. Provide an electronical copy of the final recorded plat to the City Engineer when it becomes available.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Robel E. Giackero'.

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
 Mr. Burt Smith – City of Magnolia – Director of Public Works
 Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
 Mr. Zachary Zarse – LJA Engineering, Inc.

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 13**

Background/Information:

An application for a site plan was received on June 13, 2022.

Comments:

Letter of No Objection was issued by City Engineer on June 16, 2022.

Action Requested:

Approve site plan for Magnolia Ridge Forest Section 17.

Recommendation:

Approve site plan for Magnolia Ridge Forest Section 17.

Attachments:

Site Plan



June 16, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: *Water, Sanitary Sewer and Drainage Facilities & Paving and Appurtenances to
Serve Magnolia Ridge Forest Section 17 – Plan Review
City of Magnolia
AEI Job No. 220938.80-001***

Dear Mr. Doering:

We received the revised construction plans for the proposed Water, Sanitary Sewer, Storm Drainage System and Street Paving to serve Magnolia Ridge Forest Section 17 on June 13, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. The developer shall be responsible for all aspects of this project and will provide final certification that all improvements have been constructed in conformance with the approved plans and specifications.
2. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.
3. Obtain all applicable utility company and governmental agency signatures.
4. Construction shall not commence until final agency approvals are secured.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Robel E. Giackero'.

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia – Planning Coordinator
 Mr. Burt Smith – City of Magnolia – Director of Public Works
 Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
 Mr. Jose Hernandez – LJA Engineering, Inc.

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 14**

Background/Information:

An application for a final plat was received on June 6, 2022.

Comments:

Second review letter was issued by City Engineer to applicant July 13, 2022.

Action Requested:

Approve final plat for Magnolia Ridge Forest Section 17.

Recommendation:

Approve final plat for Magnolia Ridge Forest Section 17 upon receipt of Letter of No Objection from City Engineer.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Alexis Santibanes

Name

3600 W Sam Houston Pkwy S

Street Address

Houston, Tx 77042

City, State Zip

713-580-4179

Phone

713-580-4179

Fax

asantibanes@lja.com

E-mail

Architect (if different)

Name

Street Address

City, State Zip

Phone

Fax

E-mail

Property Owner (if different)

M/I Homes of Houston, LLC & Lennar Homes of Texas Land and Construction

Name

10720 W. Sam Houston Parkway North, Suite 100 & 681 Greens Parkway, Suite 220

Street Address

Houston, Tx 77064

City, State Zip (832) 678-2500

& (281) 875-1000

Phone

Fax

BBoozer@MIHomes.com

E-mail

Engineer/Land Surveyor (if different)

Ciro Ariza

Name

1904 Grand Parkway N.

Street Address

Katy, Tx 77449

City, State Zip

713-953-5293

Phone

Fax

Cariza@lja.com

E-mail

Project Name: Magnolia Ridge Forest Section 17 Subdivision: _____ Reviewer: _____

PROPERTY PROFILE

Legal Description A subdivision of 50.434 acres of land situated in The Edward Taylor Survey, Abstract 554, City of Magnolia, Montgomery County, Texas
(Subdivision) (Lot) (Block)

Current Zoning Semi-Urban Residential

Present Use of Property
Rural

Proposed Use of the Property
Single Family Residential

Total Area of Site 50.434

1. Description of existing property. If the property has been previously subdivided, provided the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

A subdivision of 50.434 acres of land situated in The Edward Taylor Survey, Abstract 554, City of Magnolia, Montgomery County, Texas

2. Description of proposed property change, including lot numbers, name, etc.

BEING A REPLAT OF RESERVE "C", MAGNOLIA RIDGE FOREST SECTION 7, A SUBDIVISION RECORDED IN CABINET Z, SHEETS 7557-7561, MAP RECORDS OF MONTGOMERY COUNTY, TEXAS, A REPLAT OF RESERVES "D" AND "F", MAGNOLIA RIDGE FOREST SECTION 12, A SUBDIVISION RECORDED IN CABINET Z, SHEET 7549-7552 MAP RECORDS OF MONTGOMERY COUNTY, TEXAS AND A REPLAT OF RESERVES "A" AND "C", MAGNOLIA RIDGE FOREST SECTION 14, A SUBDIVISION RECORDED IN CABINET Z, SHEETS 8113-8116, MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

Magnolia Ridge

Project Name: Forest Section 17 Subdivision: _____ Reviewer: _____

- The outer boundary lines of the parcel proposed for subdivision, with accurate distances, angles, and true bearings if available, and the exact location width of all recorded streets and ways intersecting the boundaries of the parcel being platted
- Distances and angles, or true bearings if available, to the established street lines or official monuments, which shall be accurately described on the plat
- Proposed names of streets
- Linear footage of proposed new right-of-way
- All block indications, if any; lot numbers; all individual areas designated by number or letter, and lots in new subdivision, numbered consecutively
- The accurate location, material, type and description of all permanent control monuments. Where no established bench mark exists, show permanent bench marks that have been established on the property based on mean sea level datum and shown on the plat
- Delineation and area of special use areas, including the location and size of proposed parks, playgrounds, protected resources and open spaces, sites for places of public assembly (including schools) or other special uses of land to be considered for dedication to public use, and of all property that may be granted by deed and covenants for the common use of the property owners in the subdivision, along with statements for responsibility for maintenance. Actual use descriptions must be provided on a separate attached description
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Proposed location, size, and linear footage of proposed potable water lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of natural gas lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of sanitary sewer lines and sewerage facilities, except individual treatment systems provided on utility and street construction plans
- Proposed location of fire hydrants, provided on utility and street construction plans
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)
- All required notes, certifications, and signatures

I, Alexis Santibanes (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.

Alexis Santibanes
Signature of Applicant

4/25/2022
Date

Magnolia Ridge
Project Name: Forest Section 17 Subdivision: _____ Reviewer: _____

DESCRIPTION OF
MAGNOLIA RIDGE FOREST SECTION 17
50.434 ACRES

Being a 50.434 acre tract of land located in the Edward Taylor Survey, Abstract 554, Montgomery County, Texas, said 50.434 acre tract being a portion of that certain called 52.767 acre tract to M/I Homes of Houston, LLC (Undivided 50% Interest) Lennar Homes of Texas Land and Construction, LTD. (Undivided 50% Interest) by an instrument of record under Document Number 2021039814, of the Montgomery County Official Public Records (M.C.O.P.R.), a portion of that certain called 172.741 acre tract to M/I Homes of Houston, LLC (Undivided 50% Interest) Lennar Homes of Texas Land and Construction, LTD. (Undivided 50% Interest) by an instrument of record under Document Number 2021174981, M.C.O.P.R., a portion of Reserve "C" of said Magnolia Ridge Forest Section 5, a subdivision of record under Cabinet Z, Sheets 6152-6156, of the Map Records of Montgomery County, Texas (M.C.M.R.), all of Reserve "C" of Magnolia Ridge Forest Section 7, a subdivision of record under Cabinet Z, Sheets 7557-7561, M.C.M.R., all of called Reserves "D" and "F" of Magnolia Ridge Forest Section 12, a subdivision of record under Cabinet Z, Sheets 7549-7552, M.C.M.R., and all of called Reserve "A" of Magnolia Ridge Forest Section 14, a subdivision of record under Cabinet Z, Sheets 8113-8116, M.C.M.R., said 50.434 acres being more particularly described by metes and bounds as follows (all bearings based on the Texas Coordinate System, Central Zone, NAD 83):

BEGINNING at a 5/8-inch iron rod with cap stamped "LJA SURVEY" previously set for the southeast corner of Reserve "C" of said Magnolia Ridge Forest Section 5, same being the southwest corner of Reserve "F" of said Magnolia Ridge Forest Section 12, said point also being on the north line of Reserve "A" of Magnolia Ridge Forest Section 15, a subdivision of record under Cabinet Z, Sheets 8330-8333, M.C.M.R., said point also being on the northerly line of said 172.741 acre tract;

Thence, North $81^{\circ}47'00''$ West, along the north line of said Magnolia Ridge Forest Section 15, common with the south line of said Reserve "C" of Magnolia Ridge Forest Section 5, 69.85 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" previously set for corner;

Thence, North 58° 26' 44" West, along said common line, 6.43 feet to a 5/8-inch iron rod with cap stamped "LJA SURVEY" previously set for corner on the east right-of-way line of Jewett Meadow Drive (50 feet wide) as shown on said Magnolia Ridge Forest Section 15;

Thence, North 02° 22' 20" East, along the west right-of-way line of said Jewett Meadow Drive, at 2.29 feet pass the northeast corner of said Jewett Meadow Drive as shown on said Magnolia Ridge Forest Section 15, said point also being the southeast corner of said Jewett Meadow Drive and the southwest corner of Reserve "C" as shown on said Magnolia Ridge Forest Section 7, continuing along the east right-of-way line of said Jewett Meadow Drive and along the west line of said Reserve "C" of said Magnolia Ridge Forest Section 7, continuing in all a total distance of 166.93 feet to a point for corner, the beginning of a curve;

Thence, continuing along the east right-of-way line of said Jewett Meadow Drive and the west line of said Reserve "C" of said Magnolia Ridge Forest Section 7, and 78.46 feet along the arc of a curve to the left, having a radius of 325.00 feet, a central angle of 13° 49' 59", and a chord which bears North 04° 32' 39" West, with a chord length of 78.27 feet to a point for northwest corner of said Reserve "C" and southwest corner of Lot 23, Block 1 of said Magnolia Ridge Forest Section 7

Thence, North 78° 32' 22" East, departing the east right-of-way line of said Jewett Meadow Drive and along the north line of said Reserve "C" of Magnolia Ridge Forest Section 7, 120.87 feet to a point for the southeast corner of said Lot 23 and on the east line of said Magnolia Ridge Forest Section 7, common with the west line of said Reserve "D" of said Magnolia Ridge Section 12;

Thence, North 08° 58' 19" East, along the east line of Magnolia Ridge Forest Section 7 and the west line of said Reserve "D" of Magnolia Ridge Forest Section 12, 137.46 feet to a point for corner;

Thence, North $41^{\circ} 22' 18''$ East, continuing along said common line, 17.14 feet to an east corner of said Magnolia Ridge Section 7, same being the north line of Reserve "D" of said Magnolia Ridge Forest Section 7;

Thence, along the northwesterly line of Reserve "D" of said Magnolia Ridge Section 12, the following twenty-two (22) courses and distances:

1. South $48^{\circ} 36' 43''$ East, 156.69 feet to a point for corner;
2. North $41^{\circ} 23' 17''$ East, 60.00 feet to a point for corner, the beginning of a curve;
3. 39.27 feet along the arc of a non-tangent curve to the right, having a radius of 25.00 feet, a central angle of $90^{\circ} 00' 00''$, and a chord which bears North $03^{\circ} 36' 43''$ West, with a chord length of 35.36 feet to a point for corner;
4. North $41^{\circ} 23' 17''$ East, 110.00 feet to a point for corner, the beginning of a curve;
5. 28.98 feet along the arc of a tangent curve to the right, having a radius of 25.00 feet, a central angle of $66^{\circ} 25' 19''$, and a chord which bears North $74^{\circ} 35' 56''$ East, with a chord length of 27.39 feet to a point for corner;
6. South $41^{\circ} 23' 17''$ West, 118.15 feet to a point for corner;
7. South $02^{\circ} 06' 44''$ East, 14.51 feet to a point for corner;
8. South $45^{\circ} 36' 45''$ East, 40.07 feet to a point for corner;
9. South $42^{\circ} 10' 44''$ East, 53.01 feet to a point for corner;
10. South $62^{\circ} 43' 56''$ East, 80.92 feet to a point for corner;
11. North $72^{\circ} 03' 32''$ East, 44.93 feet to a point for corner;
12. North $84^{\circ} 55' 06''$ East, 92.42 feet to a point for corner;

13. North $35^{\circ} 35' 18''$ East, 534.83 feet to a point for corner;
14. North $38^{\circ} 04' 01''$ East, 55.52 feet to a point for corner;
15. North $44^{\circ} 57' 50''$ East, 55.34 feet to a point for corner;
16. North $51^{\circ} 56' 22''$ East, 44.65 feet to a point for corner;
17. South $38^{\circ} 44' 50''$ East, 59.92 feet to a point for corner;
18. North $51^{\circ} 15' 10''$ East, 50.00 feet to a point for corner;
19. North $32^{\circ} 26' 49''$ West, 174.71 feet to a point for corner on the south right-of-way line of Flower Reed Court (50 feet wide) as shown on said Magnolia Ridge Section 12, the beginning of a curve;
20. Along the south right-of-way line of said Flower Reed Court and 49.55 feet along the arc of a non-tangent curve to the right, having a radius of 575.00 feet, a central angle of $04^{\circ} 56' 15''$, and a chord which bears North $62^{\circ} 53' 08''$ East, with a chord length of 49.53 feet to a point for corner;
21. North $65^{\circ} 21' 16''$ East, continuing along the south right-of-way line of said Flower Reed Court, 85.53 feet to a point for corner;
22. Continuing along the south right-of-way line of said Flower Reed Court and its extension along the south right-of-way line of said Flower Reed Court as shown on said Magnolia Ridge Forest Section 13, a subdivision of record under Cabinet Z, Sheets 8103-8106, M.C.M.R. and 185.17 feet along the arc of a tangent curve to the right, having a radius of 475.00 feet, a central angle of $22^{\circ} 20' 07''$, and a chord which bears North $76^{\circ} 31' 19''$ East, with a chord length of 184.00 feet to a point for corner on the north line of Reserve "A" of said Magnolia Ridge Forest Section 14;

Thence, along the north line of Reserve "A" of said Magnolia Ridge Forest Section 14, the following seven (7) courses and distances:

1. North $87^{\circ} 41' 23''$ East, continuing along the south right-of-way line of said Flower Reed Court as shown on said Magnolia Ridge Forest Section 13 and its extension along the south right-of-way line of said Flower Reed Court as shown on said Magnolia Ridge Forest Section 14, 335.28 feet to a point for corner;
2. South $02^{\circ} 18' 37''$ East, departing the south right-of-way line of said Flower Reed Court, 125.00 feet to a point for corner;
3. North $87^{\circ} 41' 23''$ East, 647.23 feet to a point for corner;
4. North $02^{\circ} 43' 29''$ West, 184.74 feet to a point for corner;
5. North $09^{\circ} 03' 35''$ West, 90.63 feet to a point for corner;
6. North $02^{\circ} 43' 29''$ West, 237.00 feet to a point for corner;
7. North $87^{\circ} 16' 31''$ East, 30.00 feet to a point for corner in the west line of a called 79.96 acre tract to Audubon Magnolia Development, LLC by an instrument of record under Document Number 2018008568, M.C.O.P.R., same being the east line of the aforementioned 52.767 acre tract;

Thence, South $02^{\circ} 43' 29''$ East, along the east line of Reserve "A" of said Magnolia Ridge Forest Section 14 same being the west line of said 79.96 acre tract, and being the east line of said 52.767 acre tract, at 812.66 feet passing the southeast corner of Reserve "A" of said Magnolia Ridge Forest Section 14, the southeast corner of said 52.767 acre tract, same being the northeast corner of the aforementioned 172.741 acre tract, continuing for a total distance of 1,649.63 feet to a point for corner;

Thence, South $87^{\circ} 34' 02''$ West, along a south line of said 172.741 acre tract, same being a north line of said 79.96 acre tract, 1,080.25 feet to a point for corner;

Thence, South $02^{\circ} 32' 49''$ East, along a west line of said 79.96 acre tract common with an east line of said 172.741 acre tract, 324.97 feet to a point for corner;

Thence, South $87^{\circ} 26' 26''$ West, departing a west line of said 79.96 acre tract common with an east line of said 172.741 acre tract 114.93 feet to a point for corner;

Thence, 39.27 feet along the arc of a tangent curve to the left, having a radius of 25.00 feet, a central angle of $90^{\circ} 00' 00''$, and a chord which bears South $42^{\circ} 26' 26''$ West, with a chord length of 35.36 feet to a point for corner;

Thence, South $87^{\circ} 26' 26''$ West, 50.00 feet to a point for corner;

Thence, North $02^{\circ} 33' 34''$ West, 247.91 feet to a point for corner;

Thence, South $87^{\circ} 26' 26''$ West, 115.00 feet to a point for corner;

Thence, North $11^{\circ} 48' 01''$ West, 224.59 feet to a point for corner;

Thence, 89.89 feet along the arc of a non-tangent curve to the left, having a radius of 975.00 feet, a central angle of $05^{\circ} 16' 56''$, and a chord which bears South $72^{\circ} 58' 31''$ West, with a chord length of 89.86 feet to a point for corner;

Thence, South $70^{\circ} 20' 02''$ West, 239.94 feet to a point for corner;

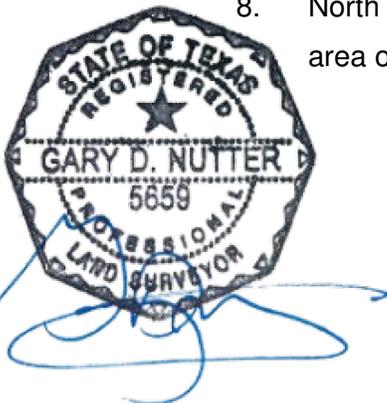
Thence, 39.27 feet along the arc of a tangent curve to the left, having a radius of 25.00 feet, a central angle of $90^{\circ} 00' 00''$, and a chord which bears South $25^{\circ} 20' 02''$ West, with a chord length of 35.36 feet to a point for corner;

Thence, South 70° 16' 35" West, 60.00 feet to a point for corner;

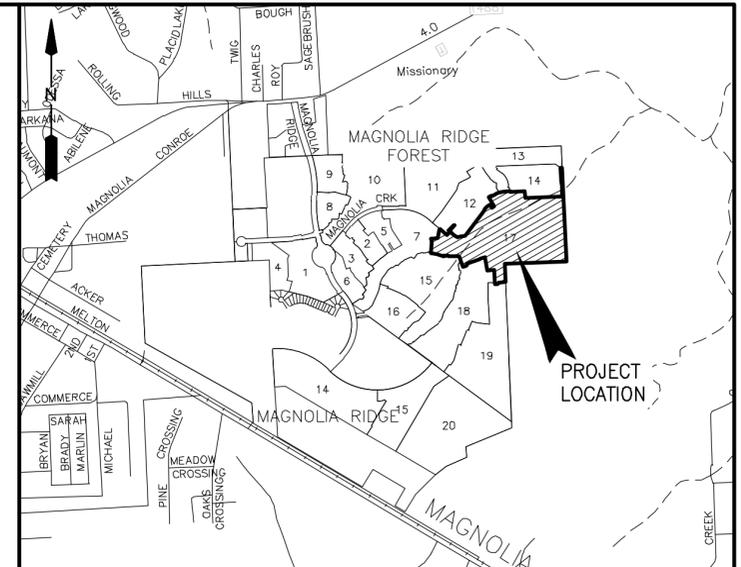
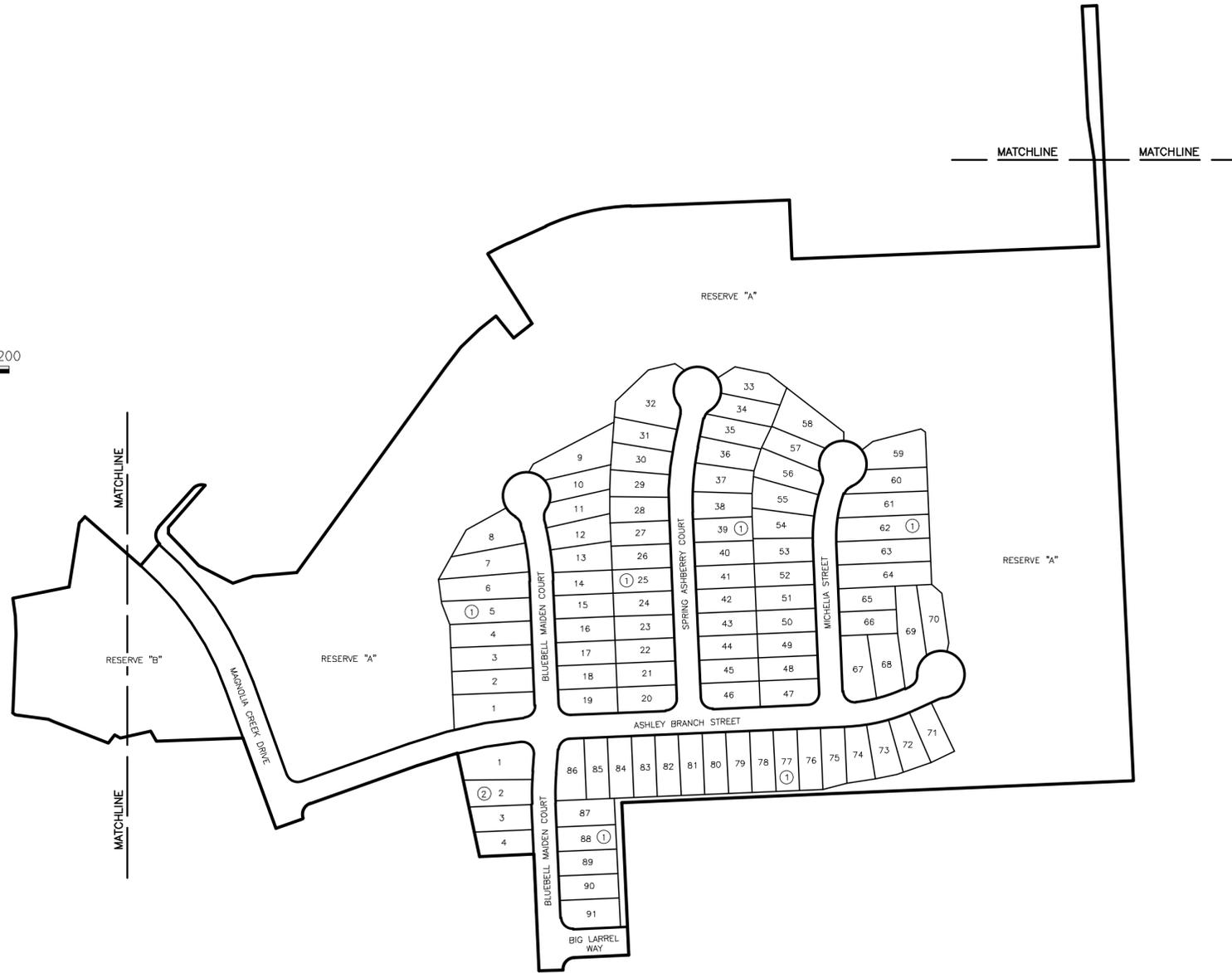
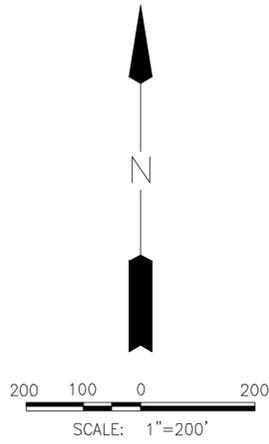
Thence, North 19° 39' 58" West, at 126.11 feet pass a northeast corner of Reserve "A" of the aforementioned Magnolia Ridge Section 15, continuing for a total distance of 204.22 feet to the northeast corner of Reserve "A" of said Magnolia Ridge Forest Section 15, said point also being on the north line of the aforementioned 172.741 acre tract and the south line of Reserve "F" of the aforementioned Magnolia Ridge Forest Section 12;

Thence, along the north line of said Magnolia Ridge Forest Section 15, the north line of said 172.741 acre tract, and a south line of said Reserve "F" of Magnolia Ridge Forest Section 12, the following eight (8) courses and distances:

1. South 75° 38' 24" West, 2.23 feet to a point for corner;
2. South 87° 41' 07" West, 180.64 feet to a point for corner;
3. North 29° 26' 47" West, 25.66 feet to a point for corner;
4. South 76° 08' 15" West, 65.67 feet to a point for corner;
5. North 59° 23' 57" West, 14.00 feet to a point for corner;
6. South 37° 00' 22" West, 21.03 feet to a point for corner;
7. North 68° 31' 27" West, 123.99 feet to a point for corner;
8. North 69° 16' 41" West, 13.09 feet to the POINT OF BEGINNING and having an area of 50.434 acres (2,196,913 square feet) acres of land.



LJA Surveying, Inc



VICINITY MAP
SCALE: 1" = 2,000'
KEY MAP NO. 212L

FINAL PLAT OF MAGNOLIA RIDGE FOREST SECTION 17

A SUBDIVISION OF 50.434 ACRES OF LAND SITUATED IN THE EDWARD TAYLOR SURVEY, ABSTRACT 554, CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS, BEING A REPLAT OF RESERVE "C", MAGNOLIA RIDGE FOREST SECTION 7, A SUBDIVISION RECORDED IN CABINET Z, SHEETS 7557-7561, MAP RECORDS OF MONTGOMERY COUNTY, TEXAS, A REPLAT OF RESERVES "D" AND "F", MAGNOLIA RIDGE FOREST SECTION 12, A SUBDIVISION RECORDED IN CABINET Z, SHEET 7549-7552 MAP RECORDS OF MONTGOMERY COUNTY, TEXAS AND A REPLAT OF RESERVES "A" AND "C", MAGNOLIA RIDGE FOREST SECTION 14, A SUBDIVISION RECORDED IN CABINET Z, SHEETS 8113-8116, MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
HOUSTON, TEXAS 77064
(832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

DATE: APRIL 25, 2022

95 LOTS
2 BLOCKS
2 RESERVES
28.985 ACRES IN RESERVES

SURVEYOR:

ENGINEER:

LJA Surveying, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 175 Fax 713.953.5026
Houston, Texas 77042 T.B.P.E.L.S. Firm No. 10194382

LJA Engineering, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

CAD: ALEXS.S. MYLAR CHECK: SUR. DIR. Path: Maps\25_Apr_2022_10:00am\Local\Temp\AcPublish_12696\Magnolia_Ridge_Forest_17.dwg

I, KEITH W. MONROE, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KEITH W. MONROE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4797

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, BRANNON BOOZER, VICE PRESIDENT OF LAND, RESPECTIVELY OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND I, MICHAEL W. JOHNSON, VICE PRESIDENT RESPECTIVELY OF U.S. HOME CORPORATION, A DELAWARE CORPORATION, GENERAL PARTNER OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MAGNOLIA RIDGE FOREST SECTION 17, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDWOOD DEVELOPMENT COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MAGNOLIA RIDGE FOREST SECTION 17, LOCATED IN THE EDWARD TAYLOR SURVEY, ABSTRACT 554, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 17 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FOREGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRANNON BOOZER, ITS VICE PRESIDENT OF LAND, THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2022.

M/I HOMES OF HOUSTON, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

By: _____
BRANNON BOOZER, VICE PRESIDENT OF LAND

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRANNON BOOZER, VICE PRESIDENT OF LAND, OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

IN TESTIMONY WHEREOF, THE LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY U.S. HOME CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER, THEREUNTO AUTHORIZED, BY ITS VICE PRESIDENT, MICHAEL W. JOHNSON, THIS THE _____ DAY OF _____, 2022.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.,
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY

By: U.S. HOME CORPORATION
A DELAWARE CORPORATION,
ITS GENERAL PARTNER

By: _____
MICHAEL W. JOHNSON, VICE PRESIDENT

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL W. JOHNSON, VICE PRESIDENT OF U.S. HOME CORPORATION, A DELAWARE CORPORATION, GENERAL PARTNER, OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID PARTNERSHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 17 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

ROBERT FRANKLIN, CHAIRMAN

KANDICE GARRETT, CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 17 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

KANDICE GARRETT, CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, MARK TURNBULL, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2022, AT _____ O'CLOCK _____ M., AND DULY RECORDED ON _____, 2022, AT _____ O'CLOCK _____ M., IN CABINET _____ SHEET _____ OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

MARK TURNBULL, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

By: _____
DEPUTY

NOTES:

- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
- THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 TEXAS COORDINATE SYSTEM, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE 0.99997177219.
- THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 2022-0097, DATED JULY 30, 2021. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
- FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "LJA SURVEY" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0480C, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED). ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "LJA DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
- THE PIPELINES AND/OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
- BLANKET EASEMENT GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC, CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS, SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS AND COMCAST OF HOUSTON LLC, AS RECORDED UNDER CLERK'S FILE NO. 2010019737 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS, AFFECTED BY A PARTIAL RELEASE AS RECORDED UNDER MONTGOMERY COUNTY CLERK'S FILE NO. 2020005785.
- BLANKET EASEMENT GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC, CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS, SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS AND COMCAST OF HOUSTON LLC, AS RECORDED UNDER CLERK'S FILE NO. 2021122282.
- AGREEMENT FOR UNDERGROUND ELECTRIC SERVICES BY AND BETWEEN CENTERPOINT ENERGY HOUSTON, LLC AND M/I HOMES OF HOUSTON, LLC AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD, AS RECORDED UNDER MONTGOMERY COUNTY CLERK'S FILE NO. 2021142192.

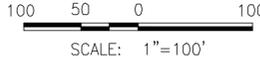
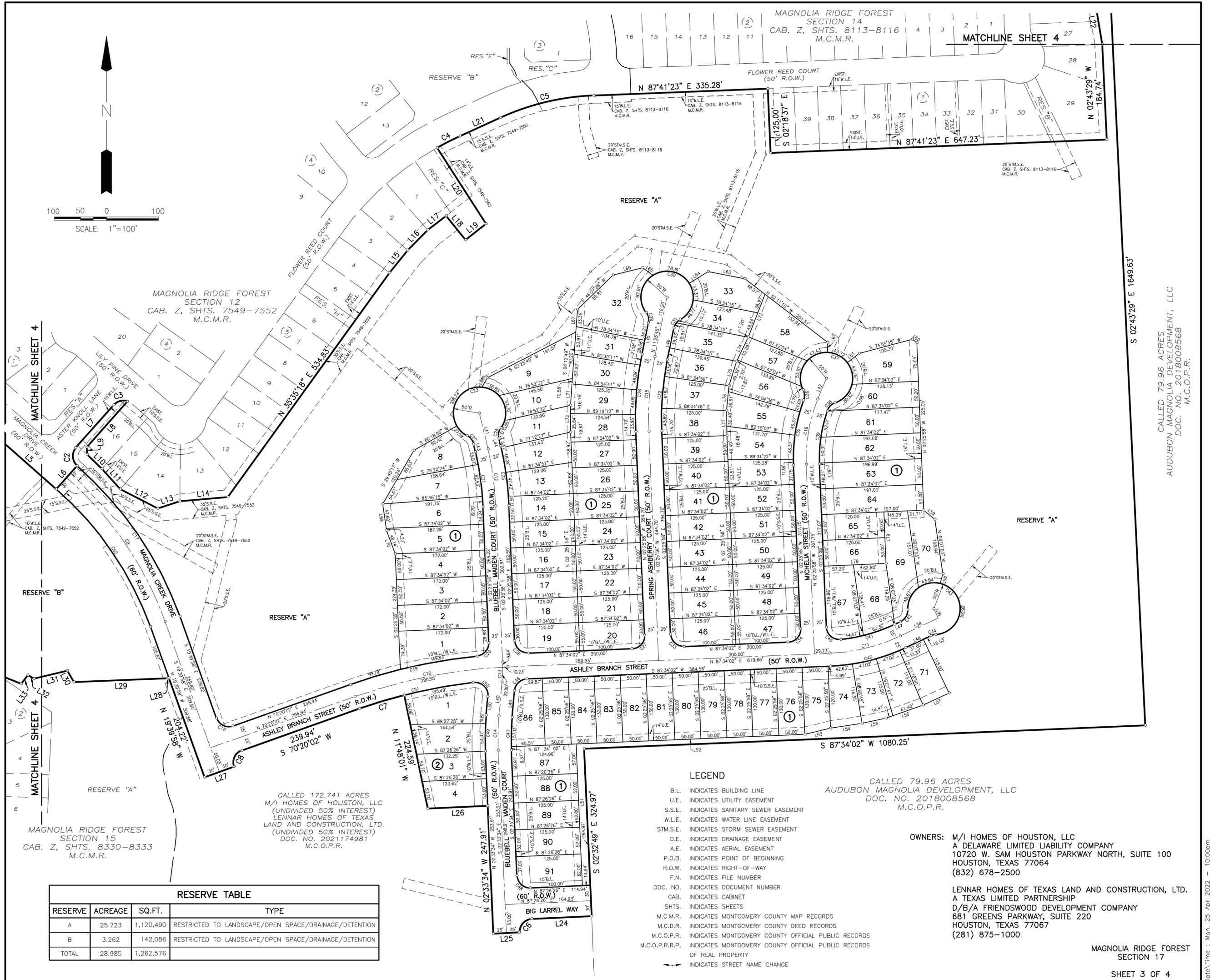
OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
HOUSTON, TEXAS 77064
(832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREEN PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

MAGNOLIA RIDGE FOREST
SECTION 17

SHEET 2 OF 4

CAD: ALEXS.S. MYLAR CHECK: SUR. DIR. Date Time: Mar 25 Apr 2022 10:00am Path Name: C:\Users\ASAWIT-1\AppData\Local\Temp\AcPublish_12696\Magnolia Ridge Forest 17.dwg



MAGNOLIA RIDGE FOREST
SECTION 12
CAB. Z, SHTS. 7549-7552
M.C.M.R.

MAGNOLIA RIDGE FOREST
SECTION 14
CAB. Z, SHTS. 8113-8116
M.C.M.R.

MATCHLINE SHEET 4

MATCHLINE SHEET 4

MATCHLINE SHEET 4

MAGNOLIA RIDGE FOREST
SECTION 15
CAB. Z, SHTS. 8330-8333
M.C.M.R.

CALLLED 172.741 ACRES
M/I HOMES OF HOUSTON, LLC
(UNDIVIDED 50% INTEREST)
LENNAR HOMES OF TEXAS
LAND AND CONSTRUCTION, LTD.
(UNDIVIDED 50% INTEREST)
DOC. NO. 2021174981
M.C.O.P.R.

CALLLED 79.96 ACRES
AUDUBON MAGNOLIA DEVELOPMENT, LLC
DOC. NO. 2018008568
M.C.O.P.R.

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
HOUSTON, TEXAS 77064
(832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	25.723	1,120,490	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE/DETENTION
B	3.262	142,086	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE/DETENTION
TOTAL	28.985	1,262,576	

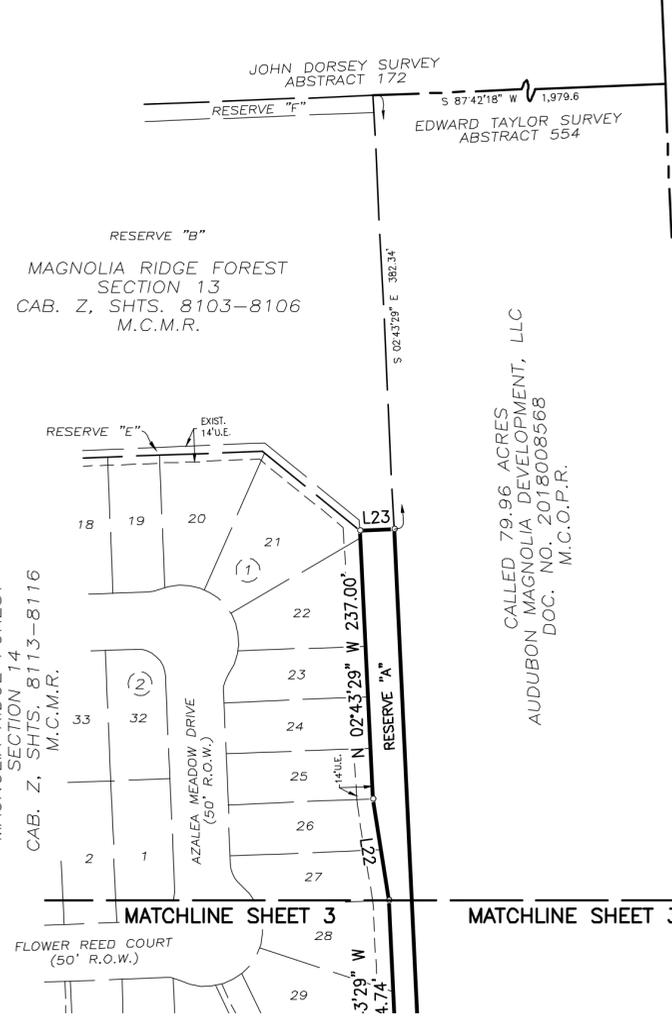
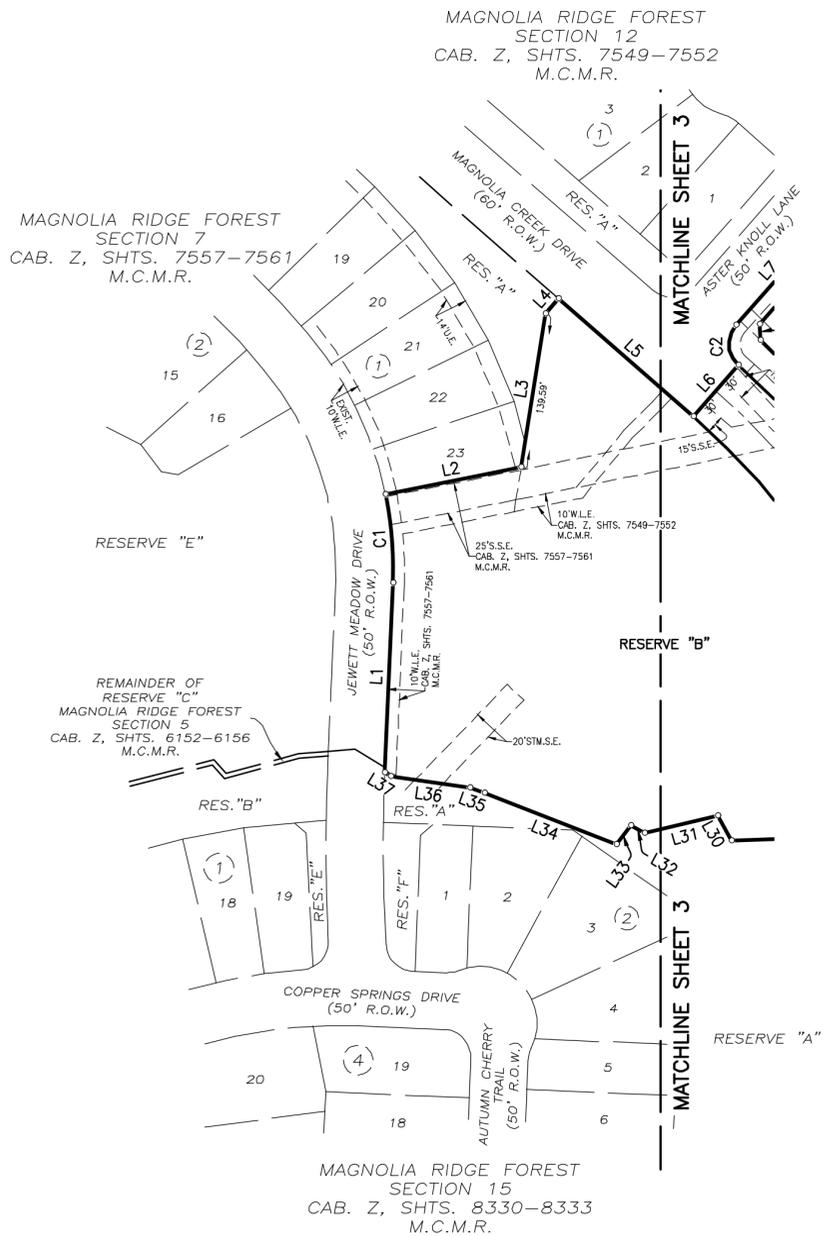
LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- STM.S.E. INDICATES STORM SEWER EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- P.O.B. INDICATES POINT OF BEGINNING
- R.O.W. INDICATES RIGHT-OF-WAY
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- INDICATES STREET NAME CHANGE

MAGNOLIA RIDGE FOREST
SECTION 17

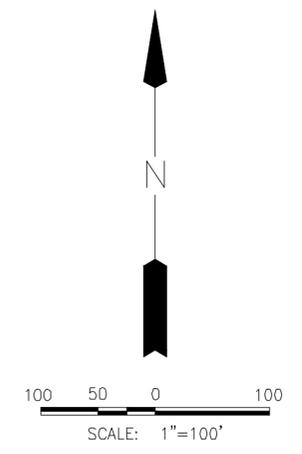
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 Date: 25 Apr 2022 10:00am
 User: ASANTH



LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
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- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- INDICATES STREET NAME CHANGE



RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	25.723	1,120,490	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE/DETENTION
B	3.262	142,086	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE/DETENTION
TOTAL	28.985	1,262,576	

BLOCK 1	
LOT NO.	SQ.FT.
1	10,486
2	8,600
3	8,600
4	8,600
5	9,004
6	9,612
7	9,318
8	8,549
9	10,436
10	6,681
11	6,989
12	7,068
13	6,843
14	6,251
15	6,250
16	6,250
17	6,250
18	6,250
19	6,741
20	6,741
21	6,250
22	6,250
23	6,250
24	6,250
25	6,250
26	6,250
27	6,250
28	6,496
29	6,608
30	6,699
31	6,754
32	13,048
33	7,517
34	6,505
35	6,858

BLOCK 1	
LOT NO.	SQ.FT.
36	6,756
37	6,913
38	6,722
39	6,250
40	6,250
41	6,250
42	6,250
43	6,250
44	6,250
45	6,250
46	6,741
47	6,741
48	6,250
49	6,250
50	6,250
51	6,250
52	6,250
53	6,416
54	7,097
55	7,711
56	7,990
57	6,182
58	9,655
59	8,847
60	7,451
61	9,282
62	9,765
63	9,850
64	9,850
65	6,000
66	6,000
67	9,008
68	8,118
69	9,905
70	6,991

BLOCK 1	
LOT NO.	SQ.FT.
71	6,086
72	6,197
73	6,284
74	6,348
75	6,250
76	6,500
77	6,500
78	6,500
79	6,500
80	6,500
81	6,500
82	6,500
83	6,500
84	6,500
85	6,500
86	7,685
87	7,142
88	6,500
89	6,500
90	6,500
91	7,616

BLOCK 2	
LOT NO.	SQ.FT.
1	10,967
2	7,691
3	6,781
4	6,324

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 02°22'20" E	166.93'
L2	N 78°32'22" E	120.87'
L3	N 08°58'19" E	137.46'
L4	N 41°22'18" E	17.14'
L5	S 48°36'43" E	156.69'
L6	N 41°23'17" E	60.00'
L7	N 41°23'17" E	110.00'
L8	S 41°23'17" W	118.15'
L9	S 02°06'44" E	14.51'
L10	S 45°36'45" E	40.07'
L11	S 42°10'44" E	53.01'
L12	S 62°43'56" E	80.92'
L13	N 72°03'32" E	44.93'
L14	N 84°55'06" E	92.42'
L15	N 38°04'01" E	55.52'
L16	N 44°57'50" E	55.34'
L17	N 51°56'22" E	44.65'
L18	S 38°44'50" E	59.92'
L19	N 51°15'10" E	50.00'
L20	N 32°26'49" W	174.71'
L21	N 65°21'16" E	85.53'
L22	N 09°03'35" W	90.63'
L23	N 87°16'31" E	30.00'
L24	S 87°26'26" W	114.93'
L25	S 87°26'26" W	50.00'
L26	S 87°26'26" W	115.00'
L27	S 70°16'35" W	60.00'
L28	S 75°38'24" W	2.23'
L29	S 87°41'07" W	180.64'
L30	N 29°26'47" W	25.66'

LINE TABLE		
LINE	BEARING	DISTANCE
L31	S 76°08'15" W	65.67'
L32	N 59°23'57" W	14.00'
L33	S 37°00'22" W	21.03'
L34	N 68°31'27" W	123.99'
L35	N 69°16'41" W	13.09'
L36	N 81°47'00" W	69.85'
L37	N 58°26'44" W	6.43'
L38	N 64°38'56" E	81.06'
L39	N 25°21'04" W	20.00'
L40	S 05°06'01" W	65.59'
L41	S 13°07'28" E	71.43'
L42	N 22°17'56" E	43.12'
L43	N 13°07'28" W	15.53'
L44	S 13°07'28" E	15.53'
L45	N 11°25'45" E	62.30'
L46	S 11°25'45" W	62.30'
L47	N 64°38'56" E	12.32'
L48	S 64°38'56" W	54.14'
L49	S 05°06'01" W	51.77'
L50	N 05°06'01" E	36.23'
L51	N 02°33'34" W	275.00'
L52	N 87°34'02" E	440.55'
L53	N 76°15'26" E	50.99'
L54	N 81°07'36" E	60.81'
L55	N 78°01'28" E	47.13'
L56	N 70°16'42" E	75.87'
L57	N 64°58'17" E	55.02'
L58	N 14°13'37" E	20.00'
L59	N 50°16'30" W	27.49'
L60	N 52°21'06" W	10.89'

LINE TABLE		
LINE	BEARING	DISTANCE
L61	S 52°21'09" W	30.00'
L62	N 02°15'07" E	20.00'
L63	N 78°34'15" W	72.34'
L64	S 57°50'29" W	43.79'
L65	N 54°23'04" W	25.00'
L66	S 75°58'27" W	58.04'
L67	S 04°12'49" W	44.41'
L68	S 30°25'28" W	21.48'
L69	S 08°05'31" E	51.83'
L70	S 20°25'16" E	48.14'
L71	S 03°06'07" W	41.56'
L72	S 00°05'11" E	51.99'
L73	N 21°02'59" E	88.50'
L74	S 25°43'38" W	51.60'
L75	S 17°26'55" W	49.39'
L76	S 05°00'09" W	48.39'
L77	S 00°54'39" E	48.88'
L78	S 87°34'02" W	120.00'
L79	N 02°25'58" W	100.00'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	325.00'	13°49'59"	78.46'	N 04°32'39" W	78.27'
C2	25.00'	90°00'00"	39.27'	N 03°36'43" W	35.36'
C3	25.00'	66°25'19"	28.98'	N 74°35'56" E	27.39'
C4	575.00'	4°56'15"	49.55'	N 62°53'08" E	49.53'
C5	475.00'	22°20'07"	185.17'	N 76°31'19" E	184.00'
C6	25.00'	90°00'00"	39.27'	S 42°26'26" W	35.36'
C7	975.00'	5°16'56"	89.89'	S 72°58'31" W	89.86'
C8	25.00'	90°00'00"	39.27'	S 25°20'02" E	35.36'
C9	675.00'	28°56'45"	341.01'	S 34°08'20" E	337.40'
C10	1000.00'	17°13'59"	300.77'	N 78°57'02" E	299.64'
C11	350.00'	22°55'06"	140.00'	N 76°06'29" E	139.07'
C12	600.00'	10°41'30"	111.96'	S 07°46'43" E	111.80'
C13	300.00'	7°31'59"	39.44'	N 01°20'01" E	39.41'
C14	500.00'	7°39'35"	66.84'	S 01°16'13" W	66.79'
C15	600.00'	13°51'43"	145.16'	N 04°29'53" E	144.81'
C16	300.00'	24°43'54"	129.49'	N 09°55'59" E	128.49'
C17	705.00'	28°56'45"	356.17'	S 34°08'20" E	352.39'
C18	25.00'	90°00'00"	39.27'	S 64°39'58" E	35.36'
C19	1025.00'	13°57'12"	249.62'	N 77°18'38" E	249.00'
C20	25.00'	86°43'13"	37.84'	N 40°55'38" E	34.33'
C21	575.00'	10°41'30"	107.30'	N 07°46'43" W	107.14'
C22	25.00'	48°11'23"	21.03'	N 37°13'10" W	20.41'
C23	50.00'	27°22'46"	241.19'	N 76°52'32" E	66.67'
C24	25.00'	48°11'23"	21.03'	S 10°58'13" W	20.41'
C25	625.00'	10°41'30"	116.63'	S 07°46'43" E	116.46'
C26	25.00'	90°00'00"	39.27'	S 47°25'58" E	35.36'
C27	25.00'	90°00'00"	39.27'	N 42°34'02" E	35.36'
C28	625.00'	13°51'43"	151.21'	N 04°29'53" E	150.84'
C29	25.00'	48°11'23"	21.03'	N 12°39'57" W	20.41'
C30	50.00'	27°22'46"	241.19'	S 78°34'15" E	66.67'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C31	25.00'	48°11'23"	21.03'	S 35°31'26" W	20.41'
C32	575.00'	13°51'43"	139.11'	S 04°29'53" W	138.77'
C33	25.00'	90°00'00"	39.27'	S 47°25'58" E	35.36'
C34	25.00'	90°00'00"	39.27'	N 42°34'02" E	35.36'
C35	325.00'	22°36'14"	128.22'	N 08°52'08" E	127.39'
C36	25.00'	46°18'31"	20.21'	N 02°59'00" W	19.66'
C37	50.00'	27°18'18"	241.12'	S 67°59'07" E	66.72'
C38	25.00'	50°44'03"	22.14'	S 44°48'00" W	21.42'
C39	275.00'	21°51'57"	104.95'	S 08°30'00" W	104.31'
C40	25.00'	93°52'28"	40.96'	S 49°22'12" E	36.53'
C41	325.00'	19°02'38"	108.02'	N 74°10'15" E	107.53'
C42	25.00'	66°25'19"	28.98'	N 31°26'16" E	27.39'
C43	50.00'	26°27'41"	233.40'	S 48°02'33" E	72.26'
C44	25.00'	21°02'22"	9.18'	S 75°10'07" W	9.13'
C45	375.00'	22°55'06"	150.00'	S 76°06'29" W	149.00'
C46	25.00'	82°28'01"	35.98'	S 46°20'01" W	32.96'
C47	475.00'	7°39'35"	63.50'	S 01°16'13" W	63.45'
C48	25.00'	90°00'00"	39.27'	S 47°33'34" E	35.36'
C49	525.00'	7°39'35"	70.19'	N 01°16'13" E	70.13'
C50	25.00'	101°31'18"	44.30'	N 45°39'38" W	38.73'
C51	975.00'	13°14'41"	225.38'	S 76°57'23" W	224.88'
C52	645.00'	28°56'45"	325.86'	N 34°08'20" W	322.40'

OWNERS: M/I HOMES OF HOUSTON, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
 HOUSTON, TEXAS 77064
 (832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 A TEXAS LIMITED PARTNERSHIP
 D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
 681 GREENS PARKWAY, SUITE 220
 HOUSTON, TEXAS 77067
 (281) 875-1000

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 Date: 25-Apr-2022 10:01am
 User: ASANT



July 13, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: Magnolia Ridge Forest Section 17 – Second Final Plat Review
City of Magnolia
AEI Job No. 221008.80-001**

Dear Mr. Doering:

We received the revised final plat for the proposed Magnolia Ridge Forest Section 17 development on June 27, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and are providing the following comments for your consideration:

1. Comments from the second page of the final plat review letter dated May 12, 202 were nonresponsive, and need to be addressed and responses provided on the response letter before we can begin the review for this project.

Provide an updated response letter and any supporting documentation that is needed for final approval. Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Robel E. Giackero, P.E. – AEI Engineering, A Baxter and Woodman Company
Mr. Alexis Santibanes – LJA Engineering, Inc.

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 15**

Background/Information:

An application for a final plat was received on May 9, 2022.

Comments:

Second review letter was issued by City Engineer to applicant July 14, 2022.

Action Requested:

Approve final plat for Magnolia Ridge Forest Section 18.

Recommendation:

Approve final plat for Magnolia Ridge Forest Section 18 upon receipt of Letter of No Objection from City Engineer.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Property Owner (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Architect (if different)

Engineer/Land Surveyor (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____

PROPERTY PROFILE

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

Proposed Use of the Property

Total Area of Site _____

Project Name: _____ Subdivision: _____ Reviewer: _____

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

2. Description of proposed property change, including lot numbers, name, etc.

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

Project Name: _____ Subdivision: _____ Reviewer: _____

- The outer boundary lines of the parcel proposed for subdivision, with accurate distances, angles, and true bearings if available, and the exact location width of all recorded streets and ways intersecting the boundaries of the parcel being platted
- Distances and angles, or true bearings if available, to the established street lines or official monuments, which shall be accurately described on the plat
- Proposed names of streets
- Linear footage of proposed new right-of-way
- All block indications, if any; lot numbers; all individual areas designated by number or letter, and lots in new subdivision, numbered consecutively
- The accurate location, material, type and description of all permanent control monuments. Where no established bench mark exists, show permanent bench marks that have been established on the property based on mean sea level datum and shown on the plat
- Delineation and area of special use areas, including the location and size of proposed parks, playgrounds, protected resources and open spaces, sites for places of public assembly (including schools) or other special uses of land to be considered for dedication to public use, and of all property that may be granted by deed and covenants for the common use of the property owners in the subdivision, along with statements for responsibility for maintenance. Actual use descriptions must be provided on a separate attached description
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Proposed location, size, and linear footage of proposed potable water lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of natural gas lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of sanitary sewer lines and sewerage facilities, except individual treatment systems provided on utility and street construction plans
- Proposed location of fire hydrants, provided on utility and street construction plans
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)
- All required notes, certifications, and signatures

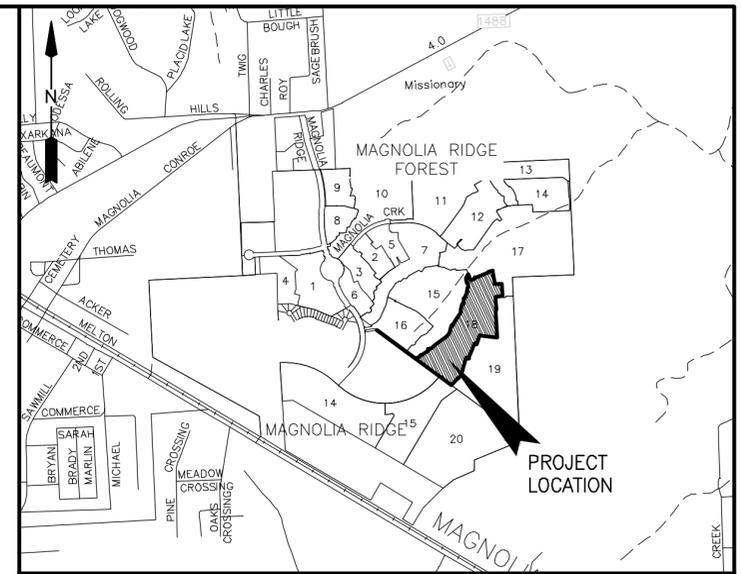
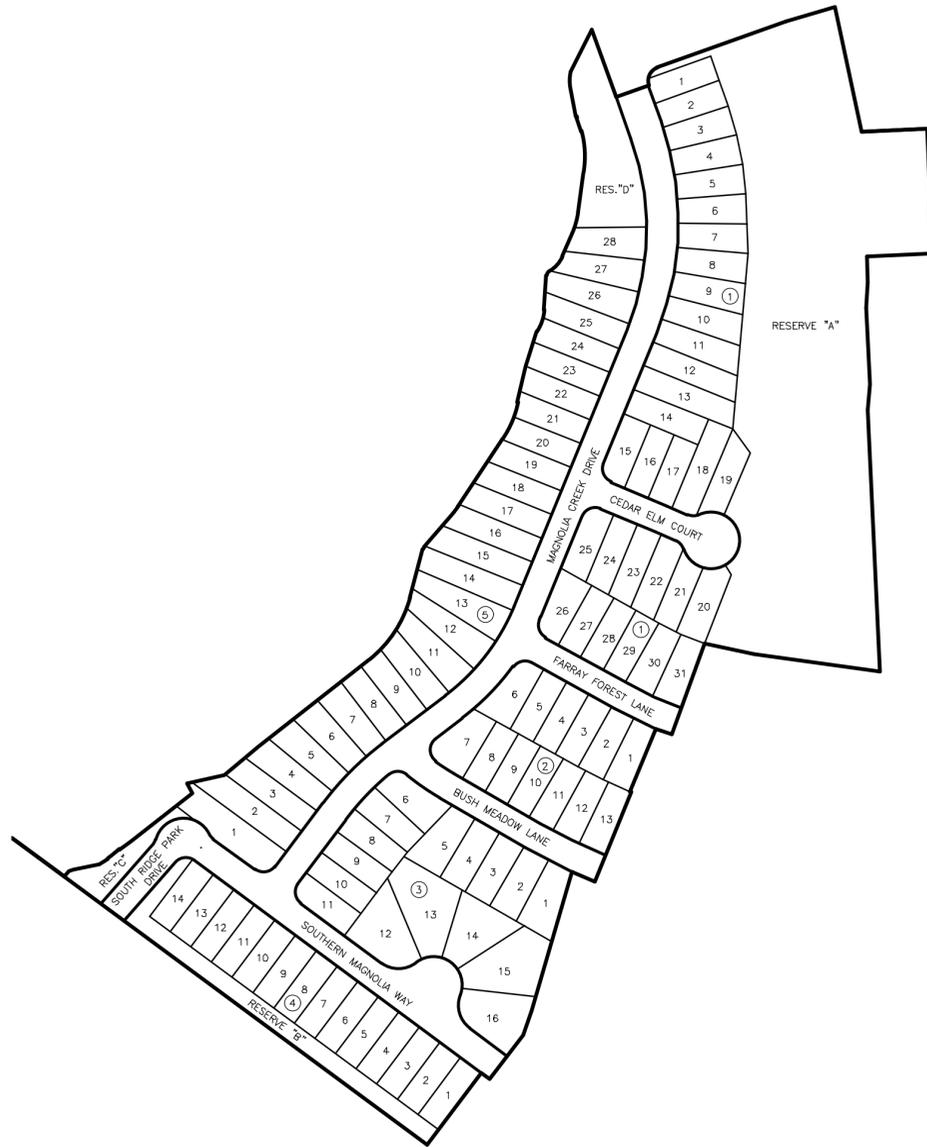
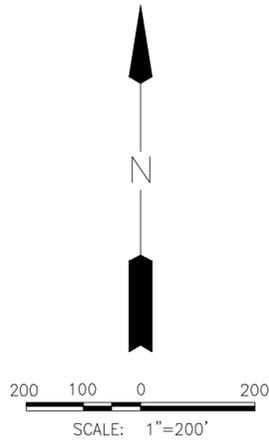
I, _____ (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.



Signature of Applicant

Date

Project Name: _____ Subdivision: _____ Reviewer: _____



VICINITY MAP
SCALE: 1" = 2,000'
KEY MAP NO. 212L

FINAL PLAT OF MAGNOLIA RIDGE FOREST SECTION 18

A SUBDIVISION OF 27.599 ACRES OF LAND SITUATED IN
THE EDWARD TAYLOR SURVEY, ABSTRACT 554,
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS.

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

DATE: MAY 5, 2022

102 LOTS
5 BLOCKS
4 RESERVES
7.990 ACRES IN RESERVES

SURVEYOR:

LJA Surveying, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 175 Fax 713.953.5026
Houston, Texas 77042 T.B.P.L.S. Firm No. 10194382

ENGINEER:

LJA Engineering, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

Path: T:\05_May_2022_10:11am
 Plot Name: C:\Users\ASANT\1\AppData\Local\Temp\AcPublish_22824\Magnolia Ridge Forest_18.dwg
 CAD: ALEXIS: S MYLAR CHECK: SUR DIR:

IN TESTIMONY WHEREOF, THE LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY U.S. HOME CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER, THEREUNTO AUTHORIZED, BY ITS VICE PRESIDENT, MICHAEL W. JOHNSON, THIS THE _____ DAY OF _____, 2022.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.,
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY

BY: U.S. HOME CORPORATION
A DELAWARE CORPORATION,
ITS GENERAL PARTNER

BY: _____
MICHAEL W. JOHNSON, VICE PRESIDENT

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL W. JOHNSON, VICE PRESIDENT OF U.S. HOME CORPORATION, A DELAWARE CORPORATION, GENERAL PARTNER, OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, BRANNON BOOZER, VICE PRESIDENT OF LAND, RESPECTIVELY OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND I, MICHAEL W. JOHNSON, VICE PRESIDENT RESPECTIVELY OF U.S. HOME CORPORATION, A DELAWARE CORPORATION, GENERAL PARTNER OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MAGNOLIA RIDGE FOREST SECTION 18, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MAGNOLIA RIDGE FOREST SECTION 18, LOCATED IN THE EDWARD TAYLOR SURVEY, ABSTRACT 554, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS, THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRANNON BOOZER, ITS VICE PRESIDENT OF LAND, THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2022.

M/I HOMES OF HOUSTON, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

By: _____
BRANNON BOOZER, VICE PRESIDENT OF LAND

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRANNON BOOZER, VICE PRESIDENT OF LAND, OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KEITH W. MONROE, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KEITH W. MONROE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4797

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

SCOTT SHELburnE, CHAIRMAN

KANDICE GARRETT, CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 18 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

KANDICE GARRETT, CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, MARK TURNBULL, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2022, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2022, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

MARK TURNBULL, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

By: _____
DEPUTY

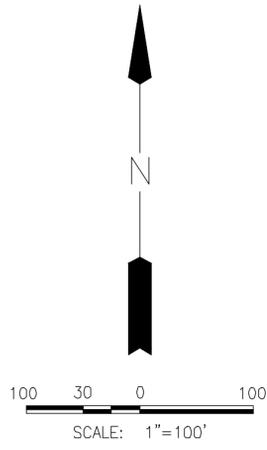
OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 500
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

MAGNOLIA RIDGE FOREST
SECTION 18

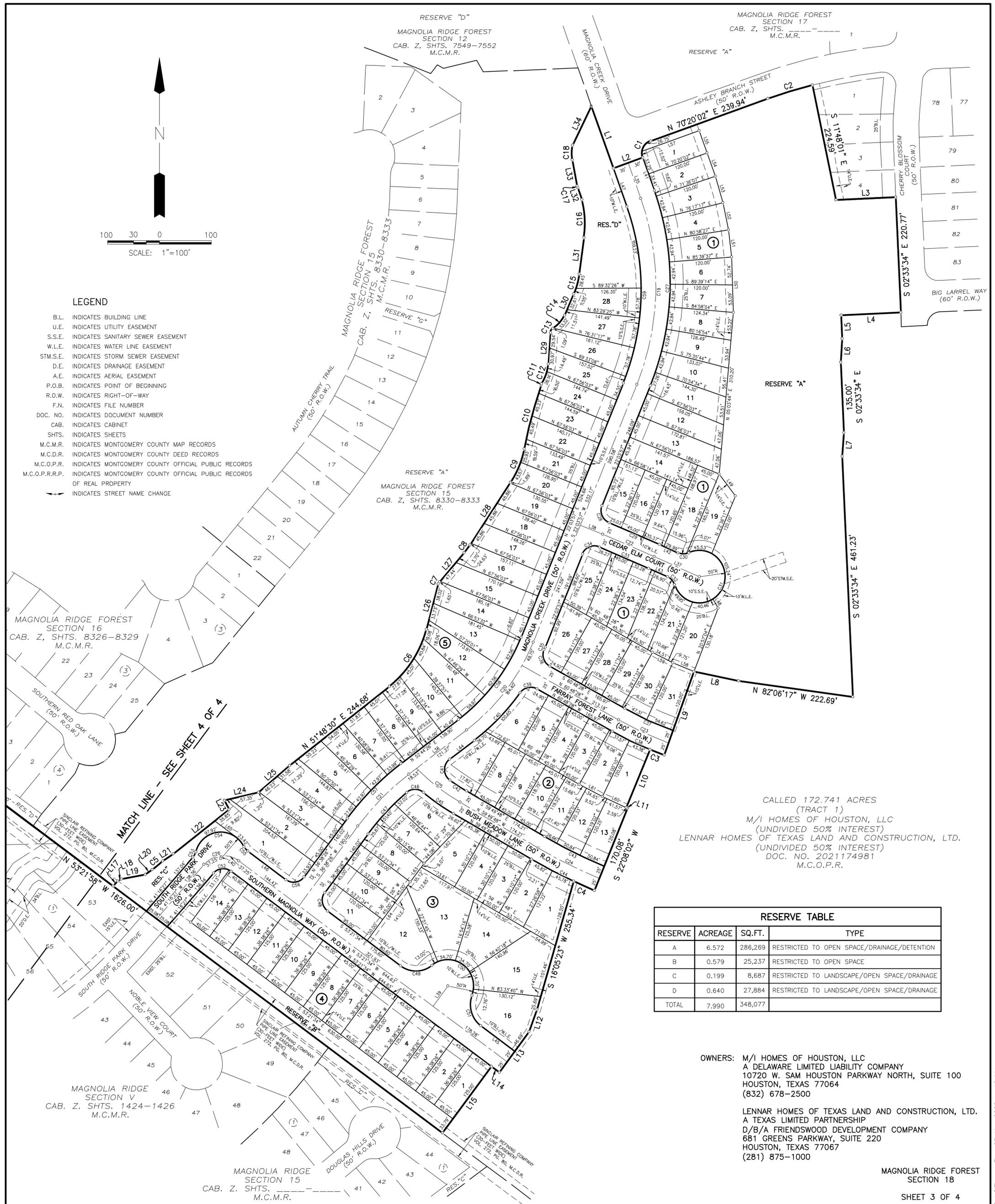
SHEET 2 OF 4

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SUR: _____
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ALEXIS: S _____
CAD: _____
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10:11 AM
2022
Thu, 05 May 2022
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LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- STM.S.E. INDICATES STORM SEWER EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- P.O.B. INDICATES POINT OF BEGINNING
- R.O.W. INDICATES RIGHT-OF-WAY
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- ↔ INDICATES STREET NAME CHANGE



CALLED 172.741 ACRES
 (TRACT 1)
 M/I HOMES OF HOUSTON, LLC
 (UNDIVIDED 50% INTEREST)
 LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 (UNDIVIDED 50% INTEREST)
 DOC. NO. 2021174981
 M.C.O.P.R.

RESERVE	ACREAGE	SQ.FT.	TYPE
A	6.572	286,269	RESTRICTED TO OPEN SPACE/DRAINAGE/DETENTION
B	0.579	25,237	RESTRICTED TO OPEN SPACE
C	0.199	8,687	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE
D	0.640	27,884	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE
TOTAL	7.990	348,077	

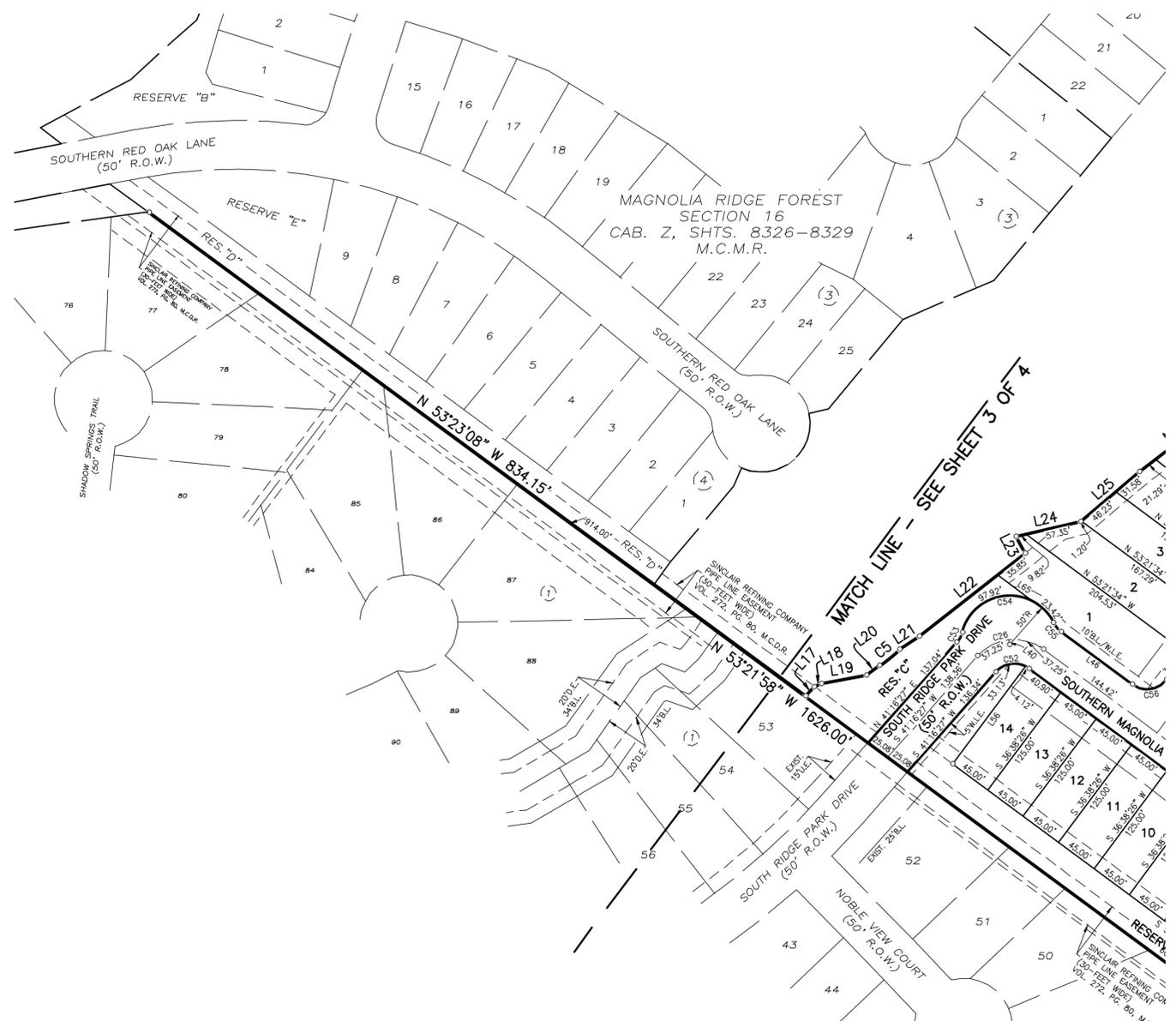
OWNERS: M/I HOMES OF HOUSTON, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
 HOUSTON, TEXAS 77064
 (832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 A TEXAS LIMITED PARTNERSHIP
 D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
 681 GREENS PARKWAY, SUITE 220
 HOUSTON, TEXAS 77067
 (281) 875-1000

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SCALE: 1"=100'



LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- STM.S.E. INDICATES STORM SEWER EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- P.O.B. INDICATES POINT OF BEGINNING
- R.O.W. INDICATES RIGHT-OF-WAY
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- INDICATES STREET NAME CHANGE

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	25.00'	90°00'00"	39.27'	N 25°20'02" E	35.36'
C2	975.00'	5°16'56"	89.89'	N 72°58'31" E	89.86'
C3	675.00'	2°28'18"	29.12'	N 68°54'55" W	29.12'
C4	965.00'	2°35'51"	43.75'	N 66°34'02" W	43.75'
C5	210.00'	7°06'31"	26.05'	N 50°32'01" E	26.04'
C6	210.00'	36°13'55"	132.80'	N 33°02'42" E	130.60'
C7	10.00'	25°06'44"	4.38'	N 27°57'19" E	4.35'
C8	156.00'	6°49'21"	18.58'	N 36°15'43" E	18.56'
C9	180.00'	22°07'28"	69.51'	N 22°15'19" E	69.08'
C10	968.11'	7°30'16"	126.80'	N 14°56'43" E	126.71'
C11	10.00'	14°33'41"	2.54'	N 25°58'42" E	2.53'
C12	79.20'	29°23'21"	40.62'	N 18°33'52" E	40.18'
C13	10.01'	54°07'05"	9.45'	N 32°06'39" E	9.11'
C14	55.64'	35°26'18"	34.42'	N 41°27'03" E	33.87'
C15	139.55'	16°25'21"	40.00'	N 15°31'13" E	39.86'
C16	174.20'	24°09'15"	73.44'	N 02°57'07" W	72.90'
C17	20.00'	8°47'44"	3.07'	N 15°09'47" W	3.07'
C18	72.06'	22°42'12"	28.55'	N 00°53'00" E	28.37'
C19	500.00'	41°43'54"	364.18'	S 01°11'59" W	356.18'
C20	400.00'	30°40'30"	214.15'	S 37°24'12" W	211.60'
C21	500.00'	16°06'01"	140.50'	S 44°41'26" W	140.04'
C22	3000.00'	2°03'35"	107.84'	N 66°54'16" W	107.84'
C23	650.00'	9°20'36"	106.00'	N 65°28'46" W	105.88'
C24	940.00'	8°02'09"	131.84'	N 63°50'53" W	131.73'
C25	400.00'	15°13'11"	106.25'	N 52°13'13" W	105.94'
C26	50.00'	85°21'59"	74.50'	S 83°57'26" W	67.79'
C27	525.00'	41°43'54"	382.39'	S 01°11'59" W	373.99'
C28	25.00'	89°56'12"	39.24'	S 22°54'09" E	35.34'
C29	3025.00'	1°59'47"	105.40'	S 66°52'22" E	105.39'
C30	25.00'	48°11'23"	21.03'	S 89°58'10" E	20.41'
C31	50.00'	27°22'46"	241.19'	S 24°07'32" W	66.67'
C32	25.00'	48°11'23"	21.03'	N 41°46'47" W	20.41'
C33	2975.00'	1°59'39"	103.54'	N 66°52'18" W	103.54'
C34	25.00'	90°03'56"	39.30'	S 67°05'55" W	35.38'
C35	425.00'	0°44'50"	5.54'	S 22°26'22" W	5.54'
C36	25.00'	83°37'14"	36.49'	S 18°59'51" E	33.33'
C37	625.00'	9°20'36"	101.92'	S 65°28'46" E	101.81'
C38	675.00'	9°20'36"	110.07'	N 65°28'46" W	109.95'
C39	25.00'	83°37'14"	36.49'	S 77°22'55" W	33.33'
C40	425.00'	17°10'09"	127.35'	S 44°09'22" W	126.88'
C41	25.00'	106°48'12"	46.60'	S 00°39'39" E	40.14'
C42	375.00'	5°46'03"	37.75'	S 56°56'47" E	37.73'
C43	915.00'	8°02'09"	128.33'	S 63°50'53" E	128.23'
C44	965.00'	8°02'09"	135.34'	N 63°50'53" W	135.23'
C45	425.00'	9°29'58"	70.46'	N 55°04'49" W	70.38'
C46	25.00'	78°52'15"	34.85'	S 89°44'02" W	32.10'
C47	475.00'	13°09'29"	109.08'	S 43°13'10" W	108.85'
C48	25.00'	90°00'00"	39.27'	S 08°21'34" E	35.36'
C49	50.00'	74°25'14"	64.94'	N 89°25'49" E	60.47'
C50	50.00'	148°50'29"	129.89'	S 53°21'34" E	96.33'
C51	50.00'	74°25'14"	64.94'	S 16°08'57" E	60.47'
C52	25.00'	85°21'59"	37.25'	S 83°57'26" W	33.90'
C53	25.00'	26°50'27"	11.71'	N 27°51'14" E	11.60'
C54	50.00'	139°02'52"	121.34'	N 83°57'26" E	93.68'
C55	25.00'	26°50'27"	11.71'	S 39°56'21" E	11.60'
C56	25.00'	90°00'00"	39.27'	N 81°38'26" E	35.36'
C57	525.00'	16°06'01"	147.53'	N 44°41'26" E	147.04'
C58	375.00'	30°40'30"	200.77'	N 37°24'12" E	198.38'
C59	475.00'	41°43'54"	345.97'	N 01°11'59" E	338.37'

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 19°39'58" E	126.11'
L2	N 70°16'35" E	60.00'
L3	N 87°26'26" E	115.00'
L4	S 87°26'26" W	115.00'
L5	S 02°33'34" E	45.00'
L6	S 03°46'50" W	45.28'
L7	S 03°46'50" W	45.28'
L8	N 78°13'17" W	87.86'
L9	S 19°50'56" W	170.00'
L10	S 22°19'14" W	120.00'
L11	S 69°31'15" E	2.59'
L12	S 19°05'54" W	45.10'
L13	S 36°38'26" W	96.69'
L14	N 53°21'34" W	18.72'
L15	S 36°38'26" W	158.79'
L17	N 43°05'23" E	13.13'
L18	N 64°28'14" E	8.15'
L19	N 79°18'34" E	46.32'
L20	N 55°07'57" E	16.90'
L21	N 56°43'42" E	24.35'
L22	N 51°34'39" E	137.48'
L23	N 27°03'08" W	19.62'
L24	N 76°47'13" E	67.17'
L25	N 49°52'30" E	79.01'
L26	N 15°00'46" E	89.81'
L27	N 40°30'41" E	73.73'
L28	N 33°11'56" E	142.98'
L29	N 03°52'11" E	60.50'
L30	N 23°43'54" E	44.12'
L31	N 07°18'33" E	70.15'
L32	N 19°33'39" W	24.56'
L33	N 10°45'55" W	50.67'
L34	N 25°56'44" E	83.20'

LINE TABLE

LINE	BEARING	DISTANCE
L35	S 19°39'58" E	72.23'
L36	S 52°44'26" W	139.90'
L37	N 65°52'28" W	95.54'
L38	N 67°56'03" W	46.63'
L39	S 36°38'26" W	48.14'
L40	N 06°02'34" W	5.00'
L41	S 19°39'58" E	66.66'
L42	S 65°52'28" E	39.64'
L43	N 65°52'28" W	39.64'
L44	S 52°44'26" W	59.71'
L45	S 53°21'34" E	81.96'
L46	S 53°21'34" E	91.06'
L47	N 19°39'58" W	77.81'
L48	N 31°17'15" W	20.00'
L49	N 36°31'50" W	52.43'
L50	N 01°59'48" W	105.83'
L51	N 06°40'58" W	52.74'
L52	N 11°22'08" W	52.74'
L53	N 16°03'18" W	52.74'
L54	N 19°28'35" W	47.68'
L55	N 19°39'58" W	45.25'
L56	S 36°38'26" W	124.66'
L57	N 70°20'02" E	116.93'
L58	N 67°38'52" W	44.12'
L59	S 62°40'48" E	44.26'
L60	N 65°50'18" W	51.09'
L61	N 62°12'37" W	50.31'
L62	N 43°53'29" E	114.26'
L63	S 37°18'44" W	44.19'
L64	N 36°38'26" E	127.35'
L65	N 53°21'34" W	52.59'

BLOCK 1

LOT NO.	SQ.FT.
1	5,418
2	5,559
3	5,723
4	5,723
5	5,723
6	5,723
7	5,837
8	6,009
9	6,241
10	6,720
11	7,210
12	7,467
13	8,086
14	6,661
15	5,950
16	5,397
17	5,413
18	7,616
19	6,238
20	6,805
21	5,562
22	6,288
23	6,150
24	5,948
25	6,285
26	6,436
27	5,400
28	5,400
29	5,400
30	5,871
31	5,939

BLOCK 2

LOT NO.	SQ.FT.
1	5,655
2	5,624
3	5,400
4	5,400
5	5,400
6	6,758
7	7,417
8	5,292
9	5,327
10	5,361
11	5,553
12	5,712
13	5,713

BLOCK 3

LOT NO.	SQ.FT.
1	7,185
2	6,127
3	6,000
4	6,000
5	7,199
6	6,935
7	5,760
8	5,701
9	5,400
10	5,400
11	5,866
12	11,088
13	13,463
14	9,856
15	12,839
16	10,281

BLOCK 4

LOT NO.	SQ.FT.
1	5,625
2	5,625
3	5,625
4	5,625
5	5,625
6	5,625
7	5,625
8	5,625
9	5,625
10	5,625
11	5,625
12	5,625
13	5,625
14	5,625

BLOCK 5

LOT NO.	SQ.FT.
1	11,097
2	8,350
3	7,290
4	7,182
5	6,803
6	6,418
7	6,189
8	5,869
9	5,923
10	6,451
11	7,509
12	8,138
13	8,499
14	8,332
15	7,996
16	7,336
17	6,871
18	6,472
19	6,074
20	5,751
21	5,837
22	6,164
23	6,414
24	6,514
25	6,906
26	7,762
27	7,261
28	6,658

- NOTES:**
- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
 - THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 TEXAS COORDINATE SYSTEM, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE 0.99997177219.
 - THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 2021-0097, DATED JULY 30, 2021. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
 - FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "LJA SURVEY" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
 - ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0480G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED). ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "LJA DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
 - THE PIPELINES AND/OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
 - SHORT FORM BLANKET EASEMENT FOR CERTAIN UTILITIES GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC AND CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS AND SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS, BY INSTRUMENT RECORDED IN/UNDER CLERK'S FILE NO. 2010019737 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS.
 - BLANKET EASEMENT GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC, CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS, SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS AND COMCAST OF HOUSTON LLC, AS RECORDED UNDER CLERK'S FILE NO. 2021122282.
 - AGREEMENT FOR UNDERGROUND ELECTRIC SERVICES BY AND BETWEEN CENTERPOINT ENERGY HOUSTON, LLC AND M/I HOMES OF HOUSTON, LLC AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD, AS RECORDED UNDER MONTGOMERY COUNTY CLERK'S FILE NO. 2021142192.

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 500
HOUSTON, TEXAS 77064
(832) 678-2507

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENSWOOD PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

MAGNOLIA RIDGE FOREST
SECTION 18

SHEET 4 OF 4

CAD: ALEXIS: S MYLAR CHECK: DIR. SUR. 2025-1418C-310

DESCRIPTION OF
MAGNOLIA RIDGE FOREST SECTION 18
27.589 ACRES

Being a 27.589 acre tract of land located in the Edward Taylor Survey, Abstract 554, Montgomery County, Texas, said 27.589 acre tract being a portion on Reserve "A" of Magnolia Ridge Section XIII, a subdivision of record under Cabinet Z, Sheet 1427-1429 of the Montgomery County Map Records (M.C.M.R) and a portion of that certain called 172.741 acre tract to M/I Homes of Houston, LLC (Undivided 50% Interest) Lennar Homes of Texas Land and Construction, LTD. (Undivided 50% Interest) by an instrument of record under Document Number 2021174981 of the Official Public Records of Montgomery County, Texas (M.C.O.P.R.), said 33.709 acres being more particularly described by metes and bounds as follows (all bearings based on the Texas Coordinate System, Central Zone, NAD 83;

BEGINNING at a 5/8-inch iron rod with cap stamped "GBI PARTNERS" found for the east corner of that certain called 50.475 acre tract conveyed to Houston LD, LLC by an instrument of record under Document Number 2021025022, M.C.O.P.R., said point being an interior corner on the west line of said 172.741 acre tract, said point also being an angle point on the north line of said Reserve "A", said point also being the southeast corner of Magnolia Ridge Section V, a subdivision of record under Cabinet Z, Sheets 1614-1616, M.C.M.R.;

Thence, North 53° 23' 08" West, along the northeasterly line of said Magnolia Ridge Section V and a west line 172.741 acre tract, 516.36 feet to a point for the south corner of Magnolia Forest Section 15, a subdivision of record under Cabinet Z, Sheets 8330-8333, M.C.M.R.;

Thence, departing the northeasterly line of said Magnolia Ridge Section V and a west line 172.741 acre tract, and along the easterly line of Magnolia Forest Section 15 the following X courses:

1. North 43° 05' 23" East, 13.13 feet to a point for corner;
2. North 64° 28' 14" East, 8.15 feet to a point for corner;

3. North $79^{\circ} 18' 34''$ East, 46.32 feet to a point for corner;
4. North $55^{\circ} 07' 57''$ East, 16.90 feet to a point for corner at the beginning of a curve to the left;
5. 26.05 feet along the arc of a curve to the left, having a radius of 210.00 feet, a central angle of $07^{\circ} 06' 31''$, and a chord which bears North $50^{\circ} 32' 01''$ East, 26.04 feet to a point for corner;
6. North $56^{\circ} 43' 42''$ East, 24.35 feet to a point for corner;
7. North $51^{\circ} 34' 39''$ East, 137.48 feet to a point for corner;
8. North $27^{\circ} 03' 08''$ West, 19.62 feet to a point for corner;
9. North $76^{\circ} 47' 13''$ East, 67.17 feet to a point for corner;
10. North $49^{\circ} 52' 30''$ East, 79.01 feet to a point for corner;
11. North $51^{\circ} 48' 30''$ East, 244.68 feet to a point for corner at the beginning of a curve to the left;
12. 132.80 feet along the arc of a curve to the left, having a radius of 210.00 feet, a central angle of $36^{\circ} 13' 55''$, and a chord which bears North $33^{\circ} 02' 42''$ East, 130.60 feet to a point for corner;
13. North $15^{\circ} 00' 46''$ East, 89.81 feet to a point for corner at the beginning of a curve to the right;

14. 4.38 feet along the arc of a curve to the right, having a radius of 10.00 feet, a central angle of $25^{\circ} 06' 44''$, and a chord which bears North $27^{\circ} 57' 19''$ East, 4.35 feet to a point for corner;
15. North $40^{\circ} 30' 41''$ East, 73.73 feet to a point for corner at the beginning of a curve to the left;
16. 18.58 feet along the arc of a curve to the left, having a radius of 156.00 feet, a central angle of $06^{\circ} 49' 21''$, and a chord which bears North $36^{\circ} 15' 43''$ East, 18.56 feet to a point for corner;
17. North $33^{\circ} 11' 56''$ East, 142.98 feet to a point for corner at the beginning of a curve to the left;
18. 69.51 feet along the arc of a curve to the left, having a radius of 180.00 feet, a central angle of $22^{\circ} 07' 28''$, and a chord which bears North $22^{\circ} 15' 19''$ East, 69.08 feet to a point for corner at the beginning of a reverse curve to the right;
19. 126.80 feet along the arc of said reverse curve to the right, having a radius of 968.11 feet, a central angle of $07^{\circ} 30' 16''$, and a chord which bears North $14^{\circ} 56' 43''$ East, 126.71 feet to a point for corner at the beginning of a compound curve to the right;
20. 2.54 feet along the arc of said compound curve to the right, having a radius of 10.00 feet, a central angle of $14^{\circ} 33' 41''$, and a chord which bears North $25^{\circ} 58' 42''$ East, 2.53 feet to a point for corner at the beginning of a reverse curve to the left;
21. 40.62 feet along the arc of said reverse curve to the left, having a radius of 79.20 feet, a central angle of $29^{\circ} 23' 21''$, and a chord which bears North $18^{\circ} 33' 52''$ East, 40.18 feet to a point for corner;

22. North $03^{\circ} 52' 11''$ East, 60.50 feet to a point for corner at the beginning of a curve to the right;
23. 9.45 feet along the arc of a curve to the right, having a radius of 10.01 feet, a central angle of $54^{\circ} 07' 05''$, and a chord which bears North $32^{\circ} 06' 39''$ East, 9.11 feet to a point for corner at the beginning of a reverse curve to the left;
24. 34.42 feet along the arc of said reverse curve to the left, having a radius of 55.64 feet, a central angle of $35^{\circ} 26' 18''$, and a chord which bears North $41^{\circ} 27' 03''$ East, 33.87 feet to a point for corner;
25. North $23^{\circ} 43' 54''$ East, 44.12 feet to a point for corner at the beginning of a curve to the left;
26. 40.00 feet along the arc of a curve to the left, having a radius of 139.55 feet, a central angle of $16^{\circ} 25' 21''$, and a chord which bears North $15^{\circ} 31' 13''$ East, 39.86 feet to a point for corner;
27. North $07^{\circ} 18' 33''$ East, 70.15 feet to a point for corner at the beginning of a curve to the left;
28. 73.44 feet along the arc of a curve to the left, having a radius of 174.20 feet, a central angle of $24^{\circ} 09' 15''$, and a chord which bears North $02^{\circ} 57' 07''$ West, 72.90 feet to a point for corner;
29. North $19^{\circ} 33' 39''$ West, 24.56 feet to a point for corner at the beginning of a curve to the right;

30. 3.07 feet along the arc of a curve to the right, having a radius of 20.00 feet, a central angle of $08^{\circ} 47' 44''$, and a chord which bears North $15^{\circ} 09' 47''$ West, 3.07 feet to a point for corner;
31. North $10^{\circ} 45' 55''$ West, 50.67 feet to a point for corner at the beginning of a curve to the right;
32. 28.55 feet along the arc of a curve to the right, having a radius of 72.06 feet, a central angle of $22^{\circ} 42' 12''$, and a chord which bears North $00^{\circ} 53' 00''$ East, 28.37 feet to a point for corner;
33. North $25^{\circ} 56' 44''$ East, 83.20 feet to a point for corner;

Thence, South $19^{\circ} 39' 58''$ East, 126.11 feet to a point for corner;

Thence, North $70^{\circ} 16' 35''$ East, 60.00 feet to a point for corner at the beginning of a curve to the right;

Thence, 39.27 feet along the arc of a curve to the right, having a radius of 25.00 feet, a central angle of $90^{\circ} 00' 00''$, and a chord which bears North $25^{\circ} 20' 02''$ East, 35.36 feet to a point for corner;

Thence, North $70^{\circ} 20' 02''$ East, 239.94 feet to a point for corner at the beginning of a curve to the right;

Thence, 89.89 feet along the arc of a curve to the right, having a radius of 975.00 feet, a central angle of $05^{\circ} 16' 56''$, and a chord which bears North $72^{\circ} 58' 31''$ East, 89.86 feet to a point for corner;

Thence, South $11^{\circ} 48' 01''$ East, 224.59 feet to a point for corner;

27.589 Acres

April 21, 2021
Job No. 2025-1414C

Thence, North $87^{\circ} 26' 26''$ East, 115.00 feet to a point for corner;

Thence, South $02^{\circ} 33' 34''$ East, 220.77 feet to a point for corner;

Thence, South $87^{\circ} 26' 26''$ West, 115.00 feet to a point for corner;

Thence, South $02^{\circ} 33' 34''$ East, 45.00 feet to a point for corner;

Thence, South $03^{\circ} 46' 50''$ West, 45.28 feet to a point for corner;

Thence, South $02^{\circ} 33' 34''$ East, 135.00 feet to a point for corner;

Thence, South $03^{\circ} 46' 50''$ West, 45.28 feet to a point for corner;

Thence, South $02^{\circ} 33' 34''$ East, 461.23 feet to a point for corner;

Thence, North $82^{\circ} 06' 17''$ West, 222.69 feet to a point for corner;

Thence, North $78^{\circ} 13' 17''$ West, 87.86 feet to a point for corner;

Thence, South $19^{\circ} 50' 56''$ West, 170.00 feet to a point for corner at the beginning of a curve to the right;

Thence, 29.12 feet along the arc of a curve to the right, having a radius of 675.00 feet, a central angle of $02^{\circ} 28' 18''$, and a chord which bears North $68^{\circ} 54' 55''$ West, 29.12 feet to a point for corner;

Thence, South $22^{\circ} 19' 14''$ West, 120.00 feet to a point for corner;

Thence, South $69^{\circ} 31' 15''$ East, 2.59 feet to a point for corner;

27.589 Acres

April 21, 2021
Job No. 2025-1414C

Thence, South 22° 08' 02" West, 170.08 feet to a point for corner at the beginning of a curve to the right;

Thence, 43.75 feet along the arc of a curve to the right, having a radius of 965.00 feet, a central angle of 02° 35' 51", and a chord which bears North 66° 34' 02" West, 43.75 feet to a point for corner;

Thence, South 16° 05' 23" West, 255.34 feet to a point for corner;

Thence, South 19° 05' 54" West, 45.10 feet to a point for corner;

Thence, South 36° 38' 26" West, 96.69 feet to a point for corner;

Thence, North 53° 21' 34" West, 18.72 feet to a point for corner;

Thence, South 36° 38' 26" West, 158.42 feet to a point for corner on a westerly line of the aforementioned 172.741 acre tract;

Thence, North 53° 20' 05" West, along a westerly line of said 172.741 acre tract, 195.48 feet to a point for corner on the north line of Reserve "A" of the aforementioned Magnolia Ridge Section XIII;

Thence, North 53° 23' 00" West, continuing along a westerly line of 172.741 acre tract and a northerly line of said Reserve "A", 80.01 feet to the POINT OF BEGINNING and containing 27.589 Acres (1,201,780 square feet) acres of land.



LJAS Surveying, Inc.



July 14, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

**Reference: *Magnolia Ridge Forest Section 18 – Second Final Plat Review
City of Magnolia
AEI Job No. 220876.80-001***

Dear Mr. Doering:

We received the revised final plat for the proposed Magnolia Ridge Forest Section 18 development on June 27, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and are providing the following comments for your consideration:

1. Provide a letter stating that funds are available to complete all water, sanitary sewer, drainage, and road facilities needed to serve Magnolia Ridge Forest Section 18, per the Developer Agreement. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
2. It appears that Magnolia Ridge Forest Section 18 extends over MCAD Property ID # R512733. Provide a Tax Certificate indicating taxes have been paid. Tax Certificate from Montgomery County MUD 108 should also be provided.
3. For paragraph one of the signature page, verify and update the company names for signatures. The CPL dated June 28, 2022, says, “M/I Homes of Houston, LLC, a Delaware limited liability company, and Lennar Homes of Texas Land and Construction, LTD, a Texas limited partnership;” however, several additional names are listed in paragraph.
4. Provide documentation showing Texas Commission on Environmental Quality approval of the Magnolia Ridge Forest Section 18 plans, per City’s Code of Ordinance Appendix A, Chapter 5, Section 504.2. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
5. Final plat shall not be approved until the Magnolia Ridge Forest Section 18 Detention plan and Magnolia Ridge Forest Section 18 WSDP plans are approved by the City. Provide approval. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
6. Magnolia Ridge Forest Section 18 WSDP plans were not provided. As such, easements for utilities were not verified. Provide approved WSDP plans. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
7. Show contour lines on the plat. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
8. Update note three in the plat per the latest City Planning Letter dated June 28, 2022.



9. Provide the full legal description of the development on the first page of the plat, as indicated in the City Planning Letter dated June 28, 2022.
10. The acreage shown on the metes and bounds provided on April 25, 2022, does not match the City Planning Letter dated June 28, 2022. Verify and provide updated City Planning letter or metes and bounds. Revised plat as needed.
11. Final plat shall be signed and sealed by a Professional Surveyor licensed in Texas.
12. Obtain all applicable governmental agency signatures.
13. Construction shall not commence until final agency approvals are secured.

Please make all the revisions as requested and submit a revised set of plans to this office for final approval. Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Robel E. Giackero, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Alexis Santibanes – LJA Engineering, Inc.

**City of Magnolia
City Council
Agenda Item Summary**

Date: July 18, 2022

To: Planning & Zoning Commission
From: Christian Gable, Planning Coordinator

RE: Planning and Zoning Commission Agenda **Item 16**

Background/Information:

An application for a final plat was received on May 9, 2022.

Comments:

Second review letter was issued by City Engineer to applicant July 14, 2022.

Action Requested:

Approve final plat for Magnolia Ridge Forest Section 19.

Recommendation:

Approve final plat for Magnolia Ridge Forest Section 19 upon receipt of Letter of No Objection from City Engineer.

Attachments:

Final Plat



Final Plat Application Form

This form shall be submitted with each application for a final plat.

CONTACT INFORMATION

Applicant

Property Owner (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Architect (if different)

Engineer/Land Surveyor (if different)

Name

Name

Street Address

Street Address

City, State Zip

City, State Zip

Phone

Phone

Fax

Fax

E-mail

E-mail

Project Name: _____ Subdivision: _____ Reviewer: _____

PROPERTY PROFILE

Legal Description _____
(Subdivision) (Lot) (Block)

Current Zoning _____

Present Use of Property

Proposed Use of the Property

Total Area of Site _____

Project Name: _____ Subdivision: _____ Reviewer: _____

1. Description of existing property. If the property has been previously subdivided, provide the lot(s), block(s), and subdivision name. If the property has been subdivided, provide the metes and bounds description:

2. Description of proposed property change, including lot numbers, name, etc.

Required Information

- Three (3) copies of the final plat; minimum 20 in. x 24 in. size Mylar originals sealed by a state of Texas registered surveyor
- Twelve (12) copies in black or blue line copies of the original Mylar final plat
- Twelve (12) copies of a "letter of explanation" explaining the details of the final plat
- One (1) copy in blue or black line of all originals in 11 in. x 17 in. size
- All fees
- One (1) Adobe Acrobat PDF of each page presented to the City for review
- Owner affidavit of no conveyance of any interest and that no additional liens exist on the land within the plat since the date of the original title opinion (title search)
- Tax certificates; City, County, and School
- Final plans and specifications for all required improvements
- Vicinity map
- North arrow
- Revision date
- Legal description
- Scale
- Contour lines (at one-foot intervals)
- Tabulations that include:
 - The number of lots in the subdivision
 - The size of the parcel
 - The number of dwelling units proposed (provided on a separated attached description)
 - The number of square feet of nonresidential floor area proposed, by generalized use (provided on a separate attached description)
 - Water available for fire protection
- Use and ownership of abutting parcels or lots
- Location and dimensions (including all curve data, the lengths of all arcs, radii, internal angles, points of curvature, lengths and bearings of tangents) of:
 - Right-of-way, streets, alleys, railroads, lots, open space, parks, protected natural resources, and buffers
 - Utility and access easements
 - Private access easements

Project Name: _____ Subdivision: _____ Reviewer: _____

- The outer boundary lines of the parcel proposed for subdivision, with accurate distances, angles, and true bearings if available, and the exact location width of all recorded streets and ways intersecting the boundaries of the parcel being platted
- Distances and angles, or true bearings if available, to the established street lines or official monuments, which shall be accurately described on the plat
- Proposed names of streets
- Linear footage of proposed new right-of-way
- All block indications, if any; lot numbers; all individual areas designated by number or letter, and lots in new subdivision, numbered consecutively
- The accurate location, material, type and description of all permanent control monuments. Where no established bench mark exists, show permanent bench marks that have been established on the property based on mean sea level datum and shown on the plat
- Delineation and area of special use areas, including the location and size of proposed parks, playgrounds, protected resources and open spaces, sites for places of public assembly (including schools) or other special uses of land to be considered for dedication to public use, and of all property that may be granted by deed and covenants for the common use of the property owners in the subdivision, along with statements for responsibility for maintenance. Actual use descriptions must be provided on a separate attached description
- Proposed generalized use of lots (*e.g.*, mixed-use, single-family attached, multi-family, industrial, commercial or office, or institutional), provided on a separate attached description
- Proposed location, size, and linear footage of proposed potable water lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of natural gas lines, provided on a separate utility sheet
- Proposed location, size, and linear footage of sanitary sewer lines and sewerage facilities, except individual treatment systems provided on utility and street construction plans
- Proposed location of fire hydrants, provided on utility and street construction plans
- If the proposed subdivision is to be constructed in several phases, a staging plan that shows how the subdivision improvements will be phased. Anticipated time lines for construction of the improvements shall be provided on a separate attached description
- If the proposed subdivision is one of several phases, conceptual plans for the other phases
- Traffic study (if necessary)
- All required notes, certifications, and signatures

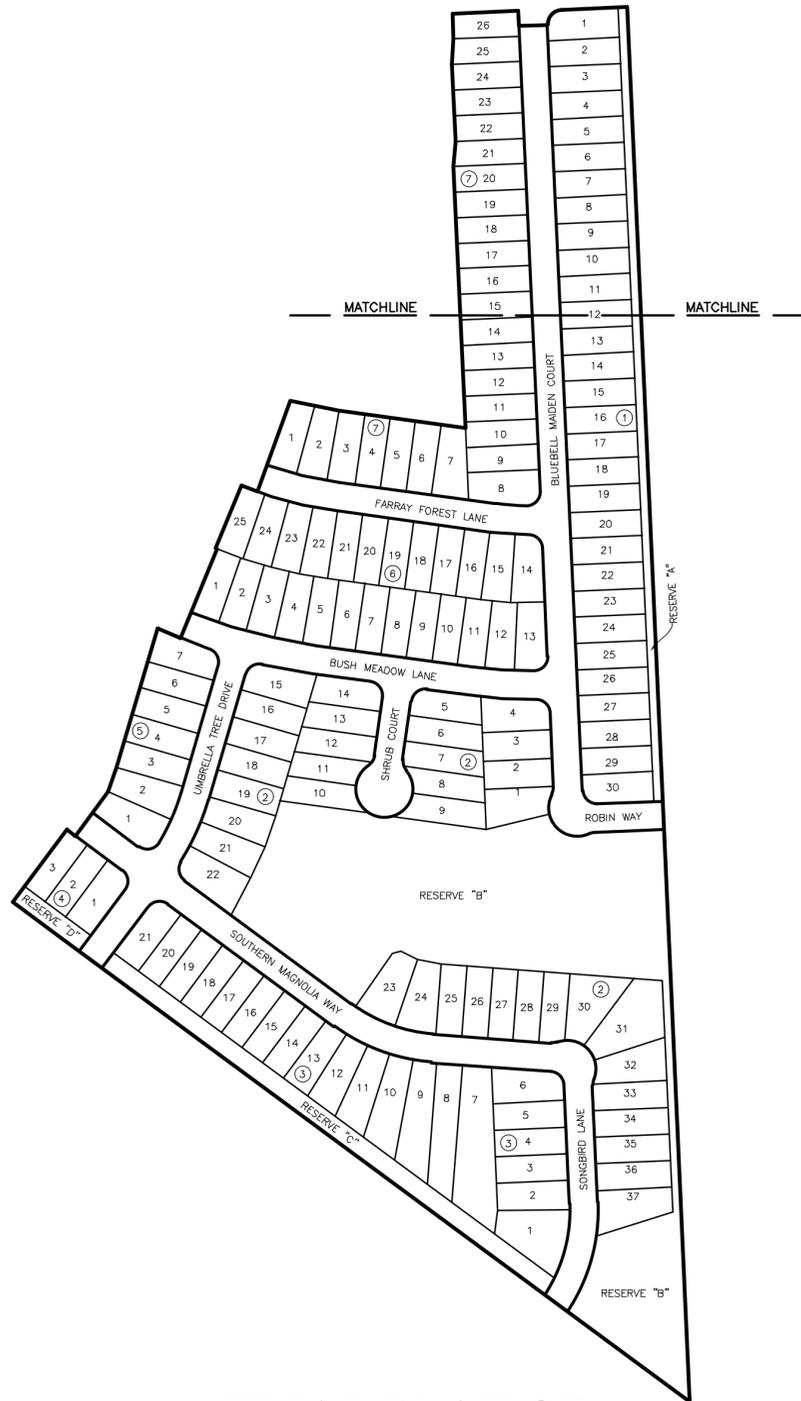
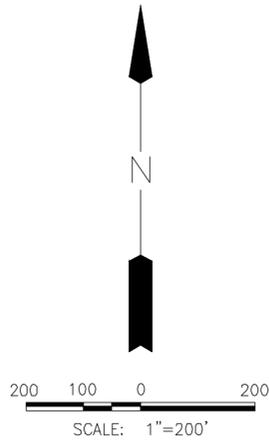
I, _____ (print or type name), certify with my signature below that the information included in my submittal packet is complete, true, and correct, to the best of my knowledge.



Signature of Applicant

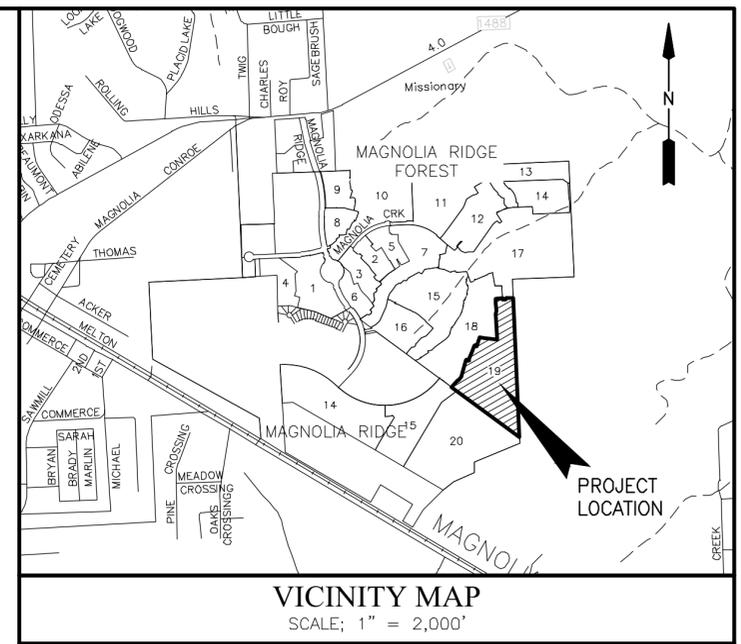
Date

Project Name: _____ Subdivision: _____ Reviewer: _____



FINAL PLAT OF MAGNOLIA RIDGE FOREST SECTION 19

A SUBDIVISION OF 33.715 ACRES OF LAND SITUATED IN
THE EDWARD TAYLOR SURVEY, ABSTRACT 554,
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS,
BEING A PARTIAL REPLAT OF RESERVE "A", MAGNOLIA RIDGE SECTION XIII,
A SUBDIVISION RECORDED IN CABINET Z, SHEETS 1427-1429,
MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.



VICINITY MAP
SCALE: 1" = 2,000'
KEY MAP NO. 212L

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
HOUSTON, TEXAS 77064
(832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

DATE: MAY 5, 2022

149 LOTS
7 BLOCKS
4 RESERVES
6.837 ACRES IN RESERVES

SURVEYOR:

LJA Surveying, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 175 Fax 713.953.5026
Houston, Texas 77042 T.B.P.E.L.S. Firm No. 10194382

ENGINEER:

LJA Engineering, Inc.
3600 W Sam Houston Parkway S Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

Path: T:\05_May_2022_11:09am
 Plot Name: C:\Users\ASANT\1\AppData\Local\Temp\AcPublish_22824\Magnolia Ridge Forest_19.dwg
 CAD: ALEXIS: S MYLAR CHECK: SUR DIR:

IN TESTIMONY WHEREOF, THE LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY U.S. HOME CORPORATION, A DELAWARE CORPORATION, ITS GENERAL PARTNER, THEREUNTO AUTHORIZED, BY ITS VICE PRESIDENT, MICHAEL W. JOHNSON, THIS THE _____ DAY OF _____, 2021.

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.,
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY

BY: U.S. HOME CORPORATION
A DELAWARE CORPORATION,
ITS GENERAL PARTNER

BY: _____
MICHAEL W. JOHNSON, VICE PRESIDENT

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, BRANNON BOOZER, VICE PRESIDENT OF LAND, RESPECTIVELY OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND I, MICHAEL W. JOHNSON, VICE PRESIDENT RESPECTIVELY OF U.S. HOME CORPORATION, A DELAWARE CORPORATION, GENERAL PARTNER OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF MAGNOLIA RIDGE FOREST SECTION 19, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDWOOD DEVELOPMENT COMPANY, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN, AND DESIGNATE SAID SUBDIVISION AS MAGNOLIA RIDGE FOREST SECTION 19, LOCATED IN THE EDWARD TAYLOR SURVEY, ABSTRACT 554, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF SAID M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDWOOD DEVELOPMENT COMPANY; AND DEDICATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE THE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY THE AERIAL EASEMENT TOTALS TWENTY ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

WE HAVE ALSO COMPLIED WITH ALL REGULATIONS HERETO BEFORE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MAGNOLIA, LOCATED IN MONTGOMERY COUNTY, TEXAS.

FURTHER, OWNERS DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL PROPERTY IMMEDIATELY ADJACENT TO THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 19 WHERE BUILDING SETBACK LINES OR PUBLIC UTILITY EASEMENTS ARE TO BE ESTABLISHED OUTSIDE THE BOUNDARIES OF THE ABOVE AND FORGOING SUBDIVISION AND DO HEREBY MAKE AND ESTABLISH ALL BUILDING SETBACK LINES AND DEDICATE TO THE USE OF THE PUBLIC, ALL PUBLIC UTILITY EASEMENTS SHOWN IN SAID ADJACENT ACREAGE.

IN TESTIMONY WHEREOF, THE M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRANNON BOOZER, ITS VICE PRESIDENT OF LAND, THEREUNTO AUTHORIZED, THIS _____ DAY OF _____, 2022.

M/I HOMES OF HOUSTON, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

BY: _____
BRANNON BOOZER, VICE PRESIDENT OF LAND

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRANNON BOOZER, VICE PRESIDENT OF LAND, OF M/I HOMES OF HOUSTON, LLC, A DELAWARE LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL W. JOHNSON, VICE PRESIDENT OF U.S. HOME CORPORATION, A DELAWARE CORPORATION, GENERAL PARTNER, OF LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP, D/B/A FRIENDSWOOD DEVELOPMENT COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT AND AS THE ACT AND DEED OF SAID COMPANY.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KEITH W. MONROE, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL CORNERS AND ANGLE POINTS OF THE BOUNDARIES OF THE ORIGINAL TRACT TO BE SUBDIVIDED OF REFERENCE HAVE BEEN MARKED WITH IRON RODS HAVING A DIAMETER OF NOT LESS THAN THREE FEET (3'); AND THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER.

KEITH W. MONROE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4797

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 19 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE CHAIRMAN, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

SCOTT SHELBOURNE, CHAIRMAN

KANDICE GARRETT, CITY SECRETARY

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MAGNOLIA, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF MAGNOLIA RIDGE FOREST SECTION 19 AS SHOWN HEREIN.

IN TESTIMONY WHEREOF, IN WITNESS OF THE OFFICIAL SIGNATURES OF THE MAYOR, AND THE CITY SECRETARY OF THE CITY OF MAGNOLIA, TEXAS, THIS THE _____ DAY OF _____, 2022, DO APPROVE THIS PLAT TO BE RECORDED IN THE OFFICIAL RECORD AT THE MONTGOMERY COUNTY CLERK'S OFFICE.

TODD KANA, MAYOR

KANDICE GARRETT, CITY SECRETARY

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, MARK TURNBULL, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON _____, 2022, AT _____ O'CLOCK _____M., AND DULY RECORDED ON _____, 2022, AT _____ O'CLOCK _____M., IN CABINET _____ SHEET _____, OF RECORD OF _____ MAP FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

MARK TURNBULL, CLERK, COUNTY COURT,
MONTGOMERY COUNTY, TEXAS

BY: _____
DEPUTY

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
HOUSTON, TEXAS 77064
(832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

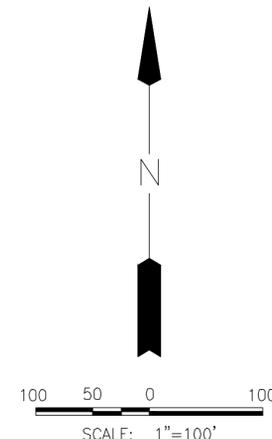
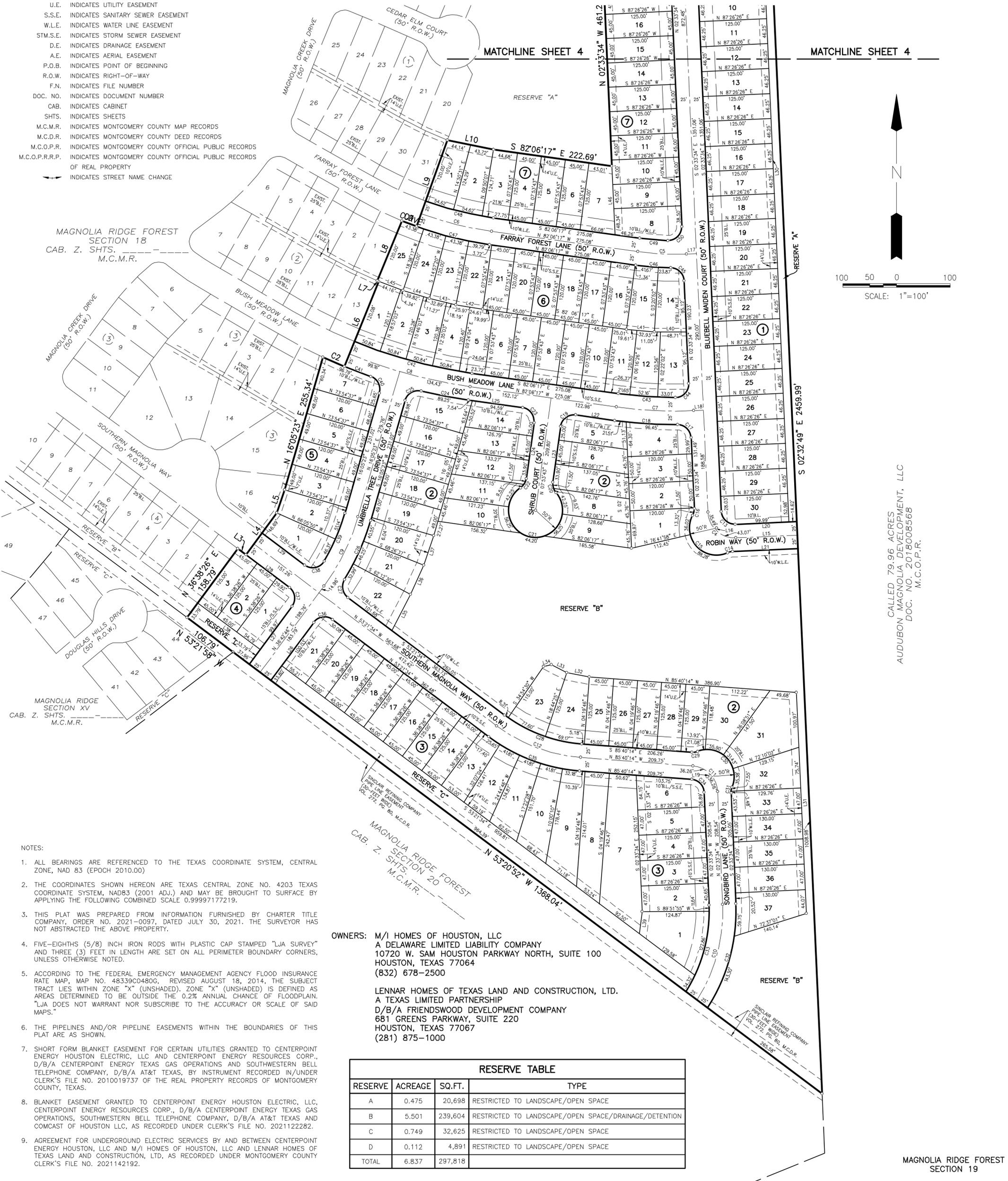
MAGNOLIA RIDGE FOREST
SECTION 19

SHEET 2 OF 4

CAD: ALEXIS: S
MYLAR CHECK: SUR.
DIR: _____
Date Time: Thu, 05 May 2022 11:09am
Path Name: C:\Users\VSANT1\AppData\Local\Temp\AcPublish_22824\Magnolia Ridge Forest 19.dwg

LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- STM.S.E. INDICATES STORM SEWER EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- P.O.B. INDICATES POINT OF BEGINNING
- R.O.W. INDICATES RIGHT-OF-WAY
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- INDICATES STREET NAME CHANGE



CALLLED 79.96 ACRES
 AUDUBON MAGNOLIA DEVELOPMENT, LLC
 DOC. NO. 2018008568
 M.C.O.P.R.

- NOTES:**
1. ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 (EPOCH 2010.00)
 2. THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 TEXAS COORDINATE SYSTEM, NAD83 (2001 ADJ.) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE 0.99997177219.
 3. THIS PLAT WAS PREPARED FROM INFORMATION FURNISHED BY CHARTER TITLE COMPANY, ORDER NO. 2021-0097, DATED JULY 30, 2021. THE SURVEYOR HAS NOT ABSTRACTED THE ABOVE PROPERTY.
 4. FIVE-EIGHTHS (5/8) INCH IRON RODS WITH PLASTIC CAP STAMPED "LJA SURVEY" AND THREE (3) FEET IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
 5. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 48339C0480G, REVISED AUGUST 18, 2014, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED). ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. "LJA" DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OR SCALE OF SAID MAPS."
 6. THE PIPELINES AND/OR PIPELINE EASEMENTS WITHIN THE BOUNDARIES OF THIS PLAT ARE AS SHOWN.
 7. SHORT FORM BLANKET EASEMENT FOR CERTAIN UTILITIES GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC AND CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS AND SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS, BY INSTRUMENT RECORDED IN/UNDER CLERK'S FILE NO. 2010019737 OF THE REAL PROPERTY RECORDS OF MONTGOMERY COUNTY, TEXAS.
 8. BLANKET EASEMENT GRANTED TO CENTERPOINT ENERGY HOUSTON ELECTRIC, LLC, CENTERPOINT ENERGY RESOURCES CORP., D/B/A CENTERPOINT ENERGY TEXAS GAS OPERATIONS, SOUTHWESTERN BELL TELEPHONE COMPANY, D/B/A AT&T TEXAS AND COMCAST OF HOUSTON LLC, AS RECORDED UNDER CLERK'S FILE NO. 2021122282.
 9. AGREEMENT FOR UNDERGROUND ELECTRIC SERVICES BY AND BETWEEN CENTERPOINT ENERGY HOUSTON, LLC AND M/I HOMES OF HOUSTON, LLC AND LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD, AS RECORDED UNDER MONTGOMERY COUNTY CLERK'S FILE NO. 2021142192.

OWNERS: M/I HOMES OF HOUSTON, LLC
 A DELAWARE LIMITED LIABILITY COMPANY
 10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
 HOUSTON, TEXAS 77064
 (832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 A TEXAS LIMITED PARTNERSHIP
 D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
 681 GREENS PARKWAY, SUITE 220
 HOUSTON, TEXAS 77067
 (281) 875-1000

RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	0.475	20,698	RESTRICTED TO LANDSCAPE/OPEN SPACE
B	5.501	239,604	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE/DETENTION
C	0.749	32,625	RESTRICTED TO LANDSCAPE/OPEN SPACE
D	0.112	4,891	RESTRICTED TO LANDSCAPE/OPEN SPACE
TOTAL	6.837	297,818	

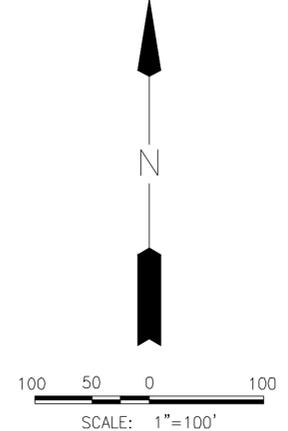
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MAGNOLIA RIDGE FOREST
SECTION 17
CAB. Z. SHTS. ---
M.C.M.R.

JOHN DORSEY SURVEY
ABSTRACT 172
EDWARD TAYLOR SURVEY
ABSTRACT 554

LEGEND

- B.L. INDICATES BUILDING LINE
- U.E. INDICATES UTILITY EASEMENT
- S.S.E. INDICATES SANITARY SEWER EASEMENT
- W.L.E. INDICATES WATER LINE EASEMENT
- STM.S.E. INDICATES STORM SEWER EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- A.E. INDICATES AERIAL EASEMENT
- P.O.B. INDICATES POINT OF BEGINNING
- R.O.W. INDICATES RIGHT-OF-WAY
- F.N. INDICATES FILE NUMBER
- DOC. NO. INDICATES DOCUMENT NUMBER
- CAB. INDICATES CABINET
- SHTS. INDICATES SHEETS
- M.C.M.R. INDICATES MONTGOMERY COUNTY MAP RECORDS
- M.C.D.R. INDICATES MONTGOMERY COUNTY DEED RECORDS
- M.C.O.P.R. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
- M.C.O.P.R.R.P. INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS OF REAL PROPERTY
- INDICATES STREET NAME CHANGE



MAGNOLIA RIDGE
SECTION 18
CAB. Z. SHTS. ---
M.C.M.R.

RESERVE "A"

MATCHLINE SHEET 3

MATCHLINE SHEET 3

RESERVE TABLE			
RESERVE	ACREAGE	SQ.FT.	TYPE
A	0.475	20,698	RESTRICTED TO LANDSCAPE/OPEN SPACE
B	5.501	239,604	RESTRICTED TO LANDSCAPE/OPEN SPACE/DRAINAGE/DETENTION
C	0.749	32,625	RESTRICTED TO LANDSCAPE/OPEN SPACE
D	0.112	4,891	RESTRICTED TO LANDSCAPE/OPEN SPACE
TOTAL	6.837	297,818	

BLOCK 1	
LOT NO.	SQ.FT.
1	6,494
2	5,781
3	5,781
4	5,781
5	5,781
6	5,781
7	5,781
8	5,781
9	5,781
10	5,781
11	5,781
12	5,781
13	5,781
14	5,781
15	5,781
16	5,781
17	5,781
18	5,781
19	5,781
20	5,781
21	5,781
22	5,781
23	5,781
24	5,781
25	5,781
26	5,781
27	5,781
28	5,781
29	5,781
30	6,492

BLOCK 2	
LOT NO.	SQ.FT.
1	6,712
2	6,000
3	6,000
4	6,819
5	6,075
6	5,981
7	6,345
8	5,944
9	6,342
10	5,967
11	5,650
12	6,133
13	5,851
14	6,025
15	6,730
16	5,880
17	5,880
18	5,880
19	5,880
20	6,249
21	6,302
22	7,866
23	7,488
24	7,370
25	5,625
26	5,625
27	5,625
28	5,625
29	5,553
30	8,999
31	12,107
32	7,328
33	6,110
34	6,110
35	6,110
36	6,110
37	8,070

BLOCK 3	
LOT NO.	SQ.FT.
1	10,344
2	6,205
3	5,875
4	5,875
5	5,875
6	6,975
7	17,830
8	10,271
9	10,209
10	8,601
11	7,269
12	6,523
13	6,015
14	5,625
15	5,625
16	5,625
17	5,625
18	5,625
19	5,625
20	5,400
21	6,758

BLOCK 4	
LOT NO.	SQ.FT.
1	6,724
2	5,625
3	5,625

BLOCK 5	
LOT NO.	SQ.FT.
1	7,277
2	6,425
3	5,880
4	5,880
5	5,760
6	6,330

BLOCK 6	
LOT NO.	SQ.FT.
1	5,714
2	5,713
3	5,712
4	5,711
5	5,548
6	5,400
7	5,400
8	5,400
9	5,400
10	5,400
11	5,564
12	5,785
13	6,375
14	6,264
15	5,716
16	5,400
17	5,400
18	5,400
19	5,400
20	5,400
21	5,400
22	5,633
23	5,655
24	5,655
25	5,655

BLOCK 7	
LOT NO.	SQ.FT.
1	6,033
2	6,136
3	5,847
4	5,625
5	5,625
6	5,625
7	6,818
8	7,151
9	5,625
10	5,625
11	5,625
12	5,625
13	5,625
14	5,625
15	5,625
16	5,625
17	5,625
18	5,625
19	5,625
20	5,625
21	5,513
22	5,400
23	5,400
24	5,400
25	5,288
26	5,175

OWNERS: M/I HOMES OF HOUSTON, LLC
A DELAWARE LIMITED LIABILITY COMPANY
10720 W. SAM HOUSTON PARKWAY NORTH, SUITE 100
HOUSTON, TEXAS 77064
(832) 678-2500

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
D/B/A FRIENDSWOOD DEVELOPMENT COMPANY
681 GREENS PARKWAY, SUITE 220
HOUSTON, TEXAS 77067
(281) 875-1000

MAGNOLIA RIDGE FOREST
SECTION 19

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	25.00'	90°00'00"	39.27'	N 42°26'26" E	35.36'
C2	965.00'	2°35'51"	43.75'	S 66°34'02" E	43.75'
C3	675.00'	2°28'18"	29.12'	S 68°54'55" E	29.12'
C4	50.00'	90°01'28"	78.56'	S 47°34'19" E	70.73'
C5	500.00'	10°27'18"	91.24'	N 87°19'55" W	91.11'
C6	650.00'	11°57'12"	135.61'	N 76°07'40" W	135.36'
C7	790.00'	10°27'18"	144.15'	N 87°19'55" W	143.95'
C8	940.00'	14°14'19"	233.60'	N 74°59'07" W	233.00'
C9	400.00'	20°37'24"	143.98'	N 26°24'04" E	143.20'
C10	300.00'	35°30'40"	185.94'	N 15°11'45" E	182.97'
C11	50.00'	83°06'39"	72.53'	N 44°06'54" W	66.33'
C12	300.00'	32°18'40"	169.18'	N 69°30'54" W	166.95'
C13	25.00'	90°01'28"	39.28'	S 47°34'19" E	35.36'
C14	25.00'	21°52'21"	9.54'	S 76°28'47" W	9.49'
C15	50.00'	142°25'43"	124.29'	N 43°14'32" W	94.67'
C16	25.00'	30°31'54"	13.32'	N 12°42'22" E	13.16'
C17	25.00'	87°50'17"	38.33'	N 46°28'43" W	34.68'
C18	815.00'	8°17'35"	117.97'	N 86°15'04" W	117.86'
C19	25.00'	90°00'00"	39.27'	S 52°53'43" W	35.36'
C20	25.00'	48°11'23"	21.03'	S 16°11'58" E	20.41'
C21	50.00'	276°22'46"	241.19'	N 82°06'17" W	66.67'
C22	25.00'	48°11'23"	21.03'	N 31°59'25" E	20.41'
C23	25.00'	90°00'00"	39.27'	N 37°06'17" W	35.36'
C24	965.00'	5°17'57"	89.25'	N 79°27'18" W	89.22'
C25	25.00'	87°06'18"	38.01'	S 59°38'32" W	34.45'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C26	425.00'	16°09'00"	119.79'	S 24°09'52" W	119.40'
C27	25.00'	85°35'56"	37.35'	S 10°33'36" E	33.97'
C28	275.00'	32°18'40"	155.08'	S 69°30'54" E	153.03'
C29	25.00'	25°16'15"	11.03'	N 81°41'39" E	10.94'
C30	50.00'	133°39'09"	116.63'	S 44°06'54" E	91.93'
C31	25.00'	25°16'15"	11.03'	S 10°04'33" W	10.94'
C32	325.00'	35°47'46"	203.05'	S 15°20'18" W	199.76'
C33	275.00'	35°10'26"	168.82'	N 15°01'39" E	166.18'
C34	25.00'	83°06'39"	36.26'	N 44°06'54" W	33.17'
C35	325.00'	32°18'40"	183.28'	N 69°30'54" W	180.86'
C36	25.00'	89°55'39"	39.24'	S 81°40'36" W	35.33'
C37	25.00'	90°04'21"	39.30'	N 08°19'24" W	35.38'
C38	25.00'	95°39'43"	41.74'	N 78°48'34" E	37.06'
C39	375.00'	14°53'20"	97.45'	N 23°32'02" E	97.17'
C40	25.00'	87°06'18"	38.01'	N 27°27'47" W	34.45'
C41	965.00'	3°08'58"	53.04'	N 69°26'27" W	53.04'
C42	915.00'	14°14'19"	227.39'	S 74°59'07" E	226.80'
C43	765.00'	8°00'03"	106.83'	S 86°06'18" E	106.74'
C44	25.00'	92°27'15"	40.34'	N 43°40'03" E	36.10'
C45	25.00'	86°41'50"	37.83'	N 45°54'30" W	34.32'
C46	525.00'	7°09'08"	65.54'	N 85°40'51" W	65.49'
C47	675.00'	11°57'12"	140.82'	N 76°07'40" W	140.57'
C48	625.00'	11°57'12"	130.39'	S 76°07'40" E	130.15'
C49	475.00'	6°25'02"	53.20'	S 85°18'47" E	53.17'
C50	25.00'	94°02'16"	41.03'	N 44°27'34" E	36.58'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 02°33'34" E	27.14'
L2	N 87°26'26" E	50.00'
L3	S 53°21'34" E	18.72'
L4	N 36°38'26" E	96.69'
L5	N 19°05'54" E	45.10'
L6	N 22°08'02" E	170.08'
L7	N 69°31'15" W	2.59'
L8	N 22°19'14" E	120.00'
L9	N 19°50'56" E	170.00'
L10	S 78°13'17" E	87.86'
L11	N 03°46'50" E	45.28'
L12	N 02°33'34" W	135.00'
L13	N 03°46'50" E	45.28'
L14	N 02°33'34" W	45.00'
L15	N 87°24'57" E	114.61'
L16	N 46°46'19" E	3.33'
L17	S 87°26'26" W	18.31'
L18	S 87°26'26" W	18.31'
L19	S 45°53'06" W	7.00'
L20	N 87°24'57" E	114.61'
L21	S 87°24'57" W	122.05'
L22	N 82°06'17" W	72.96'
L23	S 07°53'43" W	103.90'

LINE TABLE		
LINE	BEARING	DISTANCE
L24	N 07°53'43" E	103.90'
L25	N 82°06'17" W	102.12'
L26	S 36°42'46" W	133.83'
L27	N 36°42'46" E	133.76'
L28	N 53°21'34" W	101.19'
L29	S 53°21'34" E	99.57'
L30	N 02°33'34" W	1401.01'
L31	N 02°33'34" W	408.78'
L32	N 79°20'08" W	42.77'
L33	N 63°10'33" W	32.19'
L34	S 75°51'59" W	15.10'
L35	N 27°35'22" E	75.24'
L36	N 24°40'26" E	59.28'
L37	N 18°32'18" E	58.01'
L38	N 08°01'41" E	41.67'
L39	N 89°57'43" W	59.75'
L40	N 84°19'11" W	52.54'
L41	N 80°32'24" W	50.58'
L42	N 76°53'08" W	51.09'
L43	N 73°12'12" W	51.09'
L44	N 69°31'15" W	51.09'
L45	S 02°33'34" E	127.11'

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DESCRIPTION OF
MAGNOLIA RIDGE FOREST SECTION 19
33.709 ACRES

Being a 33.709 acre tract of land located in the Edward Taylor Survey, Abstract 554, Montgomery County, Texas, said 33.709 acre tract being a portion on Reserve "A" of Magnolia Ridge Section XIII, a subdivision of record under Cabinet Z, Sheet 1427-1429 of the Montgomery County Map Records (M.C.M.R) and a portion of that certain called 172.741 acre tract to M/I Homes of Houston, LLC (Undivided 50% Interest) Lennar Homes of Texas Land and Construction, LTD. (Undivided 50% Interest) by an instrument of record under Document Number 2021174981 of the Official Public Records of Montgomery County, Texas (M.C.O.P.R.), said 33.709 acres being more particularly described by metes and bounds as follows (all bearings based on the Texas Coordinate System, Central Zone, NAD 83;

COMMENCING for reference at a 1/4-inch iron rod found the most easterly southeast corner of said 172.741 acre tract, same being the most easterly southeast corner of said Reserve "A", said point being on the west line of a called 79.96 acre tract to Audubon Magnolia Development, LLC by an instrument of record in Document Number 2018008568, M.C.O.P.R.;

Thence, North 02° 32' 49" East, along an east line of said 172.741 acre tract, east line of said Reserve "A", and along the west line of a called 79.96 acre tract, 109.72 feet to a 5/8-inch iron rod with cap stamped "GBI PARTNERS" found for the POINT OF BEGINNING of the herein described tract;

Thence, North 53° 20' 05" West, 1,474.83 feet to a point for corner on a northwesterly line of said 172.741 acre tract;

Thence, North 36° 38' 26" East, departing the northwesterly line of said 172.741 acre tract, 158.42 feet to a point for corner;

Thence, South 53° 21' 34" East, 18.72 feet to a point for corner;

Thence, North $36^{\circ} 38' 26''$ East, 96.69 feet to a point for corner;

Thence, North $19^{\circ} 05' 54''$ East, 45.10 feet to a point for corner;

Thence, North $16^{\circ} 05' 23''$ East, 255.34 feet to a point for corner at the beginning of a non-tangent curve to the left;

Thence, 43.75 feet along the arc of a non-tangent curve to the left, having a radius of 965.00 feet, a central angle of $02^{\circ} 35' 51''$, and a chord which bears South $66^{\circ} 34' 02''$ East, 43.75 feet to a point for corner;

Thence, North $22^{\circ} 08' 02''$ East, 170.08 feet to a point for corner;

1. North $69^{\circ} 31' 15''$ West, 2.59 feet to a point for corner;
2. North $22^{\circ} 19' 14''$ East, 120.00 feet to a point for corner at the beginning of a non-tangent curve to the left;
3. 29.12 feet along the arc of a non-tangent curve to the left, having a radius of 675.00 feet, a central angle of $02^{\circ} 28' 18''$, and a chord which bears South $68^{\circ} 54' 55''$ East, 29.12 feet to a point for corner;
4. North $19^{\circ} 50' 56''$ East, 170.00 feet to a point for corner;
5. South $78^{\circ} 13' 17''$ East, 87.86 feet to a point for corner;
6. South $82^{\circ} 06' 17''$ East, 222.69 feet to a point for corner;
7. North $02^{\circ} 33' 34''$ West, 461.23 feet to a point for corner;
8. North $03^{\circ} 46' 50''$ East, 45.28 feet to a point for corner;

33.709 Acres

April 19, 2022
Job No. 2025-1419C

9. North 02° 33' 34" West, 135.00 feet to a point for corner;
10. North 03° 46' 50" East, 45.28 feet to a point for corner;
11. North 02° 33' 34" West, 45.00 feet to a point for corner;
12. North 87° 26' 26" East, 115.00 feet to a point for corner;
13. South 02° 33' 34" East, 27.14 feet to a point for corner;
14. North 87° 26' 26" East, 50.00 feet to a point for corner at the beginning of a non-tangent curve to the right;
15. 39.27 feet along the arc of a non-tangent curve to the right, having a radius of 25.00 feet, a central angle of 90° 00' 00", and a chord which bears North 42° 26' 26" East, 35.36 feet to a point for corner;
16. North 87° 26' 26" East, 114.93 feet to a point for corner in the west line of the aforementioned 79.96 acre tract, common with the east line of said 172.741 acre tract;

Thence, South 02° 32' 49" East, along the west line of said 79.96 acre tract and the east line of said 172.741 acre tract, at 1,280.12 feet pass the northeast corner of the aforementioned Reserve "A" of Magnolia Ridge Section XIII, continuing along the east line of said Reserve A, the east line of said 172.741 acre tract, and the west line of said 79.96 acre tract in all 2,459.99 feet to the POINT OF BEGINNING and containing 33.709 acres (1,468,381 square feet) acres of land.



LJA Surveying, Inc.



July 14, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: *Magnolia Ridge Forest Section 19 – Second Final Plat Review*
City of Magnolia
AEI Job No. 220877.80-001

Dear Mr. Doering:

We received the final plat for the proposed Magnolia Ridge Forest Section 19 development on April 25, 2022. On behalf of the City of Magnolia (the “City”), we have reviewed the submitted documents and are providing the following comments for your consideration:

1. It appears that Magnolia Ridge Forest Section 19 extends over MCAD Property ID # R54429. Provide a Tax Certificate indicating taxes have been paid. Tax Certificate from Montgomery County MUD 108 should also be provided.
2. For paragraph one of the signature page, verify and update the company names for signatures. The CPL dated June 28, 2022, says, “M/I Homes of Houston, LLC, a Delaware limited liability company, and Lennar Homes of Texas Land and Construction, LTD, a Texas limited partnership;” however, several additional names are listed in paragraph.
3. Provide a letter stating that funds are available to complete all water, sanitary sewer, drainage, and road facilities needed to serve Magnolia Ridge Forest Section 19, per the Developer Agreement. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
4. Provide documentation showing Texas Commission on Environmental Quality approval of the Magnolia Ridge Forest Section 19 plans, per City’s Code of Ordinance Appendix A, Chapter 5, Section 504.2. This comment was previously provided in the plat review letter dated May 4, 2022 and is still not addressed.
5. Final plat shall not be approved until the Magnolia Ridge Forest Section 19 Detention plan and Magnolia Ridge Forest Section 19 WSDP plans are approved by the City. Provide approval.
6. Magnolia Ridge Forest Section 19 WSDP plans were not provided. As such, easements for utilities were not verified. Provide approved WSDP plans.
7. The acreage shown on the metes and bounds dated April 19, 2022, does not match the City Planning Letter dated June 28, 2022. Verify and provide updated City Planning letter or metes and bounds. Revised plat as needed.
8. Add subdivision recordation details for areas outside of the development on pages 3 of 4 for “Magnolia Ridge Forest Section 18, Cab. Z. Shts”



9. Add subdivision recordation details for areas outside of the development on pages 3 of 4 for “Magnolia Ridge Forest Section 20, Cab. Z. Shts”
10. Show contour lines on the plat. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
11. Update note three in the plat for the latest City Planning Letter dated June 28, 2022.
12. Final plat shall be signed and sealed by a Professional Surveyor licensed in Texas. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
13. Obtain all applicable governmental agency signatures. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.
14. Construction shall not commence until final agency approvals are secured. This comment was previously provided in the plat review letter dated May 4, 2022, and is still not addressed.

Please make all the revisions as requested and submit a revised set of plans to this office for final approval. Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

A handwritten signature in blue ink that reads 'Cristin Emshoff'.

Cristin Emshoff, MUP, ENV SP
Urban Planner

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Christian Gable – City of Magnolia - Planning Coordinator
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Robel E. Giackero, P.E. – AEI Engineering, a Baxter & Woodman Company
Mr. Alexis Santibanes – LJA Engineering, Inc.