Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Robert Franklin
Holly Knee
Tom Mayhew

City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, Mike Kurzy
Planning Consultant, Tana Ross

NOTICE OF PUBLIC MEETING
PLANNING & ZONING COMMISSION

AGENDA
REGULAR MEETING
THURSDAY, April 21, 2022- 4:30 P.M.
Sewall Smith Council Chambers
18111 Buddy Riley Blvd., Magnolia, Texas 77354

1. CALL TO ORDER

a. INVOCATION
b. PLEDGE OF ALLEGIANCE
c. ROLL CALL AND CERTIFICATION OF QUORUM

2. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. **CONSIDERATION – APPROVAL OF MINUTES**
Consideration and possible action to approve the minutes of the meeting held March 24, 2022.

3. REPORT – PLANNING AND ZONING COMMISSIONER DUTIES

Presentation by City Attorney Leonard Schneider.

4. REQUESTS/ PETITIONS FROM THE PUBLIC

5. PUBLIC COMMENTS

*(For matters not on the agenda. Comments shall be limited to **three (3) minutes per person**. Comments by the Commission members shall be limited to:*
a. Statements of specific factual information given in response to an inquiry;
b. A recitation of existing policy in response to an inquiry;
c. A proposal to place the subject on a future agenda.

6. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the

Planning Commission and City Staff for which no action will be taken or discussed.)

7. **UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS** (Tana Ross)

8. **CONSIDERATION AND POSSIBLE ACTION ON MILL CREEK ESTATES SECTION 8, PRELIMINARY PLAT +/-19.2 ACRES**

9. **CONSIDERATION AND POSSIBLE ACTION ON MILL CREEK ESTATES SECTION 9, PRELIMINARY PLAT +/-10.5 ACRES**

10. **CONSIDERATION AND POSSIBLE ACTION ON MILL CREEK ESTATES SECTION 10, PRELIMINARY PLAT +/- 11.6 ACRES**

11. **CONSIDERATION AND POSSIBLE ACTION ON MAGNOLIA VILLAGE SOUTH, FINAL PLAT +/-76.993 ACRES**

12. **CONSIDERATION AND POSSIBLE ACTION ON SITE PLAN FOR ALLORA MAGNOLIA AT 4255 MAGNOLIA VILLAGE DRIVE**

13. **CONSIDERATION AND POSSIBLE ACTION ON SITE PLAN FOR MAGNOLIA COTTAGES AT 38634 SPUR 149**

14. **CONSIDERATION AND POSSIBLE ACTION ON SITE PLAN FOR MAGNOLIA VILLAGE RETAIL AT SPUR 149 AND FM 1488**

15. **CONSIDERATION AND POSSIBLE ACTION ON SITE PLAN FOR MAGNOLIA VILLAGE RETAIL RESERVE A (13770, 13380 AND 13396 FM 1488)**

16. **CONSIDERATION AND POSSIBLE ACTION ON AMENDMENT TO WINDMILL ESTATES PLANNED DEVELOPMENT AGREEMENT**

17. **DISCUSSION – UPDATE ON PUBLIC HEARING FOR TEXT AMENDMENT TO CITY OF MAGNOLIA UNIFIED DEVELOPMENT CODE LAND USE TABLE 2-2-1.02 REGARDING LIGHT INDUSTRIAL USE IN BUSINESS PARK DISTRICTS**

18. **DISCUSSION – UNIFIED DEVELOPMENT CODE TEXT AMENDMENTS TO LAND**

USE TABLE 2-2-1.02 REGARDING ALCOHOL SALES

19. CONSIDERATION AND POSSIBLE ACTION TO SET PUBLIC HEARING DATE FOR TEXT AMENDMENTS TO CITY OF MAGNOLIA UNIFIED DEVELOPMENT CODE CHAPTER 2, TABLE 2-2-1.02 LAND USE TABLES

20. DISCUSSION – MAGNOLIA HERITAGE ACADEMY SITE WORK PERMIT APPLICATION AND CONDITIONAL USE PERMIT APPLICATION

21. DISCUSSION – CONDITIONAL USE PERMIT JOINT PUBLIC HEARING, MAY 10 (Scott Shelburne)

22. CONSIDERATION AND POSSIBLE ACTION FOR PAINT COLORS IN THE STROLL OVERLAY DISTRICT AT 415 MAGNOLIA BLVD

23. FUTURE AGENDA ITEMS

24. ADJOURN

The Planning & Zoning Commission of the City of Magnolia, Texas, reserves the right to adjourn into Closed Executive Session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Title 5, Chapter 551, of the Texas Government Code. 551.071(Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), 551.086 (Deliberations about competitive matters), and 551.087 (Deliberation about Economic Development Matters).

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the City Secretary's office at (281-305-0550), two working days prior to the meeting for appropriate arrangements.

CERTIFICATE

I certify that a copy of the *Notice of Meeting* was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.cityofmagnolia.com, in compliance with Chapter 551, Texas Government Code.

DATE _____

TIME _____

TAKEN DOWN _____

_____

Kandice Garrett, City Secretary

Scott Shelburne, Chairman
Anne Sundquist, Vice Chairman
Josh Jakubik, Secretary
Trevor Brown
Robert Franklin
Holly Knee
Tom Mayhew

City Administrator, Don Doering
City Secretary, Kandice Garrett
City Attorney, Leonard Schneider
City Engineer, AEI, Mike Kurzy
Planning Consultant, Tana Ross

MINUTES OF THE PLANNING & ZONING COMMISSION PUBLIC HEARING AND REGULAR MEETING MARCH 24, 2022

A meeting of the Planning & Zoning Commission was held on March 24, 2022, beginning at 6:00 p.m. in the Sewall Smith City Council Chambers located at 18111 Buddy Riley Blvd., Magnolia, Texas 77354.

1. CALL TO ORDER

Chairman Scott Shelburne called the regular meeting to order at 6:00 pm.

a. INVOCATION
Tom Mayhew delivered the invocation.

b. PLEDGE OF ALLEGIANCE
Chairman Scott Shelburne led the Pledge of Allegiance.

c. ROLL CALL AND CERTIFICATION OF QUORUM
Chairman Scott Shelburne called roll and certified a quorum present with the following Planning & Zoning Commission members in attendance: Scott Shelburne, Anne Sundquist, Josh Jakubik, Trevor Brown, Holly Knee and Tom Mayhew.

Absent: Robert Franklin

Staff present: City Administrator Don Doering, City Secretary Kandice Garrett, Planning Consultant Tana Ross, and City Engineer Mike Kurzy.

2. OPEN PUBLIC HEARING

Chairman Shelburne opened the Public Hearing at 6:01 p.m., read the Notice of Public hearing aloud and asked for any public comments.

NOTICE OF PUBLIC HEARING

On March 24, 2022 at 4:30 pm City of Magnolia Planning and Zoning Commission will hold a public hearing in the Council Chambers of Magnolia City Hall, 18111 Buddy Riley, Blvd., Magnolia, Texas 77354, giving all interested persons the right to appear and be heard, and to discuss:

- Text amendment to the Unified Development Code, Chapter 6, Sec. 6-1-4.01 Freestanding Temporary Signs.
- Conditional Use Permit for 302 Acker St.

There were no comments.

3. CLOSE PUBLIC HEARING AND CONVENE REGULAR MEETING

Chairman Shelburne closed the Public Hearing and convened the Regular Meeting at 6:02 p.m.

4. CONSENT AGENDA

This portion of the agenda consists of items considered to be routine and will be enacted by one motion unless separate discussion is requested by a Commission member or a citizen.

a. **CONSIDERATION – APPROVAL OF MINUTES**
Consideration and possible action to approve the minutes of the meeting held February 17, 2022.

MOTION: Upon a motion to approve Consent Agenda made by Josh Jakubik and seconded by Anne Sundquist, the Commission members present voted and the motion carried unanimously, 5-0.

5. REQUESTS/ PETITIONS FROM THE PUBLIC

None

6. PUBLIC COMMENTS

*(For matters not on the agenda. Comments shall be limited to **three (3) minutes per person**. Comments by the Commission members shall be limited to:*
a. Statements of specific factual information given in response to an inquiry;
b. A recitation of existing policy in response to an inquiry;
c. A proposal to place the subject on a future agenda.

Richard L. Nunley, 735 Little Twig Ln., Magnolia, TX 77354, spoke to the Board regarding a request to move a mobile home on his property and believes he should be grandfathered in considering the new zoning laws which prohibit mobile homes on his property.

7. ANNOUNCEMENTS

(Hear announcements concerning items of community interest from the Board Members of the Planning Commission and City Staff for which no action will be taken or discussed.)

None

8. UPDATE ON CITY OF MAGNOLIA DEVELOPMENTS

Planning Consultant Tana Ross presented this item which was also provided in the Monthly Project Report in the Board's Packet and briefly shared along with City Administrator Don Doering and Permitting Tech Christian Gable the following: HEB is being held up due to refrigeration parts getting to the company so a delay in opening possibly in July or further out in October, approximately 100 homes are being connected to water each month, a new well site is in the works with two additional following, the sewer plant is nearly complete, CVS is planning to open in July, a new burger restaurant coming in Brookshire Brothers shopping center, a carwash under construction, Pristine OBGYN is opening a business, duplexes in Magnolia Village South just came in before the meeting, Chase Bank will be breaking ground soon at Spur 149 and FM 1488 and Parkside Capital developers are developing the area as intended and have also purchased land at FM 1774 and FM 1486 by the high school in a City MUD which is part retail and part multi-family where some may be annexed by the City.

9. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MUSTANG RIDGE SECTION 3, PRELIMINARY PLAT, +/-25.5 ACRES

Planning Consultant Tana Ross presented this item and recommended approval.

MOTION: Upon a motion to approve Mustang Ridge Section 3, Preliminary Plat, +/-25.5 acres made by Anne Sundquist and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 5-0.

10. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MAGNOLIA RIDGE SECTION 20, PRELIMINARY PLAT, +/-41.3 ACRES

Planning Consultant Tana Ross presented this item and recommended approval.

MOTION: Upon a motion to approve Magnolia Ridge Section 20, Preliminary Plat, +/-41.3 acres made by Josh Jakubik and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 5-0.

11. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO SECTION 7, PRELIMINARY PLAT, +/-32.2 ACRES

Planning Consultant Tana Ross stated the plat has been reviewed by City Engineer and and recommended approval.

MOTION: Upon a motion to approve Escondido Section 7, Preliminary Plat, +/-32.2 acres made by Holly Knee and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 5-0.

12. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ESCONDIDO SECTION 9, PRELIMINARY PLAT, +/-13.1 ACRES

Planning Consultant Tana Ross stated the plat has been reviewed by City Engineer and and recommended approval.

MOTION: Upon a motion to approve Escondido Section 9, Preliminary Plat, +/-13.1 acres made by Anne Sundquist and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 5-0.

13. CONSIDERATION AND POSSIBE ACTION TO APPROVE MAGNOLIA VILLAGE SOUTH, PRELIMINARY PLAT, +/-76.993 ACRES

Planning Consultant Tana Ross stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommends approval.

MOTION: Upon a motion to approve Magnolia Village South, Preliminary Plat, +/-76.993 acres made by Trevor Brown and seconded by Anne Sundquist, the Commission members present voted and the motion carried unanimously, 5-0.

14. CONSIDERATION AND POSSIBLE ACTION TO APPROVE JIFFY LUBE, FINAL PLAT, +/-0.7100 ACRES

Planning Consultant Tana Ross stated the plat has been reviewed by City Engineer, a letter of no objection provided, and recommends approval.

MOTION: Upon a motion to approve Jiffy Lube, Final Plat, +/-0.7100 acres made by Josh Jakubik and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 5-0.

15. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK ESTATES, SECTION 6A, FINAL PLAT, +/-21.885 ACRES

Planning Consultant Tana Ross stated the next three items will be postponed to another meeting.

16. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK ESTATES, SECTION 6B, FINAL PLAT, +/-8.706 ACRES

Item postponed to another meeting.

17. CONSIDERATION AND POSSIBLE ACTION TO APPROVE MILL CREEK ESTATES, SECTION 6C, FINAL PLAT, +/-13.110 ACRES

Item postponed to another meeting.

18. CONSIDERATION – TEXT AMENDMENT TO THE UNIFIED DEVELOPMENT CODE, CHAPTER 6, SEC. 6-1-4.01 FREESTANDING TEMPORARY SIGNS

Consideration and possible action to approve text amendment to the City of Magnolia Unified Development Code, Chapter 6 Signs and Lighting, Sec. 6-1-4.01 adding Banners to Freestanding Temporary Sign standards.

Planning Consultant Tana Ross presented this item and brought before the Board due to the requests that continue to come in to the City. Tom Mayhew raised a question regarding processes for clarification and there was further discussion.

MOTION: Upon a motion to approve text amendment to the City of Magnolia Unified Developemnt Code, Chapter 6 Signs and Lighting, Sec. 6-1-4.01 adding Banners to Freestanding Temporary Sign standards made by Anne Sundquist and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 5-0.

19. CONSIDERATION AND POSSIBLE ACTION TO APPROVE A CONDITIONAL USE PERMIT FOR 302 ACKER STREET ALLOWING MIXED-USE, INCLUDING A WAREHOUSE/OFFICE BUILDING

Planning Consultant Tana Ross presented this item and explained that under the UDC there is a table that lists what is allowed and if not listed then a conditional use process must occur including a public hearing and decided upon by City Council. The responsibility to the Board is to closely review what would become a site plan according to the use and recommends denial due to the fact that the applicant has stated there will be wholesale usage in the mixed-use.

Noe Almaguer, 18922 Greater Oaks Ct., Houston, TX 77084 who is the architect representing the applicant explained the plan for two buildings; one with retail and residential and another with a warehouse (like a storage facility) with a small office and an apartment for residential in the back. The Board reviewed the plans in the back of the room. There was further discussion and the Board decided to amend their motion.

MOTION: Upon a motion to approve a Conditional Use Permit for 302 Acker Street as allowed mixed-use in the Unified Development Code made by Anne Sundquist and seconded by Josh Jakubik, the Commission members present voted and the motion carried unanimously, 5-0.

20. CONSIDERATION AND POSSIBLE ACTION TO APPROVE A SITE PLAN/PERMIT FOR JIFFY LUBE AT 218 SMITH STREET

Planning Consultant Tana Ross noted that the City Engineer has reviewed the site plan and Pat Carrigan, with ALJ Lindsey for Jiffy Lube gave a presentation on how they have maximized the space including the landscaping plan. There was further discussion.

MOTION: Upon a motion to approve a site plan/permit for Jiffy Lube at 218 Smith Street made by Tom Mayhew and seconded by Anne Sundquist, the Commission members present voted and the motion carried unanimously, 5-0.

21. CONSIDERATION AND POSSIBLE ACTION TO APPROVE A SITE PLAN/PERMIT FOR MAGNOLIA HARDWARE AT 19025 FM 1488

Planning Consultant Tana Ross presented this item and explained the request is to pour a 4,000 square foot slab for a non conforming building and how that relates to the Unified Development Code which states non conforming buildings shall not be extended or enlarged. The question before the Board is does placing an existing building on a new slab extend the non conforming use? The work has already begun prior to approval. The existing non conforming building has been taken down and the applicant wants to put it back together on the new slab.

The applicant, Keith Rusk, manager with Magnolia Hardware, addressed the Board and stated the building was deconstructed and it did sit on a 4,000 square foot slab and the prior use was for retail storage for the store's inventory. They want to pour the new slab opposite of where it was, move some buildings around and eventually build a new store and tear down the old store. There was discussion regarding the UDC guidelines pertaining to a building that was in place prior to the adoption of the UDC as it stands and the allowance to reduce but not enlarge or extend it and many other code issues identifying the concerns with the site plan/permit in an auto-urban commercial zone. Tana Ross recommended the Board answer the question she presented at the beginning approving or disapproving based on that or deny and recommend to the applicant that they come back with a conditional use permit (because they have a non conforming structure) with a phase site plan including the building in question. Staff informed the Board they were not in favor of setting a precedent and that it was not a good idea to also approve 3 foot setbacks where 25 foot is required also considering the property is surrounded by public roads and negating policy. Further discussion occurred and the Board decided to take a roll call vote.

MOTION: Upon a motion to approve a site plan/permit for Magnolia Hardware at 19025 FM 1488 made by Josh Jakubik and seconded by Tom Mayhew, the Commission members present voted as follows Holly Knee – Aye, Trevor Brown – Nay, Anne Sundquist – Nay, Tom Mayhew – Aye, Josh Jakubik – Aye, and the motion passed, 3-2.

22. DISCUSSION – UNIFIED DEVELOPMENT CODE CHAPTER 2 LAND USE TABLE (Chair Scott Shelburne)
Discussion concerning Light Industrial as a Conditional Use in Business Park districts and possible text amendment.

Planning Consultant Tana Ross presented this item recommending Conditional Use be considered on a case by case basis.

23. CONSIDERATION AND POSSIBLE ACTION TO SET PUBLIC HEARING DATE FOR TEXT AMENDMENT TO CITY OF MAGNOLIA UNIFIED DEVELOPMENT CODE – CHAPTER 2, TABLE 2-2-1.02 LAND USES ADDING CONDITIONAL USE FOR LIGHT INDUSTRIAL IN A BUSINESS PARK DISTRICT

Planning Consultant Tana Ross presented this item and noticed a correction to move "C" to Business Park District and not SV.

Anne Sundquist left the meeting at 8:00 p.m.

MOTION: Upon a motion to set a public hearing for the next meeting date for text amendment to City of Magnolia Unified Development Code, Chapter 2, Table 2-2-1.02 Land Uses adding Conditional Use for light industrial in a business park district made by Tom Mayhew and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 4-0.

24. PRESENTATION BY CITY ENGINEER REGARDING AMENDMENTS TO LAND USE ASSUMPTIONS, CAPITAL IMPROVEMENTS PLAN, OR IMPACT FEES (City Administrator Don Doering)

City Engineer Mike Kurzy presented this item and informed the Board that in October 2021 AEI prepared a report based on the current Capital Improvement Plan that was prepared by Strand Engineering and made some changes (last report was done in 2019) and because costs have increased the City needs an update. The report indicated that there are two ways to calculate impact fees by the City; one is to look at revenue credit and the other way is to look at 50% credit, meaning you can't charge impact fees in access of what you might already be getting through revenue and the revenue would be through taxation typically. Based on Strand's record AEI calculated the maximum fee for revenue credit for water was $2,552 and the maximum fee for revenue for sewer was $5,969. Using the 50% method for calculations the water impact fee would be $2,126 and the sewer fee would be $5,027. The current water impact fee is $1,600 and the sewer impact fee is $3,200. At those levels the City is losing money on impact fees and does not allow the City to build to support all this development. Mr. Kurzy recommends the impact fees be raised to something more comeasurate that would pay for those facilities. It is recommended that the impact fee be raised to $7,400 with water at $2,200 and the sewer $5,200 which is a 25% increase and his recommendation is for the Board to forward these findings on to City Council for consideration. Impact fees for several surrounding cities range anywhere from $2,500 up to over $10,000. Those surrounding cities who are going through their expansion are much higher and those who have already gone through their growth are lower. This is a calculation based on 10 years and not any further than that. If you raise the impact fees you can also lower them when another assessment is required.

MOTION: **Upon a motion to approve the written report of recommendations by AEI Engineering to go to City Council regarding amendments to land use assumptions, capital improvements plan, or impact fees as presented made by Tom Mayhew and seconded by Holly Knee, the Commission members present voted and the motion carried unanimously, 4-0.**

25. FUTURE AGENDA ITEMS

None

26. ADJOURN

MOTION: **Upon a motion to adjourn made by Josh Jakubik and seconded by Tom Mayhew, the Commission members present voted, the motion carried unanimously, 4-0 and Chairman Shelburne adjourned the meeting at 8:11 pm.**

Planning & Zoning Commission

_____
Scott Shelburne, Chairman

CERTIFICATION

I certify this to be a true and correct copy of the minutes of the meeting of the City of Magnolia Planning and Zoning Commission held on March 24, 2022.

ATTEST:

_____
Kandice Garrett, City Secretary

Application	Project Name	Applicant Name	Acreage	Next Event Dat	Status	Status Date	Address	Date Submitted	Review	Reply	LONO
Preliminary-Plat	Mill Creek Section 10	Katy Harris	19.2	PZC 4/21/2022	Approved	4/13/2022	Mill Creek Section 10	4/7/2022			4/15/2022
Preliminary-Plat	Mill Creek Section 9	Katy Harris	10.5	PZC 4/21/2022	Approved	4/13/2022	Mill Creek Section 9	4/7/2022			4/15/2022
Preliminary-Plat	Mill Creek Section 8	Katy Harris	11.6	PZC 4/21/2022	Approved	4/13/2022	Mill Creek Section 8	4/7/2022			4/15/2022
Final-Plat	Magnolia Village South Final Pl	Carla Padilla	76.993	PZC 4/21/2022	Pending	4/13/2022	East of Spur 149 Rd and sou	4/5/2022	4/15/2022		
Site-Work-Perm	Magnolia Cottages	Lesley Reel		PZC 4/21/2022	Pending	4/13/2022	38634 Spur 149	3/24/2022	4/8/2022		
Site Work	Mag Village Retail	Gregory Patch		PZC 4/21/2022	Pending	4/13/2022	FM 1488 and Spur 149	12/14/2021	12/29/2021	3/15/2022	
Site Work	Mag Village Retail Reserve A	Jade Sanchez		PZC 4/21/2022	Pending	4/13/2022	13370, 13380, 13396 FM 14	4/6/2022	4/15/2022		
Site Work	Allora Magnolia	Tyler Miller		PZC 4/21/2022	Pending	4/13/2022	4255 Magnolia Village Dr.	2/21/2022 resubmitted 04/11/2022	4/15/2022	3/21/2022	4/15/2022
Site Work	SM DADA Convenience Store	Gmostafa Midstream		PCZ 5/19/2022	Pending	4/13/2022	31515 Nichols Sawmill Rd.	4/11/2022			

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 8

BACKGROUND/INFORMATION

The City received an application for a preliminary plat of Mill Creek Estates Sec. 8 on April 7, 2021. The City Engineer issued a Letter of No Objection with comments on April 15, 2022. The applicant sent a revised plat and reply letter to comments on April 18, 2022.

COMMENTS:

No comments.

Action Requested

Approve preliminary plat.

Recommendation:

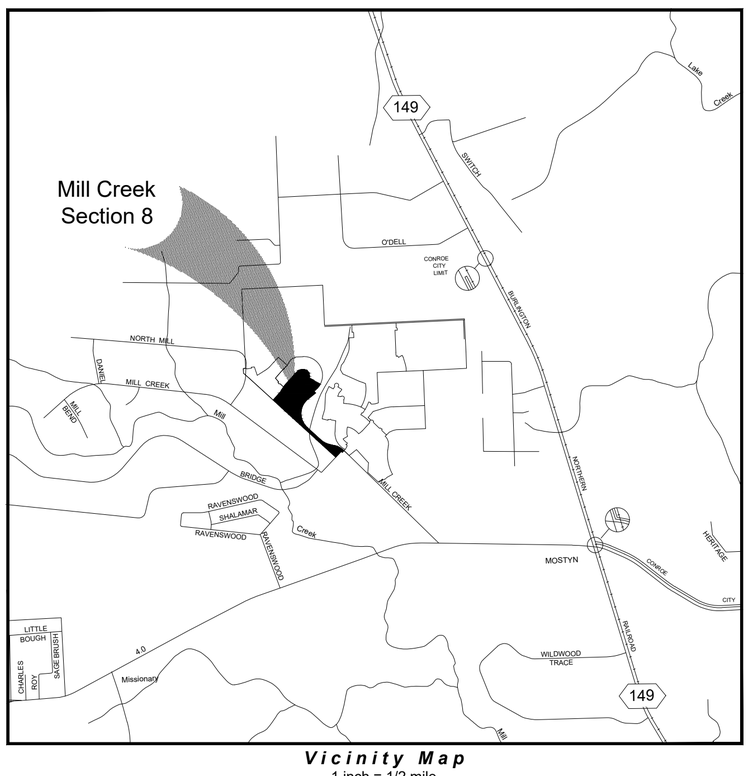
Approve Mill Creek Estates Section 8 preliminary plat of +/-19.2 acres.

Attachments:

Plat

Letter of No Objection

Comment Reply Letter



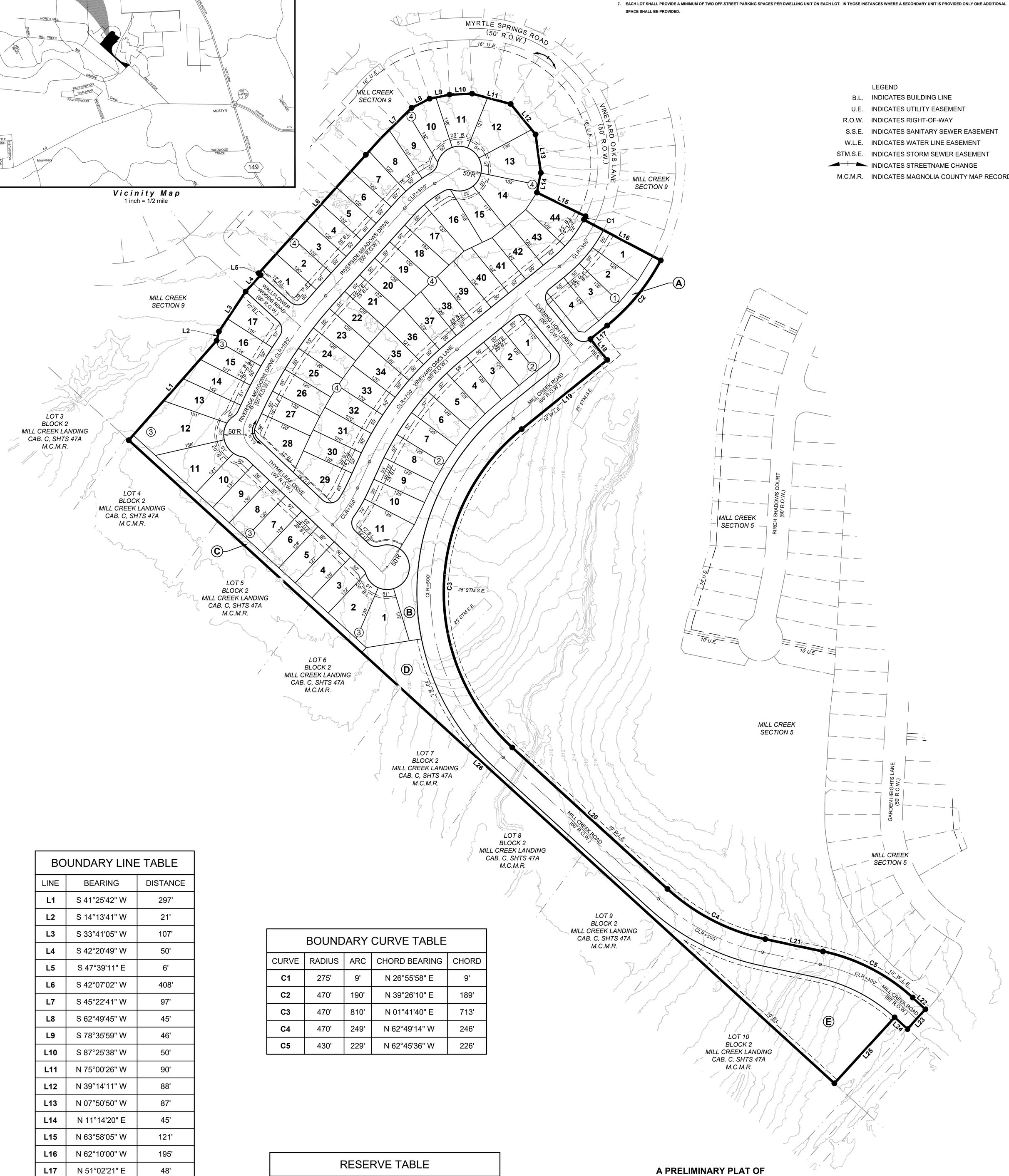
Vicinity Map
1 inch = 1/2 mile

GENERAL NOTES:

1. "1' RES." INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACREAGE TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
2. ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
3. ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
4. ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
5. ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
6. SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
7. EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

LEGEND

B.L.	INDICATES BUILDING LINE
U.E.	INDICATES UTILITY EASEMENT
R.O.W.	INDICATES RIGHT-OF-WAY
S.S.E.	INDICATES SANITARY SEWER EASEMENT
W.L.E.	INDICATES WATER LINE EASEMENT
STM.S.E.	INDICATES STORM SEWER EASEMENT
	INDICATES STREETNAME CHANGE
M.C.M.R.	INDICATES MAGNOLIA COUNTY MAP RECORDS



BOUNDARY LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 41°25'42" W	297'
L2	S 14°13'41" W	21'
L3	S 33°41'05" W	107'
L4	S 42°20'49" W	50'
L5	S 47°39'11" E	6'
L6	S 42°07'02" W	408'
L7	S 45°22'41" W	97'
L8	S 62°49'45" W	45'
L9	S 78°35'59" W	46'
L10	S 87°25'38" W	50'
L11	N 75°00'26" W	90'
L12	N 39°14'11" W	88'
L13	N 07°50'50" W	87'
L14	N 11°14'20" E	45'
L15	N 63°58'05" W	121'
L16	N 62°10'00" W	195'
L17	N 51°02'21" E	48'
L18	N 38°57'39" W	60'
L19	N 51°02'21" E	246'
L20	N 47°39'00" W	470'
L21	N 77°59'27" W	132'
L22	N 47°31'46" W	39'
L23	N 42°03'05" E	60'
L24	S 47°31'38" E	39'
L25	N 42°26'04" E	200'
L26	S 47°38'53" E	1112'

BOUNDARY CURVE TABLE				
CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	275'	9'	N 26°55'58" E	9'
C2	470'	190'	N 39°26'10" E	189'
C3	470'	810'	N 01°41'40" E	713'
C4	470'	249'	N 62°49'14" W	246'
C5	430'	229'	N 62°45'36" W	226'

RESERVE TABLE		
RESERVE	ACRES	TYPE
A	±0.16Ac.	Landscape / Open Space
B	±0.47Ac.	Landscape / Open Space
C	±0.24Ac.	Landscape / Open Space
D	±0.40Ac.	Lift Station / Landscape / Open Space
E	±1.43Ac.	Landscape / Open Space

A PRELIMINARY PLAT OF

MILL CREEK ESTATES
SECTION 8

±19.2 ACRES
76 LOTS (50' X 120' TYP.) AND
5 RESTRICTED RESERVES IN 4 BLOCKS

OUT OF THE
JOHN B. RICHARDS SURVEY, A-449
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:
FORESTAR (USA) REAL ESTATE GROUP, INC.
3355 W. ALABAMA STE. 1240
HOUSTON, TX 77098

PLANNER:

LJA PLANNING & LANDSCAPE ARCHITECTURE

Land & Master Planning
Land Use/Feasibility Studies
Sustainable Design
Urban Design
Landscape Architecture

3600 W Sam Houston Pkwy S
Suite 600
Houston, Texas 77042
713.953.5200 - f 713.953.5026

NORTH

0 50 100 200

LJA# 1019-07002 **04.18.2022**

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF MAGNOLIA ORDINANCES GOVERNING LAND PLATTING IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE MAGNOLIA PLANNING COMMISSION. THIS PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER LJA ENGINEERING, INC., NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL CONSTRUCTION, SAFETY OR SUITABILITY TO THE PURPOSES INTENDED, OR ANY UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT. ANY DRY UTILITIES SHOWN ON THIS PLAT (POWER, GAS, TELEPHONE, CABLE, ETC.) HAVE NOT BEEN DESIGNED, REVIEWED NOR APPROVED BY ANY DRY UTILITY PROVIDER. ANY DRY UTILITY ONE-LINES SHOWN ON THIS PLAT ARE CONCEPTUAL AND BASED SOLELY ON THE LOCATION OF THE PROPOSED DRY UTILITY EASEMENTS LOCATED IN THE LOTS.

April 15, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: ***Mill Creek Estates Section 8 Preliminary Plat – Letter of No Objection***
City of Magnolia
AEI Job No. 220767.80-001

Dear Mr. Doering:

We received the preliminary plat for the proposed Mill Creek Estates Section 8 on April 7, 2022. On behalf of City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. 1' Reserve shall be provided at the north end of Mill Creek Road, near Evening Light Drive.
2. The building line near Block 4, Lot 44 is 25' but is labelled as 20'. Revise.
3. Lots 4 and 5 in Block 4 not consecutively numbered. Revise.
4. Line L26 is tagged on face of plat but not shown on the Boundary Line Table. Update.
5. Provide preliminary approval for proposed street names from Montgomery County Emergency Communication District.
6. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Robel E. Giackero

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 9

BACKGROUND/INFORMATION

The City received an application for a preliminary plat of Mill Creek Estates Sec. 9 on April 7, 2021. The City Engineer issued a Letter of No Objection with comments on April 15, 2022. The applicant sent a revised plat and reply letter to comments on April 18, 2022.

COMMENTS:

No comments.

Action Requested

Approve preliminary plat.

Recommendation:

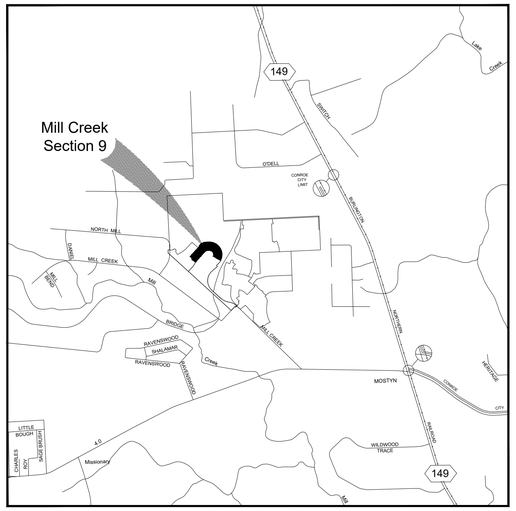
Approve Mill Creek Estates Section 9 preliminary plat of +/-10.5 acres.

Attachments:

Plat

Letter of No Objection

Comment Reply Letter



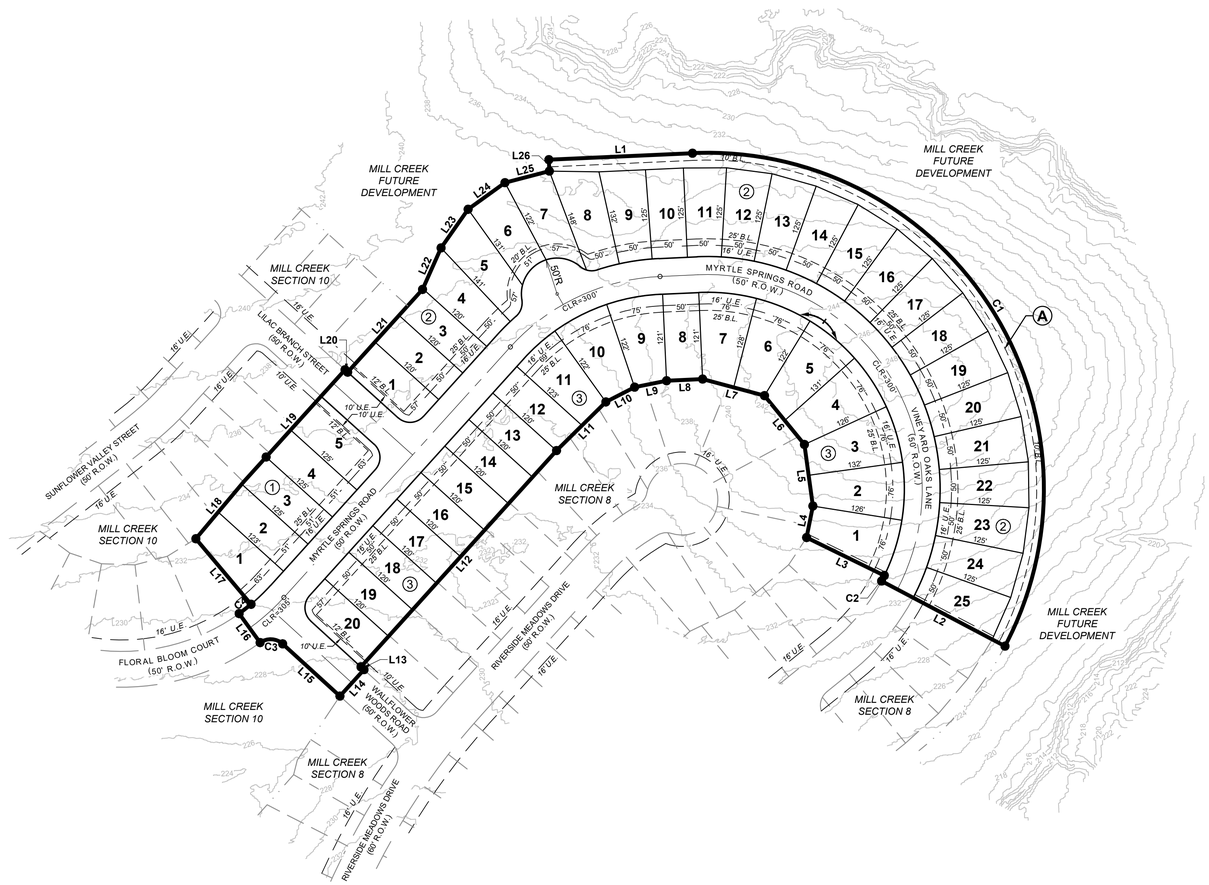
Vicinity Map
1 inch = 1/2 mile

GENERAL NOTES:

1. "1' RES." INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACREAGE TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
2. ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
3. ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
4. ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
5. ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
6. SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
7. EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

LEGEND

B.L.	INDICATES BUILDING LINE
U.E.	INDICATES UTILITY EASEMENT
R.O.W.	INDICATES RIGHT-OF-WAY
S.S.E.	INDICATES SANITARY SEWER EASEMENT
W.L.E.	INDICATES WATER LINE EASEMENT
STM.S.E.	INDICATES STORM SEWER EASEMENT
	INDICATES STREETNAME CHANGE



BOUNDARY LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 87°25'38" W	201'
L2	S 62°10'00" E	195'
L3	S 63°58'05" E	121'
L4	S 11°14'20" W	45'
L5	S 07°50'50" E	87'
L6	S 39°14'11" E	88'
L7	S 75°00'26" E	90'
L8	N 87°25'38" E	50'
L9	N 78°35'59" E	46'
L10	N 62°49'45" E	45'
L11	N 45°22'41" E	97'
L12	N 42°07'02" E	408'
L13	N 47°39'11" W	6'
L14	N 42°20'49" E	50'
L15	S 47°39'11" E	108'
L16	S 35°48'26" E	50'
L17	S 40°08'13" E	120'
L18	S 40°01'25" W	104'
L19	S 42°07'02" W	211'
L20	N 47°52'58" W	5'

BOUNDARY LINE TABLE		
LINE	BEARING	DISTANCE
L21	S 42°07'02" W	156'
L22	S 24°06'40" W	63'
L23	S 34°56'29" W	66'
L24	S 54°12'50" W	63'
L25	S 75°22'14" W	64'
L26	S 02°34'22" E	16'

BOUNDARY CURVE TABLE				
CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	470'	988'	N 32°22'11" W	816'
C2	275'	9'	S 26°55'58" W	9'
C3	25'	34'	S 86°43'49" E	32'
C4	280'	21'	S 52°01'40" W	21'

RESERVE TABLE		
RESERVE	ACRES	TYPE
A	±0.55Ac.	Landscape / Open Space

A PRELIMINARY PLAT OF

MILL CREEK ESTATES
SECTION 9

±10.5 ACRES
50 LOTS (50' x 120' TYP.) AND
1 RESTRICTED RESERVE IN 3 BLOCKS

OUT OF THE
JOHN B. RICHARDS SURVEY, A-449
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:
FORESTAR (USA) REAL ESTATE GROUP, INC.
3355 W. ALABAMA STE. 1240
HOUSTON, TX 77098

PLANNER:
LJA PLANNING & LANDSCAPE ARCHITECTURE
Land & Master Planning
Land Use/Feasibility Studies
Sustainable Design
Urban Design
Landscape Architecture
3600 W Sam Houston Pkwy S
Suite 600
Houston, Texas 77042
713.953.5200 - f 713.953.5026

NORTH
0 50 100 200

LJA# 1019-07002 **04.06.2022**

DISCLAIMER AND LIMITED WARRANTY

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April 15, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: ***Mill Creek Estates Section 9 Preliminary Plat – Letter of No Objection***
City of Magnolia
AEI Job No. 220768.80-001

Dear Mr. Doering:

We received the preliminary plat for the proposed Mill Creek Estates Section 9 on April 7, 2022. On behalf of City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Verify width and label easement at Block 2, Lot 25, and Block 3, Lot 1.
2. Verify street name Vineyard Oaks Lane with street name extending from Mill Creek Estates Section 8 preliminary plat.
3. Street name Lilac Branch Street already used in Mill Creek Estates Section 8. Verify and update as needed.
4. Provide preliminary approval for proposed street names from Montgomery County Emergency Communication District.
5. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Robel E. Giackero

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia – Director of Public Works

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 10

BACKGROUND/INFORMATION

The City received an application for a preliminary plat of Mill Creek Estates Sec. 10 on April 7, 2021. The City Engineer issued a Letter of No Objection with comments on April 15, 2022. The applicant sent a revised plat and reply letter to comments on April 18, 2022.

COMMENTS:

No comments.

Action Requested

Approve preliminary plat.

Recommendation:

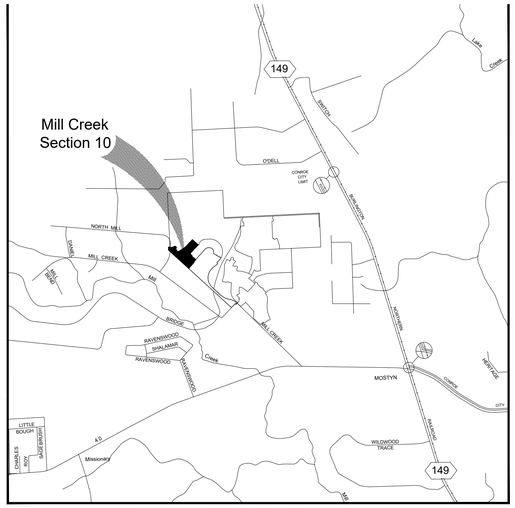
Approve Mill Creek Estates Section 10 preliminary plat of +/-11.6 acres.

Attachments:

Plat

Letter of No Objection

Comment Reply Letter

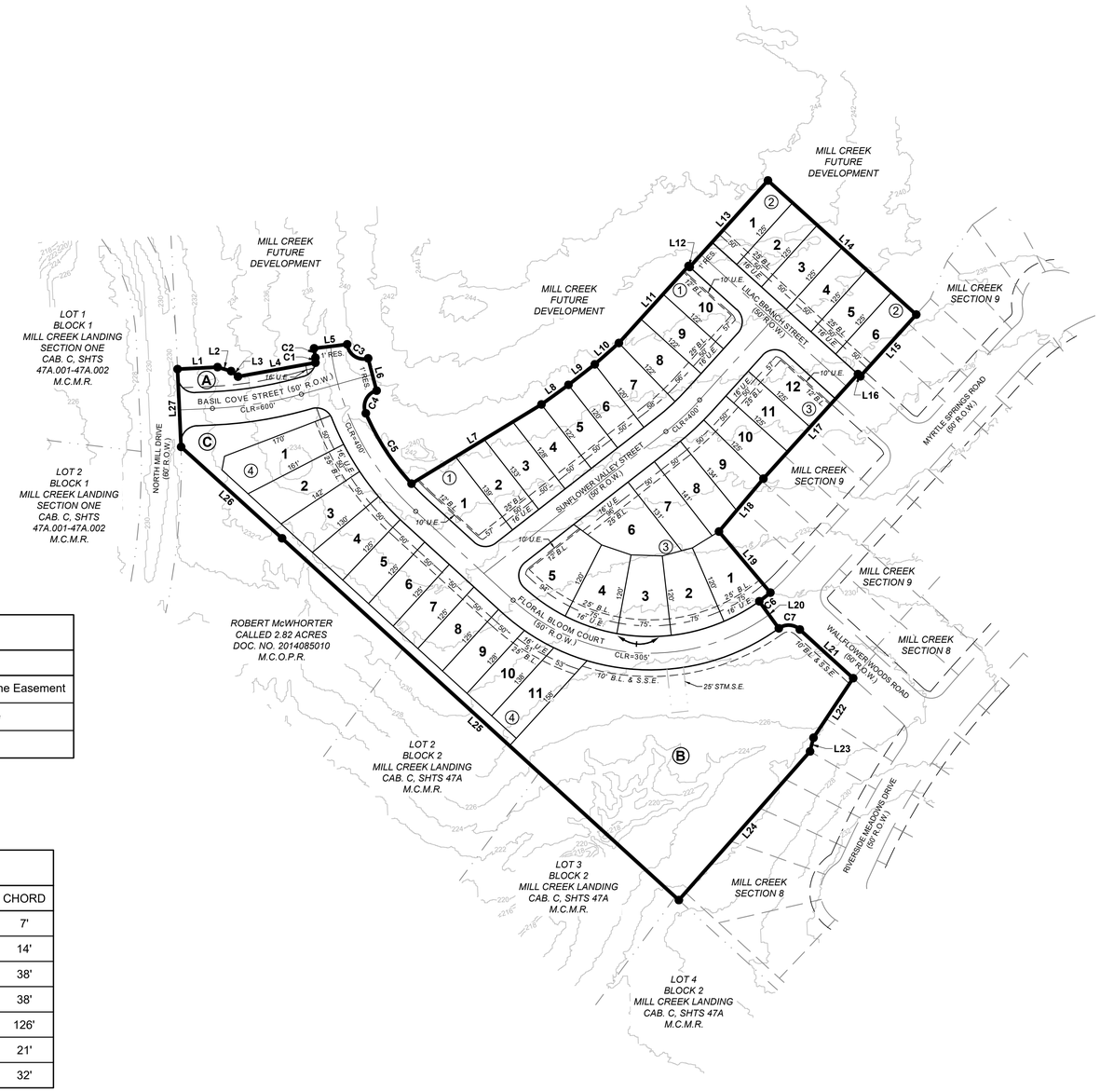


Vicinity Map
1 inch = 1/2 mile

BOUNDARY LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 87°09'41" E	60'
L2	S 73°47'05" E	21'
L3	S 51°29'45" E	13'
L4	N 79°51'38" E	118'
L5	N 83°04'58" E	50'
L6	S 14°45'03" E	50'
L7	N 58°36'49" E	228'
L8	N 54°07'51" E	50'
L9	N 52°03'50" E	50'
L10	N 48°32'07" E	48'
L11	N 42°07'02" E	156'
L12	S 47°52'58" E	2'
L13	N 42°07'02" E	175'
L14	S 47°52'58" E	300'
L15	S 42°07'02" W	125'
L16	N 47°52'58" W	5'
L17	S 42°07'02" W	211'
L18	S 40°01'25" W	104'
L19	S 40°08'13" E	120'
L20	S 35°48'26" E	50'
L21	S 47°39'11" E	108'
L22	S 33°41'05" W	107'
L23	S 14°13'41" W	21'
L24	S 41°25'42" W	297'
L25	N 47°38'53" W	806'
L26	N 47°49'59" W	204'
L27	N 02°37'07" W	117'

RESERVE TABLE		
RESERVE	ACRES	TYPE
A	±0.12Ac.	Landscape / Open Space / Water Line Easement
B	±2.54Ac.	Landscape / Open Space / Drainage
C	±0.40Ac.	Landscape / Open Space

BOUNDARY CURVE TABLE				
CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	25'	7'	N 00°17'09" W	7'
C2	425'	14'	N 07°52'38" W	14'
C3	25'	43'	S 56°12'50" E	38'
C4	25'	43'	S 25°34'21" W	38'
C5	375'	127'	S 33°00'34" E	126'
C6	280'	21'	S 52°01'40" W	21'
C7	25'	34'	S 86°43'49" E	32'



GENERAL NOTES:

1. "1' RES." INDICATES A ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS IN SUBDIVISION PLATS WHERE SUCH STREETS ABUT ADJACENT ACREAGE TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES (AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS).
2. ALL EASEMENTS ON LOT LINES ARE CENTERED UNLESS OTHERWISE SHOWN.
3. ALL STREET INTERSECTION RIGHT-OF-WAY RETURN RADII ARE 25 FEET UNLESS OTHERWISE NOTED.
4. ALL STREETS WILL BE PAVED WITH CONCRETE AND BE CURB AND GUTTER STREETS WITH STORM SEWERS.
5. ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
6. SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING SLEEPING, COOKING, AND EATING THEREIN. A LOT UPON WHICH IS LOCATED A FREE-STANDING BUILDING CONTAINING ONE DWELLING UNIT AND A DETACHED SECONDARY DWELLING UNIT OF NOT MORE THAN 900 SQUARE FEET ALSO SHALL BE CONSIDERED SINGLE FAMILY RESIDENTIAL. A BUILDING THAT CONTAINS ONE DWELLING UNIT ON ONE LOT THAT IS CONNECTED BY A PARTY WALL TO ANOTHER BUILDING CONTAINING ONE DWELLING UNIT ON AN ADJACENT LOT SHALL BE SINGLE FAMILY RESIDENTIAL.
7. EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY UNIT IS PROVIDED ONLY ONE ADDITIONAL SPACE SHALL BE PROVIDED.

LEGEND

B.L.	INDICATES BUILDING LINE
U.E.	INDICATES UTILITY EASEMENT
R.O.W.	INDICATES RIGHT-OF-WAY
S.S.E.	INDICATES SANITARY SEWER EASEMENT
W.L.E.	INDICATES WATER LINE EASEMENT
STM.S.E.	INDICATES STORM SEWER EASEMENT
M.C.O.P.R.	INDICATES MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
M.C.M.R.	INDICATES MONTGOMERY COUNTY MAP RECORDS
	INDICATES STREETNAME CHANGE

A PRELIMINARY PLAT OF

MILL CREEK ESTATES
SECTION 10

±11.6 ACRES
39 LOTS (50' X 120' TYP.) AND
3 RESTRICTED RESERVES IN 4 BLOCKS

OUT OF THE
JOHN B. RICHARDS SURVEY, A-449
CITY OF MAGNOLIA, MONTGOMERY COUNTY, TEXAS

OWNER:
FORESTAR (USA) REAL ESTATE GROUP, INC.
3355 W. ALABAMA STE. 1240
HOUSTON, TX 77098

PLANNER:

LJA PLANNING & LANDSCAPE ARCHITECTURE

Land & Master Planning
Land Use/Feasibility Studies
Sustainable Design
Urban Design
Landscape Architecture

3600 W Sam Houston Pkwy S
Suite 600
Houston, Texas 77042
713.953.5200 - f 713.953.5026

NORTH

0 50 100 200

LJA# 1019-07002 04.18.2022

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April 15, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: ***Mill Creek Estates Section 10 Preliminary Plat – Letter of No Objection***
City of Magnolia
AEI Job No. 220769.80-001

Dear Mr. Doering:

We received the preliminary plat for the proposed Mill Creek Estates Section 10 on April 7, 2022. On behalf of City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. Street name Lilac Branch Street already used in Mill Creek Estates Section 8. Verify and update as needed.
2. One line diagram indicates a water line traversing through Reserve A. Accordingly, add water line easement in Reserve A.
3. Provide preliminary approval for proposed street names from Montgomery County Emergency Communication District.
4. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 11

BACKGROUND/INFORMATION

The City received an application for a final plat of Magnolia Village South on April 5, 2022. The City Engineer issued a Review Letter on April 15, 2022

COMMENTS:

Final plats require the City Engineer's final approval. This plat is pending reply by the applicant. If the Letter of No Objection is issued by the City Engineer on or before the PZC meeting, approval will be recommended.

Action Requested

Approve final plat if a Letter of No Objection has been issued from the City Engineer.

Recommendation:

If Letter of No Objection by City Engineer is received, then - Approve final plat of Magnolia Village South +/-76.993 acres

Attachments:

Plat

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, Nathan Thomas Newman, managing member of BBQ EQUITY PARTNERS, LLC, a Texas limited liability company, and Bryan McLain, managing member of LCP MAGNOLIA COTTAGE 146 PROP, LLC, a Texas limited liability company, being owners of the property subdivided in the above and foregoing map of the MAGNOLIA VILLAGE SOUTH, do hereby make subdivision of said property, according to the lines, streets, alleys, parks, and easements therein shown, and designate said subdivision as MAGNOLIA VILLAGE SOUTH in the Hampton Tillons Survey, Abstract 556, in Montgomery County, Texas; and dedicate to public use, as such, the streets, alleys, parks and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades and do hereby bind ourselves, or our heirs and assigns to warrant and forever defend the title to the land so dedicated. There is also dedicated for utilities an unobstructed easement 5 feet wide from a plane 20 feet above ground upward located as shown hereon. We have also complied with all regulations hereto before adopted by the Planning and Zoning Commission of the City of Magnolia, located in Montgomery County, Texas.

IN TESTIMONY WHEREOF, BBQ EQUITY PARTNERS, LLC, a Texas limited liability company, has caused these presents to be signed by Nathan Thomas Newman, managing member, thereunto authorized, this the _____ day of _____, 2022.

BBQ EQUITY PARTNERS, LLC
a Texas limited liability company

BY: _____
Nathan Thomas Newman
Managing Member

STATE OF TEXAS
COUNTY OF HARRIS

Before me, the undersigned authority, on this day personally appeared Nathan Thomas Newman, managing member, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said entity.
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

_____
Notary Public in and for the State of Texas.

My Commission expires: _____

IN TESTIMONY WHEREOF, LCP MAGNOLIA COTTAGE 146 PROP, LLC, a Texas limited liability company, has caused these presents to be signed by Bryan Mclain, managing member, thereunto authorized, this the _____ day of _____, 2022.

LCP MAGNOLIA COTTAGE 146 PROP, LLC
a Texas limited liability company

BY: _____
Bryan McLain
Managing Member

STATE OF TEXAS
COUNTY OF HARRIS

Before me, the undersigned authority, on this day personally appeared Bryan McLain, managing member, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said entity.
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2022.

_____
Notary Public in and for the State of Texas.

My Commission expires: _____

I, Michael L. Swan, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron pipe or rods having a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner and NAD83 state plane projections.

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT."

_____
Michael L. Swan
Registered Professional Land Surveyor
Texas Registration No. 5551

This is to certify that the Planning and Zoning Commission of the City of Magnolia, Texas, has approved this plat and subdivision of MAGNOLIA VILLAGE SOUTH as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Planning and Zoning Chairperson, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

_____
Scott A. Shelburne
Chairperson

_____
Kandace Garrett
City Secretary

This is to certify that the City Council of the City of Magnolia, Texas, has approved this plat and subdivision of MAGNOLIA VILLAGE SOUTH as shown herein.

IN TESTIMONY WHEREOF, in witness of the official signatures of the Mayor, and the City Secretary of the City of Magnolia, Texas, this the _____ day of _____, 2022, do approve this plat to be recorded in the official record at the Montgomery County Clerk's Office.

_____
Todd Kana
Mayor

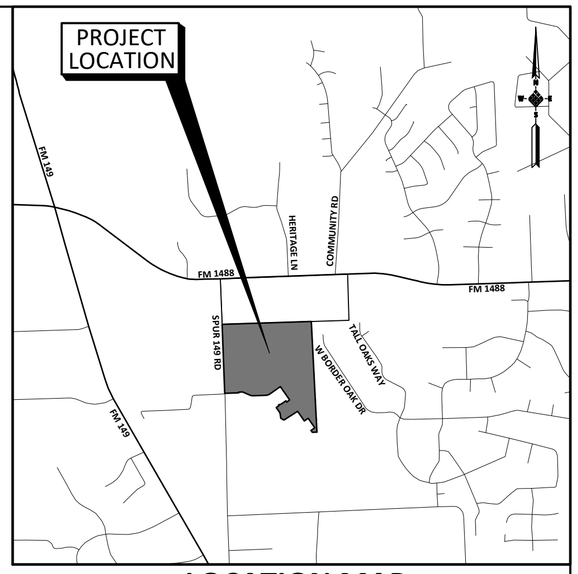
_____
Kandace Garrett
City Secretary

I, Mark Turnbull, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on this the _____day of_____, 2022, at _____o'clock __.M., and duly recorded on _____, 2022, at _____o'clock __.M., in Cabinet _____, Sheet _____ , of record of _____ for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

_____
Mark Turnbull, Clerk of the County Court
Montgomery County, Texas.

Issued _____ By: _____
Deputy



LOCATION MAP

N.T.S.
(KEY MAP # 213 L)

NOTES:

1. B.L. indicates a building line
   U.E. indicates a utility easement
   A.E. indicates a aerial easement
   W.S.E. indicates a water line and sewer easement
   STM. S.E. indicates a storm sewer easement
   W.L.E. indicates a water line easement
   S.S.E. indicates a sanitary sewer easement
   D.E. indicates a drainage easement
   ESMT. indicates easement
   VOL., PG. indicates Volume, Page
   M.C.M.R. indicates Montgomery County Map Records
   E.T.J. indicates Extraterritorial jurisdiction
   I.R. indicates Iron Rod
   FND. I.R. indicates Found Iron Rod
   ● indicates found 5/8" iron rod (unless otherwise noted)
   ○ indicates set 5/8" iron rod with plastic cap stamped "IDS" (unless otherwise noted)
2. All bearings based on the the Texas Coordinate System of 1983, Central Zone.
3. The coordinates shown hereon are Texas South Central Zone No. 4204 State Plane Surface Coordinates (NAD83) and may be brought to grid by applying the combined scale factor of 0.99997000.
4. One-foot reserve dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent property, the condition of this dedication being that when the adjacent property is subdivided or re-subdivided in a recorded subdivision plat, the one-foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs, assigns or successors.
5. According to Flood Insurance Rate Map No. 48339C0485 G, dated August 18, 2014, published by the Federal Emergency Management Agency, the property shown on this plat lies within Zone X, defined as areas determined to be outside the 500-year floodplain.
6. This subdivision plat is consistent with the Development Agreement between the City of Magnolia and BBQ Equity Partners, LLC, executed April 6, 2018.
7. The tract shown hereon is subject to the easement as recorded under File No. 2021162739 in the Official Public Records of Real Property of Montgomery County, Texas.
8. This plat was prepared from information furnished by Integrity Title, effective date February 9, 2022.

MAGNOLIA VILLAGE SOUTH

A SUBDIVISION OF

76.993 ACRES

OUT OF
HAMPTON TILLONS SURVEY, A-556
MONTGOMERY COUNTY, TEXAS

1 BLOCK &
1 RESERVE (75.989 AC.)

OWNERS: BBQ EQUITY PARTNERS, LLC

A TEXAS LIMITED LIABILITY COMPANY
25241 FM 2978, SUITE C
TOMBALL, TEXAS 77375
PH: 281-703-0715

LCP MAGNOLIA COTTAGE 146 PROP, LLC

A TEXAS LIMITED LIABILITY COMPANY
5900 BALCONES DRIVE, SUITE 100
AUSTIN, TEXAS 78731
PH: 337-456-4690

ENGINEER: IDS Engineering Group

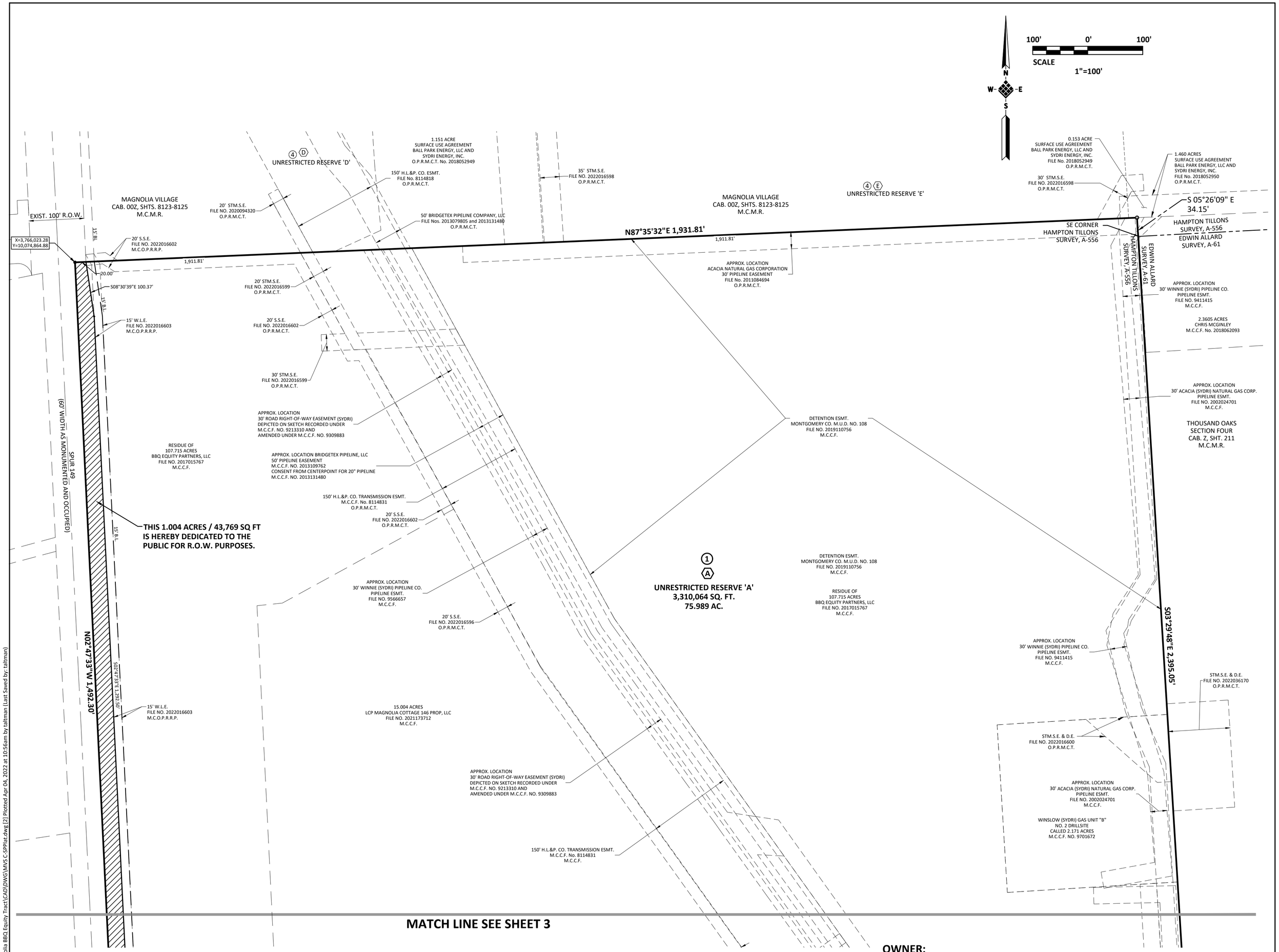
13430 NW. Freeway
Suite 700
Houston, Tx. 77040
713.462.3178

TxEng Firm 2726
TxSurv Firm 10110700

April 4, 2022 PROJECT No. 2382-001-00

SHEET 1 OF 3

\\fs3\Projects\2300\238200\00 Magnolia BBQ Equity Tract\CAD\DWG\WVS C-SPPlat.dwg [1] Plotted Apr 04, 2022 at 10:56am by taltman (Last Saved by: taltman)

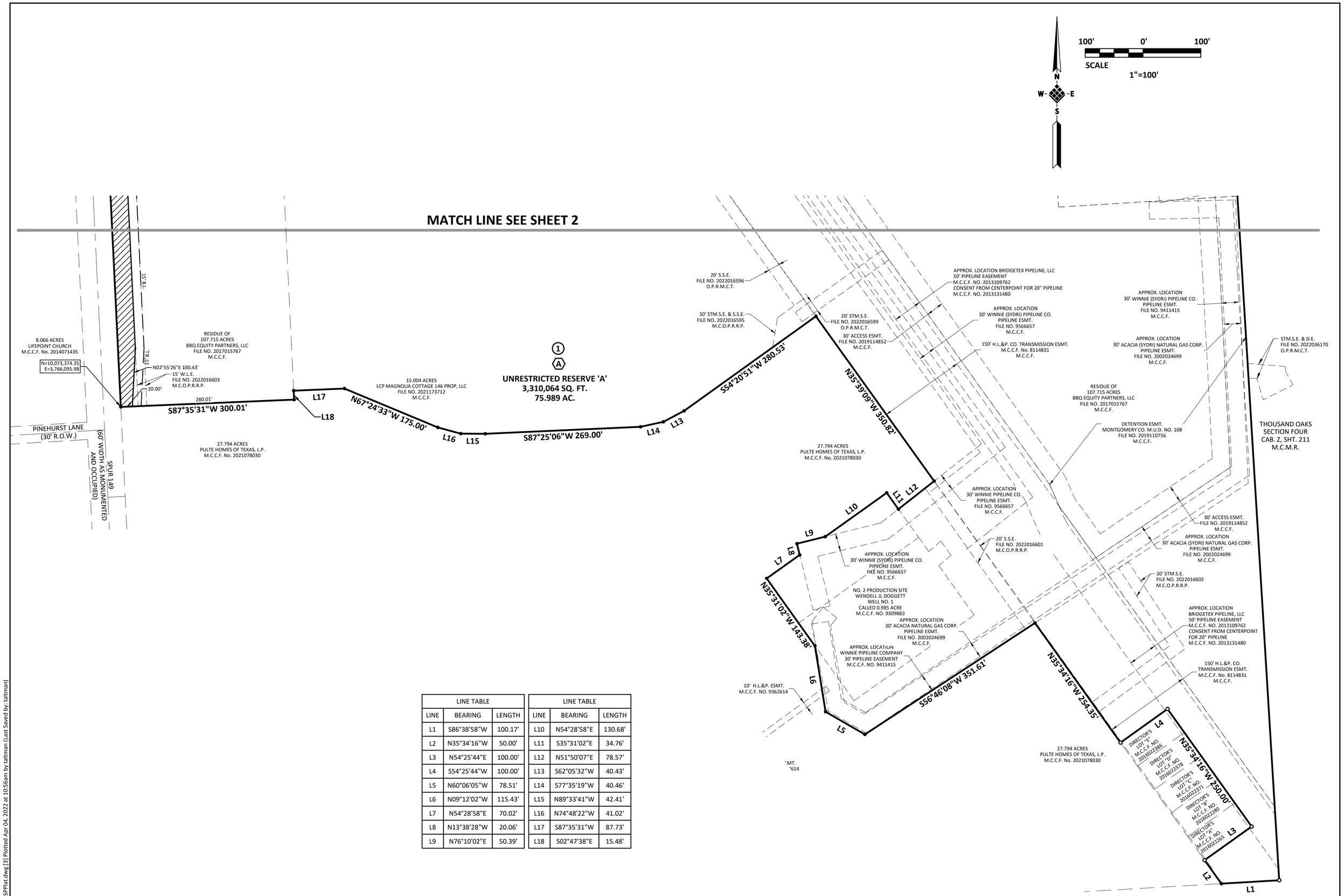


OWNER:
BBQ EQUITY PARTNERS, LLC
A TEXAS LIMITED LIABILITY COMPANY
25241 FM 2978, SUITE C
TOMBALL, TEXAS 77375

LCP MAGNOLIA COTTAGE 146 PROP LLC
A TEXAS LIMITED LIABILITY COMPANY
5900 BALCONES DRIVE, SUITE 100
AUSTIN, TEXAS 78731

MAGNOLIA VILLAGE SOUTH
SHEET 2 OF 3

\\fs3\Projects\2300\238200100 Magnolia BBQ Equity Tract\CAD\DWG\MVS C-SPPlat.dwg [2] Plotted Apr 04, 2022 at 10:56am by taltman (Last Saved by: taltman)



LINE TABLE		
LINE	BEARING	LENGTH
L1	S86°38'58"W	100.17'
L2	N35°34'16"W	50.00'
L3	N54°25'44"E	100.00'
L4	S54°25'44"W	100.00'
L5	N60°06'05"W	78.51'
L6	N09°12'02"W	115.43'
L7	N54°28'58"E	70.02'
L8	N13°38'28"W	20.06'
L9	N76°10'02"E	50.39'

LINE TABLE		
LINE	BEARING	LENGTH
L10	N54°28'58"E	130.68'
L11	S35°31'02"E	34.76'
L12	N51°50'07"E	78.57'
L13	S62°05'32"W	40.43'
L14	S77°35'19"W	40.46'
L15	N89°33'41"W	42.41'
L16	N74°48'22"W	41.02'
L17	S87°35'31"W	87.73'
L18	S02°47'38"E	15.48'

OWNER:
BBQ EQUITY PARTNERS, LLC
A TEXAS LIMITED LIABILITY COMPANY
25241 FM 2978, SUITE C
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LCP MAGNOLIA COTTAGE 146 PROP LLC
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MAGNOLIA VILLAGE SOUTH
SHEET 3 OF 3

\\fs3\Projects\2300\238200100 Magnolia BBQ Equity Tract\CAD\DWG\MVS C-SPPlat.dwg [3] Plotted Apr 04, 2022 at 10:56am by taltman (Last Saved by: taltman)

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 12

BACKGROUND/INFORMATION

The City received a site plan application for Allora Magnolia on February 21, 2022. The application was pending a Drainage Study for a combined drainage plan to serve Allora and two other developments. The Drainage Study was approved by the City Engineer on March 31, 2022.

COMMENTS:

Applicant resubmitted the site plan on April 11, 2022 and the City Engineer issued a Letter of No Objection on April 15, 2022.

Action Requested

Approve site plan.

Recommendation:

Approve site plan for Allora Magnolia.

Attachments:

Site Plan

Letter of No Objection

CIVIL SITEWORK PLANS

FOR

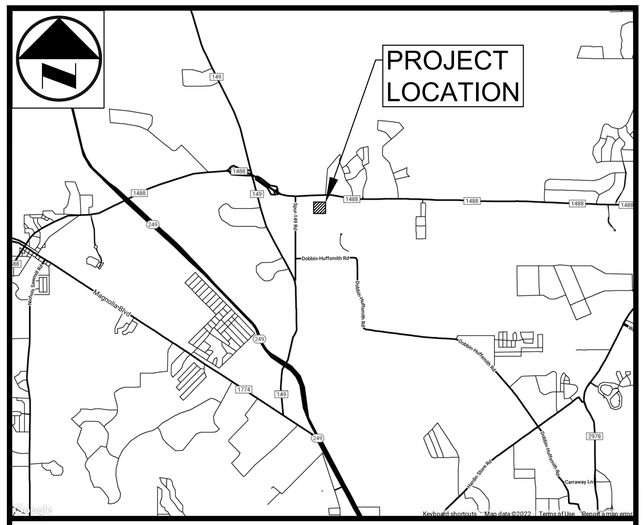
MAPLE MULTI-FAMILY LAND TX, L.P.

ALLORA MAGNOLIA

4255 MAGNOLIA VILLAGE DR,
MAGNOLIA, TX 77354

PLANS SUBMITTAL/REVIEW LOG

- DESIGN DEVELOPMENT SET — JANUARY 10, 2022
- PERMIT SET — FEBRUARY 18, 2022



VICINITY MAP

N.T.S

KEY MAP: 213G **ZIP CODE: 77354**

MONTGOMERY COUNTY, TEXAS

FEBRUARY 2022

OWNER:
MAPLE MULTI-FAMILY LAND TX, L.P.
750 TOWN AND COUNTRY BLVD SUITE 520
HOUSTON, TX 77024
(713) 781-5775

ARCHITECT:
HENSLEY LAMKIN RACHEL, INC.
11200 BROADWAY SUITE 2749
PEARLAND, TEXAS 77584
CONTACT: BRIAN ABBY
(832) 379-2984

SURVEYOR:
IDS ENGINEERING GROUP
13430 NORTHWEST FWY. STE. 700
HOUSTON, TX 77040
(713) 462-3178

PREPARED BY:
Kimley»Horn
1400 Woodloch Forest Drive, Suite 225
The Woodlands, Texas 77380
Certificate of Authorization F-928
Contact: Tyler Miller, P.E.
Tel. No. (281) 475-2816

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	LAND TITLE SURVEY
C0.2	LAND TITLE SURVEY
C1.0	GENERAL NOTES
C2.0	EROSION CONTROL PLAN
C2.1	EROSION CONTROL DETAILS
C3.0	OVERALL SITE PLAN
C4.0	DIMENSION CONTROL AND PAVING PLAN
C5.0	FIRE ACCESS PLAN
C6.0	EXISTING DRAINAGE AREA MAP
C6.1	PROPOSED DRAINAGE AREA MAP
C7.0	GRADING PLAN (1 OF 4)
C7.1	GRADING PLAN (2 OF 4)
C7.2	GRADING PLAN (3 OF 4)
C7.3	GRADING PLAN (4 OF 4)
C8.0	STORM SEWER PLAN
C8.1	DOWNSPOUT PLAN
C9.0	SANITARY SEWER PLAN
C10.0	WATER AND GAS LINE PLAN
C11.0	CONSTRUCTION DETAILS (1 OF 3)
C11.1	CONSTRUCTION DETAILS (2 OF 3)
C11.2	CONSTRUCTION DETAILS (3 OF 3)

AS PART OF THE BASE BID FOR THIS PROJECT, CONTRACTOR SHALL ADHERE TO THE PROJECT GEOTECHNICAL REPORT FOR ALL RECOMMENDATIONS FOR BOTH MATERIALS AND PRACTICE OF INSTALLATION GIVEN IN THE PROJECT GEOTECHNICAL REPORT FOR EARTHWORK, SITE SUBGRADE PREPARATION, BUILDING PAD SUBGRADE PREPARATION, PAVING, AND WET/SOFT SOILS CONDITIONS ALONG WITH ANY OTHER SECTIONS PROVIDED IN THE REPORT.

TITLE: GEOTECHNICAL INVESTIGATION ALLORA MAGNOLIA APARTMENTS
BY: THE MURILLO COMPANY
DATED: OCTOBER 1, 2021

INCLUDING ALL REVISIONS AND ADDENDA TO THIS REPORT THAT MAY HAVE BEEN RELEASED AFTER THE NOTED DATE.

811 Know what's **below.** **Call** before you dig.

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

No.	REVISIONS	DATE	BY

Kimley»Horn

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1400 WOODLOCH FOREST DRIVE, SUITE 225
THE WOODLANDS, TX 77380
PHONE: 281-475-2816
TBPE FIRM REGISTRATION #: F-928
WWW.KIMLEY-HORN.COM

STATE OF TEXAS
TYLER J. MILLER
138134
LICENSED PROFESSIONAL ENGINEER
02/18/2022

KHA PROJECT 064145067
DATE 02/18/2022
SCALE AS SHOWN
DESIGNED BY DDC
DRAWN BY CR
CHECKED BY TJM

COVER SHEET

ALLORA MAGNOLIA
PREPARED FOR
MAPLE MULTI-FAMILY LAND TX,L.P.
MAGNOLIA TEXAS

SHEET NUMBER
C0.0

Plotted By:Miller, Tyler - Sheet: Set-Kitts Layout: C0.0 - February 18, 2022 - 9:18:46am K:\WCOL_Civil\064145067-TCR-Allora Magnolia\DWG\Plan\Sheets\C-Cover.dwg
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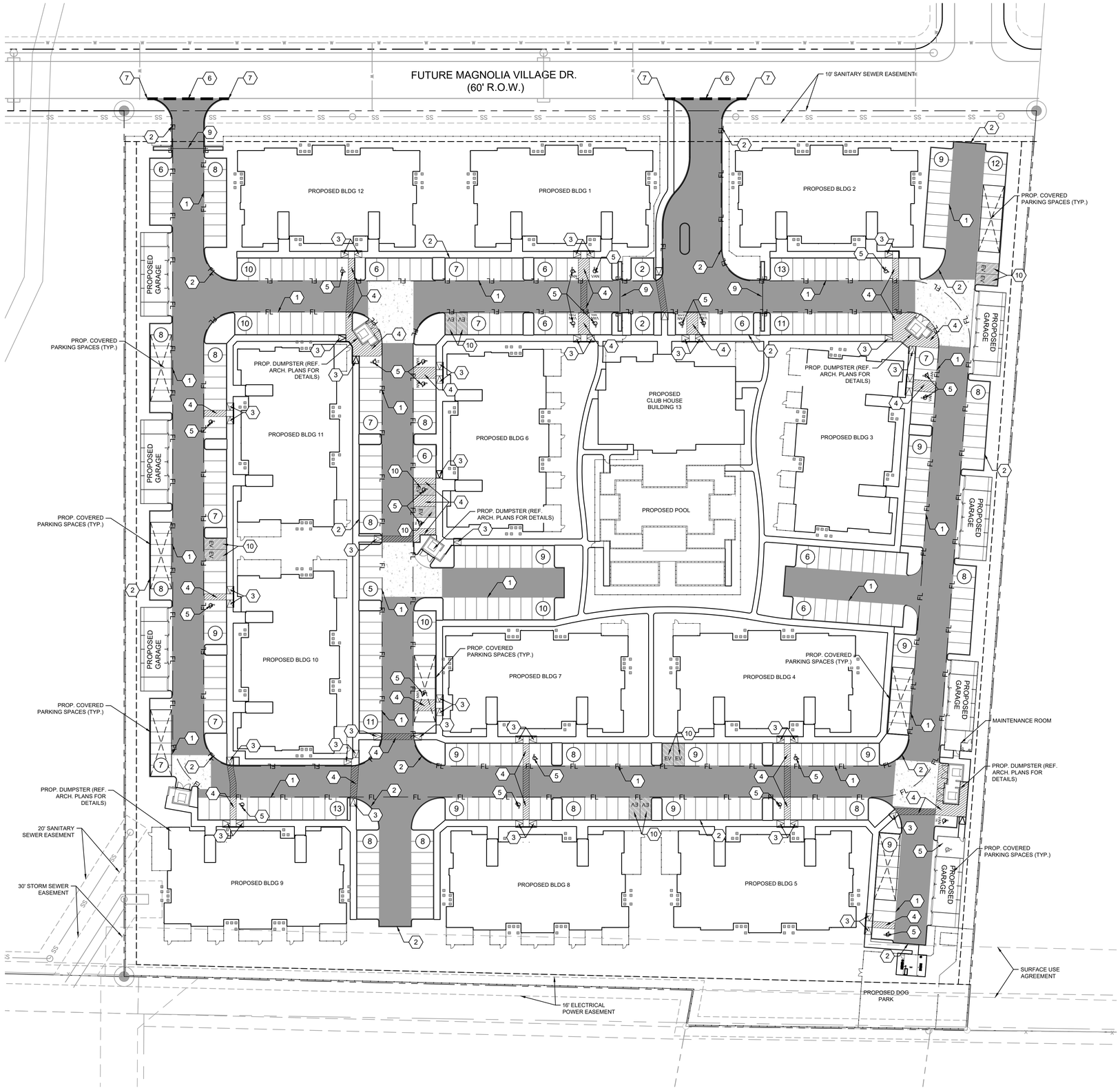

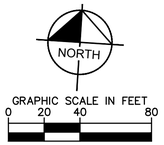

LEGEND	
	PROPERTY LINE
	PROPOSED SAWCUT/MATCH EXISTING PAVEMENT LINE
FL	FIRE LANE STRIPING
	CURB RAMP NOT IN PUBLIC ROW
	ACCESSIBILITY SPACE
PAVING MATERIAL LEGEND	
	LIGHT DUTY CONCRETE PAVEMENT
	DUMPSTER PAD PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT

KEYED NOTES	
1	PARKING LOT STRIPING; 4" SOLID WHITE STRIPE
2	PROPOSED 6" CURB.
3	ACCESSIBLE RAMP
4	4" SOLID WHITE STRIPING, 2'-0" O.C. @ 45°
5	PROPOSED ACCESSIBLE HC PARKING STALL WITH ACCESSIBLE PARKING SYMBOL AND SIGN
6	PROPOSED SAWCUT/MATCH EXISTING PAVEMENT LINE
7	PROPOSED 6" CURB. TIE INTO EXISTING CURB.
8	PROPOSED FENCE. REF. LANDSCAPE PLANS FOR DETAILS.
9	PROPOSED GATE. REF. LANDSCAPE PLANS FOR DETAILS.
10	ELECTRICAL VEHICLE PARKING SPACE

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

2. ALL RADII 2' or 25' UNLESS OTHERWISE NOTED.

3. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING POLES AND FIXTURES AND ELECTRICAL PLAN PRIOR TO PLACING PAVEMENT.

4. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

5. SIDEWALKS SHALL NOT EXCEED A 5% MAXIMUM RUNNING SLOPE AND A 2% MAXIMUM CROSS SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.

6. FIELD VERIFY ADA GRADES PRIOR TO PLACING PAVEMENT. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND TAS.

7. REF. IRRIGATION PLANS PRIOR TO PLACING PAVEMENT.

8. CONTRACTOR SHALL BUDGET FOR ACCESSIBLE STALL STRIPING, FIRE LANE STRIPING, DIRECTIONAL ARROWS, ETC.

9. REF. BUILDING PLANS FOR ALL EXTERIOR STAIR DETAILS.

10. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, STORM SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.

PARKING SUMMARY			
PARKING REQUIRED			
USE	SPACES/UNIT	NUMBER OF UNITS	STALLS REQUIRED
ONE BEDROOM	1	216	216
TWO BEDROOM	1	108	108
TOTAL			324
PARKING PROVIDED			
STANDARD STALLS PROVIDED			342
ACCESSIBLE STALLS PROVIDED			26
TOTAL STALLS PROVIDED			417

Know what's **below.**
Call before you dig.

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No.	REVISIONS	DATE	BY

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
1400 WOODLOCH FOREST DRIVE, SUITE 225
THE WOODLANDS, TX 77380
PHONE: 281-475-2816
FIRM REGISTRATION NUMBER: F-928
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WWW.KIMLEY-HORN.COM

STATE OF TEXAS
TYLER J. MILLER
138134
LICENSED PROFESSIONAL ENGINEER
02/18/2022

KHA PROJECT	064145067
DATE	02/18/2022
SCALE	AS SHOWN
DESIGNED BY	DDC
DRAWN BY	CR
CHECKED BY	TJM

OVERALL SITE PLAN

ALLORA MAGNOLIA
PREPARED FOR
MAPLE MULTI-FAMILY LAND TX,L.P.
MAGNOLIA TEXAS

SHEET NUMBER
C3.0

Plotted By: Miller, Tyler Sheet Set:Kha Layout:C3.0 February 19, 2022 01:25:03pm K:\WDL_Civil\064145067-TCR-Allora Magnolia\DWG\PlanSheets\C-Overall.dwg
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GENERAL LANDSCAPE NOTES

1) Planting soil mixture shall be one of the following:

LANDSCAPE MIX		
"PREMIUM BED MIX" BY THE GROUND UP CONTACT AT (832) 247-2574	OR	"ULTRA SOIL" BY LIVING EARTH TECHNOLOGY GROUP CONTACT AT (713) 466-7360 or CONTACT AT (281) 342-6113

2) Bidding contractors be advised that all new tree material is to be container grown, corresponding to stated root ball sizes as recognized by industry standards. This shall exclude all B&B, machine moved, or transplanted trees from the bidding process unless otherwise indicated on the plan. The installation contractor shall be prepared to provide photographs of intended plant material along with signed clarification that plant material meets these requirements and that no variations or substitutions have been made.

3) The landscape contractor doing the installation of this work shall submit to Kudela & Weinheimer information regarding sourcing of plant material. All plant material must be container grown and approved at the source of growth by Kudela & Weinheimer. Tree material meeting the specifications will be tagged with a serialized locking tag at the nursery by Kudela & Weinheimer. Plants arriving at the job site without these tags will be categorically rejected at the contractor's expense.

4) If the planting plan does not agree with the plant list, the quantities indicated graphically on the planting plan shall govern.

5) Contractor is responsible for the grading of parking lot islands and setbacks. Grade changes shall range from 8" (inch) to 15" (inch) above the curb, depending on the size of the island. Select topsoil shall be used for these Berms. See parking island tree detail.

6) All disturbed areas are to receive 6" (inches) of topsoil, topped with mulch, sod, or hydromulch (depending on the area), and is to be watered until a healthy stand of grass is established.

7) All trees planted adjacent to accessible routes and accessible areas shall not have limbs below 80" (in) Above Finish Grade.

PLANT SYMBOLS LEGEND

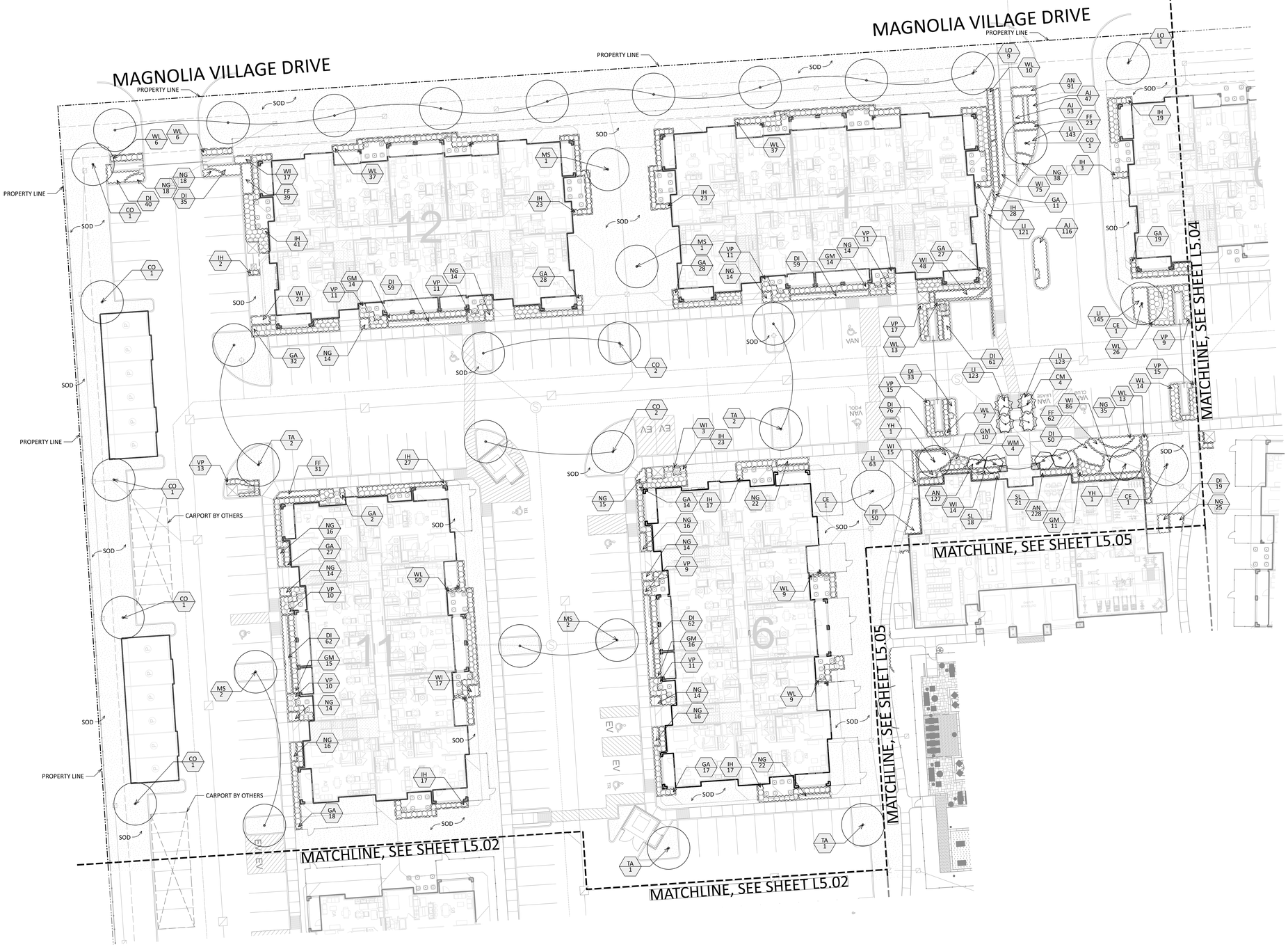
	NURSERY GROWN CONTAINERIZED TREES
	ITALIAN CYPRESS
	ORNAMENTAL TREE
	SHRUB/GROUND COVER
	ARTIFICAL TURF (SYNLAWN OR OTHER BRAND)
	SOLID SOD - (INSERT TYPE OF SOD HERE)

SHEET NOTES

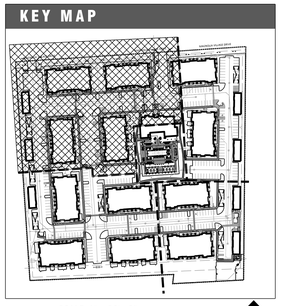
1) SEE SHEETS L1.00-L1.06 FOR MATERIALS & LIGHTING PLANS
2) SEE SHEETS L2.01-L2.05 FOR LAYOUT PLANS
3) SEE SHEETS L3.01-L3.09 FOR CONSTRUCTION DETAILS
4) SEE SHEETS L4.01-L4.02 FOR GRADING AND PIPING PLAN
5) SEE SHEETS L5.01-L5.05 FOR PLANTING PLAN
6) SEE SHEETS L6.01-L6.04 FOR IRRIGATION PLANS
7) ALL KNOX BOXES ARE BY CONTRACTOR

PLANT SCHEDULE

SYM.	BOTANICAL NAME / COMMON NAME
	TREES
LO	QUERCUS VIRGINIANA LIVE OAK
CO	QUERCUS MUEHLENBERGII CHINKAPIN OAK
CE	ULMUS CRASSIFOLIA CEDAR ELM
TA	FRAXINUS TEXENSIS TEXAS ASH
MS	PLATANUS MEXICANA MEXICAN SYCAMORE
RM	ACER RUBRUM RED MAPLE
YH	ILEX VOMITORIA YAUPON HOLLY
IC	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS
CM	LAGERSTROEMIA INDICA CRAPE MYRTLE
WM	MYRICA CERIFERA WAX MYRTLE
	SHRUBS
IH	RAPHIOLEPSIS INDICA INDIAN HAWTHORN
SL	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE LIGUSTRUM
KO	ROSA X 'KNOCKOUT' KNOCKOUT ROSE
GA	ABELIA X GRANDIFLORA GLOSSY ABELIA
VP	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM
VP2	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM
WL	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM
WL2	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM
	GRASSES
GM	MUHLENBERGIA CAPILLARIS GULF MUHLY GRASS
HG	PENNISETUM ALOPECUROIDES 'HAMELN' DWARF HAMELN GRASS
	GROUNDCOVER
DI	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED DIANELLA
FF	ASPARAGUS MEYERI FOXTAIL FERN
WI	NEOMARICA GRACILIS WALKING IRIS
AJ	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE
LI	LIRIOPE MUSCARI LIRIOPE
NG	LANTANA SP. 'NEW GOLD' NEW GOLD LANTANA
AN	SEASONAL COLOR
	TURF
	CYNODON DACTYLON COMMON BERMUDA



KEY MAP



SCALE 1" = 20' - 0"
10 0 20 40

N

KW LANDSCAPE ARCHITECTS
6925 Portwest Drive, Suite 100
Houston, Texas 77024
713-869-6987

BUILDING THE EXCEPTIONAL, *TOGETHER*.
www.kwtexas.com

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
02-18-2022

CLIENT

MAPLE MULTI-FAMILY LAND TX, L.P.

DATE / ISSUE

18 FEB 2022
ISSUE FOR PERMIT

MAGNOLIA
MAGNOLIA, TEXAS

SCALE

1" = 20'-0"

PROJECT NUMBER

TCR-110

STATUS	DATE	BY
DRAWN	02/15/22	SC & JL
CHECKED	02/16/22	AL

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

5.01

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6) All disturbed areas are to receive 6" (inches) of topsoil, topped with mulch, sod, or hydromulch (depending on the area), and is to be watered until a healthy stand of grass is established.

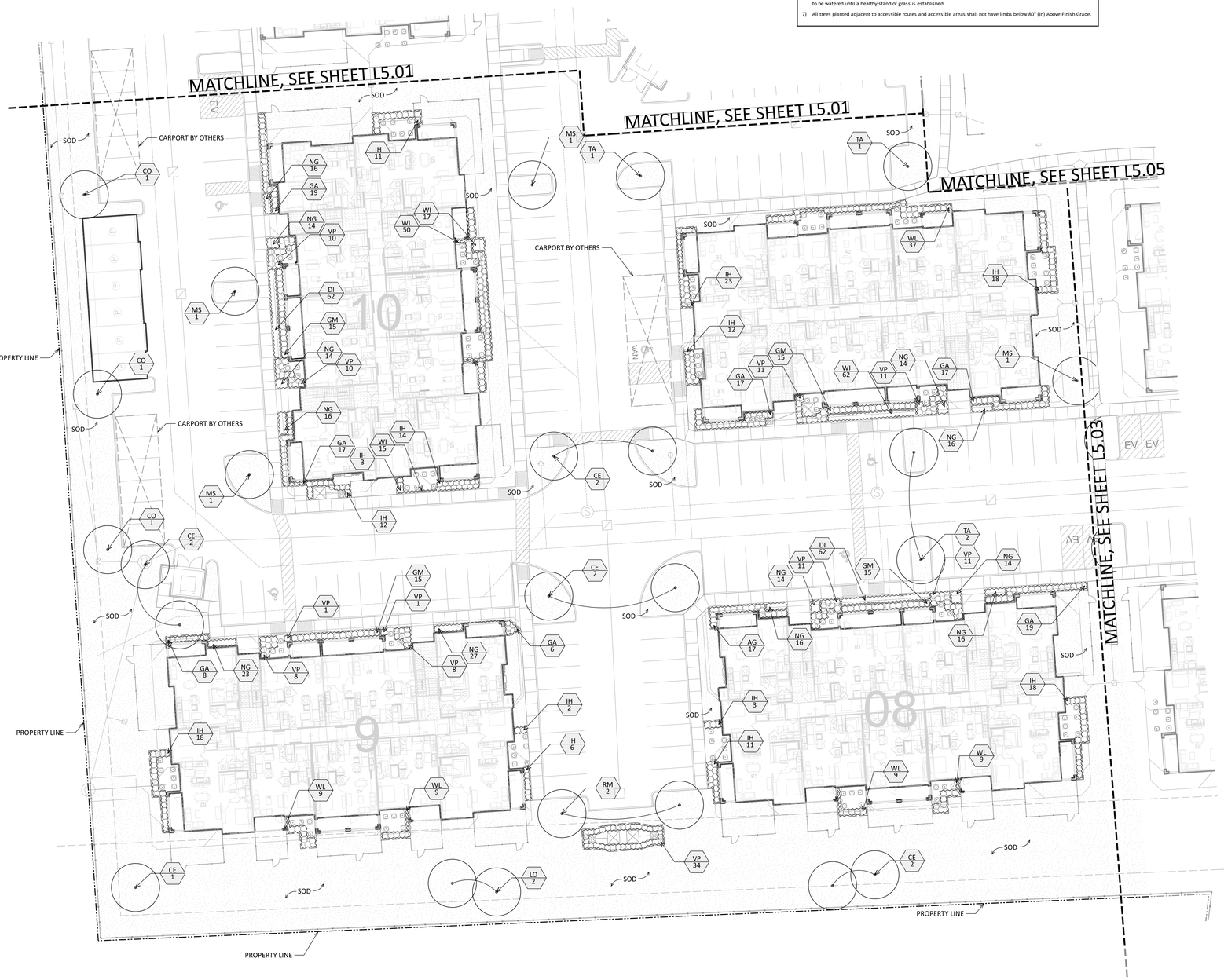
7) All trees planted adjacent to accessible routes and accessible areas shall not have limbs below 80" (in) Above Finish Grade.

PLANT SYMBOLS LEGEND

	NURSERY GROWN CONTAINERIZED TREES
	ITALIAN CYPRESS
	ORNAMENTAL TREE
	SHRUB/GROUND COVER
	ARTIFICAL TURF (SYNLAWN OR OTHER BRAND)
	SOLID SOD - (INSERT TYPE OF SOD HERE)

PLANT SCHEDULE

SYM.	BOTANICAL NAME / COMMON NAME
	TREES
LO	QUERCUS VIRGINIANA LIVE OAK
CO	QUERCUS MUEHLENBERGII CHINKAPIN OAK
CE	ULMUS CRASSIFOLIA CEDAR ELM
TA	FRAXINUS TEXENSIS TEXAS ASH
MS	PLATANUS MEXICANA MEXICAN SYCAMORE
RM	ACER RUBRUM RED MAPLE
YH	ILEX VOMITORIA YAUPON HOLLY
IC	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS
CM	LAGERSTROEMIA INDICA CRAPE MYRTLE
WM	MYRICA CERIFERA WAX MYRTLE
	SHRUBS
IH	RAPHIOLEPSIS INDICA INDIAN HAWTHORN
SL	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE LIGUSTRUM
KO	ROSA X 'KNOCKOUT' KNOCKOUT ROSE
GA	ABELIA X GRANDIFLORA GLOSSY ABELIA
VP	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM
VP2	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM
WL	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM
WL2	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM
	GRASSES
GM	MUHLENBERGIA CAPILLARIS GULF MUHLY GRASS
HG	PENNISETUM ALOPECUROIDES 'HAMELN' DWARF HAMELN GRASS
	GROUNDCOVER
DI	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED DIANELLA
FF	ASPARAGUS MEYERI FOXTAIL FERN
WI	NEOMARICA GRACILIS WALKING IRIS
AJ	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE
LI	LIRIOPE MUSCARI LIRIOPE
NG	LANTANA SP. 'NEW GOLD' NEW GOLD LANTANA
AN	SEASONAL COLOR
	TURF
	CYNODON DACTYLON COMMON BERMUDA



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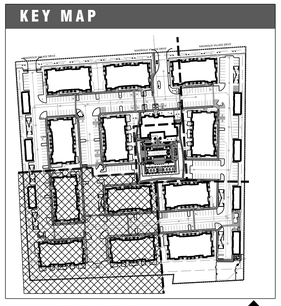

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REGISTERED LANDSCAPE ARCHITECT — STATE OF TEXAS — 02-18-2022

CLIENT

MAPLE MULTI-FAMILY LAND TX, L.P.

DATE / ISSUE

18 FEB 2022
ISSUE FOR PERMIT

MAGNOLIA
MAGNOLIA, TEXAS

SCALE

1" = 20'-0"

PROJECT NUMBER

TCR-110

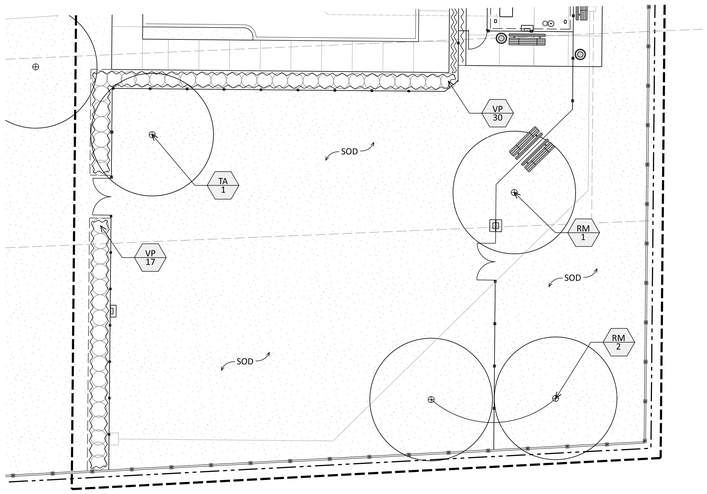
STATUS	DATE	BY
DRAWN	02/15/22	SC & JL
CHECKED	02/16/22	AL

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L5.02



1 DOG PARK ENLARGEMENT
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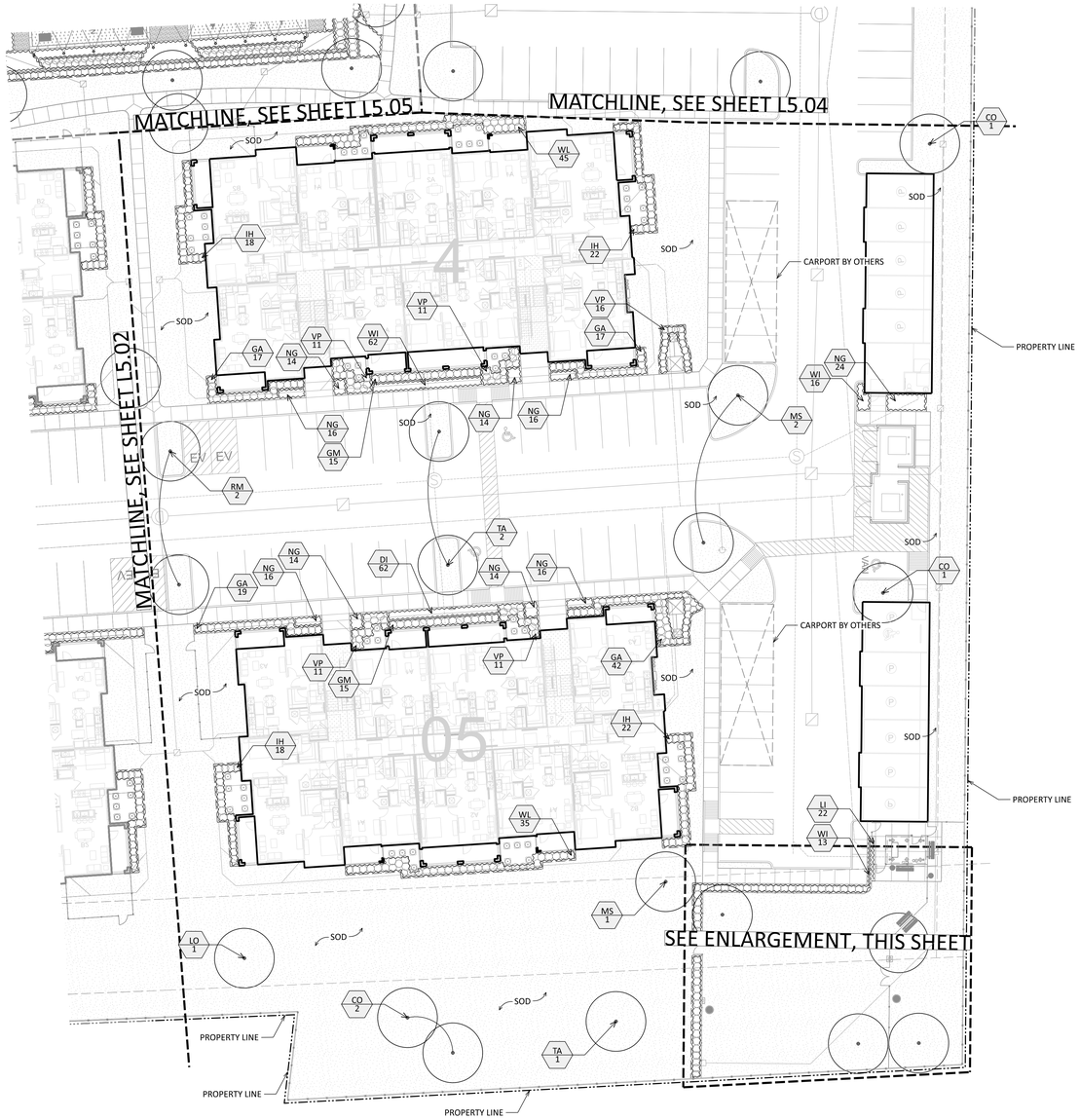
PLAN



PLANT SYMBOLS LEGEND

	NURSERY GROWN CONTAINERIZED TREES
	ITALIAN CYPRESS
	ORNAMENTAL TREE
	SHRUB/GROUND COVER
	ARTIFICAL TURF (SYNLAWN OR OTHER BRAND)
	SOLID SOD - (INSERT TYPE OF SOD HERE)

SHEET NOTES

1) SEE SHEETS L1.00-L1.06 FOR MATERIALS & LIGHTING PLANS
2) SEE SHEETS L2.01-L2.05 FOR LAYOUT PLANS
3) SEE SHEETS L3.01-L3.09 FOR CONSTRUCTION DETAILS
4) SEE SHEETS L4.01-L4.02 FOR GRADING AND PIPING PLAN
5) SEE SHEETS L5.01-L5.05 FOR PLANTING PLAN
6) SEE SHEETS L6.01-L6.05 FOR IRRIGATION PLANS
7) ALL KNOX BOXES ARE BY CONTRACTOR

GENERAL LANDSCAPE NOTES

1) Planting soil mixture shall be one of the following:

LANDSCAPE MIX

"PREMIUM BED MIX" BY THE GROUND UP
CONTACT AT (832) 247-2574

OR

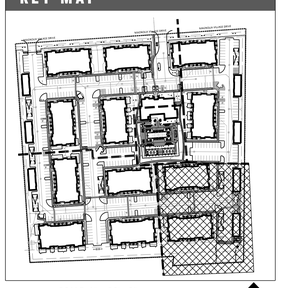
"ULTRA SOIL" BY LIVING EARTH TECHNOLOGY GROUP
CONTACT AT (713) 466-7360 or
CONTACT AT (281) 342-6113

2) Bidding contractors be advised that all new tree material is to be container grown, corresponding to stated root ball sizes as recognized by industry standards. This shall exclude all B&B, machine moved, or transplanted trees from the bidding process unless otherwise indicated on the plan. The installation contractor shall be prepared to provide photographs of intended plant material along with signed clarification that plant material meets these requirements and that no variations or substitutions have been made.
3) The landscape contractor doing the installation of this work shall submit to Kudela & Weinheimer information regarding sourcing of plant material. All plant material must be container grown and approved at the source of growth by Kudela & Weinheimer. Tree material meeting the specifications will be tagged with a serialized locking tag at the nursery by Kudela & Weinheimer. Plants arriving at the job site without these tags will be categorically rejected at the contractor's expense.
4) If the planting plan does not agree with the plant list, the quantities indicated graphically on the planting plan shall govern.
5) Contractor is responsible for the grading of parking lot islands and setbacks. Grade changes shall range from 8" (inch) to 15" (inch) above the curb, depending on the size of the island. Select topsoil shall be used for these berms. See parking island tree detail.
6) All disturbed areas are to receive 6" (inches) of topsoil, topped with mulch, sod, or hydromulch (depending on the area), and is to be watered until a healthy stand of grass is established.
7) All trees planted adjacent to accessible routes and accessible areas shall not have limbs below 80" (in) Above Finish Grade.

PLANT SCHEDULE

SYM.	BOTANICAL NAME / COMMON NAME
	TREES
LO	QUERCUS VIRGINIANA LIVE OAK
CO	QUERCUS MUEHLENBERGII CHINKAPIN OAK
CE	ULMUS CRASSIFOLIA CEDAR ELM
TA	FRAXINUS TEXENSIS TEXAS ASH
MS	PLATANUS MEXICANA MEXICAN SYCAMORE
RM	ACER RUBRUM RED MAPLE
YH	ILEX VOMITORIA YAUPON HOLLY
IC	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS
CM	LAGERSTROEMIA INDICA CRAPE MYRTLE
WM	MYRICA CERIFERA WAX MYRTLE
	SHRUBS
IH	RAPHIOLEPSIS INDICA INDIAN HAWTHORN
SL	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE LIGUSTRUM
KO	ROSA X 'KNOCKOUT' KNOCKOUT ROSE
GA	ABELIA X GRANDIFLORA GLOSSY ABELIA
VP	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM
VP2	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM
WL	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM
WL2	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM
	GRASSES
GM	MUHLENBERGIA CAPILLARIS GULF MUHLY GRASS
HG	PENNISETUM ALOPECUROIDES 'HAMELN' DWARF HAMELN GRASS
	GROUNDCOVER
DI	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED DIANELLA
FF	ASPARAGUS MEYERI FOXTAIL FERN
WI	NEOMARICA GRACILIS WALKING IRIS
AJ	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE
LI	LIRIOPE MUSCARI LIRIOPE
NG	LANTANA SP. 'NEW GOLD' NEW GOLD LANTANA
AN	SEASONAL COLOR
	TURF
	CYNODON DACTYLON COMMON BERMUDA

KEY MAP



SCALE 1" = 20' - 0"
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N

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MAGNOLIA, TEXAS

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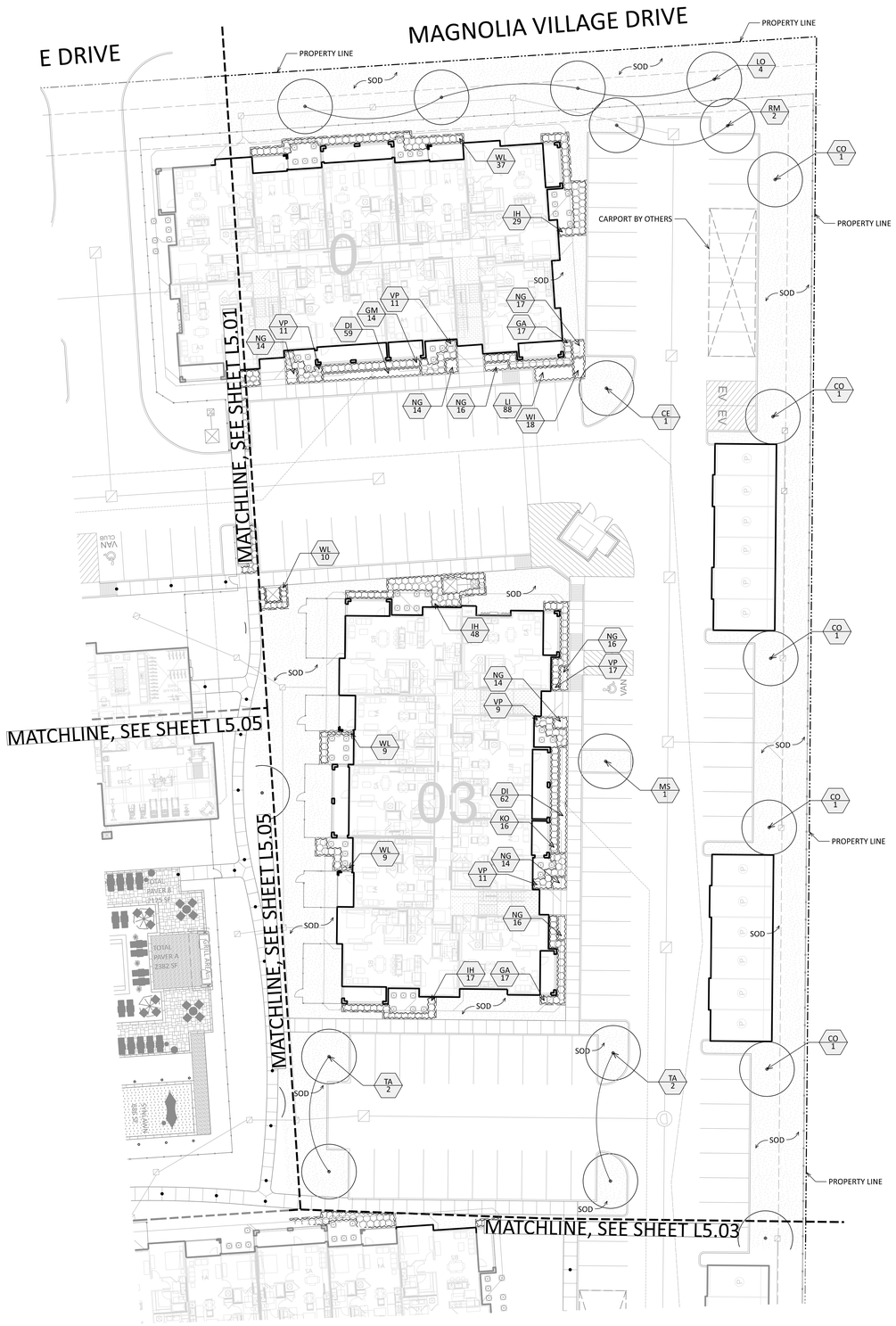
PROJECT NUMBER
TCR-110

STATUS	DATE	BY
DRAWN	02/15/22	SC & JL
CHECKED	02/16/22	AL

SHEET TITLE
PLANTING PLAN

SHEET NUMBER
L5.03



PLANT SCHEDULE

SYM.	BOTANICAL NAME / COMMON NAME	CAL.	HEIGHT	SPREAD	CONTAINER SIZE	REMARKS
	TREES					
LO	QUERCUS VIRGINIANA LIVE OAK	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
CO	QUERCUS MUEHLENBERGII CHINKAPIN OAK	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
CE	ULMUS CRASSIFOLIA CEDAR ELM	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
TA	FRAXINUS TEXENSIS TEXAS ASH	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
MS	PLATANUS MEXICANA MEXICAN SYCAMORE	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
RM	ACER RUBRUM RED MAPLE	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
YH	ILEX VOMITORIA YAUPON HOLLY	2" - 2 1/2"	10' - 12'	4' - 5'	45 GAL.	FULL, SYMMETRICAL, MATCHED, NO CROSSES, 3-5 CANES
IC	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS	1"	1' - 2'	6' - 7'	30 GAL.	MATCHED, WELL ROOTED, STAKED
CM	LAGERSTROEMIA INDICA CRAPE MYRTLE	1 1/2" - 2" EA.	10' - 12'	3' - 4'	30 GAL.	MATCHED, WELL ROOTED, 3 - 5 CANES, MULTI - NO CROSS
WM	MYRICA CERIFERA WAX MYRTLE	MULTI	7' - 8'	2' - 3'	30 GAL.	FULL, SYMMETRICAL, MATCHED, NO CROSSES, 3-5 CANES
	SHRUBS					
IH	RAPHIOLEPSIS INDICA INDIAN HAWTHORN		14"	16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
SL	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE LIGUSTRUM		12" - 14"	14" - 16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
KO	ROSA X 'KNOCKOUT' KNOCKOUT ROSE		12" - 14"	14" - 16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
GA	ABELIA X GRANDIFLORA GLOSSY ABELIA		12" - 14"	14" - 16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
VP	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM		22"	22"	3 GAL.	FULL, WELL ROOTED 30" O.C.
VP2	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM		30"	30"	7 GAL.	FULL, WELL ROOTED 30" O.C.
WL	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM		22"	22"	3 GAL.	FULL, WELL ROOTED 30" O.C.
WL2	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM		30"	30"	7 GAL.	FULL, WELL ROOTED 30" O.C.
	GRASSES					
GM	MUHLENBERGIA CAPILLARIS GULF MUHLY GRASS		20"	24"	3 GAL.	FULL, WELL ROOTED 30" O.C.
HG	PENNISETUM ALOPECUROIDES 'HAMELN' DWARF HAMELN GRASS		10"	12"	3 GAL.	FULL, WELL ROOTED 12" O.C.
	GROUNDCOVER					
DI	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED DIANELLA		12" - 14"	12" - 14"	3 GAL.	FULL, WELL ROOTED 18" O.C.
FF	ASPARAGUS MEYERI FOXTAIL FERN		12"	12"	3 GAL.	FULL, WELL ROOTED 18" O.C.
WI	NEOMARICA GRACILIS WALKING IRIS		16"	8"	3 GAL.	FULL, WELL ROOTED 18" O.C.
AJ	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE		8" - 10"	8" - 10"	1 GAL.	FULL, WELL ROOTED 15" O.C.
LI	LIRIOPE MUSCARI LIRIOPE		8" - 10"	8"	1 GAL.	FULL, WELL ROOTED 12" O.C.
NG	LANTANA SP. 'NEW GOLD' NEW GOLD LANTANA		10"	8"	1 GAL.	FULL, WELL ROOTED 18" O.C.
AN	SEASONAL COLOR				4" POTS	FULL, WELL ROOTED 10" O.C.
	TURF					
	CYNODON DACTYLON COMMON BERMUDA					SOLID SOD

PLANT SYMBOLS LEGEND

	NURSERY GROWN CONTAINERIZED TREES
	ITALIAN CYPRESS
	ORNAMENTAL TREE
	SHRUB/GROUND COVER
	ARTIFICAL TURF (SYNLAWN OR OTHER BRAND)
	SOLID SOD - (INSERT TYPE OF SOD HERE)

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OR

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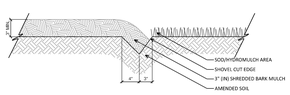
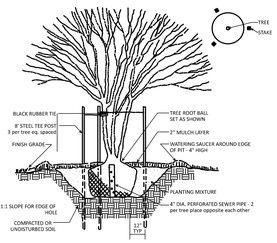


6 PLANTING BED EDGE
N.T.S. SECTION



3 MULTI-TRUNK TREE PLANTING
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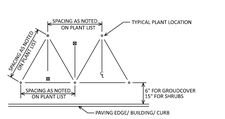
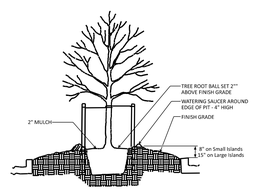
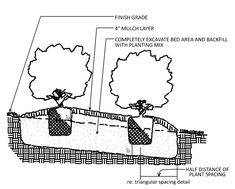


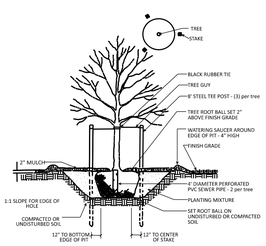
5 TRIANGULAR SPACING DIAGRAM
N.T.S. PLAN



2 TREE IN PARKING ISLAND
N.T.S. SECTION

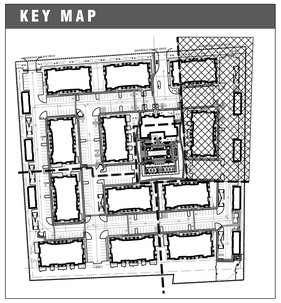


4 SHRUB/GROUNDCOVER PLANTING
N.T.S. SECTION



1 STANDARD TREE PLANTING
N.T.S. SECTION

KEY MAP



SCALE 1" = 20' - 0"
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DATE / ISSUE

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MAGNOLIA
MAGNOLIA, TEXAS

SCALE

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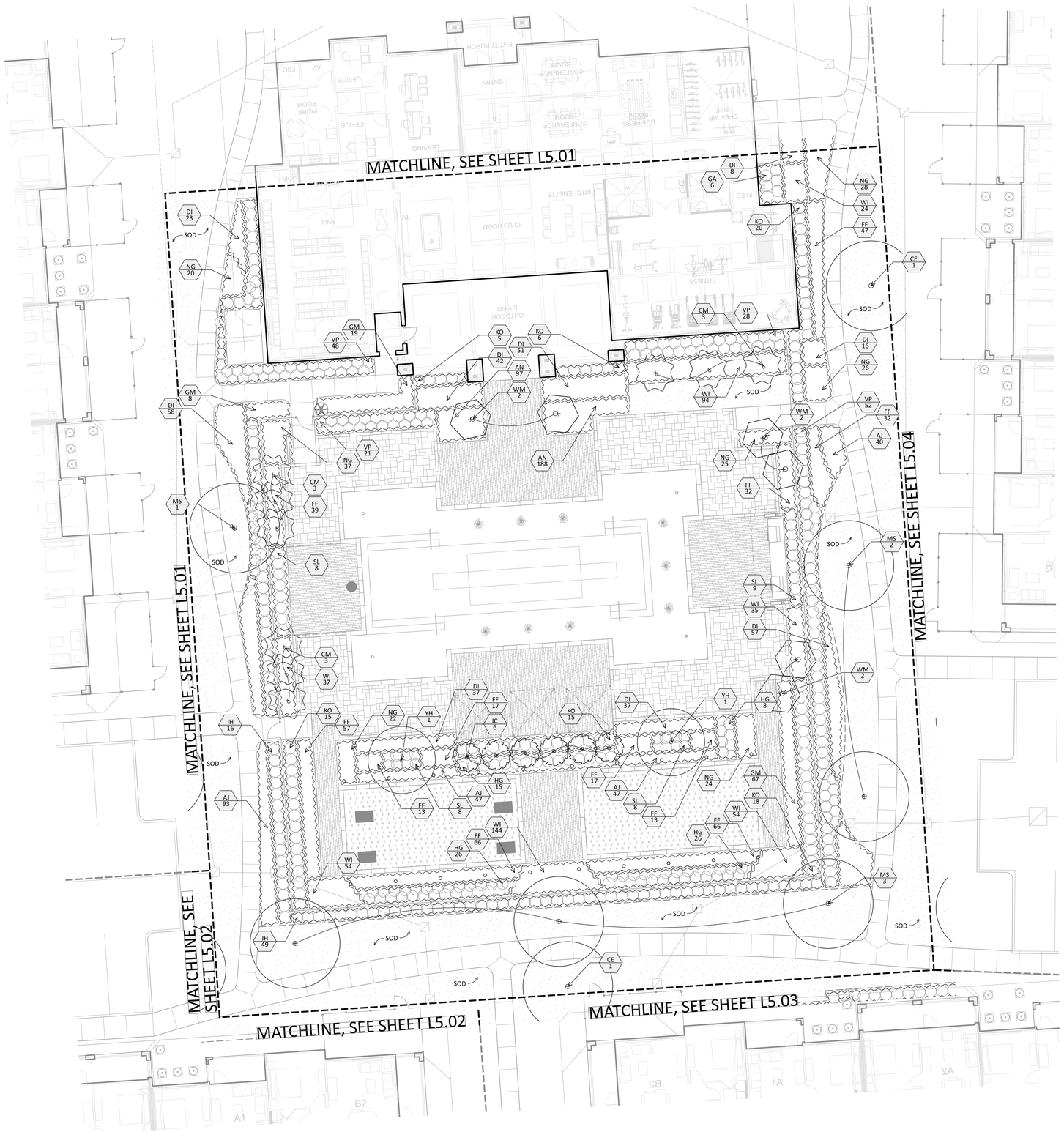
STATUS	DATE	BY
DRAWN	02/15/22	SC & JL
CHECKED	02/16/22	AL

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L5.04



PLANT SCHEDULE

SYM	BOTANICAL NAME / COMMON NAME	CAL.	HEIGHT	SPREAD	CONTAINER SIZE	REMARKS
	TREES					
LQ	QUERCUS VIRGINIANA LIVE OAK	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
CQ	QUERCUS MUEHLENBERGII CHINKAPIN OAK	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
CE	ULMUS CRASSIFOLIA CEDAR ELM	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
TA	FRAXINUS TEXENSIS TEXAS ASH	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
MS	PLATANUS MEXICANA MEXICAN SYCAMORE	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
RM	ACER RUBRUM RED MAPLE	3" - 3 1/2"	12' - 14'	6' - 7'	65 GAL.	MATCHED, WELL ROOTED
YH	ILEX VOMITORIA YAUPON HOLLY	2" - 2 1/2"	10' - 12'	4' - 5'	45 GAL.	FULL, SYMMETRICAL, MATCHED, NO CROSSES, 3-5 CANES
IC	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS	1"	1' - 2'	6' - 7'	30 GAL.	MATCHED, WELL ROOTED, STAKED
CM	LAGERSTROEMIA INDICA CRAPE MYRTLE	1 1/2" - 2" EA.	10' - 12'	3' - 4'	30 GAL.	MATCHED, WELL ROOTED, 3 - 5 CANES, MULTI - NO CROSS
WM	MYRICA CERIFERA WAX MYRTLE	MULTI	7' - 8'	2' - 3'	30 GAL.	FULL, SYMMETRICAL, MATCHED, NO CROSSES, 3-5 CANES
	SHRUBS					
IH	RAPHIOLEPSIS INDICA INDIAN HAWTHORN		14"	16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
SL	LIGUSTRUM SINENSE 'SUNSHINE' SUNSHINE LIGUSTRUM		12" - 14"	14" - 16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
KO	ROSA X 'KNOCKOUT' KNOCKOUT ROSE		12" - 14"	14" - 16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
GA	ABELIA X GRANDIFLORA GLOSSY ABELIA		12" - 14"	14" - 16"	3 GAL.	FULL, WELL ROOTED 30" O.C.
VP	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM		22"	22"	3 GAL.	FULL, WELL ROOTED 30" O.C.
VP2	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTOSPORUM		30"	30"	7 GAL.	FULL, WELL ROOTED 30" O.C.
WL	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM		22"	22"	3 GAL.	FULL, WELL ROOTED 30" O.C.
WL2	LIGUSTRUM JAPONICUM WAX LEAF LIGUSTRUM		30"	30"	7 GAL.	FULL, WELL ROOTED 30" O.C.
	GRASSES					
GM	MUHLENBERGIA CAPILLARIS GULF MUHLY GRASS		20"	24"	3 GAL.	FULL, WELL ROOTED 30" O.C.
HG	PENNISETUM ALOPECUROIDES 'HAMELN' DWARF HAMELN GRASS		10"	12"	3 GAL.	FULL, WELL ROOTED 12" O.C.
	GROUNDCOVER					
DI	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED DIANELLA		12" - 14"	12" - 14"	3 GAL.	FULL, WELL ROOTED 18" O.C.
FF	ASPARAGUS MEYERI FOXTAIL FERN		12"	12"	3 GAL.	FULL, WELL ROOTED 18" O.C.
WI	NEOMARICA GRACILIS WALKING IRIS		16"	8"	3 GAL.	FULL, WELL ROOTED 18" O.C.
AJ	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE		8" - 10"	8" - 10"	1 GAL.	FULL, WELL ROOTED 15" O.C.
LI	LIRIOPE MUSCARI LIRIOPE		8" - 10"	8"	1 GAL.	FULL, WELL ROOTED 12" O.C.
NG	LANTANA SP. 'NEW GOLD' NEW GOLD LANTANA		10"	8"	1 GAL.	FULL, WELL ROOTED 18" O.C.
AN	SEASONAL COLOR				4" POTS	FULL, WELL ROOTED 10" O.C.
	TURF					
	CYNODON DACTYLON COMMON BERMUDA					SOLID SOD

PLANT SYMBOLS LEGEND

	NURSERY GROWN CONTAINERIZED TREES
	ITALIAN CYPRESS
	ORNAMENTAL TREE
	SHRUB/GROUND COVER
	ARTIFICAL TURF (SYNLAWN OR OTHER BRAND)
	SOLID SOD - (INSERT TYPE OF SOD HERE)

GENERAL LANDSCAPE NOTES

1) Planting soil mixture shall be one of the following:

LANDSCAPE MIX

"PREMIUM BED MIX" BY THE GROUND UP
CONTACT AT (832) 247-2574

OR

"ULTRA SOIL" BY LIVING EARTH TECHNOLOGY GROUP
CONTACT AT (713) 466-7360 or
CONTACT AT (281) 342-6113

2) Bidding contractors be advised that all new tree material is to be container grown, corresponding to stated root ball sizes as recognized by industry standards. This shall exclude all B&B, machine moved, or transplanted trees from the bidding process unless otherwise indicated on the plan. The installation contractor shall be prepared to provide photographs of intended plant material along with signed clarification that plant material meets these requirements and that no variations or substitutions have been made.

3) The landscape contractor doing the installation of this work shall submit to Kudela & Weinheimer information regarding sourcing of plant material. All plant material must be container grown and approved at the source of growth by Kudela & Weinheimer. Tree material meeting the specifications will be tagged with a serialized locking tag at the nursery by Kudela & Weinheimer. Plants arriving at the job site without these tags will be categorically rejected at the contractor's expense.

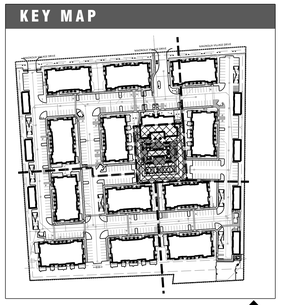
4) If the planting plan does not agree with the plant list, the quantities indicated graphically on the planting plan shall govern.

5) Contractor is responsible for the grading of parking lot islands and setbacks. Grade changes shall range from 8" (inch) to 15" (inch) above the curb, depending on the size of the island. Select topsoil shall be used for these berms. See parking island tree detail.

6) All disturbed areas are to receive 6" (inches) of topsoil, topped with mulch, sod, or hydromulch (depending on the area), and is to be watered until a healthy stand of grass is established.

7) All trees planted adjacent to accessible routes and accessible areas shall not have limbs below 80" (in) Above Finish Grade.

KEY MAP



SCALE 1" = 10' - 0"
5 0 10 20

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ANDREW LEWIS
STATE OF TEXAS
02-18-2022

CLIENT

MAPLE MULTI-FAMILY LAND TX, L.P.

DATE / ISSUE

18 FEB 2022
ISSUE FOR PERMIT

MAGNOLIA
MAGNOLIA, TEXAS

SCALE

1" = 10'-0"

PROJECT NUMBER

TCR-110

STATUS	DATE	BY
DRAWN	02/15/22	SC & JL
CHECKED	02/16/22	AL

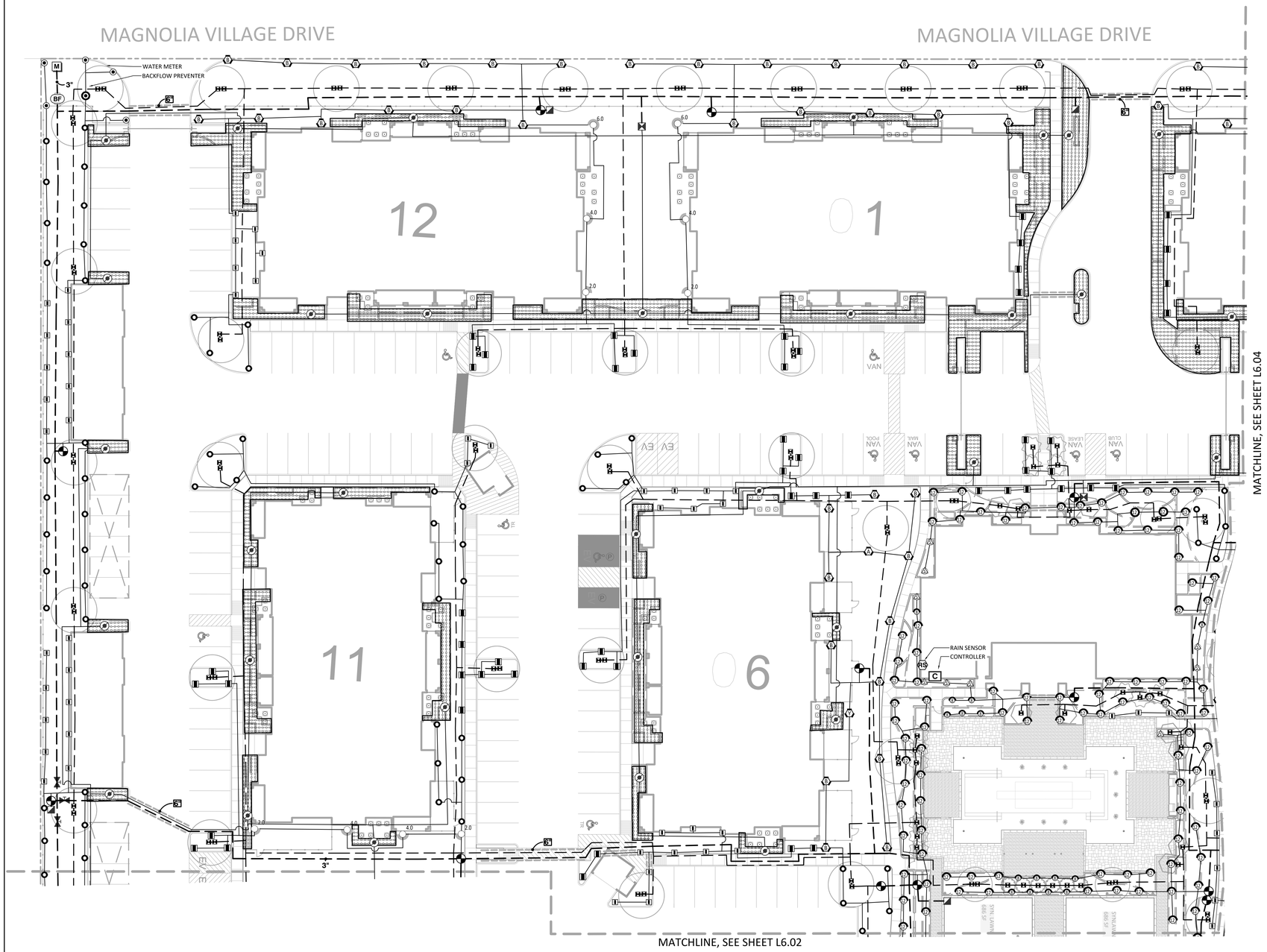
SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L5.05

NOTE: COMPONENTS ARE SHOWN FOR DESIGN AND BIDDING PURPOSES. EXACT LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI		
ES LCS RCS CS SS	Hunter PROS-12-PRS30 5` strip spray Shrub Spray, 30 psi regulated 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30		
Q T H F	Hunter PROS-12-PRS30 8` radius Shrub Spray, 30 psi regulated 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30		
Q T H TT TQ F	Hunter PROS-12-PRS30 12` radius Shrub Spray, 30 psi regulated 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30		
B Y A	Hunter MP3000 PROS-04-PRS40-CV Turf Rotator, 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	40		
R-VAN-LCS R-VAN-SST R-VAN-RCS	Rain Bird R-VAN-STRIP 1804-SAM-P45 Turf Rotary, 5`x15` (LCS and RCS), 5`x30` (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
R-VAN14 R-VAN14-360	Rain Bird R-VAN14 1804-SAM-P45 Turf Rotary, 8`-14` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
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R-VAN24 R-VAN24-360	Rain Bird R-VAN24 1804-SAM-P45 Turf Rotary, 17`-24` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
25 50 10 20	Hunter AFB 10 Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.	20		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
2.0	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	45	2.00	34'
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6.0	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	45	6.00	43'
8.0	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	45	8.00	44'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION			
	Hunter ICZ-101-25 Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.			
	Hunter ICZ-151-XL-40 Drip Control Zone Kit. 1-1/2" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow Range: 20 GPM to 60 GPM. 120 mesh stainless steel screen. 1-1/2" inlet x single 2" outlet			
	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.			
	Area to Receive Dripline Hunter HDL-06-18-CV HDL-06-18-CV: Hunter Dripline w/ 0.6 GPH emitters at 18" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION			
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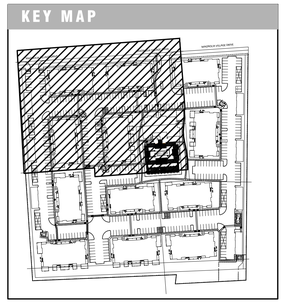
	Hunter HQ-5RC Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 1" NPT inlet, 1-piece body.			
	Matco-Norca 759 Brass Shut Off Ball Valve, 1/2" to 4". Two Piece Body, Blow-Out Proof Stem, Chrome Plated Solid Brass Ball, Threaded, with PTFE Seats. Same size as mainline pipe.			
BF	Febco 765 2" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.			
C	Hunter A2C-225D-P 225-Station decoder controller with one (2) A2C-D75 module in an outdoor plastic wall mount enclosure.			
RS	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.			
M	Water Meter 2" Tap			
	Irrigation Lateral Line: PVC Class 315 SDR 13.5			
	Irrigation Lateral Line: PVC Class 200 SDR 21			
	Irrigation Mainline: PVC Schedule 40			
	Pipe Sleeve: PVC Schedule 40			

KEY MAP



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02/18/2020

CLIENT

MAPLE MULTI-FAMILY LAND TX, L.P.

DATE / ISSUE

18 FEBRUARY 2022
ISSUE FOR PERMIT

MAGNOLIA
MAGNOLIA, TEXAS

SCALE

PROJECT NUMBER

TCR-110

STATUS	DATE	BY
DRAWN	02/17/22	RW
CHECKED	02/18/22	AL

SHEET TITLE

IRRIGATION PLAN

SHEET NUMBER

L6.01

NOTE: COMPONENTS ARE SHOWN FOR DESIGN AND BIDDING PURPOSES. EXACT LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

TWO-WIRE SYSTEM

1) All manufacturers requirements for installation, surge protection and grounding shall be closely followed.

2) Decoder installation shall follow specific manufacturer's instructions for surge protection. Each manufacturer has different requirements and contractor shall follow directions of the specified manufacturer.

3) Avoid any cuts or nicks that will allow moisture to penetrate wire coating and become problematic.

4) Care must be taken with all wire splices. Only DBR/Y-6 splice kits shall be used and wire must be completely inserted into the splice and properly enclosed to be moisture tight.

5) All wire splices including splices in the middle of a wire run and those at street crossings shall be placed inside a valve box and clearly marked on As-Built plans.

CRITICAL ANALYSIS

P.O.C. NUMBER: 01	
Water Source Information:	Tap
FLOW AVAILABLE	
Water Meter Size:	2"
Flow Available	70.55 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	65.00 PSI
Elevation Change:	5.00 ft
Service Line Size:	2"
Length of Service Line:	20 ft
Pressure Available:	61.00 psi
DESIGN ANALYSIS	
Maximum Station Flow:	52.88 GPM
Flow Available at POC:	70.55 GPM
Residual Flow Available:	17.67 GPM
Pressure Req. at Critical Station:	53.51 PSI
Loss for Fittings:	0 PSI
Loss for Main Line:	0.97 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	3.4 PSI
Loss for Water Meter:	1.99 PSI
Critical Station Pressure at POC:	59.87 PSI
Pressure Available:	61 PSI
Residual Pressure Available:	1.13 PSI

GENERAL NOTES

1) Install all irrigation components as per manufacturer's requirements.

2) Components are shown for design purposes. Exact location shall be field verified prior to construction.

3) Mainline and laterals may be shown diagrammatically. Contractor shall locate all mainline along sidewalks, within curblines, and inside property lines. Sleeves shall be provided by contractor wherever mainline or lateral lines cross under sidewalks or roadways even if not indicated on plan. Mainline and laterals may be shown diagrammatically near sleeves and should be located inside sleeve. Sleeve sizes are to be 6" for mainline and 4" for lateral lines unless otherwise indicated. Additional sleeves may be indicated on plans to carry Control wires.

4) Valve Callout
- Valve Number
- Valve Flow
- Valve Size

5) Install ball valve before each valve. Group valves as much as possible. Place boxes parallel to curbs, buildings and each other. Provide 6" base of Pea Gravel for all valve boxes installed. Install a ball valve before each valve or group of valves.

6) All controller wires should be located underneath mainline piping inside trenches to avoid possible cutting of wires if lines are dug up in the future. Contractor shall also run spare control wires in each direction from controller to farthest valves to serve as backup wires.

7) All un-surfaced areas are to receive four inches of topsoil, seed, mulch, or sod and watered until a healthy stand of grass is obtained.

8) Contractor shall field verify best possible location to mount Rain Sensor within 25 feet of the Controller. Avoid interference from trees, buildings, and other structures for optimum accuracy.

9) All trenching within the dripline of existing trees is to be done by hand. No mechanical trencher shall be used in these areas and no roots larger than 1 1/2" in diameter shall be cut. Contact the Landscape Architect if a problem arises.

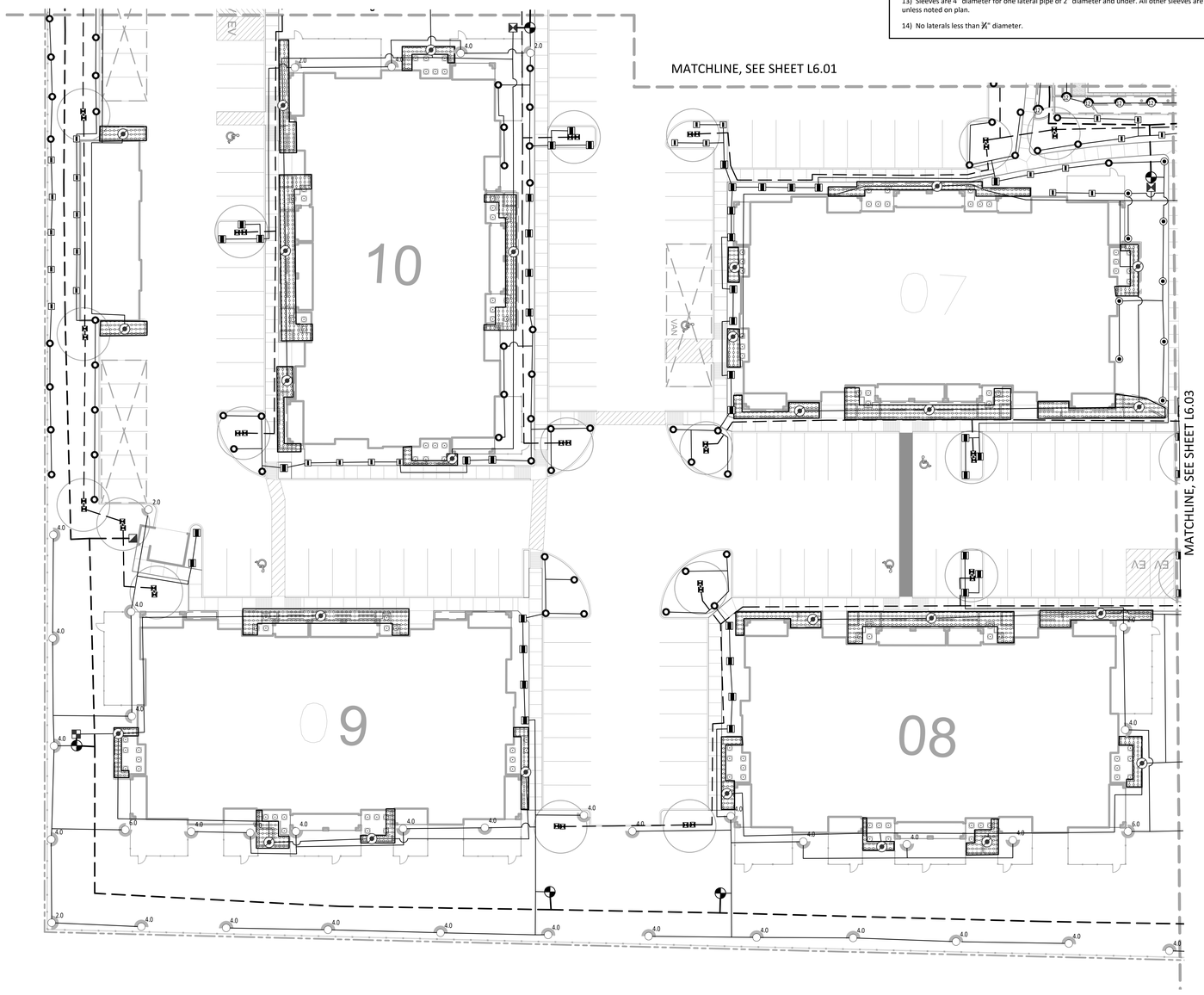
10) Irrigation heads and components shall be located a MINIMUM of 24 Inches from all buildings to avoid adverse performance of foundations and slabs due to the shrinking and swelling of clay subsoils.

11) Installation Contractor and Maintenance Contractor shall closely monitor system to ensure that excessive irrigation moisture does not cause swelling of clay subsoil thereby causing harm to foundations and slabs.

12) Label valves in each valve box with livestock ear or neck tags numbered in correlation with controller assignments.

13) Sleeves are 4" diameter for one lateral pipe of 2" diameter and under. All other sleeves are 6" unless noted on plan.

14) No laterals less than ¾" diameter.



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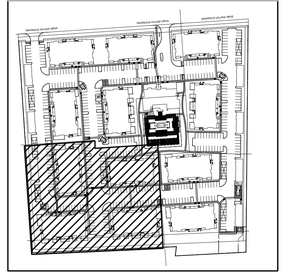
KEY MAP



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PROJECT NUMBER

TCR-110

STATUS	DATE	BY
DRAWN	02/17/22	RW
CHECKED	02/18/22	AL

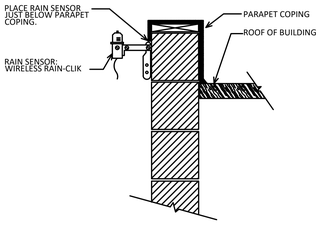
SHEET TITLE

IRRIGATION PLAN

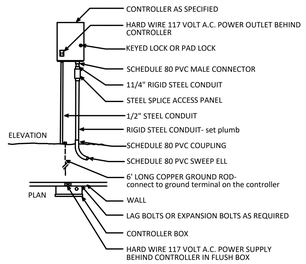
SHEET NUMBER

L6.02

NOTE: COMPONENTS ARE SHOWN FOR DESIGN AND BIDDING PURPOSES. EXACT LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



4 WIRELESS RAIN SENSOR
NO SCALE



3 WALL MOUNTED CONTROLLER
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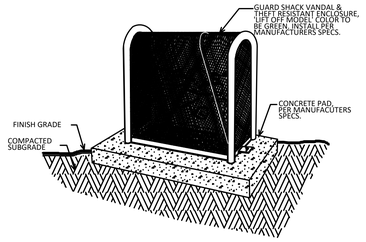
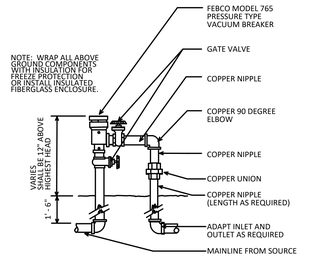
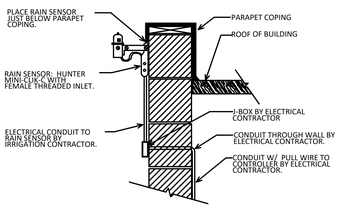


2 BACKFLOW VALVE COVER
NO SCALE



1 PVB BACKFLOW PREVENTER
NO SCALE



5 RAIN SENSOR
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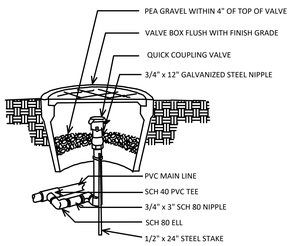

6 QUICK COUPLING VALVE DETAIL
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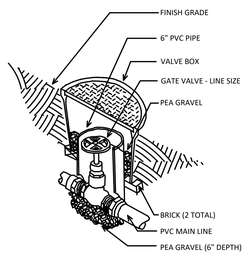
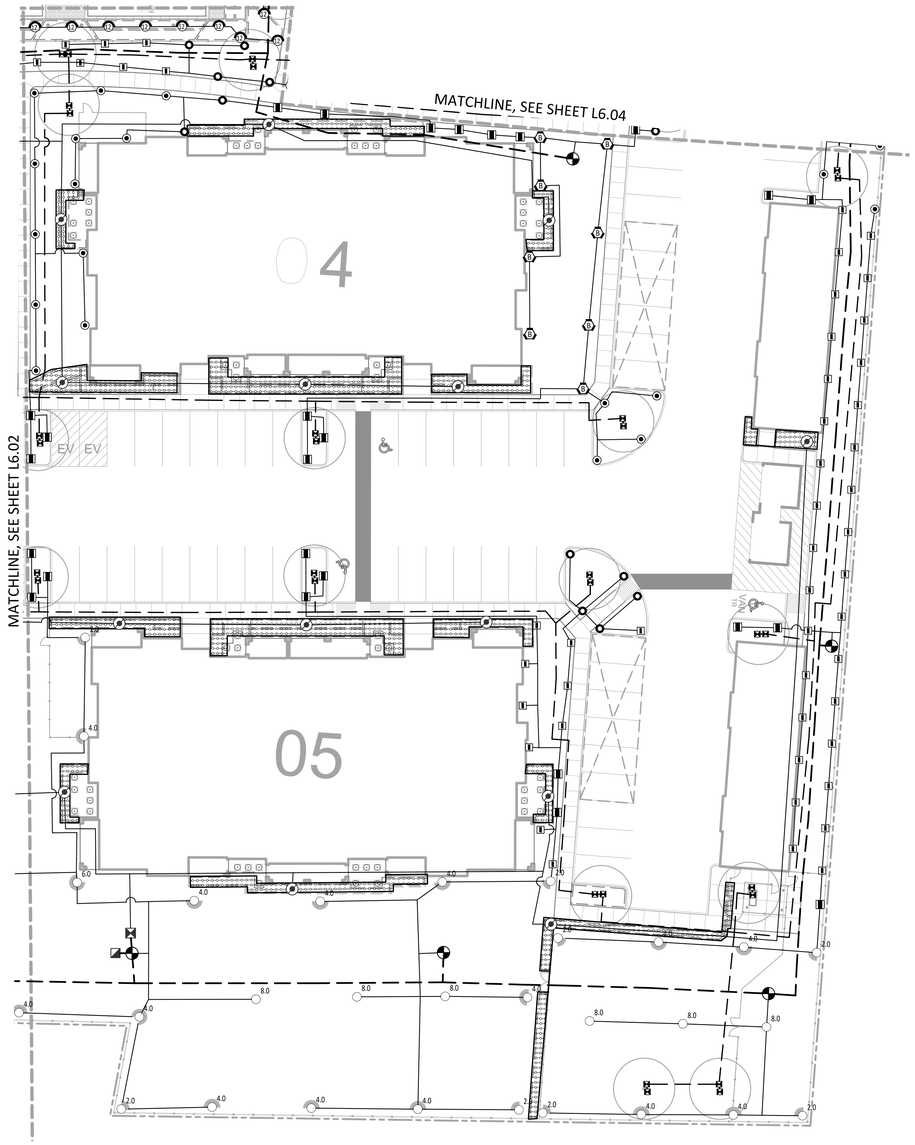


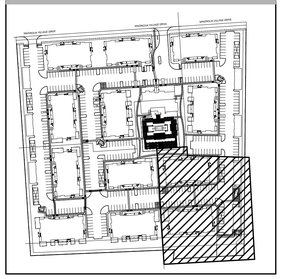
7 GATE VALVE DETAIL
NO SCALE



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI		
ES LCS RCS CS SS	Hunter PROS-12-PRS30 5` strip spray Shrub Spray, 30 psi regulated 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30		
Q T H F	Hunter PROS-12-PRS30 8` radius Shrub Spray, 30 psi regulated 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30		
Q T H TT TQ F	Hunter PROS-12-PRS30 12` radius Shrub Spray, 30 psi regulated 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30		
B Y A	Hunter MP3000 PROS-04-PRS40-CV Turf Rotator, 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	40		
R-VAN-LCS R-VAN-RCS R-VAN-SST	Rain Bird R-VAN-STRIP 1804-SAM-P45 Turf Rotary, 5`x15` (LCS and RCS), 5`x30` (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
R-VAN14 R-VAN14-360	Rain Bird R-VAN14 1804-SAM-P45 Turf Rotary, 8`-14` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
R-VAN18 R-VAN18-360	Rain Bird R-VAN18 1804-SAM-P45 Turf Rotary, 13`-18` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
R-VAN24 R-VAN24-360	Rain Bird R-VAN24 1804-SAM-P45 Turf Rotary, 17`-24` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
25 50 10 20	Hunter AFB 10 Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.	20		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
2.0	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	45	2.00	34'
4.0	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	45	4.00	40'
6.0	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	45	6.00	43'
8.0	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	45	8.00	44'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION			
	Hunter ICZ-101-25 Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.			
	Hunter ICZ-151-XL-40 Drip Control Zone Kit. 1-1/2" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow Range: 20 GPM to 60 GPM. 120 mesh stainless steel screen. 1-1/2" inlet x single 2" outlet			
	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.			
	Area to Receive Dripline Hunter HDL-06-18-CV HDL-06-18-CV: Hunter Dripline w/ 0.6 GPH emitters at 18" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION			
	Hunter ICV-G-DC 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With DC Latching Solenoid Factory Installed Option.			
	Hunter HQ-5RC Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 1" NPT inlet, 1-piece body.			
	Matco-Norca 759 Brass Shut Off Ball Valve, 1/2" to 4". Two Piece Body, Blow-Out Proof Stem, Chrome Plated Solid Brass Ball, Threaded, with PTFE Seats. Same size as mainline pipe.			
BF	Febco 765 2" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.			
C	Hunter A2C-225D-P 225-Station decoder controller with one (2) A2C-D75 module in an outdoor plastic wall mount enclosure.			
RS	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.			
M	Water Meter 2" Tap			
	Irrigation Lateral Line: PVC Class 315 SDR 13.5			
	Irrigation Lateral Line: PVC Class 200 SDR 21			
	Irrigation Mainline: PVC Schedule 40			
	Pipe Sleeve: PVC Schedule 40			

KEY MAP



SCALE 1" = 20' - 0"
10 0 20 40

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San Antonio, Texas 78232
210-349-3500
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02/18/2020

CLIENT
MAPLE MULTI-FAMILY LAND TX, L.P.

DATE / ISSUE
18 FEBRUARY 2022
ISSUE FOR PERMIT

MAGNOLIA
MAGNOLIA, TEXAS

SCALE

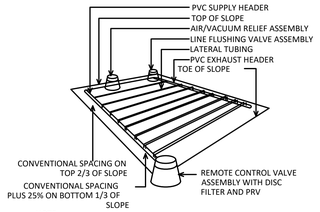
PROJECT NUMBER
TCR-110

STATUS	DATE	BY
DRAWN	02/17/22	RW
CHECKED	02/18/22	AL

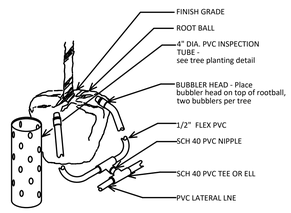
SHEET TITLE
IRRIGATION PLAN

SHEET NUMBER
L6.03

NOTE: COMPONENTS ARE SHOWN FOR DESIGN AND BIDDING PURPOSES. EXACT LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



10 SLOPE FEED LAYOUT
NO SCALE



9 BUBBLER DETAIL
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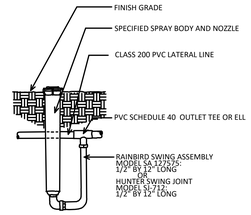
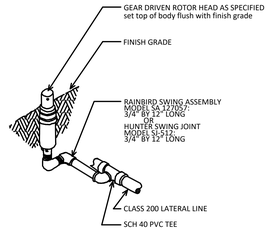
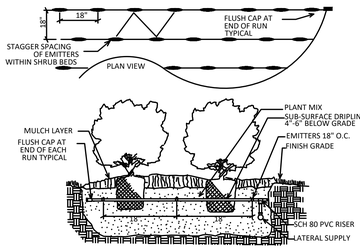


8 HIGH-POP SPRAY HEAD DETAIL
NO SCALE



11 GEAR DRIVEN ROTOR HEAD
NO SCALE



12 18" X 18" SUB-SURFACE DRIP IRRIGATION DETAIL
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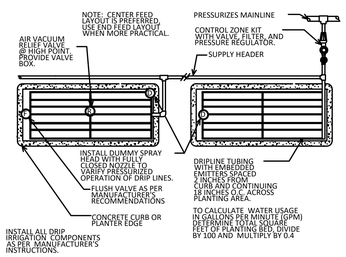
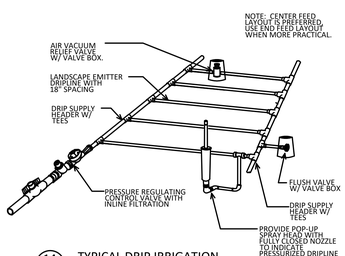
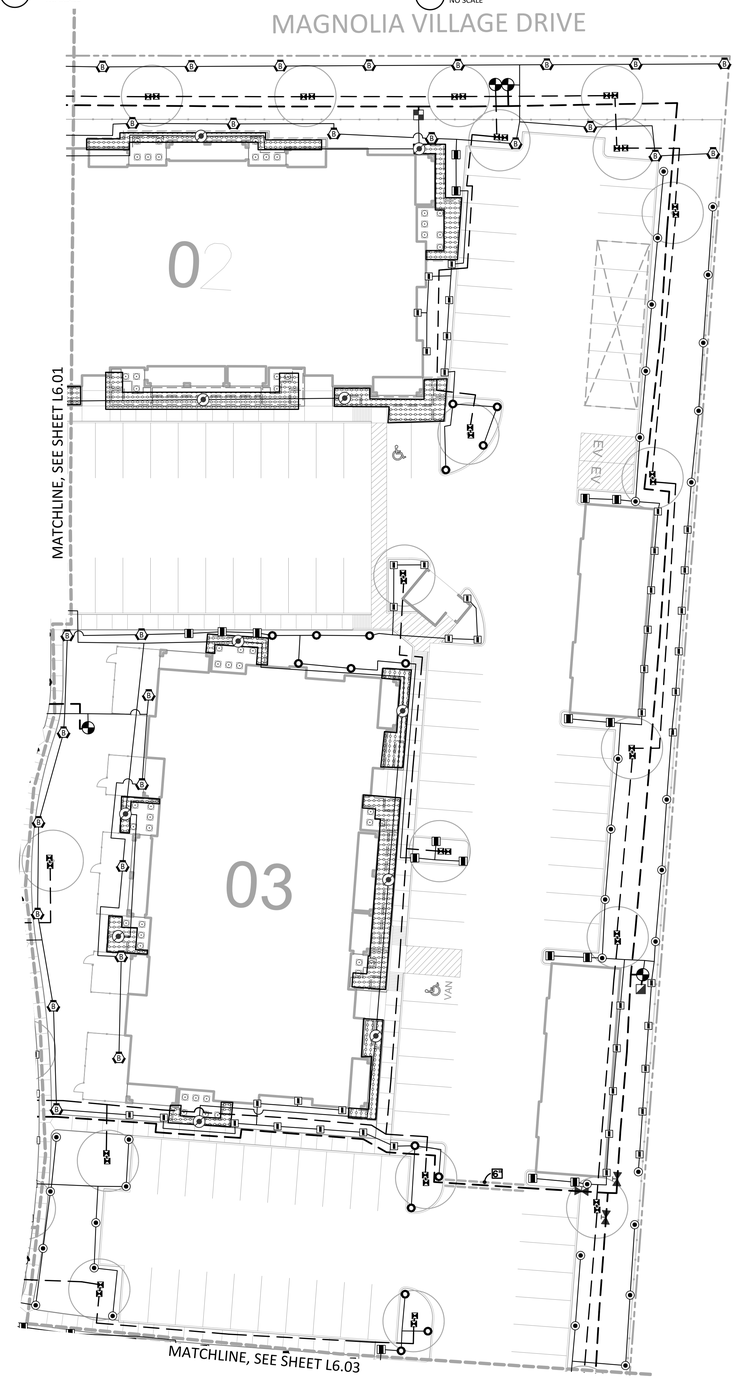


13 MULTIPLE BED DRIP IRRIGATION
NO SCALE



14 TYPICAL DRIP IRRIGATION
NO SCALE



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI		
ES LCS RCS CS SS	Hunter PROS-12-PRS30 5` strip spray Shrub Spray, 30 psi regulated 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30		
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B Y A	Hunter MP3000 PROS-04-PRS40-CV Turf Rotator, 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	40		
R-VAN-LCS R-VAN-SST R-VAN-RCS	Rain Bird R-VAN-STRIP 1804-SAM-P45 Turf Rotary, 5`x15` (LCS and RCS), 5`x30` (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	45		
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	GPM	RADIUS
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	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.			
	Area to Receive Dripline Hunter HDL-06-18-CV HDL-06-18-CV: Hunter Dripline w/ 0.6 GPH emitters at 18" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION			
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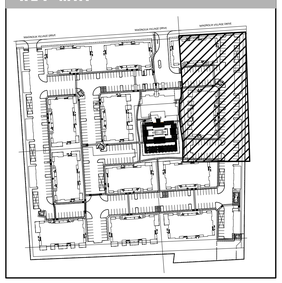
	Hunter HQ-5RC Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 1" NPT inlet, 1-piece body.			
	Matco-Norca 759 Brass Shut Off Ball Valve, 1/2" to 4". Two Piece Body, Blow-Out Proof Stem, Chrome Plated Solid Brass Ball, Threaded, with PTFE Seats. Same size as mainline pipe.			
BF	Febco 765 2" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.			
C	Hunter A2C-225D-P 225-Station decoder controller with one (2) A2C-D75 module in an outdoor plastic wall mount enclosure.			
RS	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.			
M	Water Meter 2" Tap			
	Irrigation Lateral Line: PVC Class 315 SDR 13.5			
	Irrigation Lateral Line: PVC Class 200 SDR 21			
	Irrigation Mainline: PVC Schedule 40			
	Pipe Sleeve: PVC Schedule 40			

KEY MAP



SCALE 1" = 20' - 0"
10 0 20 40
N

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REGISTERED LANDSCAPE ARCHITECT STATE OF TEXAS
02/18/2020

CLIENT
MAPLE MULTI-FAMILY LAND TX, L.P.

DATE / ISSUE
18 FEBRUARY 2022
ISSUE FOR PERMIT

MAGNOLIA
MAGNOLIA, TEXAS

SCALE

PROJECT NUMBER
TCR-110

STATUS	DATE	BY
DRAWN	02/17/22	RW
CHECKED	02/18/22	AL

SHEET TITLE
IRRIGATION PLAN

SHEET NUMBER
L6.04

April 15, 2022

Mr. Don Doering
City Administrator
City of Magnolia
18111 Buddy Riley Boulevard
Magnolia, Texas 77354

Reference: ***Allora Magnolia – Letter of No Objection***
City of Magnolia
AEI Job No. 220567.80-001

Dear Mr. Doering:

We received the construction plans for the proposed Allora Magnolia on April 11, 2022. On behalf of the City of Magnolia (the "City"), we have reviewed the submitted documents and offer no objection to the approval of this project, subject to the following comments:

1. It is our understanding that the design engineer, Kimley-Horn Associates, is working on acquiring the easements for fire hydrants and water line leading to fire hydrant per City's Unified Development Code (UDC) Sec 5-1-5.10(G)(2)(f). Provide said easements when available.
2. The developer shall be responsible for all aspects of this project and will provide final certification that all improvements have been constructed in conformance with the approved plans and specifications.
3. In the event that any portion of this development may change at a future date, the City reserves the right to review and approve the proposed changes prior to initiating the change.
4. Obtain all applicable utility company and governmental agency signatures.
5. As a reminder, all construction activities with a disturbance area of 5 acres or more must comply with the City's Code of Ordinance Spec 01560.
6. Construction shall not commence until final agency approvals are secured, including the City's approval.

Should you have any questions or require additional information, please contact the undersigned or Michael A. Kurzy, P.E. at (281) 350-7027.

Sincerely,

Robel E. Giackero

Robel E. Giackero, P.E.
Project Engineer

AEI Engineering, a Baxter & Woodman Company
TBPELS Registration No. F-21783

XC: Ms. Tana Ross – City of Magnolia - Planning and Zoning Commission
Mr. Burt Smith – City of Magnolia – Director of Public Works
Mr. Michael A. Kurzy, P.E. – AEI Engineering, a Baxter & Woodman Company
Ms. Michelle Bossier – HLR Architects

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 13

BACKGROUND/INFORMATION

The City received a site plan application for Magnolia Cottages on March 24, 2022. The City Engineer issued a Review Letter on April 8, 2022.

COMMENTS:

The application is pending the applicant's reply to the City Engineer.

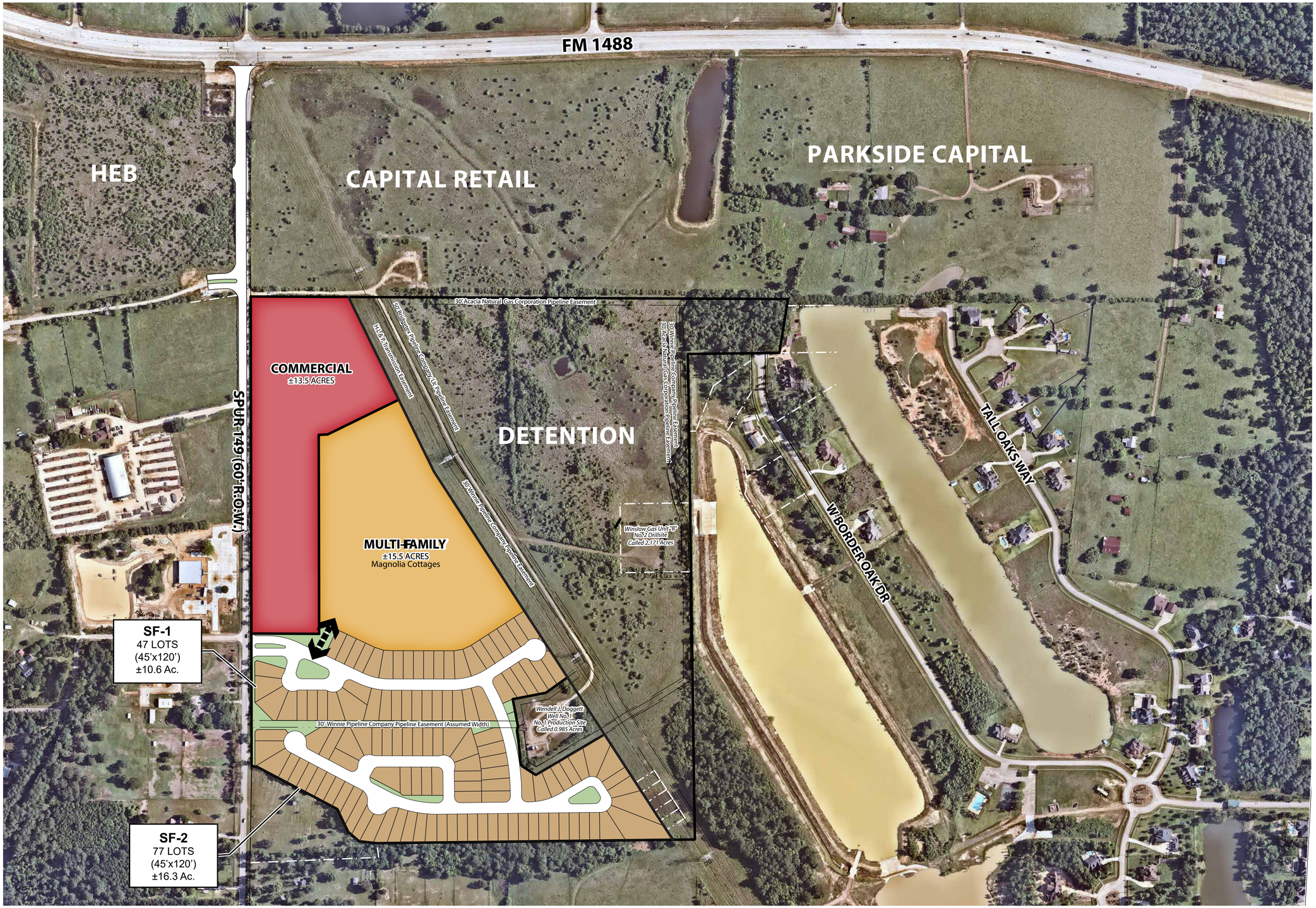
Action Requested Approve site plan if City Engineer has issued a Letter of No Objection and requested monument, landscaping and elevations have been received.

Recommendation:

If the City Engineer has issued a Letter of No Objection – Approve site plan for Magnolia Cottages.

Attachments:

Site Plan



North

0 100 200 400

Schematic Plan Study for

SPUR 149 TRACT

±105.36 Acres of Land

Magnolia, Texas

Project #: 2025

Single Family Residential Yield

45' x 120'	124 Lots

Prepared For:

ROOTED DEVELOPMENT

Reference Date: 07.30.2019

LJA

Planning & Landscape Architecture

Land & Master Planning
Land Use/Feasibility Studies
Sustainable Design
Urban Design
Landscape Architecture

LJA Engineering, Inc.
2929 Briarpark Drive, Suite 600
Houston, Texas 77042-3703
713.953.5200

1070 Evergreen Circle, Suite 107
The Woodlands, Texas 77380
281.210.1750

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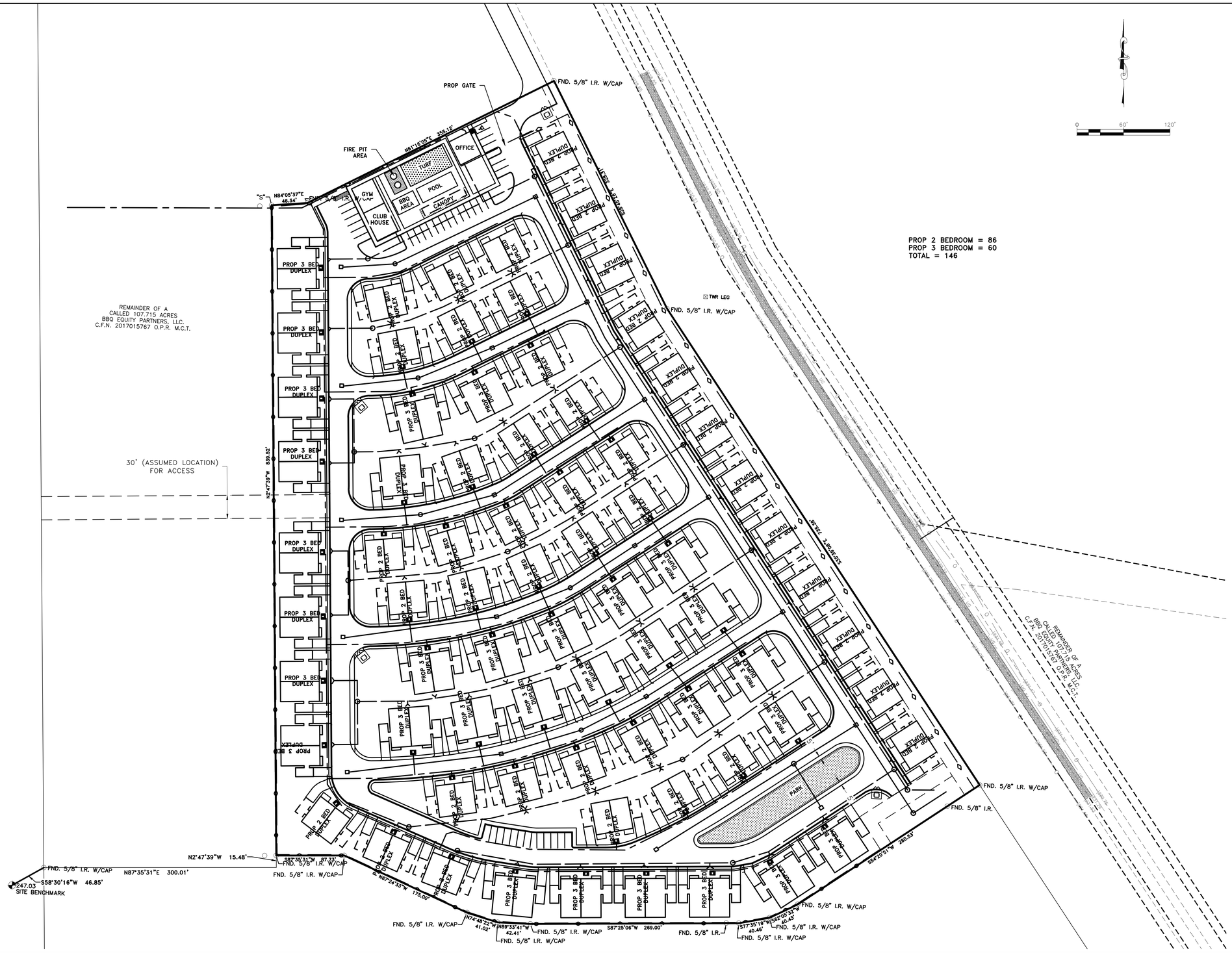


L SQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.L2ENGINEERING.COM
FIRM REGISTRATION NUMBER 12230
3307 W. DAVIS STREET #100
CONROE, TEXAS 77304
OFFICE: 936-647-0420

MAGNOLIA COTTAGES

SITE PLAN

01/18/22

DRAWING INFORMATION			
PROJECT	10767	TDLR	**
DRAWN	MCV	CHECKED	XX
SCALE	1" =60' (24x36) 1" = 120' (11x17)	SHEET	1

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF:

E. LEVI LOVE, PE #99340
OR
JONATHAN WHITE, PE #127058

FOR REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION

S:\ENGINEERING PROJECTS\10767 – MAGNOLIA COTTAGES\03 CAD\DESIGN SET\XBASE_10767.DWG Jan. 18, 2022–8:44 AM

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 14

BACKGROUND/INFORMATION

The City received a site plan application for Magnolia Village Retail on December 14, 2021 and the City Engineer issued a review letter on December 29, 2021. A resubmittal was received on March 15, 2022 with a second review letter issued on March 18, 2022.

COMMENTS:

The application is pending the applicant's reply to the City Engineer's review letter of March 18, 2022. In addition, a general site plan or concept plan, landscaping and irrigation, and lighting plans are pending.

Action Requested

Approve site plan.

Recommendation:

If the City Engineer has issued a Letter of No Objection – Approve site plan for Magnolia Village Retail Center.

Attachments:

Site Plan

PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER

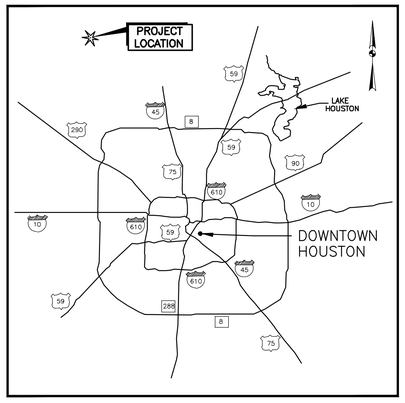
FM 1488 AT SPUR 149

CITY OF MAGNOLIA

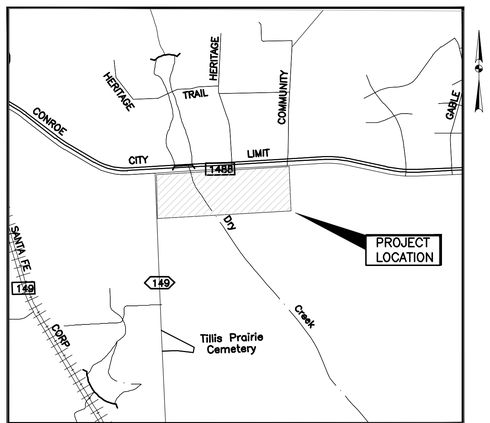
MONTGOMERY COUNTY, TEXAS 77354

LJA JOB NO. 1725-0068

March 22



LOCATION MAP



VICINITY MAP

KEY MAP NO. 213G, 213L
ZIP CODE 77354

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	GENERAL NOTES
3A	TOPO SURVEY (FOR REFERENCE ONLY) SHEET 1 OF 2
3B	TOPO SURVEY (FOR REFERENCE ONLY) SHEET 2 OF 2
4	WATER AND SANITARY SEWER LAYOUT
5	STORM SEWER AND PAVING LAYOUT
6	DRAINAGE AREA MAP
7	DRAINAGE AREA MAP CALCULATIONS
08	GRADING PLAN
09	P&P 18 INCH SAN SWR AND 16&12 INCH WL WEST STA 1+00 TO END
10	P&P MAGNOLIA VILLAGE DRIVE STA 1+26.53 TO 10+50.00
11	P&P MAGNOLIA VILLAGE DRIVE STA 10+50.00 TO 20+00.00
12	P&P MAGNOLIA VILLAGE DRIVE STA 20+00.00 TO END
13	P&P HERITAGE LANE AND COMMUNITY ROAD STA 0+00 TO END
14	P&P SOUTH SANITARY SEWER EXTENSION STA 1+00.00 TO 10+00.00
15	P&P SOUTH SANITARY SEWER EXTENSION ST 10+00.00 TO END
16	PERMANENT SIGNAGE AND STRIPING PLAN
17	EROSION CONTROL PLAN
18	EROSION CONTROL DETAILS
19	WATER DETAILS
20	SANITARY SEWER DETAILS (1 of 2)
21	SANITARY SEWER DETAILS (2 of 2)
22	STORM SEWER DETAILS
23	PAVEMENT DETAILS
24	RECORDED PLAT 1 of 3
25	RECORDED PLAT 2 OF 3
26	RECORDED PLAT 3 OF 3

N

GRAPHIC SCALE
40 0 20 40 80
(IN FEET)
1 inch = 40 ft.

FLOODPLAIN INFORMATION:
NO PORTION OF THE SUBJECT SITE IS LOCATED WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE MOST RECENT OFFICIAL INSURANCE RATE MAP, DATED AUGUST 18, 2014 MAP NUMBER 48339C0485G, ZONE(S) "X".

PRIMARY BENCHMARK: ELEV.=231.72'
FLOODPLAIN REFERENCE MARK NO. 100195 IS A BRASS DISK LOCATED FROM THE INTERSECTION OF FM 1488 AND FM 1774, SOUTHEAST ALONG FM 1774 0.4 MILES TO NICHOLS SAWMILL RD., SOUTH ALONG NICHOLS SAWMILL RD. 0.8 MILES TO THE BENCHMARK ON THE RIGHT.
ELEVATION: 231.72 (NAVD88)(2001 ADJUSTMENT)

TEMPORARY BENCHAMARK: ELEV.=229.00'
CUT "X" ON THE SOUTHWEST CORNER OF A CONCRETE BASE OF A TSCB PEDESTAL LOCATED AT SOUTHEAST CORNER OF THE INTERSECTION OF FM 1488 AND SPUR 149.
ELEVATION: 229.00

STATE OF TEXAS
GREGORY J. PATCH
89063
LICENSED
PROFESSIONAL ENGINEER
MAR 15 2022

NOTE:
IN CASE OF CONFLICT BETWEEN DETAILS SHOWN ON THIS SHEET AND THE CITY MAGNOLIA DESIGN STANDARDS, THE MORE STRINGENT SHALL APPLY.

DATE	REVISION

MAGNOLIA VILLAGE DRIVE, HERITAGE LANE, COMMUNITY ROAD
MAGNOLIA, TX 77354

PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER

COVER SHEET

LJA Engineering Inc.
1904 W. Grand Parkway N.
Suite 100
Katy, Texas 77449
Phone 713.953.5200
Fax 713.953.5026
FRN-F-1386

LJA PROJECT NO.: 1725-0068

SUBMITTED:
SCALE: 1"=40'
DATE: MONTH, YEAR
SURVEYED BY: XXXXXX
F B NO:

DESIGNED BY: JA
DRAWN BY: JA/AC
SHEET NO. 1 OF 27
CITY DWG NO:

PUBLIC PLANS – PUBLIC ROADS, UTILITIES AND STORM DRAINAGE TO SERVE MAGNOLIA VILLAGE RETAIL CENTER; CITY

Date\Time : Tue, 15 Mar 2022 – 2:31pm User Name : jpalvarez
Path\Name : J:\Projects\1725\0068\X Cad\Public\01 COVER SHEET.dwg

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 15

BACKGROUND/INFORMATION

The City received a site plan application for Magnolia Village Retail Reserve A to serve three pad sites on April 6, 2022 and the City Engineer issued a review letter on April 15, 2022.

COMMENTS:

The application is pending the applicant's reply to the City Engineer's review letter of April 15, 2022.

Action Requested

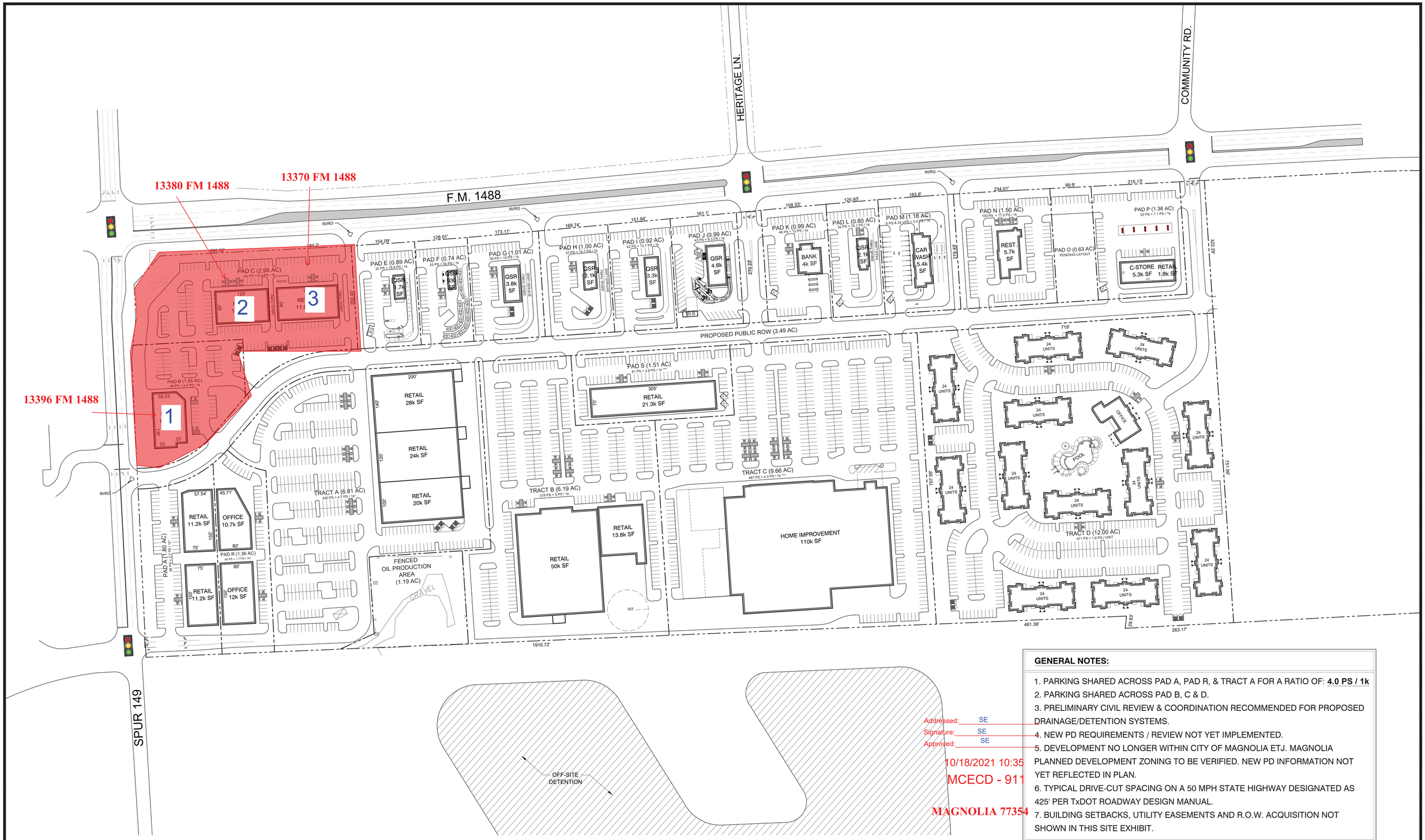
Approve site plan.

Recommendation:

If the City Engineer has issued a Letter of No Objection – Approve site plan for Magnolia Village Retail Reserve A.

Attachments:

Site Plan



GENERAL NOTES:

1. PARKING SHARED ACROSS PAD A, PAD R, & TRACT A FOR A RATIO OF: **4.0 PS / 1k**
2. PARKING SHARED ACROSS PAD B, C & D.
3. PRELIMINARY CIVIL REVIEW & COORDINATION RECOMMENDED FOR PROPOSED DRAINAGE/DETENTION SYSTEMS.
4. NEW PD REQUIREMENTS / REVIEW NOT YET IMPLEMENTED.
5. DEVELOPMENT NO LONGER WITHIN CITY OF MAGNOLIA ETJ. MAGNOLIA PLANNED DEVELOPMENT ZONING TO BE VERIFIED. NEW PD INFORMATION NOT YET REFLECTED IN PLAN.
6. TYPICAL DRIVE-CUT SPACING ON A 50 MPH STATE HIGHWAY DESIGNATED AS 425' PER TxDOT ROADWAY DESIGN MANUAL.
7. BUILDING SETBACKS, UTILITY EASEMENTS AND R.O.W. ACQUISITION NOT SHOWN IN THIS SITE EXHIBIT.

SITE PLAN

Scale: 1" = 100'

0 50' 100' 200'

N

COMMERCIAL DEVELOPMENT

September 30, 2021

SPUR 149 RD @ F.M. 1488
MAGNOLIA, TX
18050-01_SITE_21.09.30

identityARCHITECTS
111 Travis Street, Houston, Texas 77002
www.identityarchitects.com 713.595.2150

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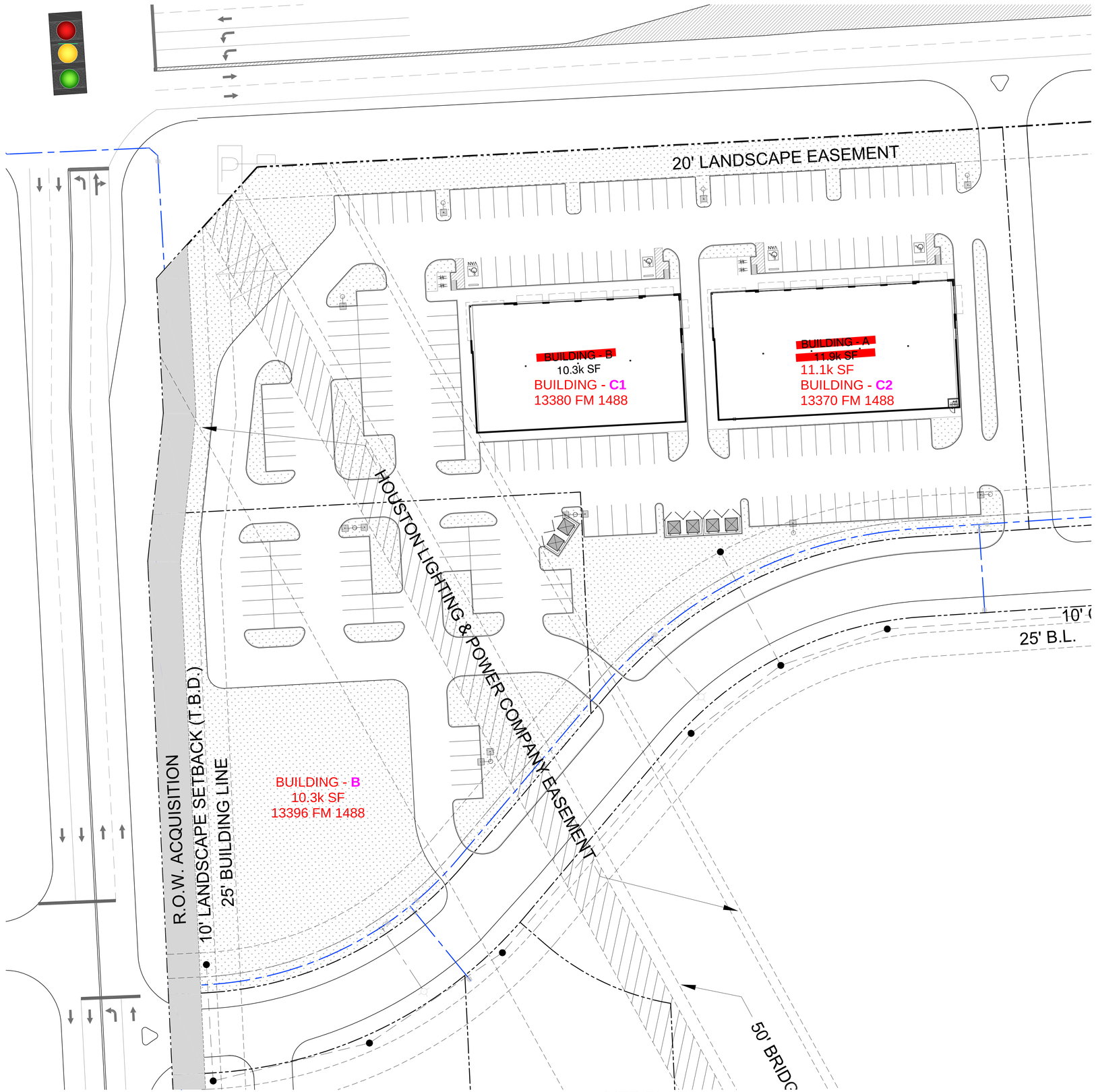

A1 SITE PLAN
SCALE: 1" = 30'-0"

SITE PLAN KEYED NOTES

1. ELECTRICAL PANEL LOCATION, RE: ELECTRICAL DWGS
2. PROPOSED PHONE SERVICE TIE- IN. COORDINATE INSTALLATION WITH PROVIDER REQUIREMENTS
3. EXTERIOR ROOF ACCESS LADDER, RE: A4/A312
4. ROOF DRAIN DOWNSPOUT, TIE-IN TO STORM DRAIN, RE: B1/A031 & CIVIL DWGS
5. LANDSCAPED AREA, RE: LANDSCAPE DWGS
6. EXISTING ADA RAMP AT R.O.W. TO REMAIN, RE: CIVIL DWGS
7. NEW ADA RAMP AT R.O.W., RE: CIVIL DWGS
8. EXISTING CONCRETE CURB, RE: CIVIL DWGS
9. NEW CONCRETE CURB, RE: CIVIL DWGS
10. EXISTING CONCRETE SIDEWALK, RE: CIVIL DWGS
11. NEW CONCRETE SIDEWALK, RE: CIVIL DWGS
12. NEW STOP SIGN, RE: CIVIL DWGS
13. NEW CURB CUT ACCESS DRIVE, RE: CIVIL DWGS
14. EXISTING FIRE HYDRANT, RE: CIVIL DWGS
15. NEW LIGHT POST, RE: 04/A031 & ELECTRICAL DWGS
16. TYPICAL CONCRETE PLANTER BOX (18'x72"X24"H), BY FORM & FIBER MFG., BX_CON 721824, RE: LANDSCAPE & IRRIGATION DWGS
17. TRASH ENCLOSURE CONCRETE PAD & LIFT POINT PAD, RE: A1/A032 & STRUCTURAL DWGS
18. ACCESSIBLE RAMP, RE: C2/A031 & CIVIL DWGS
19. ACCESSIBLE PARKING STALL, RE: A1/A031
20. ACCESSIBLE PARKING SIGN, RE: A3/A031
21. ACCESSIBLE ROUTE STRIPING, RE: D2/A031
22. TYPICAL 4" WIDE STRIPE ON PAVED AREA, PAINT TRAFFIC WHITE, RE: D4/A031 & CIVIL DWGS
23. 12' WIDE DRIVE-THRU LANE
24. BIKE RACK, RE: A2/A031, VERIFY EXACT LOCATION
25. 5'X5' LEAVE OUT FOR FUTURE GAS LINE, VERIFY EXACT LOCATION
26. PROPOSED RESTAURANT GREASE TRAP LOCATION, RE: CIVIL & MEP DWGS
27. EXISTING WOODEN FENCE, MAY BE REQUIRE BY THE CITY TO BE REPLACED
28. DRIVE-THRU WINDOW
29. FIRE DEPARTMENT CONNECTION (FDC)
30. PIPE BOLLARD, RE: D1/A031 & CIVIL DWGS
31. EDGE OF PAVEMENT (NO CURB), RE: CIVIL DWGS
32. CONCRETE PATIO AREA, SEE CIVIL DWGS
33. PROPOSED DUMPSTER GREASE TRAP LOCATION, RE: CIVIL & MEP DWGS
34. CLEARANCE BAR, RE: NOTES #2 & #3 BELOW
35. SPEAKER POST FOOTING, RE: NOTE #3 BELOW & A033
36. DRIVE-THRU MENU BOARD FOOTING, RE: NOTE #3 BELOW & A033
37. WHEEL STOPS, RE: C3/A031 & CIVIL DWGS
38. DIRECTIONAL SIGNAGE, RE: NOTES #2 & #3 BELOW
39. PAVEMENT DIRECTIONAL SYMBOLS, RE: NOTE #4 BELOW
40. RISER ROOM, RE: MEP DWGS
41. PROPOSED SIGN MONUMENT LOCATION, BY OTHERS
42. NOT USED
43. NOT USED
44. CONCRETE COLORED SIDEWALK WITH SCORING PATTERN
45. REINFORCED CONCRETE PAD, RE: CIVIL DWGS
46. FUTURE GREASE TRAP LOCATION, BY OTHERS, RE: CIVIL & MEP DWGS
47. EDGE OF CONCRETE SIDEWALK, RE: CIVIL DWGS
48. PAVEMENT LEAVEOUT FOR SENSOR LOOP BY TENANT, RE: NOTE #3 BELOW & A033
49. NEW WATER EASEMENT, RE: CIVIL DWGS FOR METER LOCATIONS
50. HOODED LEFT TURN, RE: CIVIL DWGS
51. NEW FIRE HYDRANT, RE: CIVIL DWGS
52. REMOTE FIRE DEPARTMENT CONNECTION, RE: CIVIL DWGS
53. FIRE LANE, RE: CIVIL DWGS

CERTIFICATION AND SEAL

THIS DOCUMENT SET IS *'NOT INTENDED FOR REGULATORY APPROVAL, PERMITTING, PRICING, OR CONSTRUCTION'*.

KEENON RAYNER
TX REG. # 18268

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713.595.2150
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NO.	DATE	REVISION ISSUE

PROJECT NAME AND ADDRESS:

COMMERCIAL RETAIL SHELL
BUILDING - A
BUILDING - B

SPUR 149 RD @ F.M. 1488
MAGNOLIA, TX 77354

DRAWN: CHECKED:

REFERENCE NUMBER: **18050-00**

TITLE:

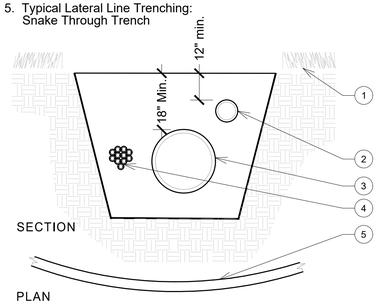
SITE PLAN

DRAWING NUMBER:

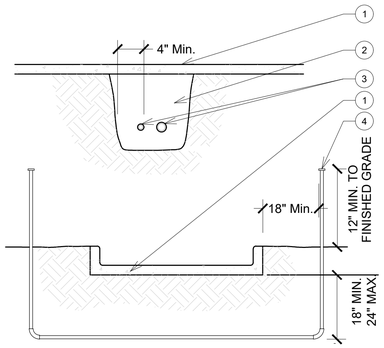
A011

DETAIL CALLOUT LEGEND

1. Finished Grade.
2. Lateral Line Size As Per Plan.
3. Mainline Size as Per Plan.
4. Tubing Or Wiring: Tape And Bundle At 10'-0" Intervals.
5. Typical Lateral Line Trenching: Snake Through Trench



H Wiring In Trench
Not to Scale



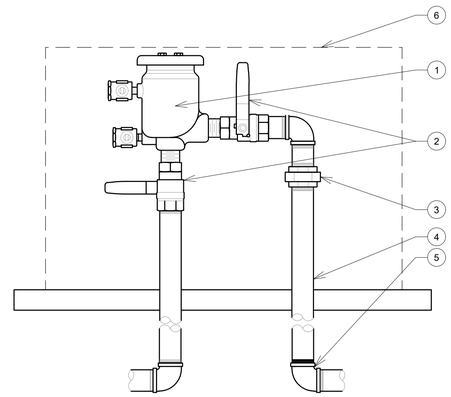
DETAIL CALLOUT LEGEND

1. Paving
2. Trench
3. Sleeves
4. PVC Cap, Typ.

Notes:

1. All PVC Irrigation Sleeves To be Sch. 40 PVC Pipe.
2. All Elbows To Be lose fit and watertight.
3. Where There Is More Than One Sleeve, Extend The Smaller Sleeve 12" Minimum Above Finished Grade.
4. Mechanically Tamp soil around each sleeve To 95% Proctor.

E Sleeving Detail
Not to Scale



FEBCO MODEL 825Y
Pressure Vacuum Breaker
or approved equal
as per local requirements

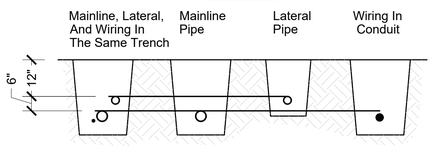
NOTE:
All pipe fittings above ground shall be copper

DETAIL CALLOUT LEGEND

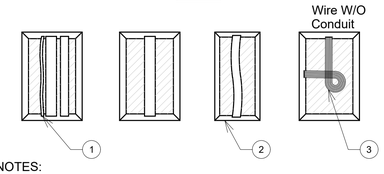
1. Pressure Vacuum Breaker Assembly To Be 18" Min. Above Highest Head
2. Gate Valves.
3. Brass Union.
4. Copper Pipe, Wrap With Thermo Wrap For Protection.
5. At Point Where Copper Meets PVC, Use Copper Female Adapter & PVC Male Adapter.
6. Gorilla Cage, size as needed, set in conc. footing as per manufacturers specifications

B Backflow Prevention
Not to Scale

SECTION VIEW



PLAN VIEW



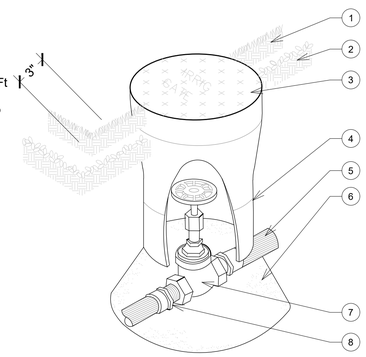
DETAIL CALLOUT LEGEND

1. Run Wiring Above or Beside Mainline. Tape And Bundle At 10Ft Intervals.
2. All Solvent Weld Plastic Piping To Be Snaked In Trench As Shown.
3. Tie 24" Loop In All Wiring At Changes Of Direction Of 30° Or Greater. Untie After all Connections Have Been Made.

NOTES:

1. Sleeve Below All Hardscape Elements With Class 200PVC Twice The Diameter Of The Pipe Or Wire Bundle Within.
2. For Pipe And Wire Burial Depths See Specifications.

G Pipe & Wire Trenching
Not to Scale



DETAIL CALLOUT LEGEND

1. Finished Grade Lawn Areas.
2. Finished grade Shrub Areas.
3. Top Of Valve Box To be Flush With Finished Grade in seeded areas (Sodded Areas 1" Above Finished Grade, Shrub areas set flush with top of mulch).
4. Box Extension.
5. Mainline.
6. 6" depth min. of 3/4" washed gravel with commercial grade weed barrier
7. Gate Valve.
8. Sch. 80 PVC Male Adapter.

D Gate Valve
Not to Scale

IRRIGATION NOTES

A. Except as otherwise provided, the contractor shall procure all permits and licenses, pay all charges & fees and give all notices necessary & incidental to the due lawful prosecution of the work.

B. The contractor shall follow the local municipal Public Works specifications for hot taps & installation of irrigation system.

C. The contractor shall notify pertinent utility companies 48 hours prior to construction for current tility locations. Extreme care hall be exercised in excavating and working near existing utilities. The contractor shall verify the location & condition of all utilities and be responsible for any damage to utilities.

D. The contractor shall not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in the areas dimensions exist that might not have been considered in the engineering. Such obstructions or differences shall be brought to the attention of the owner. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.

E. The drawings are diagrammatic. All irrigation mainlines, lateral lines, valves, wire and fittings shall be placed in landscape areas. Gate valves, and remote control valves shall be places in shrub beds whenever possible.

F. Avoid existing or future locations of trees and tree root balls when laying pipe.

G. The contractor shall clearly mark all exposed excavations, materials and equipment. cover or barricade trenches when the contractor is not on site.

H. The contractor shall adjust the arc angle of the irrigation heads for even cover. Head layout shall be head to head coverage. All nozzles shall have matching precipitation rates.

I. The contractor shall at all times protect his work from damage and theft. In the event of damage or theft, the contractor shall replace all damaged or stolen parts until the work is accepted in writing by owner.

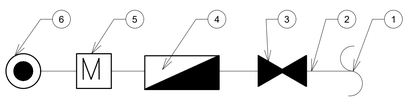
J. Top Of all Valve Boxes To be Flush With Finished Grade in seeded areas, (Sodded Areas set 1" Above Finished Grade, Shrub areas set flush with top of mulch).

DETAIL CALLOUT LEGEND

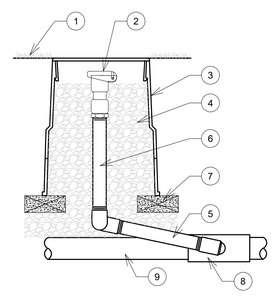
1. To Valves.
2. Irrigation Mainline (See Legend For Size).
3. Gate Valve or Master Valve (Mainline Size) (See plan).
4. Backflow Prevention As Approved Per City Requirements.
5. Water Meter As Approved Per City Requirements.
6. Point Of Connection. Verify Location In Field.

NOTE:

See Irrigation Legend For Full Details, Sizing And Requirements.



F Typical Diagram - Point of Connection
Not to Scale



DETAIL CALLOUT LEGEND

1. Finished Grade/Top of Mulch.
2. Quick Coupling Valve: Hunter HQ-33DLRC-R 3/4", Two Piece Body with 3/4" inlet and 3/4" key outlet
3. Valve Box with purple cover
4. 6" depth min. of 3/4" washed gravel with commercial grade weed barrier
5. Hunter HSJ-0 Series Swing Joint, size as required
6. PVC Sch. 80 Nipple 3/4" (Length as Required)
7. Brick Supports (2)
8. PVC Sch. 40 Tee Or Ell. 3/4" etc.
9. PVC Mainline Pipe.

NOTE: Furnish fittings and piping nominally sized identical to nominal quick coupling valve inlet size.

C HQ33 Quick Coupling Valve
Not to Scale

A Irrigation Notes
Not to Scale

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
03.18.22

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CIVIL & LANDSCAPE:
LJA Engineering
3600 W Sam Houston Parkway S
Suite 600
Houston, TX 77042
Phone (713) 953 5095
Gregory Patch

STRUCTURAL:
CJG Engineers
3200 Wilcrest Drive, Suite 305
Houston, TX 77042
Phone (713) 780-3345
Fax (713) 780-3712
Britt G. Gardner

MEP:
Salas O'Brien
10903 W. Sam Houston Parkway N.
Suite 900
Houston, TX 77064
Phone (281) 664-1900
Israel Moreno

OWNER:
GC Magnolia, LP
788 W. Sam Houston Parkway N.
Suite 206
Houston, TX 77024

OWNER'S REPRESENTATIVE:
Gulf Coast Commercial Group, INC.
788 W. Sam Houston Parkway N.
Suite 206
Houston, TX 77024
Phone (713) 412-5873
Email david.green@gulfcoastcg.com
David Green

identityARCHITECTS
111 Travis Street, Houston, Texas 77002
713.595.2150
www.identityarchitects.com

NO.	DATE	REVISION ISSUE
	03.18.22	ISSUED FOR PERMIT
1	04.01.22	SITEWORK PERMIT SUBMITTAL #2

PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER PHASE 1 SITEWORK TO SERVE RETAIL BUILDINGS B, C1, AND C2 MAGNOLIA, TEXAS 77354

DRAWN: BG, RB, VD CHECKED: CP

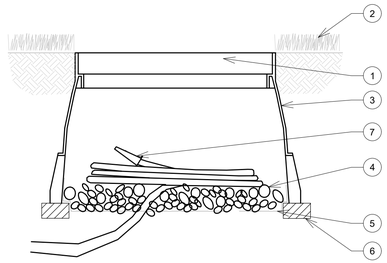
REFERENCE NUMBER: **18050-02**

TITLE:

IRRIGATION DETAILS

DRAWING NUMBER:

ID-1.01

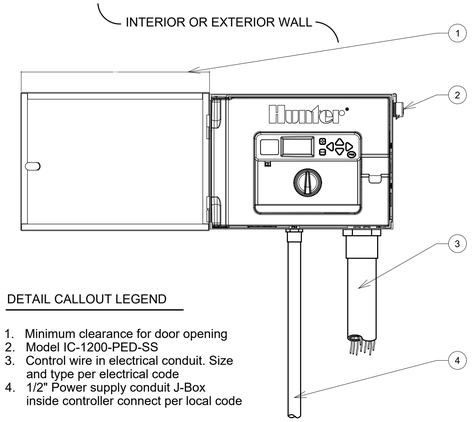


DETAIL CALLOUT LEGEND

1. Top Of Valve Box To Be Flush With Finished Grade marked "2W" in white paint (3" ht. min.).
2. Finished Grade
3. Valve Box
4. 3/8" Dia. Gravel 6" Min. Depth.
5. Filter Fabric.
6. Brick Supports Min. (4) Per Valve Box.
7. Wires to Controller, 36" MIN.
8. Lateral Line

C — Two Wire Terminus Box

Not to Scale



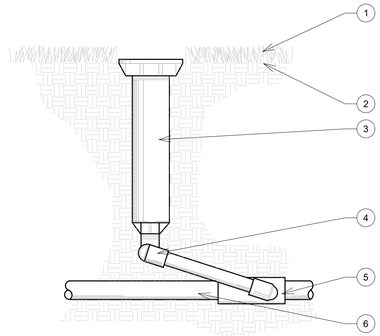
DETAIL CALLOUT LEGEND

1. Minimum clearance for door opening
2. Model IC-1200-PED-SS
3. Control wire in electrical conduit. Size and type per electrical code
4. 1/2" Power supply conduit J-Box inside controller connect per local code

NOTE: Controller shall be hard-wired to grounded 110 VAC power source

E — Irrigation Controller (ACC2-PED-SS)

Not to Scale

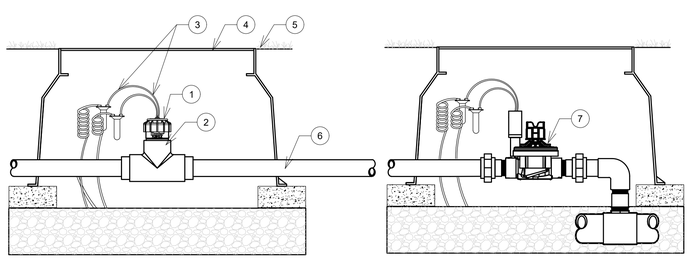


DETAIL CALLOUT LEGEND

1. Turf Area.
2. Finished Grade.
3. Pro-Spray 6" Sprinkler body with PCN-25 Bubbler Nozzle
4. Hunter HSJ Series swing joint, size as required
5. Sch. 40 PVC Tee Or Elbow.
6. PVC Lateral Line (12" Min. Cover As Noted In Legend).

B — Tree Bubbler Pop-Up Detail

Not to Scale



D — Flow-Clik

Not to Scale

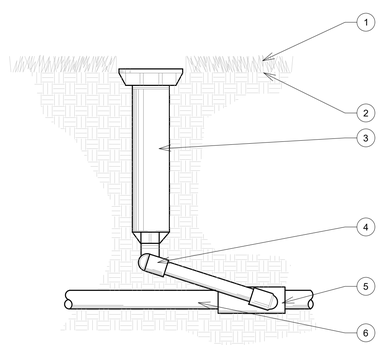
DETAIL CALLOUT LEGEND

1. Model Flow-Clik - xxx
2. Model FCT-XXX (See Plan to Size)
3. Min. 18/2 wire to interface panel maximum wire distance run of 1,000'
4. Standard Valve Box
5. Finished Grade
6. Mainline Pipe
7. Master Valve

FCT FITTING SELECTION

FCT100	1 INCH	SCH. 40
FCT150	1.5 INCH	SCH. 40
FCT158	1.5 INCH	SCH. 80
FCT200	2 INCH	SCH. 40
FCT208	2 INCH	SCH. 80
FCT300	3 INCH	SCH. 40
FCT308	3 INCH	SCH. 80
FCT400	4 INCH	SCH. 40

NOTE INLET PIPE LENGTH OF SENSOR MUST BE MIN. 10X PIPE DIA. STRAIGHT, CLEAN RUN OF PIPE, NO FITTINGS OR TURNS. OUTLET PIPE LENGTH OF SENSOR MUST BE MIN. 5X PIPE DIA. OF STRAIGTH CLEAN RUN OF PIPE, NO FITTINGS OR TURNS.



DETAIL CALLOUT LEGEND

1. Turf Area.
2. Finished Grade.
3. Pro-Spray 6" Sprinkler body, See Plan for specific nozzle types
4. Hunter HSJ Series swing joint, size as required
5. Sch. 40 PVC Tee Or Elbow.
6. PVC Lateral Line (12" Min. Cover As Noted In Legend).

A — Turf Pop-Up Spray Detail

Not to Scale

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CIVIL & LANDSCAPE:

LJA Engineering
3600 W Sam Houston Parkway S
Suite 600
Houston, TX 77042
Phone (713) 953 5095
Gregory Patch

STRUCTURAL:

CJG Engineers
3200 Wilcrest Drive, Suite 305
Houston, TX 77042
Phone (713) 780-3345
Fax (713) 780-3712
Britt G. Gardner

MEP:

Salas O'Brien
10903 W. Sam Houston Parkway N.
Suite 900
Houston, TX 77064
Phone (281) 664-1900
Israel Moreno

OWNER:

GC Magnolia, LP
788 W. Sam Houston Parkway N.
Suite 206
Houston, TX 77024

OWNER'S REPRESENTATIVE:

Gulf Coast Commercial Group, INC.
788 W. Sam Houston Parkway N.
Suite 206
Houston, TX 77024
Phone (713) 412-5873
Email david.green@gulfcoastcg.com
David Green

identityARCHITECTS
www.identityarchitects.com
713.595.2150
111 Travis Street, Houston, Texas 77002

NO.	DATE	REVISION ISSUE
	03.18.22	ISSUED FOR PERMIT
1	04.01.22	SITEWORK PERMIT SUBMITTAL #2

PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER PHASE 1 SITEWORK TO SERVE RETAIL BUILDINGS B, C1, AND C2 MAGNOLIA, TEXAS 77354

DRAWN: BG, RB, VD CHECKED: CP

REFERENCE NUMBER: **18050-02**

TITLE:

IRRIGATION DETAILS

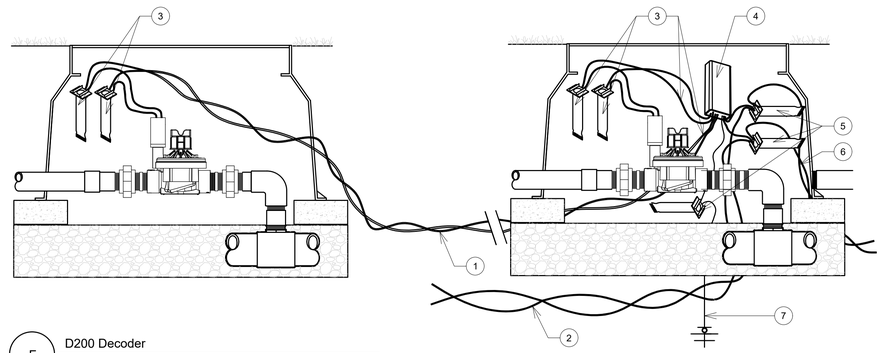
DRAWING NUMBER:

ID-1.02

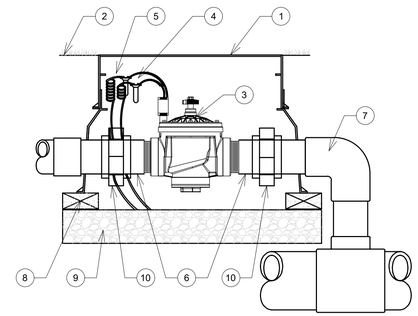
DETAIL CALLOUT LEGEND

1. Decoder to solenoid max run 150 ft/45m
2. Id wire path twisted to next decoder
3. Dby (4) Color coded valve wires. see legend for color and valve #
4. Model d200 decoder
5. Dby-6 (3)
6. Id wire path from controller allow 5ft/1.5m slack per decoder. 1/2 on either side of decoder
7. To earth ground installed per asic guidelines. 1 per 12 decoders or every 1,000ft/330m

NOTE: All D200 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR
ADDRESS 1 = Black
ADDRESS 2 = Yellow



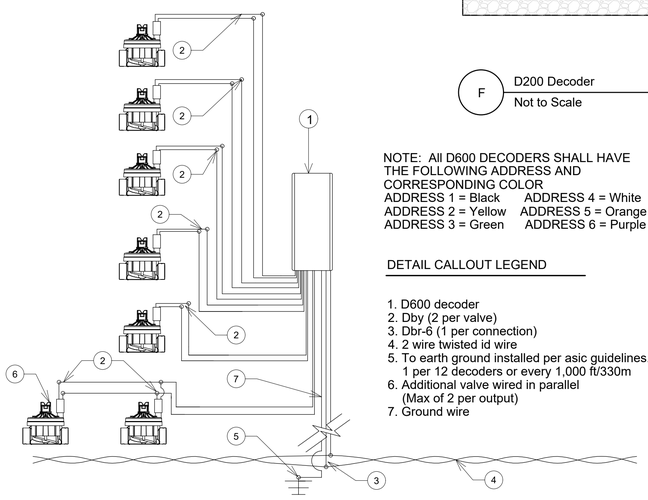
F D200 Decoder
Not to Scale



DETAIL CALLOUT LEGEND

1. Jumbo box with extension
2. Finish grade
3. Remote control valve model ICV-301g with filter sentry
4. DBRY Waterproof connectors (2)
5. 18-24" Coiled Wire
6. Sch 80 t.o.e. nipple
7. Main line pipe & fittings
8. Brick supports (4)
9. 3" depth min. of 3/4" washed gravel with commercial grade weed barrier
10. PVC slip unions

C ICV 3" Globe Valve
Not to Scale

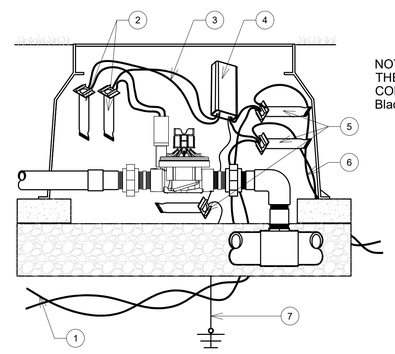


NOTE: All D600 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR
ADDRESS 1 = Black
ADDRESS 2 = Yellow
ADDRESS 3 = Green
ADDRESS 4 = White
ADDRESS 5 = Orange
ADDRESS 6 = Purple

DETAIL CALLOUT LEGEND

1. D600 decoder
2. Dby (2 per valve)
3. Dbr-6 (1 per connection)
4. 2 wire twisted id wire
5. To earth ground installed per asic guidelines. 1 per 12 decoders or every 1,000 ft/330m
6. Additional valve wired in parallel (Max of 2 per output)
7. Ground wire

H D600 Decoder
Not to Scale

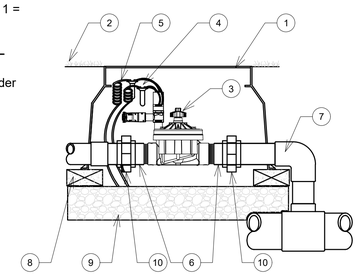


NOTE: All D100 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR ADDRESS 1 = Black

DETAIL CALLOUT LEGEND

1. Id wire path twisted to next decoder
2. Dby (2)
3. Two black wires to valve solenoid/up to 150ft/45m
4. Model d100 decoder
5. Dby-6 (3)
6. Id wire path from controller allow 5ft/1.5m slack per decoder. 1/2 on either side of decoder
7. To earth ground installed per asic guidelines. 1 per 12 decoders or every 1,000ft/330m

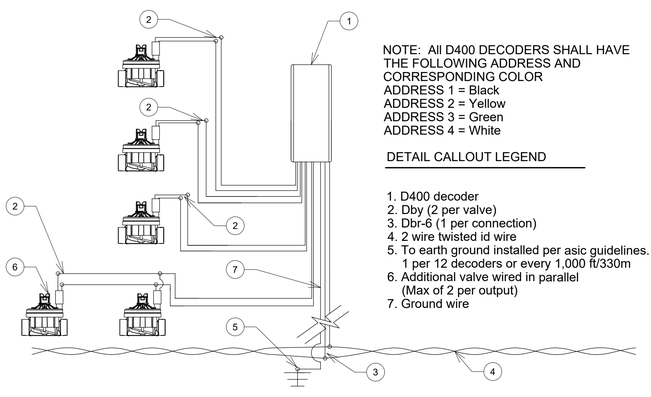
E D100 Decoder
Not to Scale



DETAIL CALLOUT LEGEND

1. Standard valve box
2. Finish grade
3. Remote control valve model ICV-151g & ICV-201g with filter sentry
4. DBRY Waterproof connectors (2)
5. 18-24" Coiled Wire
6. Sch 80 t.o.e. nipple
7. Main line pipe & fittings
8. Brick supports (4)
9. 3" depth min. of 3/4" washed gravel with commercial grade weed barrier
10. PVC slip unions

B ICV 1 1/2" - 2" Globe Valve
Not to Scale

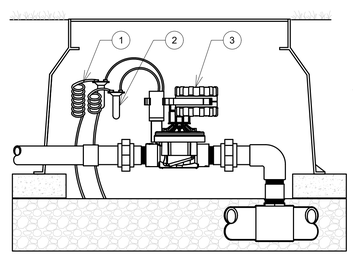


NOTE: All D400 DECODERS SHALL HAVE THE FOLLOWING ADDRESS AND CORRESPONDING COLOR
ADDRESS 1 = Black
ADDRESS 2 = Yellow
ADDRESS 3 = Green
ADDRESS 4 = White

DETAIL CALLOUT LEGEND

1. D400 decoder
2. Dby (2 per valve)
3. Dbr-6 (1 per connection)
4. 2 wire twisted id wire
5. To earth ground installed per asic guidelines. 1 per 12 decoders or every 1,000 ft/330m
6. Additional valve wired in parallel (Max of 2 per output)
7. Ground wire

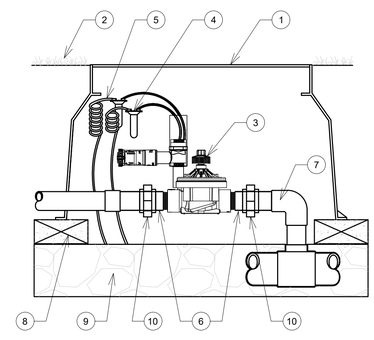
G D400 Decoder
Not to Scale



DETAIL CALLOUT LEGEND

1. 18-24" coiled wire
2. DBRY Waterproof connectors (2)
3. Node-x00

D Node Controller
Not to Scale



DETAIL CALLOUT LEGEND

1. Standard valve box
2. Finish grade
3. Remote control valve model ICV-101g with filter sentry
4. DBRY Waterproof connectors (2)
5. Standard valve box
6. Sch 80 t.o.e. nipple
7. Main line pipe & fittings
8. Brick supports (4)
9. 3" depth min. of 3/4" washed gravel with commercial grade weed barrier
10. PVC slip unions

A ICV 1" Globe Valve
Not to Scale

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
03.18.22

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1	04.01.22	SITEWORK PERMIT SUBMITTAL #2

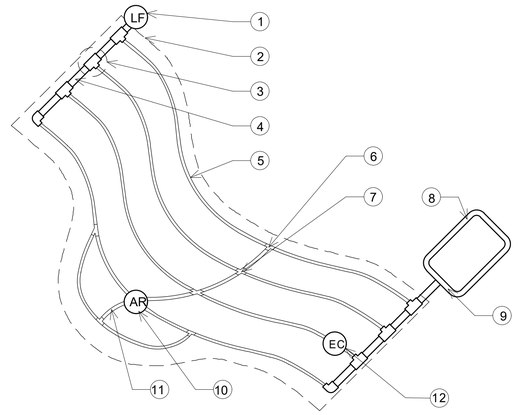
PROJECT NAME AND ADDRESS:
MAGNOLIA VILLAGE RETAIL CENTER
PHASE 1 SITEWORK TO SERVE
RETAIL BUILDINGS B, C1, AND C2
MAGNOLIA, TEXAS 77354

DRAWN: BG, RB, VD CHECKED: CP

REFERENCE NUMBER: **18050-02**

TITLE:
IRRIGATION DETAILS

DRAWING NUMBER:
ID-1.03



H — Irrigation Layout Typical Irregular Planting Area

Not to Scale

DETAIL CALLOUT LEGEND

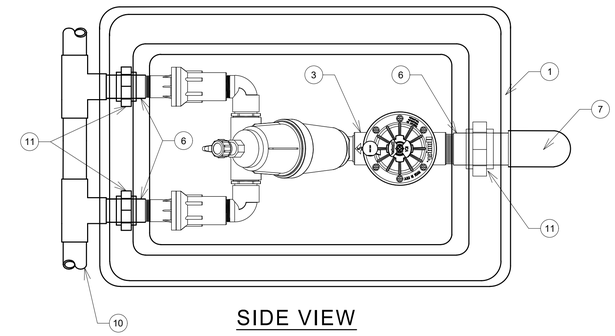
1. Line Flushing Valve Plumbed To Techline Or Poly.
2. Planting Bed/Area Perimeter.
3. Techline Start Connection.
4. 1" PVC Or Poly Exhaust Header
5. Techline Tubing Lateral, 18" O.C. with .9 GPH Emitters @ 18" O.C.
6. Techline Tee.
7. Techline Cross.
8. Remote Control Valve With Disc Filter And PRV, See Irrigation Plan For Size.
9. 1" PVC Supply Header, Unless Noted As Otherwise On Plans.
10. Air/Vacuum Relief Valve, Locate At High Point Of Zone.
11. Blank Tubing Centered On Mound Or Berm.
12. Eco Indicator, by Hunter to be installed in each drip zone.

NOTE:

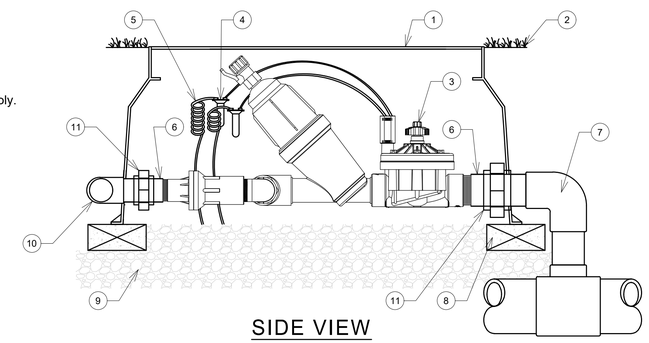
Netafim, Or approved Equal, Drip Irrigation Shall Be Installed As Per Manufacturers Guidelines And Specifications For Local Soil. All Drip Tubing To be Installed 4" Below Finished Grade And Staked Every 3'-0", And Before And After Every Turn.

DETAIL CALLOUT LEGEND

1. Super jumbo valve box
2. Finish grade
3. Drip zone kit model ICZ-151-40 with filter (tip 45 degrees) regulator 40 psi
4. DBRY Waterproof connectors (2)
5. 18-24" coiled wire
6. Sch 80 t.o.e. nipple
7. Main line pipe & fittings
8. Brick supports (4)
9. 3" depth min. of 3/4" washed gravel with commercial grade weed barrier
10. Lateral pipe and fittings
11. Pvc slip unions (2)



SIDE VIEW



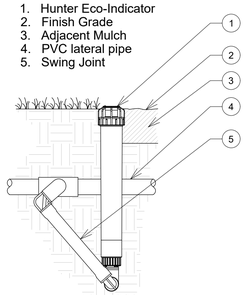
SIDE VIEW

B — ICZ 151-40 Drip Control Kit - Flow 20 to 60 GPM

Not to Scale

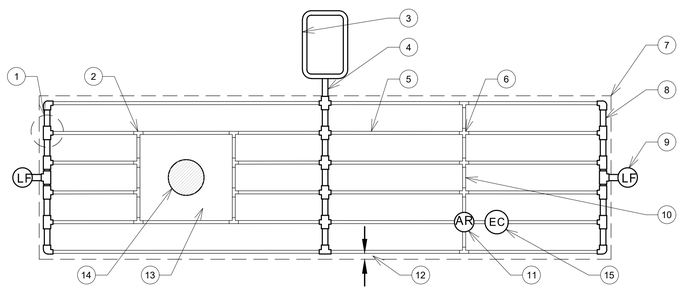
DETAIL CALLOUT LEGEND

1. Hunter Eco-Indicator
2. Finish Grade
3. Adjacent Mulch
4. PVC lateral pipe
5. Swing Joint



J — Eco Indicator - Swing Joint

Not to Scale

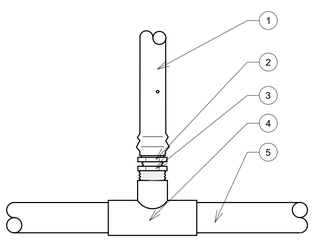


G — Irrigation Layout Typical Regular Planting Area

Not to Scale

DETAIL CALLOUT LEGEND

1. Techline Start Connection.
2. Techline Tee.
3. Remote Control Valve With Disc Filter And PRV, See Irrigation Plan For Size.
4. 1" PVC Supply Header, Unless Noted As Otherwise On Plans.
5. Techline Tubing Lateral, 18" O.C. with .9 GPH Emitters @ 18" O.C.
6. Techline Cross.
7. Planting Bed/Area Perimeter.
8. 1" PVC Or Poly Exhaust Header.
9. Line Flushing Valve Plumbed To PVC Or Poly.
10. Blank Techline Tubing (@ 50' O.C.).
11. Air/Vacuum Relief Valve, Locate At High Point Of Zone.
12. Perimeter Laterals 6" From Hard Edge.
13. Tree Opening In Drip Line.
14. Tree/Palm, See Planting Plans.
15. Eco Indicator, by Hunter to be installed in each drip zone.

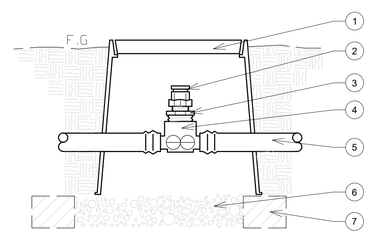


DETAIL CALLOUT LEGEND

1. Techline Tubing.
2. 3/4" Male Adapter.
3. 3/4" Male x 1/2" Female Reduction Bushing.
4. PVC Tee (SxSxT).
5. PVC Lateral (Or Exhaust Header).

F — Typical Dripline Start Connection

Not to Scale

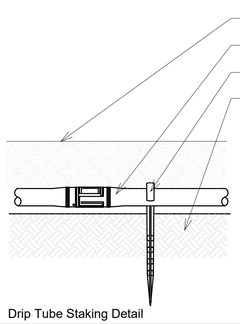


DETAIL CALLOUT LEGEND

1. 6" Round Valve Box With Cover.
2. Air/Vacuum Relief Valve Hunter PLD-AVR 3/4".
3. 3/4" Male x 1/2" Female Reduction Bushing.
4. Techline 180 2-Way Adapter Tee.
5. Techline Tubing.
6. 3/4" Crushed Gravel Sump.
7. Brick Supports (Three).

D — Typical Air/Vaccum Relief

Not to Scale



DETAIL CALLOUT LEGEND

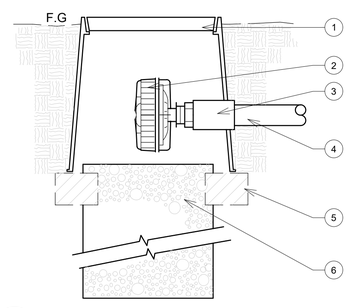
1. Top Of Mulch.
2. Landscape Dripline Tubing.
3. Tie Down Stake: Rain Bird LD16STK.
4. Finish Grade.

NOTE:

Drip Irrigation To Be Staked Every 3'-0", And Before And After Every Turn.

E — Drip Tube Staking Detail

Not to Scale

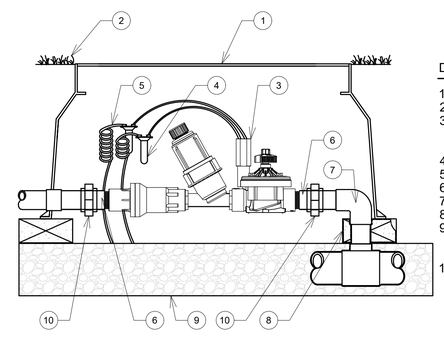


DETAIL CALLOUT LEGEND

1. 6" Round Valve Box With Cover.
2. Line flushing Valve by Hunter AFV-T .
3. PVC Reducer Adapters S x 1/2"FTP (Size As Required).
4. PVC Lateral (Or Exhaust Header).
5. Brick Supports (Three).
6. 3/4" Crushed Gravel Sump (1 Cubic Ft).

C — Line Flushing Valve

Not to Scale



DETAIL CALLOUT LEGEND

1. Jumbo valve box
2. Finish grade
3. Drip zone kit model ICZ-101-xx with filter (tip 45 degrees) regulator 25 or 40 psi
4. DBRY Waterproof connectors (2)
5. 18-24" coiled wire
6. Sch 80 t.o.e. nipple
7. Main line pipe & fittings
8. Brick supports (4)
9. 3" depth min. of 3/4" washed gravel with commercial grade weed barrier
10. PVC slip unions (2)

A — ICZ 101 Drip Control Kit - Flow 2 to 20 GPM

Not to Scale

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS

03.18.22

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identityARCHITECTS
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NO.	DATE	REVISION ISSUE
	03.18.22	ISSUED FOR PERMIT
1	04.01.22	SITEWORK PERMIT SUBMITTAL #2

PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER PHASE 1 SITEWORK TO SERVE RETAIL BUILDINGS B, C1, AND C2 MAGNOLIA, TEXAS 77354

DRAWN: BG, RB, VD CHECKED: CP

REFERENCE NUMBER: **18050-02**

TITLE:

IRRIGATION DETAILS

DRAWING NUMBER:

ID-1.04

PLANT SCHEDULE

EVERGREEN TREES	BOTANICAL / COMMON NAME
	Quercus virginiana / Southern Live Oak

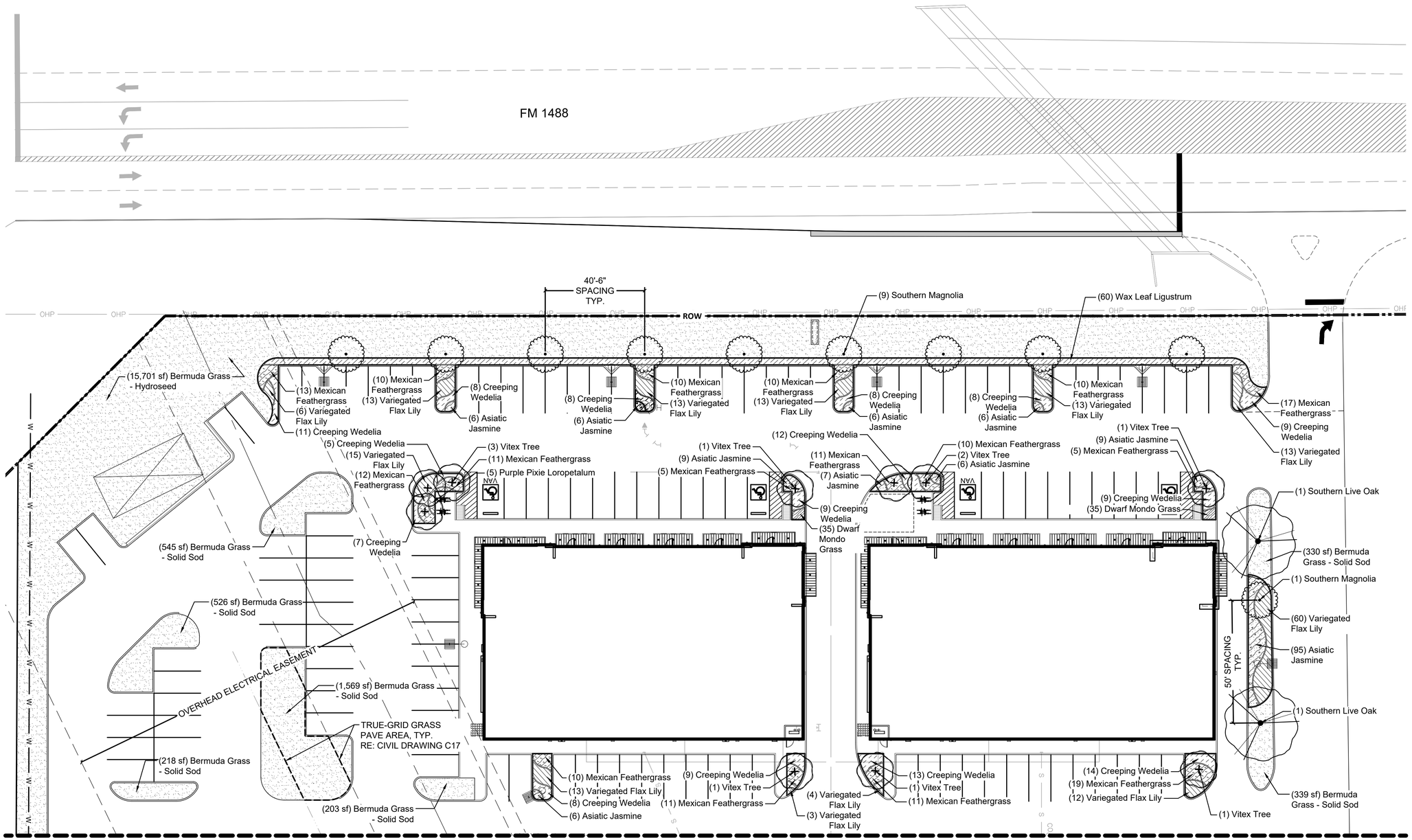
FLOWERING TREES	BOTANICAL / COMMON NAME
	Magnolia grandiflora `Little Gem` / Southern Magnolia
	Vitex agnus-castus / Vitex Tree

SHRUB AREAS	BOTANICAL / COMMON NAME
	Dianella tasmanica `Variegata` / Variegated Flax Lily
	Ligustrum japonicum `Recurvifolium` / Wax Leaf Ligustrum
	Loropetalum chinense `Purple Pixie` / Purple Pixie Loropetalum
	Myrica cerifera / Southern Wax Myrtle
	Myrica cerifera `Pumila` / Dwarf Wax Myrtle

GROUND COVERS	BOTANICAL / COMMON NAME
	Dianella tasmanica `Variegata` / Variegated Flax Lily
	Ophiopogon japonicus `Nanus` / Dwarf Mondo Grass
	Sphagneticola trilobata / Creeping Wedelia
	Stipa tenuissima / Mexican Feathergrass
	Trachelospermum asiaticum `Asiatic` / Asiatic Jasmine

SOD/SEED	BOTANICAL / COMMON NAME
	Cynodon dactylon / Bermuda Grass - Hydroseed
	Cynodon dactylon / Bermuda Grass - Solid Sod

GRAPHIC LEGEND			
	Property Line	S	Sanitary Sewer
	Right of Way	ST	Storm
	Lot Line	W	Water
	Building Setback	UG	Underground Electrical
LOW	Limit of Work	OH	Overhead Electrical
	Contours	G	Gas
			Utility Easement



MATCHLINE, SHEET PL-1.2

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REGISTERED LANDSCAPE ARCHITECT — STATE OF TEXAS
03.18.22

Drawing Scale is 1" = 20'
(Original size is 24 x 36")

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DRAWN: BG, RB, VD CHECKED: CP

REFERENCE NUMBER: **18050-02**

TITLE:
PLANTING LAYOUT PLAN

DRAWING NUMBER:
PL-1.1

PLANT SCHEDULE

EVERGREEN TREES	BOTANICAL / COMMON NAME
	Quercus virginiana / Southern Live Oak

FLOWERING TREES	BOTANICAL / COMMON NAME
	Magnolia grandiflora `Little Gem` / Southern Magnolia
	Vitex agnus-castus / Vitex Tree

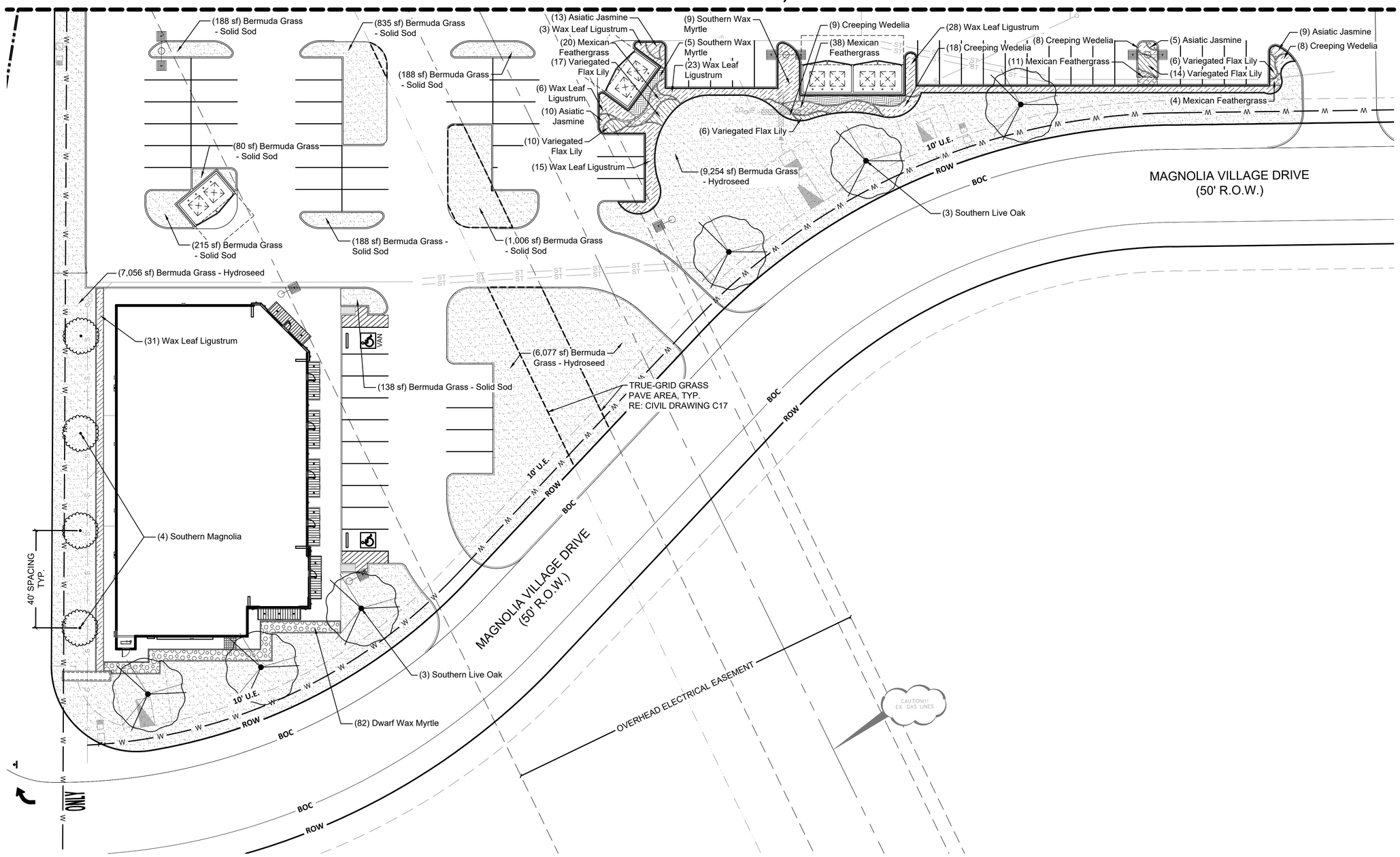
SHRUB AREAS	BOTANICAL / COMMON NAME
	Dianella tasmanica `Variegata` / Variegated Flax Lily
	Ligustrum japonicum `Recurvifolium` / Wax Leaf Ligustrum
	Loropetalum chinense `Purple Pixie` / Purple Pixie Loropetalum
	Myrica cerifera / Southern Wax Myrtle
	Myrica cerifera `Pumila` / Dwarf Wax Myrtle

GROUND COVERS	BOTANICAL / COMMON NAME
	Dianella tasmanica `Variegata` / Variegated Flax Lily
	Ophiopogon japonicus `Nanus` / Dwarf Mondo Grass
	Sphagneticola trilobata / Creeping Wedelia
	Stipa tenuissima / Mexican Feathergrass
	Trachelospermum asiaticum `Asiatic` / Asiatic Jasmine

SOD/SEED	BOTANICAL / COMMON NAME
	Cynodon dactylon / Bermuda Grass - Hydroseed
	Cynodon dactylon / Bermuda Grass - Solid Sod

GRAPHIC LEGEND			
	Property Line	S	Sanitary Sewer
	Right of Way	ST	Storm
	Lot Line	W	Water
	Building Setback	UG	Underground Electrical
LOW	Limit of Work	OH	Overhead Electrical
	Contours	G	Gas
			Utility Easement

MATCHLINE, SHEET IL-1.1



REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
03.18.22

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CIVIL & LANDSCAPE:
LJA Engineering
3600 W Sam Houston Parkway S
Suite 600
Houston, TX 77042
Phone (713) 953 5095
Gregory Patch

STRUCTURAL:
CJG Engineers
3200 Wilcrest Drive, Suite 305
Houston, TX 77042
Phone (713) 780-3345
Fax (713) 780-3712
Britt G. Gardner

MEP:
Salas O'Brien
10903 W. Sam Houston Parkway N.
Suite 900
Houston, TX 77064
Phone (281) 664-1900
Israel Moreno

OWNER:
GC Magnolia, LP
788 W. Sam Houston Parkway N.
Suite 206
Houston, TX 77024

OWNER'S REPRESENTATIVE:
Gulf Coast Commercial Group, INC.
788 W. Sam Houston Parkway N.
Suite 206
Houston, TX 77024
Phone (713) 412-5873
Email david.green@gulfcoastcg.com
David Green

identityARCHITECTS
111 Travis Street, Houston, Texas 77002
713.595.2150
www.identityarchitects.com

0 10 20 40ft
Drawing Scale is 1" = 20'
(Original size is 24 x 36")

NO.	DATE	REVISION ISSUE
	03.18.22	ISSUED FOR PERMIT
1	04.01.22	SITEWORK PERMIT SUBMITTAL #2

PROJECT NAME AND ADDRESS:

MAGNOLIA VILLAGE RETAIL CENTER PHASE 1 SITEWORK TO SERVE RETAIL BUILDINGS B, C1, AND C2 MAGNOLIA, TEXAS 77354

DRAWN: BG, RB, VD CHECKED: CP

REFERENCE NUMBER: **18050-02**

TITLE:

PLANTING LAYOUT PLAN

DRAWING NUMBER:

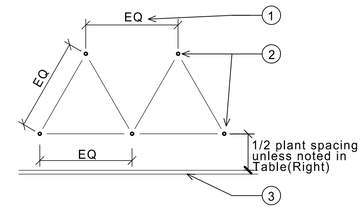
PL-1.2

PLANT SCHEDULE

EVERGREEN TREES	CONT	CAL	HEIGHT	SPREAD	QTY	REMARKS
Quercus virginiana / Southern Live Oak	100 gal	3" - 4"	12-14`	5` - 6`	8	Single, traight trunk; full, green canopy, container grown, well rooted
FLOWERING TREES	**CONT**	**CAL**	**HEIGHT**	**SPREAD**	**QTY**	**REMARKS**
Magnolia grandiflora `Little Gem` / Southern Magnolia	45 gal	2.5"	8` - 10`	4` - 6`	14	Single, straight trunk; full, green canopy, container grown, well rooted
Vitex agnus-castus / Vitex Tree	45 gal	2.5"	6` - 8`	4` - 6`	10	Multi trunk; full, green canopy, container grown, well rooted, purple flower
SHRUB AREAS	**CONT**	**HEIGHT**	**SPREAD**	**SPACING**	**QTY**	**REMARKS**
Dianella tasmanica `Variegata` / Variegated Flax Lily	5 gal	12" - 18"	12"	24" O.C.	23	Container grown, well rooted, full, green foliage
Ligustrum japonicum `Recurvifolium` / Wax Leaf Ligustrum	5 gal	36"	24"	48" O.C.	166	Container grown, well rooted, full, green foliage
Loropetalum chinense `Purple Pixie` / Purple Pixie Loropetalum	5 gal	24"	24"	30" O.C.	5	Container grown, well rooted, full, purple foliage
Myrica cerifera / Southern Wax Myrtle	5 gal	24"	24"	48" O.C.	14	Container grown, well rooted, full, green foliage
Myrica cerifera `Pumila` / Dwarf Wax Myrtle	3 gal	18"	18"		82	Container grown, well rooted, full, green foliage
GROUND COVERS	**CONT**	**HEIGHT**	**SPREAD**	**SPACING**	**QTY**	**REMARKS**
Dianella tasmanica `Variegata` / Variegated Flax Lily	5 gal	12"	12"	24" O.C.	208	Container grown, well rooted, full, green foliage
Ophiopogon japonicus `Nanus` / Dwarf Mondo Grass	flat	4"	4"	9" O.C.	4	Container grown, well rooted, full, green foliage
Sphagneticola trilobata / Creeping Wedelia	1 gal	12"	12"	24" O.C.	181	Container grown, well rooted, full, green foliage
Stipa tenuissima / Mexican Feathergrass	3 gal	12"	12"	24" O.C.	248	Container grown, well rooted, full
Trachelospermum asiaticum `Asiatic` / Asiatic Jasmine	flat	4"	6"	18" O.C.	193	Container grown, well rooted, full, green foliage
SOD/SEED	**CONT**	**HEIGHT**	**SPREAD**	**SPACING**	**QTY**	**REMARKS**
Cynodon dactylon / Bermuda Grass - Hydroseed	seed				38,088 sf	Fresh, clean, new-crop seed. Provide seed of species, proportions, and minimum percentages of purity, germination and maximum percentage of weed seed as specified.
Cynodon dactylon / Bermuda Grass - Solid Sod	sod				6,568 sf	Viable, dense, strongly rooted, free of weeds and undesirable grasses

SPACING CHART

Spacing	Plants required per sq/ft
6" O.C.	4.61
8" O.C.	2.60
9" O.C.	1.78
10" O.C.	1.66
12" O.C.	1.15
18" O.C.	.50
24" O.C.	.28
30" O.C.	.18
36" O.C.	.12
48" O.C.	.07



Detail Callout Legend:

1. Spacing As Noted.
2. Typical Plant Location.
3. Edge of planting (Steele edging, curb, walls...etc) as defined on plan See Detail F, This Sheet For Steele Edge Planting Section

Common Name	Planting Distance From Curb

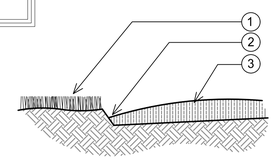
NOTE:
Contractor shall use this spacing chart to determine total Quantities of Shrubs and Groundcover. Contractor shall round total up to nearest whole plant. The Contractor shall be responsible for providing all plantings necessary to fill all planting areas shown on the plans, based upon plant spaces provided by the spacing diagram and chart. Any quantities given by the owner or landscape architect,or determined by the contractor shall be ***FOR REFERENCE ONLY.*** The contractor shall be responsible for all costs associated with underestimates.

C SHRUB/GROUNDCOVER SPACING
NTS

SHOVEL CUT EDGING ALONG ALL SHRUB BEDS UNLESS OTHERWISE NOTED ON THE PLANS

Detail Callout Legend:

1. Lawn
2. Shovel Cut Bed Edge
3. Prepared bed.

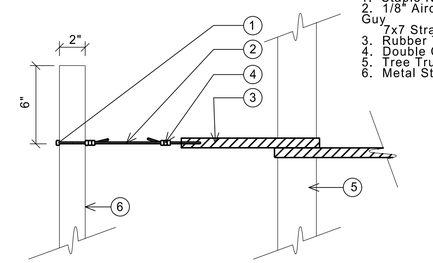


NOTE:
Contractor shall edge at all shrub beds adjacent to turf, unless otherwise noted on plans.

E SHOVEL CUT EDGING DETAIL
NTS

Detail Callout Legend:

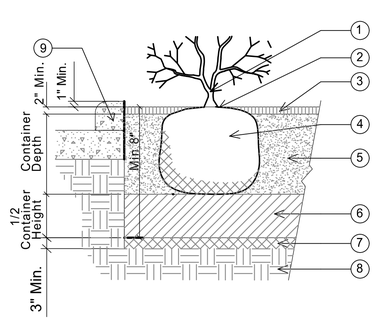
1. Staple Nail.
2. 1/8" Aircraft Cable Tree Guy, 7x7 Strands.
3. Rubber Tie, Black.
4. Double Crimped Clamp.
5. Tree Trunk.
6. Metal Stake.



B TREE TIE DETAIL
NTS

Detail Callout Legend:

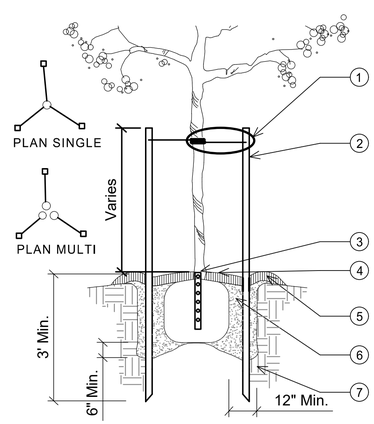
1. Plant.
2. Top Of Rootball To Be Flush With Grade.
3. 2" Shredded Black Hardwood Mulch
4. Rootball.
5. Planting Mix Per Soils Analysis.
6. Compacted Prepared Planting Mix With Parent Material.
7. 3" Scarification Layer.
8. Undisturbed Soil.
9. Concrete Curb or sidewalk (If Applicable)



D SHRUB/GROUNDCOVER PLANTING DETAIL
NTS

Detail Callout Legend:

1. Tree Tie Detail, See Detail B, This Sheet.
2. Metal T-Post, Drive Stakes Min. 3' Into The Ground. Poles Shall be Parallel And Vertical, Top Of Stake Shall Be Even. (3-Min. 30 Gal. And Larger, 2 Min. Smaller Than 30 Gal.
3. 2" Dia. x 24" Long Perforated P.V.C. Pipe (2 Per tree).
4. 2" Shredded Hardwood Mulch.
5. 3" Soil Saucer.
6. Compacted Backfill Mix.
7. Existing Subgrade.



A TREE STAKING DETAIL
NTS

NTS

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Suite 206
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Phone (713) 412-5873
Email david.green@gulfcoastcg.com
David Green

identityARCHITECTS
713.595.2150 www.identityarchitects.com
111 Travis Street, Houston, Texas 77002

NO.	DATE	REVISION ISSUE
	03.18.22	ISSUED FOR PERMIT
1	04.01.22	SITEWORK PERMIT SUBMITTAL #2

PROJECT NAME AND ADDRESS:
MAGNOLIA VILLAGE RETAIL CENTER PHASE 1 SITEWORK TO SERVE RETAIL BUILDINGS B, C1, AND C2 MAGNOLIA, TEXAS 77354

DRAWN: BG, RB, VD CHECKED: CP

REFERENCE NUMBER: **18050-02**

TITLE:
PLANTING DETAILS AND SCHEDULE

DRAWING NUMBER:
PL-2.1

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 16

BACKGROUND/INFORMATION

A Planned Development Agreement was approved by the Planning and Zoning Commission on August 26, 2021. City Council approved a concept plan for th the PD on September 14, 2021 and adopted Ordinance O-2021-024 on November 9, 2021.

COMMENTS:

After a City Engineer review it was found the detention pond access did not meet City requirements. The UDC indicates a 30-foot access and maintenance easement around the pond. Section 904.14 of the Code of Ordinances states “A 30-foot wide access and maintenance easement shall be provided around the entire detention pond." The PD concept plan was amended to meet the City requirements and approve by the City Engineer.

Action Requested

Take action on the amendment.

Recommendation:

Approve amendment to the Windmill Estates Planned Development Agreement

Attachments:

Amendment

WINDMILL ESTATES
PLANNED DEVELOPMENT AGREEMENT

April 8, 2022

A. Introduction

1. Description of the Property

The subject property consists of 8.2 acres and is located in west Magnolia, north and west of the intersection of Farm to Market Road 1774 and Farm to Market Road 1488, near the western edge of the City of Magnolia corporate limits. The proposed development is part of the original Windmill Estates subdivision plat, which contains a variety of single-family residential uses, and a mix of single-family and commercial uses. The property to the west is currently zoned for and being used for industrial purposes. The legal description of the property is shown on **Exhibit "A"**.

2. Description of Proposed Development

The proposed development will consist of single-family homes with public street frontage and traditional front-loaded garages. **Exhibit "B"** illustrates the proposed conceptual plan for the tract.

3. Purpose

The purpose of the Planned Development is to allow for new or innovative concepts in land utilization not permitted in other zoning districts. In this case, the proposed development will allow for a unique, high-quality single-family residential housing option for the community.

4. Comprehensive Plan

The proposed Planned Development is consistent with the goals established by the Comprehensive Plan by providing a development that:

- Provides a wider range of residential options to meet the "life-cycle" housing needs of current and future Magnolia residents.
- Provides a continued emphasis on Magnolia's housing quality and options as a fundamental economic development advantage and as a response to growth and development trends that have already begun to take shape within the city.
- Provides higher density single-family residential housing that is compatible with the character of the surrounding development.
- Provides a high-quality living environment that is essential to maintaining Magnolia's positive reputation in the Houston-Galveston region.
- Provides a buffer between the existing Windmill Estates neighborhood and higher intensity uses to the south and west of the subdivision.

5. Applicability

To be eligible for a PD, a property must be at least two (2) acres in size. The subject tract consists of 8.2 acres.

B. Zoning and Land Use

1. Existing Zoning

The property is currently zoned predominately as “Semi-Urban Residential” (SU), one lot is zoned “Neighborhood Conservation” (NC.2), and one lot is zoned as “Auto-Urban Commercial” (AC).

The City’s Future Land Use Plan identifies the site as a mix of uses including “Semi-Urban Residential”, “Neighborhood Conservation”, and “Auto-Urban Commercial”.

Lot(s) zoned as “Auto-Urban Commercial” (AC) may be re-zoned and/or re-platted as any other compatible use, provided that any approval processes are followed set out under the City of Magnolia Unified Development Code, as may be amended from time to time. The City of Magnolia is initiating the re-zoning of the “Auto-Urban Commercial” (AC) lot (Lot 1, Block N of Windmill Estates). If the property is re-zoned, any compatible zone and permitted use shall be allowed, provided that the zone and uses are considered compatible and conforming as set out under the City of Magnolia Unified Development Code, as may be amended from time to time.

2. Permitted Use(s)

The following uses are permitted as indicated for each zoning district so long as all other development regulations within this document are met.

a. Semi-Urban Residential District

Single-Family Detached
Single-Family Detached Patio or Zero Lot Line Home
Single-Family Attached

b. Neighborhood Conservation District

Single-Family Detached
Single-Family Detached Patio or Zero Lot Line Home

c. Auto-Urban Commercial District

Animal Veterinary Services
Assisted Living/Congregate Care Facilities
Automobile Repairs
Automobile Washes
Automobile Rental and Service Establishments
College/University/Vocational School
Commercial Retail

Event Facility
Farmers' Market
Fueling/Charging Stations
General Professional/Medical Office
Indoor Recreation/Personal Fitness
Institutional Uses/ Governmental Uses
Library
Nursey, Retail
Office
Outdoor Recreation
Overnight Accommodations (Hotel, Motel, Inn)
Post Office
Public Assembly
Public Safety Facility
Restaurant (No drive through or with drive through)

C. Design Standards

Unless otherwise outlined in this document, the City of Magnolia Unified Development Code that is effective at the time this document is adopted shall apply to this Planned Development Agreement. Any change to the following Design Standards shall require a variance granted by the City of Magnolia Planning and Zoning Commission.

1. Area Regulations

Minimum lot area: 5,000 square feet

Minimum lot width: Fifty (50) feet

Minimum lot depth: One hundred (100) feet

Maximum lot coverage: Sixty (60) Percent

2. Building Setback Regulations

Minimum front yard setback: Twenty-Five (25) feet

Minimum Interior side yard setback: Five (5) feet, except that Patio Homes or Zero Foot Lot Line Homes may have a side yard setback of Zero (0) feet.

Minimum Street side yard setback: Twelve (12) feet

Minimum Rear yard setback: Twenty-Five (25) feet

3. Building Height Regulations

Maximum Building Height: Thirty-Five (35) Feet

4. Density Regulations

Maximum Gross Density: 4.30 Dwelling Units Per Acre

5. **Open Space Regulations**

   Minimum Open Space Ratio: Twenty (20) Percent.

6. **Parking Requirements**

   Parking requirements and ratios shall comply with those specified in the applicable Unified Development Code as may be amended from time to time.

7. **Signage Requirements**

   Signage requirements shall comply with those specified in the applicable Unified Development Code as may be amended from time to time.

8. **Detention Pond Access and Maintenance Easement Requirements**

   Minimum Access and Maintenance Easement Width: Twenty (20) feet

   Exhibit "C" illustrates the proposed detention pond, and access and maintenance easements.

D. Exhibits

a. Legal Description
b. Concept Plan
c. Detention Pond Access Easement Exhibit

Exhibit A

A subdivision of 8.164 acres of land located in the G.W. Lonis Survey, A-320, City of Magnolia, Montgomery County, Texas, also being a portion of Lots 1-9, Block M, and Lots 1-10 Block L of Windmill Estates recorded under Cab. A, Sht. 188B, M.R.M.C.

CONCEPTUAL LOTTING STUDY

WINDMILL ESTATES

±8.2 ACRES OF LAND

MAGNOLIA, TEXAS

OCTOBER 1, 2021

BGE #8576

BGE, Inc.
10777 Westheimer, Suite 400
Houston, TX 77042
Tel: 281-558-8700
www.bgeinc.com

0 30 60 200

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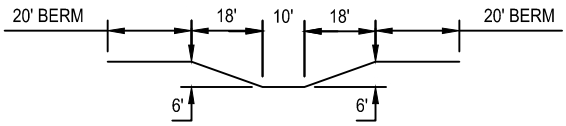
Current plans show a 4:1 slope and 6 foot bottom. Detail needs to match current plans with 20-foot berm. Detail in lower left.



20' BERM

20' ACCESS & MAINT. EASEMENT

86' RESERVE

20' BERM

20' ACCESS & MAINT. EASEMENT

117' LOT

50' ROW

112' LOT

HARLINGEN DRIVE

(R.O.W. VARIES)

50.00'

30' B.L.

25' B.L.

50' R

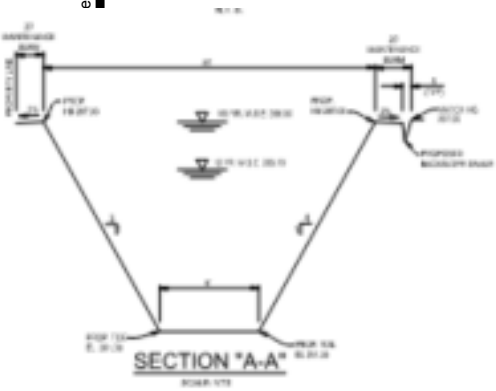
14 13 12 11 10 9 7 6 5 4 3 2 1

19 20 21 22 24 25 26 27 28

A

30' ACCESS EASEMENT

ects\Windmill Estates\WINDMILL ESTATES\POND ACCESS EASEMENT.dwg 1:1



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Tel: 281-558-8700 ● www.bgeinc.com
TBPE Registration No. F-1046

WINDMILL ESTATES DETENTION POND ACCESS EASEMENT

Scale:	Job No.:	Date:	Exhibit:
1"=80'	8576-00	04/22	1

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 17

BACKGROUND/INFORMATION

The City has received requests for light industrial in a Suburban Village district.

COMMENTS:

By definition the UDC states Light Industry means uses that involve research and development, assembly, compounding, packaging, testing, or treatment of products from previously prepared materials, with limited outside storage and limited external impacts or risks; or wholesale uses, or rental or sale of large items that are stored outside. A list o fuses is included in **Chapter 11**.

Action Requested

Add Conditional Use, "C", the **Table 2-2-1.02 Land Uses** for Suburban Village districts. A Conditional Use Permit ensures each application for light industry in a SV district would go before the Planning and Zoning Commission and City Council to be considered on a case-by-case basis.

Item 22 Recommendation:

Add text amendment to Table 2-2-1.02 adding "C" for Conditional Use to Suburban Village (SV) districts for light industrial use.

Item 23 Recommendation:

Set public hearing date for the text amendment to Table 2-2-1.02 adding "C" for Conditional Use to Suburban Village (SV) districts for light industrial use.

Attachments:

Land Use Table

Sec. 2-2-1.02 Land Use Tables

A. **Using the Tables**. The tables in this Section list the applicable land uses in rows, organized by general use category. The zoning districts are arranged in columns. Where rows and columns intersect, a letter indicates if the use is permitted, conditional, or prohibited in the district.

B. **Symbols**. The tables in this Section use the following symbols:

1. "**P**" means that the land use is a *Permitted Use*, subject to the standards that apply to all permitted uses. The use is approved by the *Administrator*, or an appointee.

2. "**C**" means that the use is allowed as a *Conditional Use*, which may be approved following a public hearing by the *Commission* and consideration of the *City* Council, subject to:

   a. The standards for permitted uses that are set forth in this UDO;

   b. The procedures set forth in *Section 11-2-3.04, Conditional Use Permit*.

C. "-" means that the use is a *Prohibited Use* in the specified zoning district.

D. P_C means the use is permitted only in a *cluster development* in the respective district.

E. P_P means the use is permitted only in a planned development in the Semi-Urban Residential (SU) District.

Table 2-2-1.02
Land Uses

Land Use	Residential					Nonresidential							
	RU	RE	SR	SU	NC	SV	AC	TC	UP	PU	BP	IN	TS
Residential													
Single-Family Detached	P	P	P	P	P	-	-	-	-	-	-	-	-
Single-Family Detached Patio or Zero *Lot Line* Home	-	P_C	P_C	P_P	See *Table 2-2-1.03, NC Sub-district Land Uses*	-	-	-	-	-	-	-	-
Single-Family Attached (*duplex*, condominium townhome)	-	P_C	P_C	P_P		-	-	-	-	-	-	-	-
Manufactured Home/ Manufactured Home Park[1]	-	-	-	C		-	-	-	-	-	-	-	-
Mobile Home	-	-	-	-		-	-	-	-	-	-	-	-
Multifamily *Dwelling*													
- *Townhome*	-	-	P_C	P_P		-	-	-	-	-	-	-	-
- *Live-Work Townhome*	-	-	P_C	P_P		-	-	-	-	-	-	-	-
- *Multiplex*	-	-	P_C	P_P		-	-	-	-	-	-	-	-
- *Apartments*	-	-	-	P_P		-	-	-	-	-	-	-	-

Table 2-2-1.02 Land Uses													
Land Use	Residential					Nonresidential							
	RU	RE	SR	SU	NC	SV	AC	TC	UP	PU	BP	IN	TS
Overnight Accommodations (hotels; motels; commercial inns)	-	-	-	-	-	P	P	-	C	-	-	-	-
Restaurant (no drive-through or drive-in)	-	-	-	-	-	P	P	P	P	-	-	-	P
Restaurant (with drive-through or drive-in)	-	-	-	-	-	P	P	-	C	-	-	-	-
Truck Stop/Truck Wash	-	-	-	-	-	-	C	-	-	-	-	C	-
Vending Kiosks/ATMs	-	-	-	-	-	C	P	-	C	-	-	-	-
Wholesale	-	-	-	-	-	-	-	-	-	-	-	P	-
Agricultural Uses													
Agriculture, General	P	-	-	-	-	-	-	-	-	-	-	-	-
Animal Production	P	-	-	-	-	-	-	-	-	-	-	-	-
Agricultural Sales	P	-	-	-	-	-	-	-	-	-	-	-	-
Nursery or Greenhouse, Wholesale; Agricultural Production	P	-	-	-	-	-	-	-	-	-	-	P	-
Stable or Riding Academy	P	-	-	-	-	-	-	-	-	-	-	-	-
Industrial Uses													
Automotive Wrecking / Salvage *Yard* (junkyard; recycling business)	-	-	-	-	-	-	-	-	-	-	-	P	-
Broadcasting Center (satellite farm; server farm; switching facility)	-	-	-	-	-	-	C	-	-	-	-	P	-
Composting Drop-Off / Collection / Processing Facility	-	-	-	-	-	-	-	-	-	-	-	P	-
Construction Services	-	-	-	-	-	-	-	-	-	-	-	P	-
Heavy Industry[1]	-	-	-	-	-	-	-	-	-	-	-	P	-
Heavy Retail, Lumberyards and Equipment	-	-	-	-	-	-	-	-	-	-	-	P	-
Heavy Truck or Recreational Vehicle Leasing or Sales	-	-	-	-	-	-	-	-	-	-	-	P	-
Landfill	-	-	-	-	-	-	-	-	-	-	-	C	-
Light Industry	-	-	-	-	-	C	-	-	-	-	-	P	-
Pawn Shop	-	-	-	-	-	-	-	-	-	-	-	P	-

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 18

BACKGROUND/INFORMATION

Deletion of "alcohol sales" from the Land Use Table 2-2-1.02 will bring the Unified Development Code in alignment with State of Texas law and City regulations.

COMMENTS:

Eliminating alcohol sales from the UDC, will clear confusion and simplify the process of alcohol sales permits in the City.

Action Requested

Set a public hearing for the text change.

Recommendation:

Set a public hearing date for text amendments to the UDC Table 2-2-1.02 Land Uses.

Attachments:

Table 2-2-1.02

Table 2-2-1.02 Land Uses													
Land Use	Residential					Nonresidential							
	RU	RE	SR	SU	NC	SV	AC	TC	UP	PU	BP	IN	TS
Outdoor Commercial Amusement (amphitheaters; arenas; outdoor performing arts facilities) [1]	-	-	-	-	-	C	P	-	C	C	P	C	C
Outdoor Recreation	-	C	C	C	C	C	P	-	C	P	P	C	-
Commercial Uses													
Adult Business[1]	-	-	-	-	-	-	-	-	-	-	-	P	-
Alcoholic Beverage Sales, Offsite Consumption	-	Delete this row		-	-	-	P	-	-	-	-	-	-
Alcoholic Beverage Sales, Onsite Consumption	-	Delete this row			-	-	P	P	P	-	-	-	C
Animal Veterinary Services, Small Animal	-	-	-	-	-	P	P	-	C	-	-	-	-
Animal Veterinary Services, Large Animal	-	-	-	-	-	C	P	-	-	-	-	C	-
Automobile Sales, Rental and Service Establishments	-	-	-	-	-	C	P	-	C	-	-	C	-
Automobile Sales, Used	-	-	-	-	-	C	P	-	C	-	-	C	-
Automobile Repairs, Heavy	-	-	-	-	-	-	P	-	-	-	-	C	-
Automobile Repairs, Light	-	-	-	-	-	C	P	-	-	-	-	P	-
Automobile Washes	-	-	-	-	-	C	P	-	-	-	-	P	-
Commercial Retail (business services; *personal services*; *shopping centers*)	-	-	-	-	-	P	P	P	P	-	C	P	P
Day Care Center	-	-	-	-	-	C	-	-	C	-	-	-	-
Event Facility (banquet hall; dance hall; lodge)	-	-	-	-	-	C	P	-	C	P	-	-	P
Farmers' Market, Permanent	-	-	C	C	C	P	P	C	C	P	-	-	-
Fueling/Charging Stations	-	-	-	-	-	P	P	-	C	-	-	C	-
General Professional/ *Medical Office*	-	-	-	-	-	P	P	-	P	-	P	-	C
Heavy Retail/Home Center	-	-	-	-	-	C	P	-	-	-	-	-	-
Manufactured/Modular Home Sales	-	-	-	-	-	C	P	-	-	-	-	-	-
Mixed Use	-	-	-	C	C	P	-	-	P	-	-	-	-
Nursery, Retail	-	-	-	-	-	C	P	-	C	-	-	-	-
Office	-	-	-	-	-	P	P	-	P	-	P	-	-

Planning and Zoning Commission
City of Magnolia
Agenda Item Summary

Date: April 21, 2022

To: Planning and Zoning Commission

From: Tana Ross, Planning Technician Consultant

RE: Planning and Zoning Commission Meeting Agenda Item 22

BACKGROUND/INFORMATION

The Unified Development Code Chapter 4 Design, Sec. 4-2-5.03 The Stroll Overlay District requires exterior finish colors to be approved by the Planning and Zoning Commission.

COMMENTS:

The applicant will be bringing color samples to the meeting. Please refer to the Stroll Overlay District adopted color pallet.

Action Requested

Approve exterior colors in The Stroll Overlay District.

Recommendation:

Approve the colors as presented for the Stroll Overlay District at 415 Magnolia Blvd.

Attachments:

Stroll Overlay District color pallet